



**To:** Development Permit Panel

**Date:** June 26, 2019

**From:** Wayne Craig  
Director of Development

**File:** DP 17-775868

**Re:** **Application by McDonald's Restaurant of Canada Ltd. for a Development Permit at 8140 No. 2 Road**

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### Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of minor building additions, exterior renovations, and the installation of a dual drive-through lane system at the existing McDonald's restaurant at 8140 No. 2 Road on a site zoned "Community Commercial (CC)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
  - a) Reduce the minimum interior (south) side yard from 6.0 m to 2.0 m for a detached accessory building containing garbage and recycling facilities.

Wayne Craig  
Director of Development

WC: cl  
Att. 5

## Staff Report

### Origin

McDonald's Restaurant of Canada Ltd. has applied to the City of Richmond for permission to construct minor building additions (a resulting total of 7.53 m<sup>2</sup>/81.05 ft<sup>2</sup>), to undertake exterior renovations, and to install a dual drive-through lane system at the existing McDonald's restaurant at 8140 No. 2 Road on a site zoned "Community Commercial (CC)" (Attachment 1). There is no rezoning application associated with this proposal.

### Development Information

Please refer to the attached Development Application Data Sheet for a comparison of the proposed development data with the relevant Bylaw requirements (Attachment 2).

### Context and Surrounding Development:

The existing McDonald's restaurant consists of a one-storey building, with a single lane drive-through system, located in a building addressed as 8140 No. 2 Road in the southwest corner of the subject site (Attachment 3). The McDonald's restaurant is located within a portion of a neighbourhood shopping centre, which straddles two properties at 8120 No. 2 Road and 6020 Blundell Road.

Development immediately surrounding the subject property at 8120 No. 2 Road, on which the McDonald's restaurant is located, is as follows:

- To the north is the property at 6020 Blundell Road, which contains the northern portion of the neighbourhood shopping centre and surface parking area;
- To the east, are two apartment buildings known as Rosewood Towers on a property zoned "Town Housing (ZT75) – Rosewood (Blundell)" at 6200 and 6220 Blundell Road;
- To the south, separated by a drive-aisle on the adjacent site, is a low-density townhouse complex on a property zoned "Town Housing (ZT75) – Rosewood (Blundell)" at 8260 and 8280 No. 2 Road;
- To the west, immediately across No. 2 Road, are townhouses and a duplex on properties zoned "Medium-Density Town Housing (RTM1)" and "Two-Unit Dwellings (RD2)" at 8091, 8133, 8155, and 8171 No. 2 Road.

### Staff Comments

The proposed scheme attached to this report (Plans # 1.a to 3.f) has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the "Community Commercial (CC)" zone except for the zoning variances noted below.

**Zoning Compliance/Variances** (staff comments in ***bold italics***)

The Applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to: reduce the minimum interior (south) side yard from 6.0 m to 2.0 m for a detached accessory building containing garbage and recycling facilities.

*(Staff supports the proposed variance for the following reasons:*

- *The proposed location of the accessory building enables functional access to the garbage and recycling facilities by restaurant employees while also providing sufficient space for vehicle manoeuvring where the two drive-through lanes merge into a single lane. It is also adequately separated from the townhouses on the neighbouring property to the south by a drive-aisle, walkway, fence, and yard, totalling approximately 16 m; and*
- *A portion of the restaurant's existing garbage and recycling facilities is in the same location as where the detached accessory building containing garbage and recycling facilities is proposed (to the rear/southeast of the restaurant). The current facilities are completely unenclosed and unscreened. The remaining portion of the restaurant's garbage and recycling facilities (including the garbage compactor) is located in an unroofed enclosure attached to the southwest corner of the restaurant. The proposal to centralize all of the required garbage and recycling facilities into a single fully enclosed and roofed building to the rear/southeast of the restaurant is an improvement over the existing unscreened and unroofed scenario, as it provides screening from public and adjacent views, as well as odour and noise mitigation. The noise report provided by the Applicant's acoustical engineer identifies that, on the basis of the modelling undertaken, noise transmission from the proposed accessory building will comply with the limits indicated in the City's Noise Regulation Bylaw No. 8856).*

**Advisory Design Panel Comments**

Because of its' relatively minor nature, this application was not presented to the Advisory Design Panel (ADP).

**Analysis*****Conditions of Adjacency***

- To address potential visual impact, noise transmission, and odour concerns associated with the proposed dual lane drive-through system along the south side of the restaurant and the relocation of the garbage compactor to the southeast of the restaurant, the following is proposed:
  - installation of two new drive-through speakers that incorporate an Active Voice Control feature, which adjusts the outbound volume based on the ambient noise level. This means that as ambient noise decreases during quieter hours, the outbound speaker volume is designed to reduce accordingly;
  - installation of a new solid wood privacy fence on-site along the south property line will assist with noise mitigation and screens the dual drive-through lane system and service area from the existing residential townhouse site to the south, and is an improvement over the existing unscreened condition;

- full enclosure of the garbage compactor and other garbage and recycling facilities into a roofed building also assists with odour and noise mitigation, and is also an improvement over the existing unenclosed/unroofed condition.
- The Applicant has also submitted an acoustical report, which confirms that the predicted noise transmission from the proposed two new drive-through speakers, as well as the proposed garbage compactor in a fully enclosed and roofed building, complies with the permitted daytime and nighttime levels in the City's Noise Regulation Bylaw No. 8856.
- Since bylaw compliance doesn't guarantee inaudibility of the drive-through speakers, the Applicant also proposes on-site signage to communicate with customers to be good neighbours by minimizing oral, vehicle, and sound system noise while advancing through the drive-through lanes.
- This proposal does not involve any changes to the existing lighting systems in the surface parking area north of the restaurant nor along the perimeter of the property. With respect to the addition of new lighting, only low-impact soffit and wall-mounted fixtures are proposed on the building. With respect to addressing headlight glare from vehicles in the drive-through lane, the existing shrubs along the perimeter of the drive-through lane that currently provide some screening are proposed to be retained, as well as new shrubs and fencing are proposed to be added for improved screening.
- This proposal does not involve any changes to the existing rooftop mechanical equipment. The proposed roof parapet design maintains the current partial screening of the equipment, and the Applicant's structural engineer has confirmed that the existing roof structure would not be able to support the additional load associated with the installation of rooftop screening of the existing mechanical equipment.
- To address any noise-related concerns generated after the proposed construction is completed, a legal agreement is required to be registered on title prior to Development Permit issuance to indicate that the Applicant is fully responsible for determining noise bylaw compliance, including, but not limited to, engaging an acoustical professional, and for implementing any necessary measures to achieve noise bylaw compliance.

### ***Urban Design and Site Planning***

- The scope of work associated with this Development Permit application involves minor modifications to the existing McDonald's restaurant and to a portion of the neighbourhood shopping centre. The modifications are limited to the area immediately around the McDonald's restaurant in the southwest corner of the subject site, as illustrated on Plans # 1.b, # 1.c, and # 2.
- Vehicle access to the existing McDonald's restaurant is via the existing southern-most signalized intersection entrance to the shopping centre. Drive-through and formal pedestrian access to the restaurant is from the existing surface parking area immediately north of the restaurant, with entry doors on the north and west building elevations.
- The proposed demolition of a portion of the building in the southwest corner, which currently contains a storage area and an unroofed enclosure housing a garbage compactor (58.78 m<sup>2</sup>/ 632.67 ft<sup>2</sup>), enables the existing single drive-through lane to be reconfigured to accommodate

a dual drive-through lane system complete with the relocation of the menu display and order speakers along the south side of the restaurant.

- The Applicant also proposes minor building additions to contain a new meeting room in the southwest corner and an enlarged presenter booth in the northeast corner of the restaurant (35.86 m<sup>2</sup>/385.98 ft<sup>2</sup>).
- The addition of a detached accessory building (30.45 m<sup>2</sup>/327.81 ft<sup>2</sup>) immediately southeast of the restaurant is proposed to contain the required garbage and recycling facilities for mixed container recycling, refundable container recycling, mixed paper recycling, food scraps, and cardboard recycling, as well as a garbage compactor and grease collection bin.
- Enhancements to the site and building are proposed to more clearly define and direct pedestrian circulation and improve accessibility on-site, including:
  - installation of a new concrete pathway, followed by pavement markings, leading from the public sidewalk along No. 2 Road to the northwest entry of the restaurant;
  - addition of pavement markings from the surface parking area immediately north of the restaurant to the main entry of the restaurant, as well as in the service area south of the restaurant to highlight the pedestrian route to be used by employees from the restaurant to the accessory building containing the garbage and recycling facilities;
  - relocation of an existing east-west pathway between the main entry to the McDonald's restaurant and the commercial retail building to the east;
  - addition of two pedestrian crossing signs across the drive-through lanes;
  - provision of new curb ramps at all pedestrian routes, complete with tactile strips for the visually impaired; and
  - the addition of an automatic door operation at the main entry to the restaurant.
- The proposal involves minor re-striping of the surface parking spaces, resulting in the relocation of two accessible parking spaces from the east of the building to the front (north) of the main entry to the restaurant. Although the re-striping results in the loss of four parking spaces in the area surrounding the McDonald's restaurant, the overall number of remaining shared parking spaces within the shopping centre greatly exceeds the minimum requirement in the Zoning Bylaw (i.e., 267 vehicle parking spaces are required and the resulting overall vehicle parking spaces on-site is proposed to be 284).
- Consistent with the City's Zoning Bylaw requirements for long-term bike storage, a bike locker for two bicycles is proposed to the west, near the side entry to the restaurant. The existing short-term bike storage for visitors is to remain near the northwest corner of the restaurant.
- The City's Transportation Department staff has reviewed the proposed dual drive-through lane system and the traffic impact assessment report prepared by the Applicant's consultant. Staff concur with the report findings that queue lengths and impact on site circulation will be reduced with the proposed configuration. Staff also concur with the measures aimed at mitigating any potential traffic/pedestrian safety concerns associated with the introduction of the dual drive-through lane system and the resulting site plan changes, including:

- Providing adequate space to accommodate merging vehicles at the end of the dual lane queuing system; and
- Adding pedestrian crossing signs and railings at vehicle/pedestrian conflict points.

### ***Landscape and Open Space Design***

- There are no trees proposed to be removed with this development proposal.
- The Applicant has provided a Certified Arborist's Report, which assesses and provides recommendations on the proposed landscaping within tree protection zones. The Report recommends undertaking the following protection measures under the project Arborist's supervision:
  - retaining the existing shrubs and groundcover along the west and south perimeter of the restaurant intact, with new plants hand-dug in strategic locations;
  - hand-digging the proposed wooden fence post holes; and
  - tree root pruning during asphalt removal along the south side of the restaurant, and installation of clear crushed gravel sub-base.
- The City's Tree Preservation Coordinator has reviewed the project Arborist's report and concurs with the report recommendations and mitigation measures to retain and protect all trees. To ensure survival of the trees to be retained, the Applicant is required to complete the following:
  - Install tree protection fencing to City standard around the driplines of protected trees in accordance with the Arborist's report and with the City's Tree Protection Information Bulletin (TREE-03), prior to the proposed demolition of portions of the existing restaurant and prior to reconfiguration of the drive-through lane system and surface parking area. Tree protection fencing must remain in place until construction and landscaping is completed.
  - Submit a Contract with a Certified Arborist for supervision of all works proposed in close proximity to tree protection zones. The contract must include the scope of work to be supervised, any protection measures required to ensure tree protection, as well as a provision for the Arborist to submit a post-construction impact assessment report to the City for review.
  - Submit a Survival Security in the amount of \$75,000 for all trees to be retained and protected. The Survival Security will be held until construction and landscaping on-site is completed, an acceptable Arborist's post-construction impact assessment report is received, and a landscaping inspection has been passed by City staff (upon request by the Applicant), after which a portion of the survival security may be retained for a 1-year maintenance period.

The Tree Management Plan is shown in Attachment 4.

- The Landscape Plan illustrates that a variety of shrubs are proposed to be installed to provide visual interest and enhance the public realm to the north, west, and south of the existing restaurant, as well as to screen vehicle lights in the drive-through lanes (e.g., Azalea, Boxwood, Dwarf Gold Threadleaf Sawara False Cypress, Golden Mockorange, and Diablo

Ninebark). The Landscape Plan indicates that an automated irrigation system is proposed for long-term maintenance of the landscaping.

- In addition to the existing chain link fence remaining on the common property line with the adjacent property to the south, a new solid wood privacy fence is proposed on-site along the south property line to provide screening of the drive-through lane system and the service area from the public realm and from the existing residential townhouse site south of the restaurant. The new solid wood fence also helps to mitigate noise transmission from the drive-through system operation and garbage compactor, as described previously in this report.

### ***Architectural Form and Character***

- The exterior of the existing McDonald's restaurant consists of a combination of a light brown and cream coloured stucco cladding with a stone veneer base, with red, white, and yellow accents. The existing sloped roof is combined with a slight parapet and a glazed atrium over the main entry area to the restaurant.
- The scope of work associated with this Development Permit application involves modernizing and improving the restaurant's façade treatment consistent with other McDonald's buildings, with the use of high-quality metal siding and panels of a contemporary colour palette, as well as the provision of continuous canopies and a simplified and slightly taller roof parapet, which provides improved street presence and screening of the roof top mechanical equipment. The proposed building design elements and materials reflect the character of recent renovations to the neighbourhood shopping centre that were undertaken in 2014.
- The proposed location of bold architectural details, such as the red metal clad vertical elements that extend above the rest of the roof parapet, serve to highlight the main and secondary entries to the restaurant.
- The proposed exterior renovations also result in improved building and façade articulation through the use of projections and recesses, as well as canopies and roof overhangs at key locations. The mix of cladding materials and colours, as well as the introduction of window openings along the west elevation of the building, also provides visual interest and assists with breaking the building down into individual components, all of which contributes to an improvement of the neighbourhood shopping centre and the public realm.

### ***Crime Prevention Through Environmental Design***

- Natural access control will be improved through the addition of well-defined pedestrian circulation routes, as well as through the installation of perimeter landscaping to eliminate an existing desire line that has been established at the southwest corner of the site from the sidewalk along No. 2 Road leading through the existing drive-through lane.
- Natural surveillance and territoriality are addressed by maintaining the existing storefront glazing along the north and west elevations of the building and by providing for enhanced activity generators in the form of increased outdoor customer seating.
- Existing exterior lighting within the surface parking area and the perimeter of the site are proposed to remain, and new soffit and wall-mounted lighting are proposed on the building.

Building-mounted security cameras are also proposed at the southwest and southeast corners of the restaurant for surveillance of the drive-through area.

- Enclosure of the existing outdoor garbage/recycling facilities behind the restaurant (south) into a detached building assists with ensuring the use of the space for its intended purpose and enables proper site maintenance to avoid unsightliness.

### ***Sustainability Features***

- The low impact re-use of the existing building is inherently a sustainable approach to modernizing the McDonald's restaurant and to accommodating intensified operations.
- In terms of exterior materials, portions of the existing stucco cladding will be retained, repaired as needed, and repainted, which reduces waste and consumption of new materials. The proposed horizontal metal and hardie-plank siding are designed for at least 40 years of durability, and the metal panels are made from high-quality recycled materials.
- All new interior and exterior lighting is proposed to be LED to reduce power consumption.
- The Applicant also proposes to install an Electric Vehicle (EV) charging station on-site for two cars, which is to be secured through a legal agreement registered on title prior to Development Permit issuance.

### ***Off-Site Improvements***

- The Applicant will be providing a cash-in-lieu contribution to the City in the amount of \$24,725 for upgrades to the existing traffic signal located immediately northwest of the McDonald's restaurant to improve traffic safety and pedestrian access to the site through the City's traffic signal annual capital program. The upgrades include the provision of a power backup system and audible pedestrian pushbuttons for the visually impaired.
- There are no upgrades to the existing water, storm, or sanitary systems required with this Development Permit application.

### **Conclusion**

The proposed reuse of the existing McDonald's restaurant by undertaking minor building additions, exterior renovations, and installation of a dual drive-through lane system meets applicable policies and Development Permit Guidelines in the City's Official Community Plan, and results in an overall improvement to the neighbourhood shopping centre and the public realm. On this basis, staff recommends that the Development Permit be endorsed, and that issuance by Council be recommended.

The development proposal complies with the requirements of the "Community Commercial (CC)" zone, with the exception of the zoning variance discussed.



The list of Development Permit Considerations is included in Attachment 5, which has been agreed to by the Applicant (signed concurrence on file).



Cynthia Lussier  
Planner 1

CL: rg

- Attachment 1: Location Map
- Attachment 2: Development Application Data Sheet
- Attachment 3: Partial Site Survey, Existing Context Images
- Attachment 4: Tree Management Plan
- Attachment 5: Development Permit Considerations





**DP 17-775868**

**Attachment 2**

Address: 8140 No. 2 Road

Applicant: McDonald's Restaurant of Canada Ltd. Owner: Conway Richmond Ltd

Planning Area(s): Blundell

	Existing	Proposed
<b>Site Area:</b>	20,228 m <sup>2</sup>	No change
<b>Land Uses:</b>	Neighbourhood shopping centre, including the McDonald's restaurant with drive-through	No change
<b>OCP Designation:</b>	Neighbourhood Service Centre	No change
<b>Zoning:</b>	Community Commercial (CC)	No change

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	0.50	0.30	None permitted
Floor Area:	10,114 m <sup>2</sup> (108,866 ft <sup>2</sup> )	Overall site: 6,045.59 m <sup>2</sup> (65,075 ft <sup>2</sup> ) McDonald's: 516.33 m <sup>2</sup> + 30.45 m <sup>2</sup> = 546.78 m <sup>2</sup> (5,886 ft <sup>2</sup> )	
Lot Coverage:	Max. 35%	30%	None
Setback – Front Yard:	Min. 3.0 m	5.11 m	None
Setback – Interior Side Yard:	Min. 6.0 m	North Side Yard – N/A South Side Yard – 2.0 m	Request to reduce the interior (south) side yard setback from 6.0 m to 2.0 m for garb./rec. bldg
Setback – Rear Yard:	Min. 6.0 m	N/A	None
Building Height (m):	Max. 9.0 m	Restaurant Bldg. – 7.026 m Garb./Rec. Bldg. – 4.267 m	None
Min. Lot Size:	N/A	N/A	None
On-site Parking Spaces:	Overall site – 267 McDonald's – 40	Overall site – 284 McDonald's – 36	None
On-site Parking Spaces – Accessible:	Overall site – 6 McDonald's – 2	Overall site – 6 McDonald's – 2	None

TOPOGRAPHIC PLAN OF A PORTION OF PARCEL A,  
SECTION 19, BLOCK 4 NORTH, RANGE 6 WEST,  
NEW WESTMINSTER DISTRICT, REFERENCE PLAN 72706

CIVIC ADDRESS: 8140 No. 2 ROAD  
RICHMOND, BC  
PID: 004-947-614



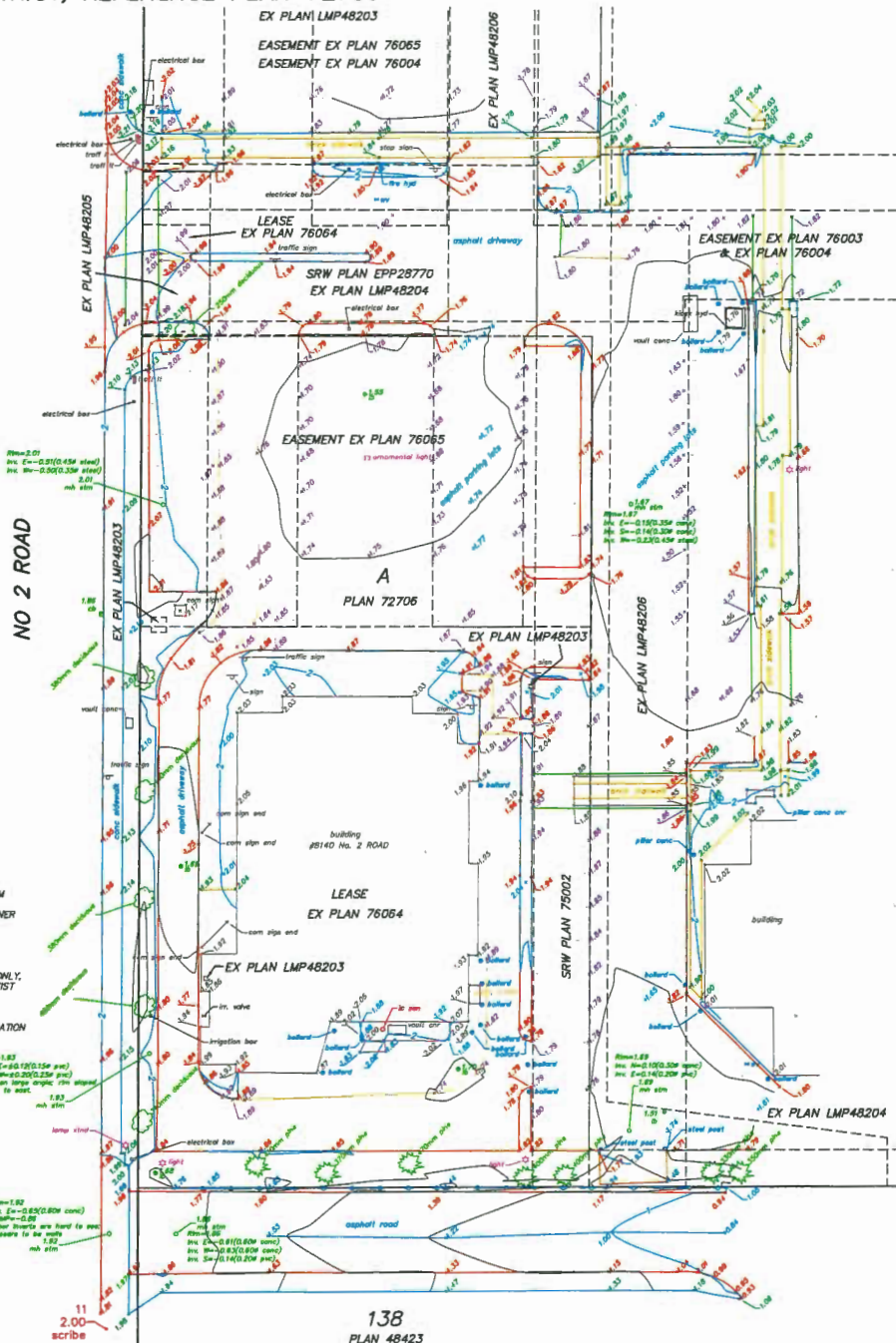
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PLAN 48423

**NOTES :**

- ALL ELEVATIONS AND DISTANCES SHOWN ARE IN METRES.
- LEGAL BOUNDARIES ARE BASED ON LAND TITLE OFFICE RECORDS AND FIELD SURVEY.
- ELEVATIONS ARE TO THE CITY OF RICHMOND HPN DATUM BENCH MARK SET. SORME #11 LOCATED SIDE WALK SOUTH OF THE SW CORNER OF THE SITE. ELEVATION = 2.00 METRES, GEODETIC DATUM.
- CONTOUR INTERVAL = 0.25 METRES.
- THIS PLAN SHOWS THE LOCATION OF VISIBLE FEATURES ONLY, AND DOES NOT INDICATE BURIED SERVICES THAT MAY EXIST ON OR AROUND THE SUBJECT SITE.
- TREE SPECIES AND DIMENSIONS TO BE CONFIRMED BY A QUALIFIED ARBORIST. TREE SYMBOLS ARE NOT AN INDICATION OF DRIP LINE LOCATION UNLESS SPECIFICALLY LABELLED.



THE CERTIFICATE OF TITLE MAY BE SUBJECT TO THE FOLLOWING CHARGES NOT SHOWN ON PLAN:

- EASEMENT AA202635 INTER ALIA APPURTENANT TO LEASE AA202630 (SEE AA202630)
- RESTRICTIVE COVENANT AA202638 INTER ALIA APPURTENANT TO LEASE AA202630 (SEE AA202630)
- RESTRICTIVE COVENANT BP293675 INTER ALIA APPURTENANT TO LEASE AA202630
- LEASE AB58863 IMASCO R.L. INC. INCORPORATION NO. 17848
- LEASE B463849 CANADA TRUSTED MORTGAGE COMPANY INCORPORATION NO. A24085 INTER ALIA PLAN LMP21989
- LEASE BR326583 INTER ALIA MODIFICATION AND EXTENSION OF B463849 PART SHOWN HATCHED ON PLAN LMP52082
- MODIFICATION B91983688 INTER ALIA RENEWAL AND MODIFICATION OF B463849
- COVENANT CA3109790 CITY OF RICHMOND
- COVENANT CA3109794 CITY OF RICHMOND

**MURRAY & ASSOCIATES**  
PROFESSIONAL LAND SURVEYORS  
201-12448 82nd AVENUE  
SURREY, BC V3W 3E9  
(604) 597-9189

FIELD SURVEY COMPLETED MAY 8, 2018  
FILE 18-564topo C30

REV	DATE	DESCRIPTION
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McDonald's RESTAURANTS OF CANADA LIMITED  
4400 STILL CREEK DRIVE, BURNABY, B.C. V5C 6C6

LOVICK SCOTT ARCHITECTS  
3707 1ST AVENUE  
RICHMOND, BC V6X 1C8  
604.274.3700  
WWW.LOVICKSCOTT.COM

MEMBER OF THE AEC: AIA, AIAA, AIA & INTBA  
REGISTERED ARCHITECT

3707 1ST AVENUE  
RICHMOND, BC V6X 1C8  
604.274.3700  
WWW.LOVICKSCOTT.COM

MEMBER OF THE AEC: AIA, AIAA, AIA & INTBA  
REGISTERED ARCHITECT

McDonald's Restaurant  
840 No 2 Road  
RICHMOND, BC

CONTEXT PHOTOS  
PLAN # 4

DATE: 16-07-2016  
SCALE: A500  
DATE: MARCH 2016



NORTH EAST VIEW (EXISTING)  
SCALE: NOT TO SCALE



NORTH WEST VIEW (EXISTING)  
SCALE: NOT TO SCALE



SOUTH WEST VIEW (EXISTING)  
SCALE: NOT TO SCALE

DP 17-1715866

BLUNDELL NO 2 - 16-025





## Development Permit Considerations

Development Applications Department  
6911 No. 3 Road, Richmond, BC V6Y 2C1

**Address:** 8140 No. 2 Road

**File No.:** DP 17-775868

### **Prior to issuance of the Development Permit, the Applicant is required to complete the following:**

1. Receipt of a Letter-of-Credit (or other format acceptable to the City) for the proposed landscaping in the amount of \$13,450.25 (based on the cost estimate provided by a CSLA registered Landscape Architect, including all materials, installation, and a 10% contingency).
2. Submission of a Contract with a Certified Arborist for supervision of all works to be conducted in close proximity to tree protection zone of the trees to be retained, as illustrated on the Tree Management Plan included in Attachment 4 to the staff report to the Development Permit Panel. The Contract must include the scope of work to be supervised, including: any protection measures required to ensure tree protection, the proposed number of site monitoring inspections, and a provision for the Arborist to submit a post-construction impact assessment report to the City for review.
3. Submission of a Survival Security to the City in the amount of \$75,000 for all trees to be retained and protected. The Survival Security will be held until construction and landscaping on-site is completed, an acceptable Arborist's post-construction impact assessment report is received, and a landscaping inspection has been passed by City Staff (upon request by the Applicant). If it is determined that the trees have not been negatively impacted by the proposed construction, the City may release a portion of the Security (e.g., 50-90%), with the remaining portion held for a 1-year maintenance period (e.g., 10-50%). If it is determined that the trees have been negatively impacted by the proposed construction, the Survival Security may, at the discretion of the City, be converted to a Landscaping Security to be held until the Applicant plants replacement trees on-site (at a 2:1 ratio), or may be used as a contribution to the City's Tree Compensation Fund for the planting of trees on City-owned property.
4. City acceptance of the Applicant's contribution in the amount of \$24,725 for traffic signal upgrades to include a power backup system and the addition of audible pedestrian pushbuttons for the visually impaired.
5. Registration of a legal agreement on title to secure the proposed Electric Vehicle Charging Station for two cars on-site.
6. Registration of a legal agreement on title to ensure that the Applicant addresses any noise-related concerns generated after the proposed construction is completed, and to indicate that the Applicant is fully responsible for determining noise bylaw compliance, including, but not limited to, engaging an acoustical professional, and for implementing any necessary measures to achieve noise bylaw compliance.

### **Prior to any construction activities, including building demolition, occurring on-site, the Applicant is required to complete the following:**

- Installation of tree protection fencing to City standard around the driplines of all trees to be retained as part of the development in accordance with the Arborist's report and with the City's Tree Protection Information Bulletin (TREE-03). Tree protection must remain in place until the proposed construction and landscaping is completed.

### **Prior to Building Permit\* issuance, the Applicant is required to complete the following:**

#### *Water Works*

- Using the OCP Model, there is 372.0 L/s of water available at a 20 psi residual at the No.2 Road frontage and 225.0 L/s at a 20 psi residual at the lane south of 8140 No 2 Road. Based on the proposed development, the subject site requires a minimum fire flow of 200 L/s.

- The Applicant is required to submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations at Building Permit stage to confirm the development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and must be based on the proposed Building Permit plans at Building Permit stage.

#### *Storm Sewer Works*

- Based on the information provided by the Applicant via email in May and August of 2018, confirming that all three of the existing storm service connections are currently in use by the subject site (STCN34569, STCN34653, & SLAT82046), none of the existing service connections need to be cut, capped, or removed.

#### *Frontage Improvements*

- The Applicant is required to coordinate with BC Hydro, Telus and other private communication service providers:
  - when relocating/modifying any of the existing power poles and/or guy wires within the property frontages;
  - to determine if above ground structures are required and coordinate their locations (e.g. Vista, PMT, LPT, Shaw cabinets, Telus Kiosks, etc.). These should be located on-site.

#### *General Items*

- The Applicant is required to enter into, if required, additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Submission of a Construction Traffic and Parking Management Plan to the satisfaction of the City's Transportation Department (<http://www.richmond.ca/services/ttp/special.htm>). The Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
- Obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.

#### **Notes:**

- \* This requires a separate application.

- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.



- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

[signed concurrence on file]

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Signed

---

Date



No. DP 17-775868

To the Holder: McDonald's Restaurant of Canada Ltd.

Property Address: Building at 8140 No. 2 Road  
(on property at 8120 No. 2 Road)

Address: C/O Lovick Scott Architects  
3707 1<sup>st</sup> Avenue  
Burnaby BC V5C 3V6

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
  - a) Reduce the minimum interior (south) side yard from 6.0 m to 2.0 m for a detached accessory building containing garbage and recycling facilities.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1.a to #3.f attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$13,450.25 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

**Development Permit**  
**No. DP 17-775868**

To the Holder: McDonald's Restaurant of Canada Ltd.

Property Address: Building at 8140 No. 2 Road  
(on property at 8120 No. 2 Road)

Address: C/O Lovick Scott Architects  
3707 1st Avenue  
Burnaby BC V5C 3V6

---

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO. ISSUED BY THE COUNCIL THE  
DAY OF , .

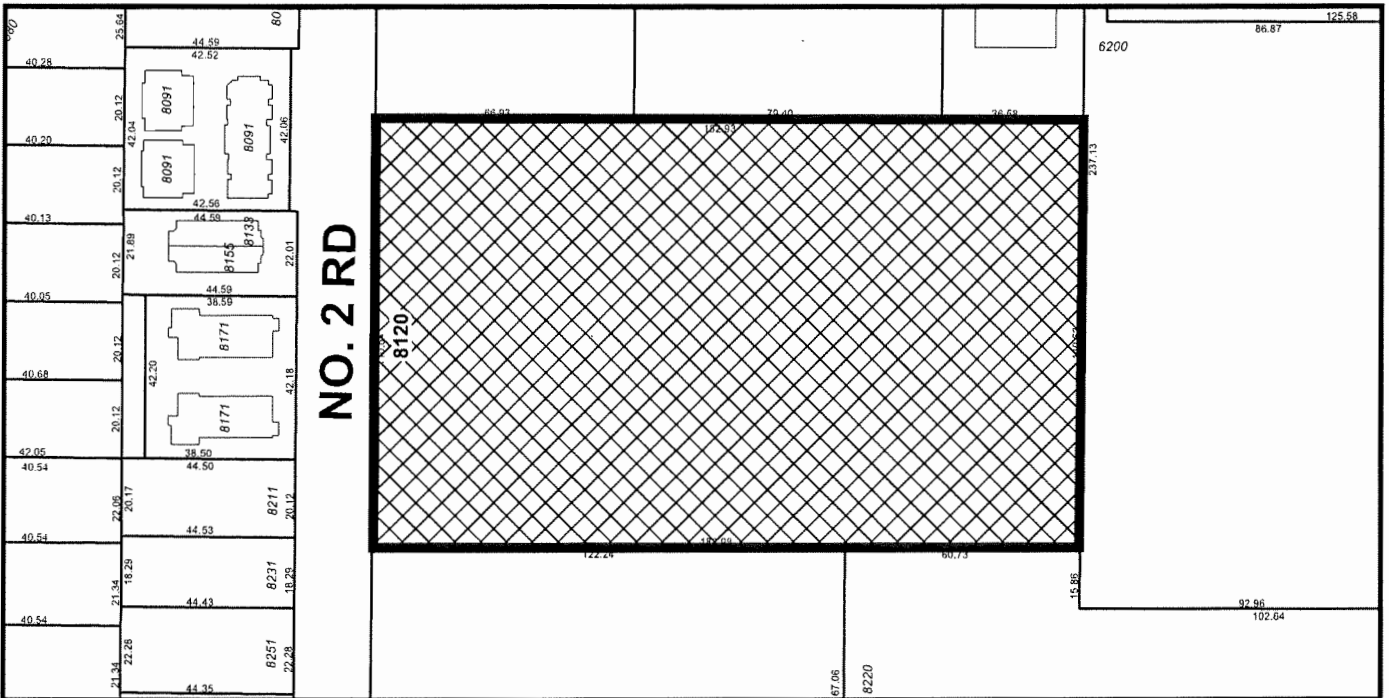
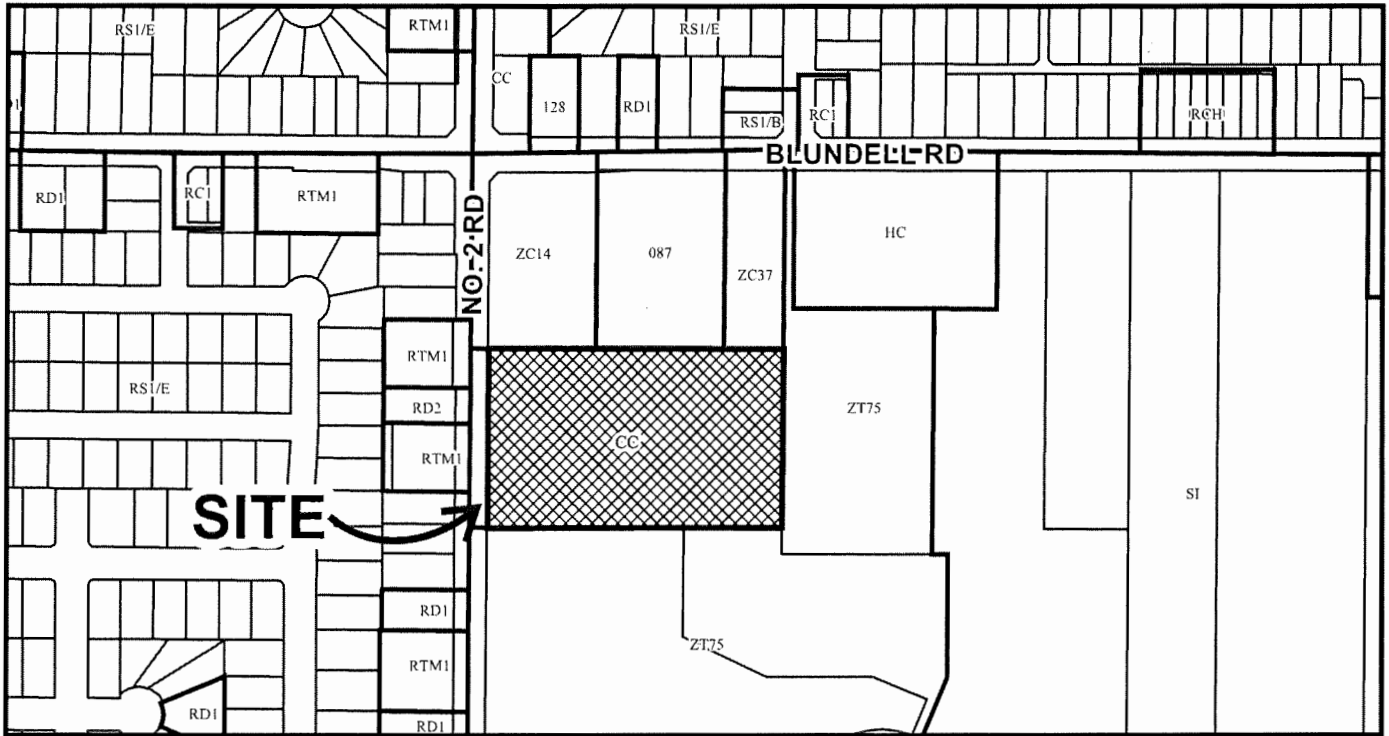
DELIVERED THIS DAY OF , .

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MAYOR



# City of Richmond



## DP 17-775868 SCHEDULE "A"

Original Date: 07/12/17

Revision Date:

Note: Dimensions are in METRES

# 10430 Blundell

Parcel A, Lot 161, Block 4N, Plan 72706  
8140 No.2 Road, Richmond, bc



## PROJECT TEAM:

ARCHITECTURAL	CIVIL & LANDSCAPE	ACOUSTICS
LOVICK SCOTT ARCHITECTS LTD. 3707 1st AVENUE BURNABY, B.C., V5C 3V6 Tel.: 604.298.3700 ext.108 Contact: Reilen Reyes Email: rreyes@lovickscott.com	IBI GROUP SUITE 308-30 EGLINTON AVENUE WEST MISSISSAUGA, ONTARIO L5R 3E7 (905) 890-3550 Contact: Tony Withall Email: tony.withall@ibigroup.com	RWDI 280 - 1385 WEST 8TH AVENUE, VANCOUVER, BC V6H 3V9 Tel.: 604.730.5688 Email: solution@rwdi.com

## DRAWING LIST:

- A0.0 COVER SHEET - PLAN #1
- A0.1 GENERAL NOTES, CODE ANALYSIS & SPECIFICATIONS - PLAN #2
- A0.2 SIGNAGE SCHEDULE - PLAN #3
- A0.00 CONTEXT PHOTOS - PLAN #4
- AS0.1 STREETScape - PLAN #5
- AS0.2 PROPOSED GARbAGE ENCLOSURE PLAN, ELEVATIONS, SECTIONS - PLAN #6
- SPT SITE PLAN - PLAN #7
- LPT LANDSCAPE PLAN - PLAN #8
- D1 LIGHTING PLAN - PLAN #9
- A1.0 EXISTING / DEMO FLOOR PLAN - PLAN #10
- A1.1 PROPOSED FLOOR PLAN - PLAN #11
- A1.5 EXISTING / DEMO ROOF PLAN - PLAN #12
- A1.6 PROPOSED ROOF PLAN - PLAN #13
- A2.0 EXISTING & PROPOSED NORTH ELEVATIONS - PLAN #14
- A2.1 EXISTING & PROPOSED WEST ELEVATIONS - PLAN #15
- A2.2 EXISTING & PROPOSED SOUTH ELEVATIONS - PLAN #16
- A2.3 EXISTING & PROPOSED EAST ELEVATIONS - PLAN #18
- A2.4 COLOURED ELEVATIONS - PLAN #19
- A2.5 PERSPECTIVES - PLAN #20
- A2.6 PERSPECTIVES - PLAN #21
- A2.7 PERSPECTIVES - PLAN #21
- A3.0 BUILDING SECTIONS - PLAN #22

## NOISE & ACOUSTIC

- SEE REPORT

REV	DATE	DESCRIPTION
NOV/5/16		RE-ISSUED FOR D.P.
LIVE/4/17		ISSUED FOR C.P.
APR/1/16		ISSUED FOR M.D.'S REVIEW

CONSULTANT SEAL

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DIMENSIONS SHALL NOT BE SCALE.



3707 1ST AVENUE  
BURNABY, BC V5C 3V6  
ADMIN@LOVICKSCOTT.COM  
604.298.3700 WWW.LOVICKSCOTT.COM  
MEMBER OF THE AIBC, AIA, SAA, MAA & NWTAA  
ARCHITECTURAL SEAL

CONTRACTOR LOVICK SCOTT ARCHITECTS LTD. THIS MATERIAL IS AN INSTRUMENT OF SERVICE AND REMAINS AT ALL TIMES THE EXCLUSIVE PROPERTY OF LOVICK SCOTT ARCHITECTS LTD. REPRODUCTION OR RE-USE OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF LOVICK SCOTT ARCHITECTS LTD. IS PROHIBITED. THIS DRAWING IS FOR USE ON THE DESIGNATED PROJECT ONLY.

DRAWN BY APPROVED

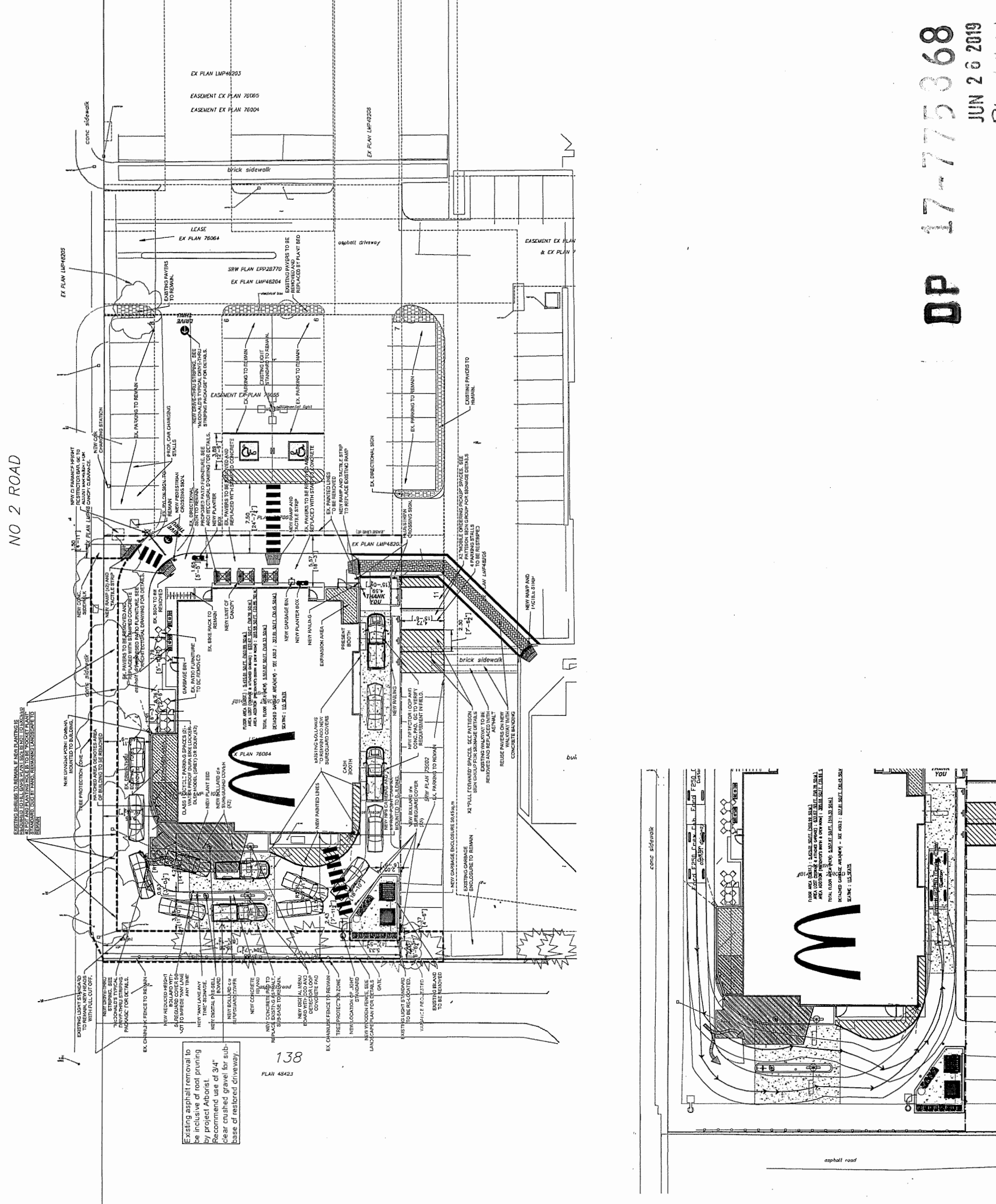
PROJECT  
**McDonald's Restaurant**  
8140 No.2 Road,  
RICHMOND, BC

PROJECT NUMBER	COVER SHEET
DRAWING NUMBER	PLAN # 1
PROJECT NUMBER	16-025
DRAWING NUMBER	A0.0
SCALE	1/4" = 1'-0"
DATE	MARCH 2016
REVISION	

DP 17-775868

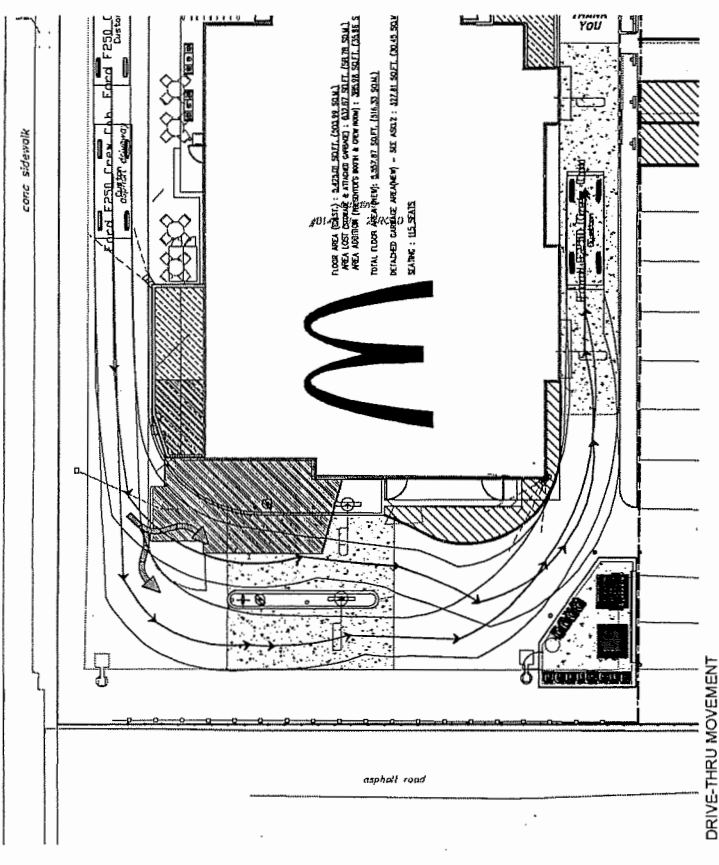
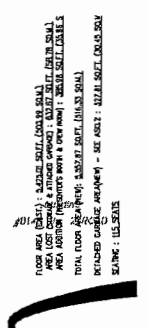
JUN 26 2019  
PLAN # 1.0  
DP 17-775868

NO 2 ROAD

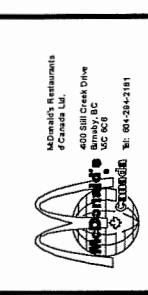


138  
PLAN 48423

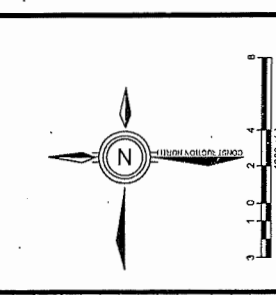
Existing asphalt removal to be inclusive of root pruning by project Arborist. Recommend use of 3/4" clear crushed gravel for sub-base of restored driveway.



**DP**  
**17-775868**  
**JUN 26 2019**  
**PLAN # 1.6**



CLIENT  
McDonald's Restaurants  
6455 Hill Creek Drive  
Richmond, BC V6V 2W1  
Tel: 604-274-2181



**DRAWING ISSUE RECORD**

NO.	DATE	BY	DESCRIPTION
1	2018-05-18	JM	ISSUE FOR PERMIT REVIEW
2	2019-06-13	JM	REVISED FOR PERMIT REVIEW

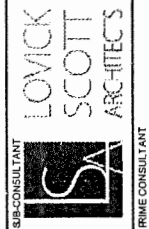
**DETAILS OF DEVELOPMENT**

DATA	REQUIRED	PROVIDED
ZONING	CC - COMMUNITY COMMERCIAL	
FY	3m min	511 m
RY	6m min	NA
SY (NORTH)	6m min	NA
SY (SOUTH)	6m min	20 m
SETBACKS (GARAGE ENCLOSURE)		(VARIANCE)
LOT AREA	20,228 sq.m	8,589 m
MAX. FLOOR AREA RATIO	EX) FAR 0.30 PRO) FAR 0.30 6,038.05m <sup>2</sup> ± 7.53m <sup>2</sup> 20,228m <sup>2</sup> (site area) = 0.2955 area) / 20,228m <sup>2</sup> (site area) = 0.2989	
GARAGE ENCLOSURE AREA	30,455sq.m	9,633sq.m
BUILDING AREA		7028m
BUILDING HEIGHT		80m
GARAGE ENCLOSURE HEIGHT		426m
SEATS		115
MAX. LOT COVERAGE	5%	EX) 30% PRO) 30%
#of LOADING SPACES	1	ON-SITE (SHARED)
GARAGE ENCLOSURE		1
LANDSCAPE AREA		
IMPERVIOUS AREA		8
UT STACKING		6
ON-SITE PARKING SPACES:		EX) (PRO)
MCDONALD'S AREA PARKING	27	28
CLASS 1	2	4
CLASS 2	2	8
TOTAL		2

**NOTES**

- PARKING REQUIREMENTS  
7 SPACES PER 100 SQ.M UP TO 350 SQ.M (3,673.57 SQ.FT.) GROSS LEASABLE AREA. 10 SPACES PER 100 SQ.M FOR EACH ADDITIONAL 100 SQ.M (1,076.39 SQ.FT.) GROSS LEASABLE AREA.  
5577.2 - 3,673.7  
1868.5  
1668.9  
= 6 ADDITIONAL SPACES  
TOTAL = 22 SPACES
- BICYCLE PARKING CALCULATION:  
"CLASS 1": 0.27 SPACES PER 100sq.m OF G.L.F.A. GREATER THAN 150sq.m  
516.33sq.m / 100sq.m = 5.1633  
4.193 X 0.27 = 1.13 (2) SPACES  
"CLASS 2": 0.27 SPACES PER 100sq.m OF G.L.F.A. GREATER THAN 100sq.m  
516.33sq.m / 100sq.m = 5.1633  
4.193 X 0.27 = 1.13 (2) SPACES
- ALL SITE FEATURES ARE EXISTING UNLESS OTHERWISE NOTED.
- THESE DRAWINGS ARE CONTROL DRAWINGS. ANY REVISIONS TO BE MADE BY THE ARCHITECT SHALL BE NOTED BY A REVISION SYMBOL IN THE MARGINS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND BE RESPONSIBLE FOR SAME.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF LOCAL CODES.
- ALL PLYCON BASES, DIRECTIONAL SIGNS, ROAD SIGNS AND DTI MENU BOARD COMPONENTS ARE TO BE REPAINTED. PAINT SYSTEM TO BE CEYLANHANE 975 - ICCMA. (7P2) - SURFACE TO BE PREPARED PRIOR TO PAINTING AS PER ICI RECOMMENDATIONS.
- EXISTING ASPHALT PARKING LOT IS TO BE REPAIRED, RESEALED AND RESTRIPTED AS SHOWN.

LEGAL DESCRIPTION  
SECTION 19 BLOCK N PLAN 56172  
SECTION 19, RANGE BW, N.W.D. EXCEPT PLAN LMP48584



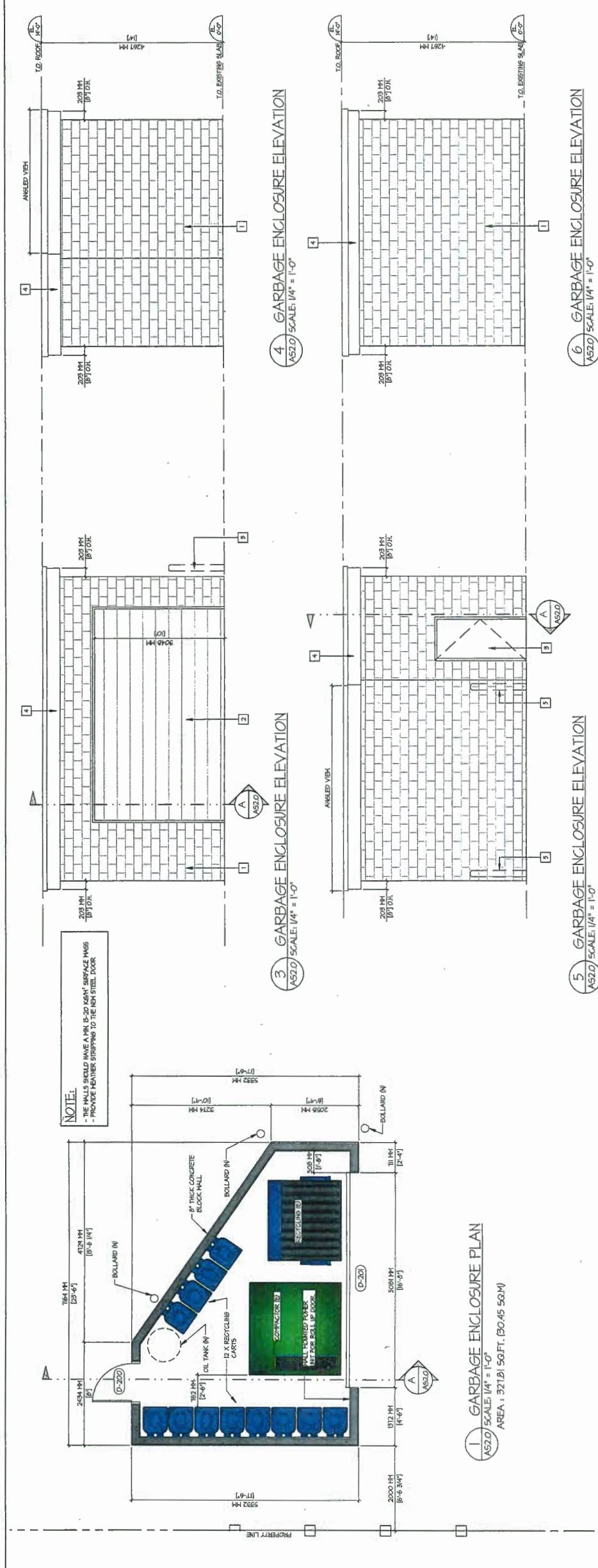
SUB CONSULTANT  
IBI GROUP  
200 East Weyburn Street  
Richmond, BC V6V 2W1  
Tel: 604-274-5400  
Fax: 604-274-5411

PROJECT  
**McDONALD'S**  
**10430-NO 2 & BLUNDELL**  
8140 NUMBER 2 ROAD, RICHMOND, B.C.

PROJECT NO: 3987  
DRAWN BY: SCHALLMERS  
CHECKED BY: TWITHALL  
SCALE: 1:200  
DATE: 2019-05-06

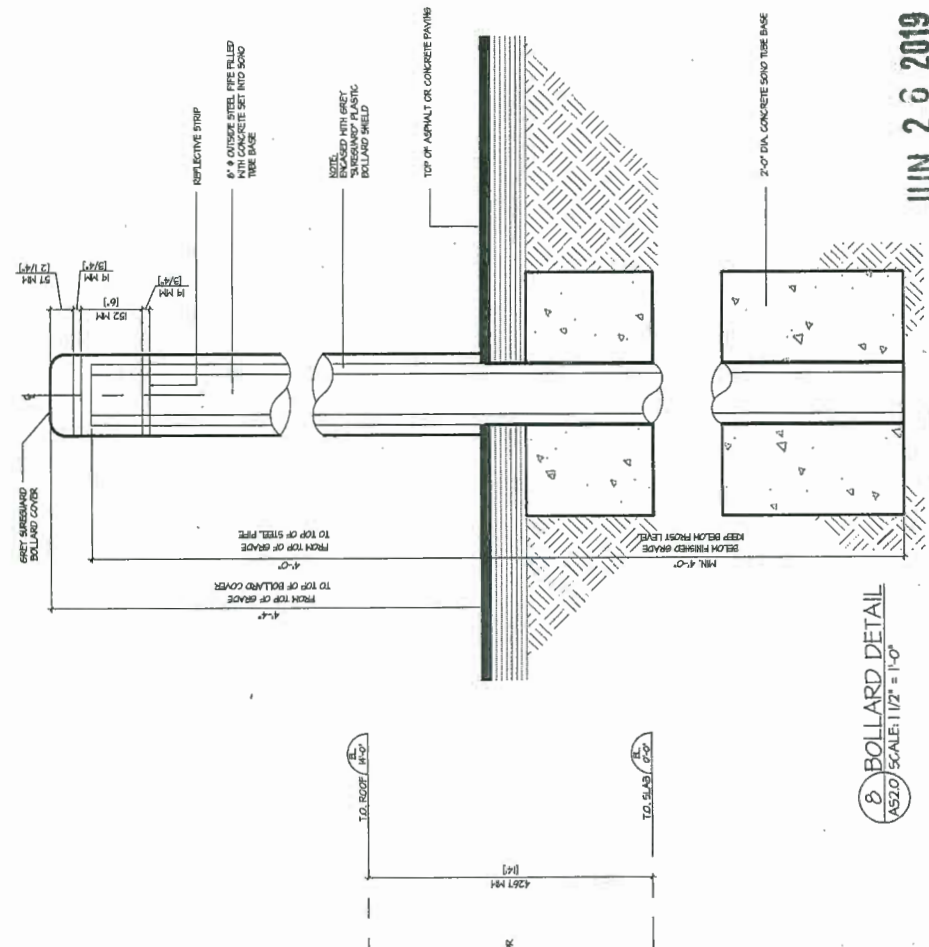
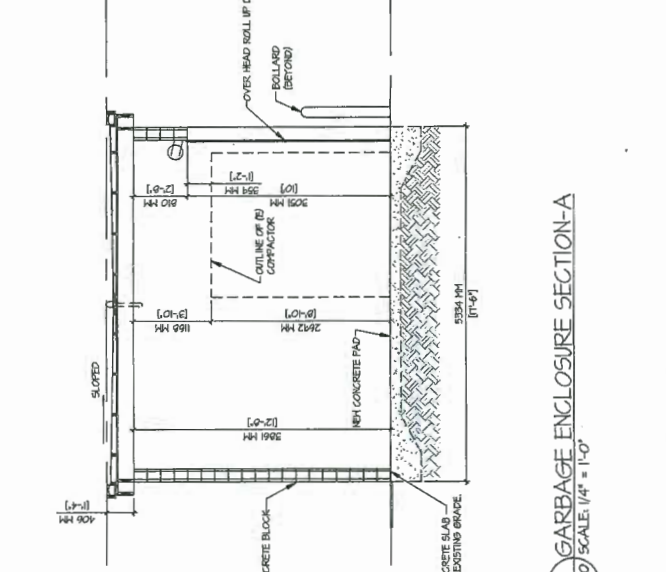
SHEET TITLE  
**SITE PLAN**

MCDONALD'S RESTAURANTS OF CANADA LIMITED, 4400 STILL CREEK DRIVE, BURNABY, B.C. V5C 6G6		
REV	DATE	DESCRIPTION
JAN/09		RE-ISSUED FOR CP
MAR/20/16		RE-ISSUED FOR DP
NOV/20/16		RE-ISSUED FOR DP
JAN/17/17		ISSUED FOR DP



MATERIAL	COLOUR
1 CONCRETE BLOCK WALL	STAINED MCKEAN - RESIST GREY
2 OVERHEAD STEEL DOOR	RAL 7040 - POWDER COAT FINISH
3 STEEL DOORS & FRAMES	PAINTED DULUX PAINT TAD 40
4 PRE-FINISHED METAL GAP FLASHING	CHARCOAL (OC 1072)
5 BOLLARD	SEE DETAIL

- ALL MATERIALS ARE NEW UNLESS NOTED  
 - REFER TO EXTERIOR FINISHES SPECIFICATIONS ON DRWG. A01  
 - \* ALL MATERIALS FINISHING TO BE 2456A



3707 1ST AVENUE  
 BURNABY, BC V5C 3V6  
 ADMIN@LOVICKSCOTT.COM  
 604 298 3700 WWW.LOVICKSCOTT.COM  
 MEMBER OF THE AIBC, A.A.A., S.A.A., M.A.A.  
 ARCHITECTURE INC.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DIMENSIONS SHALL NOT BE SCALE.  
 ARCHITECT

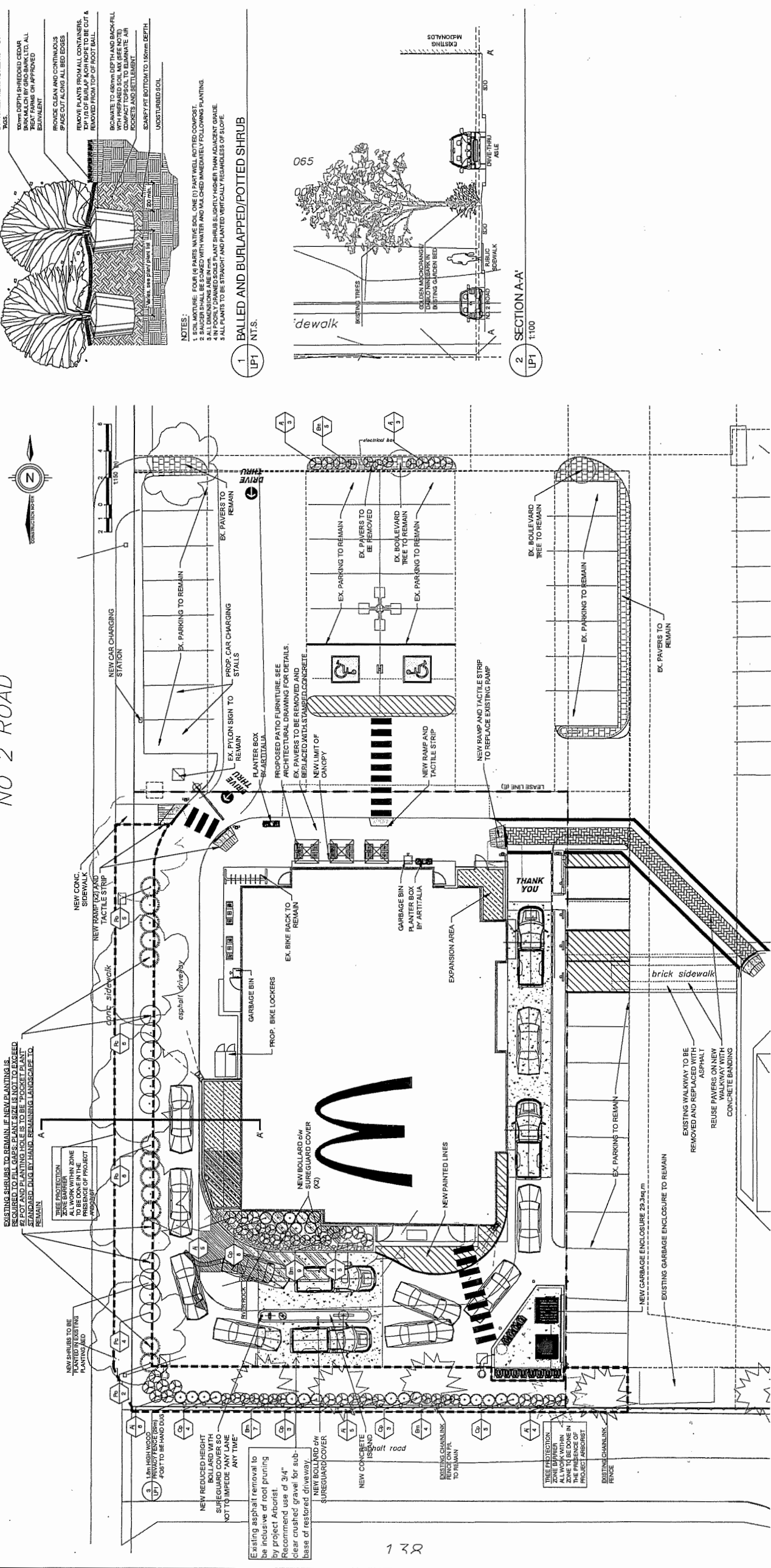
AD/PT  
 McDonald's Restaurant  
 8140 No.2 Road,  
 RICHMOND, BC  
 PROPOSED GARBAGE ENCLOSURE  
 ELEVATIONS / PLAN / SECTION  
 PLAN # 6  
 PROJECT NUMBER: 16-025  
 DRAWING NUMBER: A50.2  
 SCALE: AS NOTED  
 DATE: OCTOBER 2016  
 REVISION: NOVEMBER 2016  
 BLUNDELL NO.2-16-025

JUN 20 2019

DP 17-775868

PLAN # 1.c

NO 2 ROAD

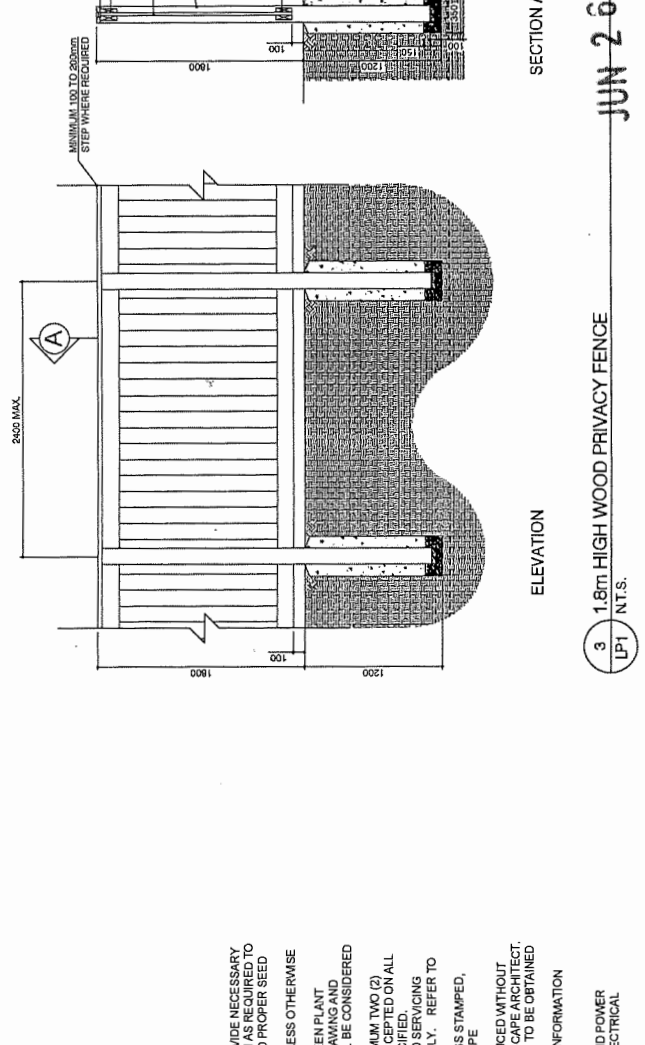


**McDonald's PLANT LIST**

KEY	BOTANICAL NAME	COMMON NAME	CAL. SIZE (m)	COND	MATURE WIDTH (m)	MATURE SPREAD (m)	COCKING	QNTY.
A1	Zizia aurea	Blue Top Grass	60cm	#1 CONT.	1.2	1.0	0.9	31
Bn	Phlox paniculata	Flowering Phlox	60cm	#1 CONT.	1.2	1.0	0.8	23
Cn	Phlox paniculata	Flowering Phlox	60cm	#1 CONT.	1.8	1.8	1.0	25
Dn	Phlox paniculata	Flowering Phlox	60cm	#1 CONT.	1.8	1.8	1.0	10
E	Phlox paniculata	Flowering Phlox	60cm	#1 CONT.	2.1	2.1	1.5	13

NOTE: ANY SPECIES SUBSTITUTIONS MUST BE TO THE SATISFACTION OF THE MUNICIPALITY.

- LANDSCAPE NOTES:**
- INSTALL ALL PLANT MATERIAL IN ACCORDANCE WITH THE CANADIAN STANDARDS FOR NURSERY STOCK LATEST EDITION. INSTALL PLANT MATERIAL ACCORDING TO DETAILS SHOWN.
  - SUPPLY AND PLACE TOP SOIL IN ACCORDANCE WITH DBSS 2013 751 TO A MINIMUM DEPTH OF 150mm UNLESS OTHERWISE SPECIFIED.
  - SUPPLY AND PLACE SOD IN ACCORDANCE WITH DBSS 2013 751 UNLESS OTHERWISE SPECIFIED.
  - FOR LIGHTING INFORMATION AND POWER DISTRIBUTION REFER TO THE ELECTRICAL CONSULTANT'S DRAWINGS.
  - ALL 6:1 OR GREATER SLOPES TO BE SEEDED WITH EROSION CONTROL PROTECTION AS REQUIRED TO ENSURE SOIL STABILIZATION AND PROPER SEED GERMINATION.
  - ALL DIMENSIONS IN METRES UNLESS OTHERWISE SPECIFIED.
  - IF DISCREPANCIES ARISE BETWEEN PLANT MATERIAL COUNT SHOWN ON DRAWING AND PLANT LIST, THE DRAWING SHALL BE CONSIDERED CORRECT.
  - CONTRACTOR TO PROVIDE MINIMUM TWO (2) VERTICAL BARS PER METRE TO BE CAST ON ALL WORK UNLESS OTHERWISE SPECIFIED.
  - ANY SITE PLAN OR GRADING AND SERVING DRAWING OR TO ACCOMMODATE MATURE SIZE OF PLANT MATERIAL.
  - ALL SUPPORT SYSTEMS MUST BE REMOVED BY THE CONTRACTOR AT TIME OF FINAL COMPLETION OF THIS WORK.
  - CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF UTILITY LOCATIONS.
  - EXACT LOCATIONS OF PLANT MATERIAL TO BE INSTALLED SHALL BE SHOWN ON DRAWING WITH SUCH AS FENCED OFF, METERS, UTILITIES, RAIN WATER LEADERS, DRIVEWAYS, LIGHT STANDARDS, ETC.
  - ALL PLANT MATERIAL LOCATIONS TO BE STAKED AND MARKED OUT AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.



SECTION A

1.8m HIGH WOOD PRIVACY FENCE

LP1 N.T.S.

- NOTES**
- ALL MATERIALS, COMPONENTS AND WORKMANSHIP TO BE TO THE SATISFACTION OF THE MUNICIPALITY.
  - FENCES CONSTRUCTED ON BERMS:
    - EXTEND FOOTINGS 1500MM INTO UNDISTURBED SUB-GRADE.
    - ERECT FENCE ALONG CENTRE-LINE OF BERM.
  - ALL WOOD TO BE PRESSURE TREATED SELECTED MAINLY FOR GROUND CONTACT. ALL WOOD TO BE TYPED IN CONFORMANCE TO CSA STANDARD C16.
  - DRIVE ALL FASTENER HEADS BELOW SURFACE OF WOOD. USE SUFFICIENT SIZE AND QUANTITY OF FASTENERS TO ENSURE A STABLE SECURE STRUCTURE.
  - STEP FENCE PANELS MINIMUM OF 100-200mm AT POSTS AS REQUIRED FOR CERTAIN GRADE CONDITIONS.
  - CONTRACTOR TO PROVIDE APPROVAL REQUIRED.
  - ALL LUMBER SIZES ARE ACTUAL SIZES RATHER THAN NOMINAL SIZES.
  - CONCRETE TO HAVE MINIMUM COMPRESSIVE STRENGTH OF 20MPa.
  - SEE LANDSCAPE PLAN FOR FENCE LOCATION.
  - ENSURE NO GAPS BETWEEN VERTICAL FENCE BOARDS.
- GENERAL LAYOUT NOTES:**
- ALL FENCES ADJACENT TO ROAD ALLOWANCES AND WALKWAYS TO BE ERECTED 0.15M ONTO PRIVATE PROPERTY, ROAD ALLOWANCE OR EASEMENT.
  - FOOTING AND EXCAVATION TO BE ENTIRELY ON PRIVATE PROPERTY.

**LOVICK SCOTT ARCHITECTS**

IBI GROUP

10430 - NO 2 & BLUNDELL

McDONALD'S RESTAURANTS OF CANADA LIMITED

8140 NUMBER 2 ROAD RICHMOND, BC

LANDSCAPE PLAN PLAN #6

DESIGNED BY: [Signature]

DATE: [Date]

**KEY MAP - N.T.S.**

**NOTES:**

- SOIL MATURE: FOUR (4) PARTS NATIVE SOIL ONE (1) PART WELL ROTTED COMPOST.
- SAWDER SHALL BE SAVED WITH WATER AND WASHED IMMEDIATELY FOLLOWING PLANTING.
- ALL PLANTS TO BE STAKED AND PLANTED VERTICALLY REGARDLESS OF SLOPE.
- ALL PLANTS TO BE STAKED AND PLANTED VERTICALLY REGARDLESS OF SLOPE.

**1 BALLED AND BURLAPPED/POTTED SHRUB**

**2 SECTION A-A'**

DP 17-775868 PLAN #2

JUN 26 2019

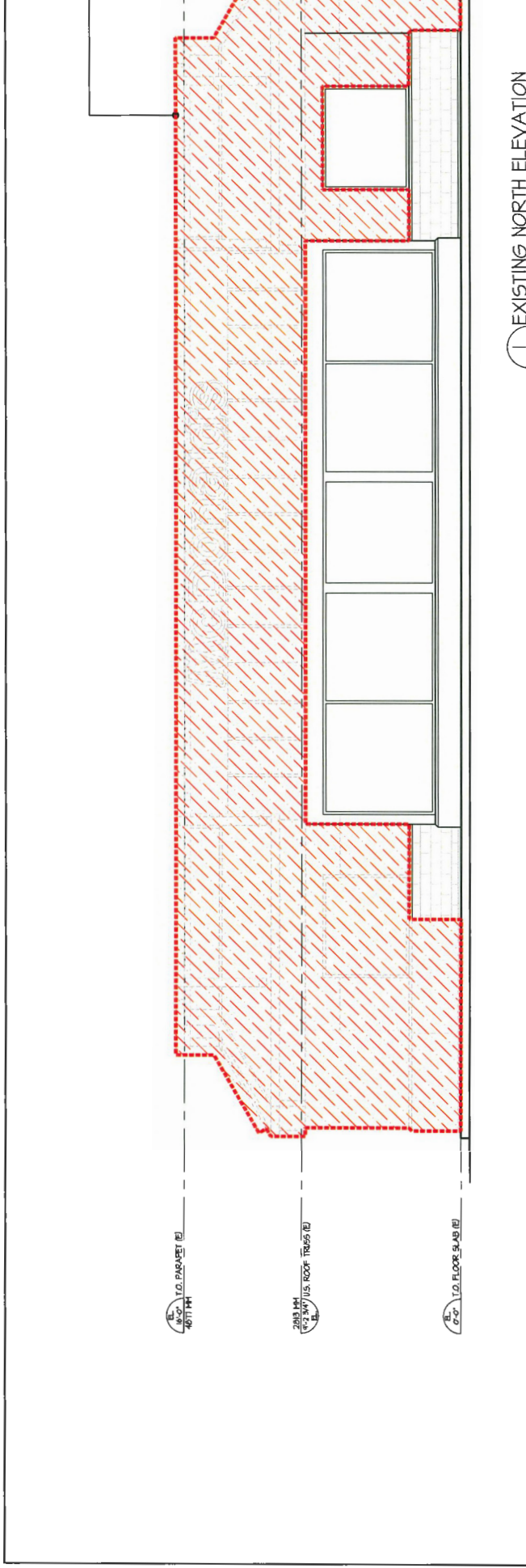
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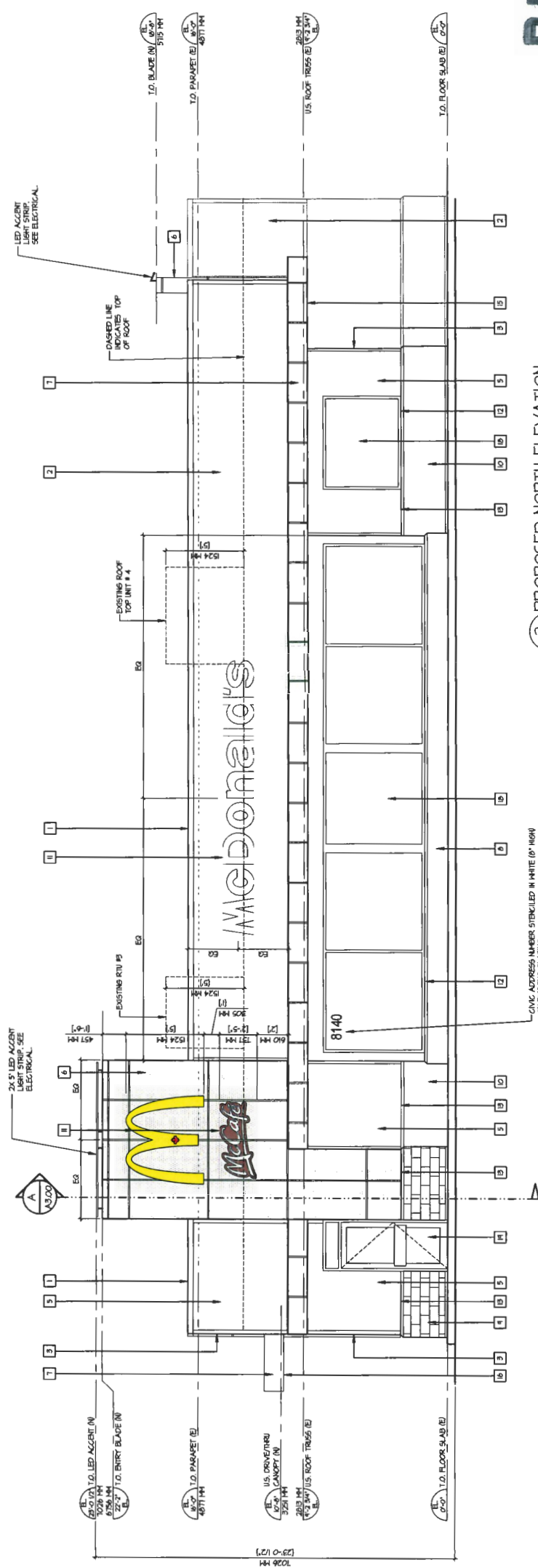
REV	DATE	DESCRIPTION
MAR/20/16		RE-ISSUED FOR DP
NOV/16/15		RE-ISSUED FOR DP
JAN/16/15		ISSUED FOR H.O.D.'S REVIEW
APR/15/14		ISSUED FOR H.O.D.'S REVIEW
		DESCRIPTION

CONSULTANT

SHADDED AREA PRIORITIES APPROX. EXTENT OF NEW STRUCTURE & EXTERIOR TO BE REPAIRED, E.G.C. TO VERIFY SITE CONDITIONS ON SITE PRIOR TO PRICING. REFER TO PROPOSED ELEVATION & PLANS FOR NEW FINISHES. ITEMS TO REMAIN TO BE REMOVED, REPAINTED AND DETAILS (BUILDING/WALL SECTIONS & SECTION DETAILS) FOR FURTHER CLARIFICATION.



1. EXISTING NORTH ELEVATION  
A2.0 / SCALE: 1/4" = 1'-0"



2. PROPOSED NORTH ELEVATION  
A2.0 / SCALE: 1/4" = 1'-0"

- ELEVATION NOTES:**
- REFER TO SCOPE OF WORK BEFORE APPLYING ITEMS BELOW.
  - 1. EXTERIOR WALL GLAZING, SPLITTING & FLASHING NOTED TO BE REMOVED AND REPAIRED BY GC. PATCH & REPAIR AS NOTED.
  - 2. EXISTING WINDOWS & ALUMINUM GLAZED DOORS NOTED TO BE REMOVED AND REPAIRED BY GC. UNLESS NOTED TO BE RELOCATED, HEAD HEIGHTS OF NEW WINDOWS WILL BE DETERMINED BY EXISTING WINDOWS. SITE HEADS PRIOR TO ORDERING NEW WINDOWS.
  - 3. REMOVE ALL EXISTING ELECTRICAL OUTLETS, JUNCTION BOXES, DOORBELLS, REPAIR AS REQUIRED. REMOVE PRIOR TO PAINTING AND REINSTALL IN SAME LOCATION AFTER.
  - 4. EXISTING EXTERIOR LIGHTING INCLUDING ROOF LIGHT BEAMS NOTED TO BE REMOVED. CAP OFF ELECTRICAL PER ELECTRICAL ENGINEER'S REQUIREMENTS. PATCH AND REPAIR AS NOTED. REFER TO ELECTRICAL DRAWINGS FOR NEW EXTERIOR LIGHTING SPECIFICATIONS AND HIRING.
  - 5. EXISTING METAL ROOFING SHEATHING, FLASHING, BUTTERS, RAFTS AND CAP SHEATHING TO BE REMOVED AND REPAIRED BY GC. PATCH & REPAIR AS REQUIRED. ALL EXISTING DAMAGED BY NEW WORK.
  - 6. GC TO INSPECT ALL EXISTING VAPOR BARRIER, SHEATHING FRAMING AND INSULATION TO DETERMINE IF REPLACEMENT WILL BE NECESSARY. IF ANY NOT OR HOLD IS DISCOVERED PROJECT MANAGER & ARCHITECT IS TO BE NOTIFIED IMMEDIATELY FOR REPARATION INSTRUCTIONS.
  - 7. EXISTING ILLUMINATED SIGNAGE & SUPPORTS NOTED TO BE REMOVED OR REPAIRED BY GC. REPAIR EXISTING DAMAGED BY NEW WORK. AS REQ'D AND COORDINATE BACKINGS/SUPPORTS WITH SIGN COMPANY.

- 9. WASH ALL SURFACES AND REPAIR AS NECESSARY PRIOR TO APPLYING PAINT.
- 4. PATCH ANY EXISTING DAMAGED STUCCO TO MATCH EXISTING. ALL VOIDS AND CRACKS TO BE EPoxy GROUTED PRIOR TO PAINTING.
- 10. CRACK REPAIR AS NECESSARY ALL EXISTING SURFACES TO REMAIN UNPAINTED.
- 11. REMOVE EXISTING SIGNAGE TO REMAIN ON BUILDING PRIOR TO PAINTING. REPAIR SIGNAGE UPON COMPLETION.
- 12. PRIOR TO PAINTING IF ROOF RAIL LITTER IS CALICULATED WILL BE REQUIRED TO BE CLEANED AS PER PAINT MANUFACTURERS RECOMMENDATIONS AND INSTRUCTIONS.
- 13. REMOVE ALL EXISTING SHOWER STANDBY AND OTHER WALL MOUNTED FIXTURES PRIOR TO PAINTING AND REINSTALL.
- 14. EXISTING ACCESS PANELS ARE TO BE PAINTED TO MATCH ADJACENT SURFACES.
- 15. CONTRACTOR TO CO-ORDINATE BLOCKING AND SUPPORTS REQUIRED FOR ALL SIGNAGE WITH SIGN COMPANY.
- 16. REFER TO EXTERIOR FINISH SPECIFICATION ON DRAWING A.01.

**EXTERIOR FINISHES**

MATERIAL	COLOUR	MATERIAL	COLOUR
1. REFINISHED METAL CAP FLASHING	CHARCOAL GC-1022	12. METAL WINDOW SILL FLASHING EXISTING - DARK GREY	PAINTED DELUX PAINT MCD-44
2. HORIZONTAL METAL SIDING A2000	CHARCOAL GREY (GC-1022)	13. REFINISHED METAL BASE / CAP / THRU WALL FLASHING	CHARCOAL GC-1022
3. 4x4 FIBRE CEMENT SILL - SHOOTING - 1.5" HOLES	DELUX PAINT (CHARCOAL/FLAME BROWN MCD-31)	14. METAL BASE / THRU WALL FLASHING EXISTING - DARK GREY	PAINTED DELUX PAINT MCD-44
4. STUCCO IDENTIFIED DOTTED HATCHED. REFER TO FINISH SCHEDULE FOR MORE INFORMATION	PAINTED DELUX PAINT RESORT GREY MCD-44	15. REFINISHED METAL PANEL SPLITTING - A2000 DARK GREY	WHIT WHITE
5. FIBRE CEMENT LAP SIDING	DELUX PAINT (CHARCOAL/FLAME BROWN MCD-31)	16. METAL PANEL SPLITTING - A2000	WHIT WHITE
6. METAL PANEL - RED	RED	17. METAL PANEL SPLITTING - A2000	WHIT WHITE
7. METAL PANEL / FIBERON - WHITE	WHIT WHITE	18. METAL DOORS & FRAMES EXISTING - MEDIUM GREY	PAINTED DELUX PAINT MCD-40
8. STUCCO EXISTING - MEDIUM GREY	STAINED - NANKAH CHARCOAL GREY	19. ALUMINUM STOREFRONT DOOR/WINDOW FRAMES (EXISTING)	CLEAR ANODIZED
9. SPLIT FACE CONCRETE BLOCK - DARK GREY	STAINED - NANKAH CHARCOAL GREY	20. DOLLARD (E) WITH NEW GREY SIEGEBARD	CLEAR ANODIZED
10. SPLIT FACE CONCRETE BLOCK (EXISTING) - DARK GREY	SEE ELEVATION NOTE # 15	21. 2"X4" W/ 1/2" PUCK-UP HERE 50N	SEE SIGN COMPANY
11. SIGNAGE	SEE RESPONSIBILITY CHART. SEE ELEVATION NOTE # 15 THIS PAGE		

- ALL MATERIALS ARE NEW UNLESS NOTED OTHERWISE.  
- REFER TO EXTERIOR FINISH SPECIFICATIONS ON DWG. A.01.  
- REFER TO EXTERIOR FINISH SPECIFICATIONS ON DWG. A.02.  
- SEE COORDINATE BLOCKING/SUPPORTS FOR SIGNAGE.

PROPOSED ELEV. LEGEND:

BOX	MATERIAL NUMBER	EXISTING GLAZING, DOORS, WINDOWS, ETC. TO BE REMOVED
□		

PLAN # 3.a

DP 17-775868  
JUN 26 2019

LOVICK SCOTT ARCHITECTS  
3707 1ST AVENUE  
BURNABY, BC V5C 3V6  
ADMIN@LOVICKSCOTT.COM  
604 298 3700 WWW.LOVICKSCOTT.COM  
MEMBER OF THE AIBC, AIA, SAA, IMA & NWTAA  
ARCHITECTURAL SEAL

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE DRAWINGS SHALL NOTE SCALED.  
ARCHITECT

McDonald's Restaurant  
9140 No. 2 Road,  
RICHMOND, BC  
EXISTING & PROPOSED  
NORTH ELEVATIONS  
PLAN # 14

PROJECT NUMBER: 16-025  
DRAWING NUMBER: A2.0  
SCALE: 1/4" = 1'-0"  
DATE: APRIL 2016  
REVISION: A05/21/16

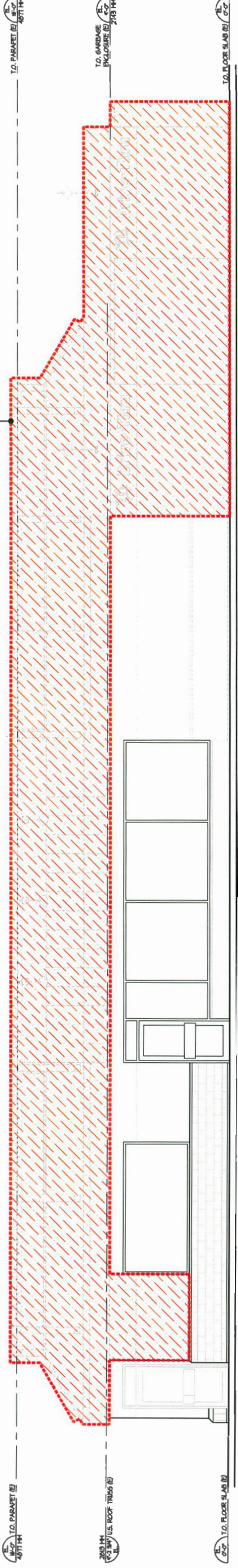
BLUNDELL NO. 2 - 16-025

DP 17-775868

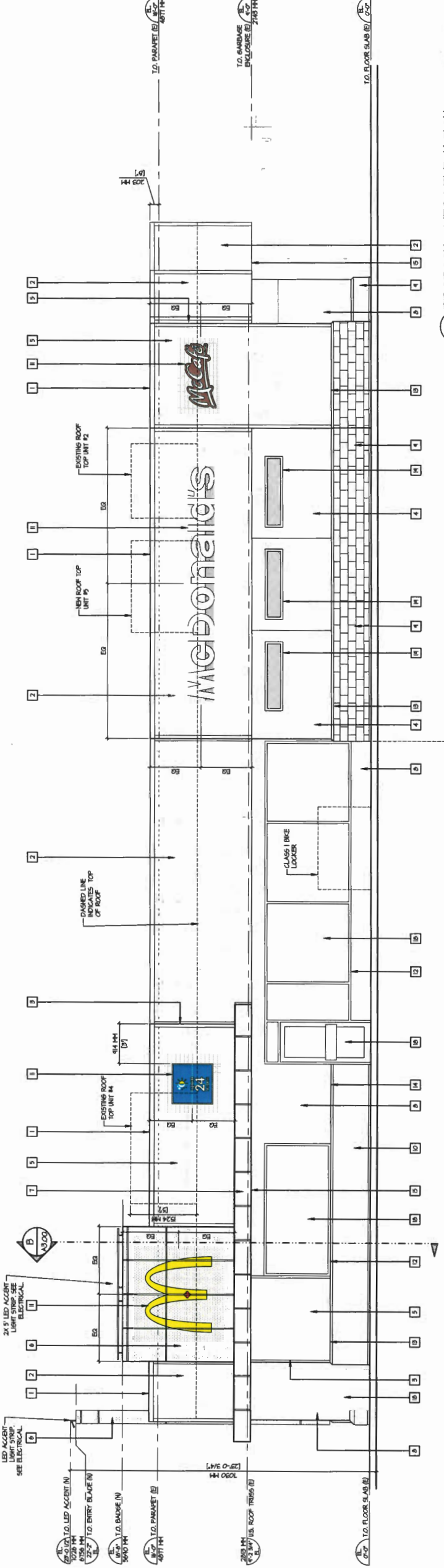
McDonald's  
4400 STILL CREEK DRIVE, BURNABY B.C. V5C 6C6  
MCDONALD'S RESTAURANTS OF CANADA LIMITED

REV	DATE	DESCRIPTION
REV		
APR/16		ISSUED FOR M.C.D.'S REVIEW
JAN/17		ISSUED FOR D.P.
MAY/16		RE-ISSUED FOR D.P.
MAY/2016		RE-ISSUED FOR D.P.

SHADED AREA DENOTES APPROX. EXTENT OF NEH STRUCTURE & EXTERIOR TO BE UPGRADED, E.G. TO VERIFY SITE CONDITIONS ON SITE PRIOR TO PRICING. REFER TO PROPOSED ELEVATION & PLANS FOR NEH FINISHES. ITEMS TO REMAIN, TO BE REMOVED, REPAINTED AND DETAILS (BUILDING/HALL SECTIONS & SECTION DETAILS) FOR FURTHER CLARIFICATION.



1 EXISTING WEST ELEVATION  
SCALE: 1/4" = 1'-0"



2 PROPOSED WEST ELEVATION  
SCALE: 1/4" = 1'-0"

PROPOSED ELEV. LEGEND:

SYMBOL	MATERIAL NUMBER	EXISTING MATERIAL
□	1	PAINTED DELUX PAINT MCD 44
□	2	CHARCOAL GRET (02-6072)
□	3	CHARCOAL GRET (02-6072)
□	4	PURIFIED METAL BASE / CAP / TRIM WALL FINISH
□	5	PURIFIED METAL BASE / TRIM WALL FLASING (EXISTING) - DARK GREY
□	6	PERFORATED METAL PANEL, SPLIT - ALUMINOUM
□	7	METAL PANEL, SPLIT - ALUMINOUM
□	8	METAL PANEL, SPLIT - ALUMINOUM
□	9	PAINTED DELUX PAINT MCD 46
□	10	METAL DOORS & FRAMES (EXISTING) - PEEKAM GREY
□	11	ALUMINUM STOREFRONT DOOR/RAMPOON FRAMES (EXISTING)
□	12	ALUMINUM STOREFRONT DOOR/RAMPOON FRAMES (EXISTING)
□	13	ROLLAD (R) WITH NEH GRET, SUEDEBOARD
□	14	TRIM, REBE / PICK-UP REBE 56H
□	15	SEE SIGN COMPANY

PLAN # 3.0

EXTERIOR FINISHES

MATERIAL	COLOUR	MATERIAL	COLOUR
1	PERFINISHED METAL CAP FINISHING	12	METAL INDOOR BELL FINISHING (EXISTING) - DARK GREY
2	HORIZONTAL METAL SIDING ALUMINOUM	13	PERFINISHED METAL BASE / CAP / TRIM WALL FINISHING
3	4" FIBER GRESIT TRIM - SMOOTH - 13" HIGH	14	METAL BASE / TRIM WALL FLASING (EXISTING) - DARK GREY
4	SHALCO DENOTES POTTED HAIR-GREY. TEXTURE TO MATCH (EXISTING) - PEEKAM GREY	15	PERFORATED METAL PANEL, SPLIT - ALUMINOUM
5	FIBER GRESIT LAF SIDING	16	METAL PANEL, SPLIT - ALUMINOUM
6	METAL PANEL / SIDING - WHITE	17	METAL PANEL, SPLIT - ALUMINOUM
7	METAL PANEL / SIDING - WHITE	18	METAL PANEL, SPLIT - ALUMINOUM
8	SPLIT FACE CONCRETE BLOCK - DARK GREY	19	ALUMINUM STOREFRONT DOOR/RAMPOON FRAMES (EXISTING)
9	SMOOTH CONCRETE BLOCK - DARK GREY	20	ALUMINUM STOREFRONT DOOR/RAMPOON FRAMES (EXISTING)
10	SMOOTH CONCRETE BLOCK (EXISTING) - DARK GREY	21	ROLLAD (R) WITH NEH GRET, SUEDEBOARD
11	SEE RESPONSIBILITY CHART. SEE ELEVATION NOTE # 15	22	TRIM, REBE / PICK-UP REBE 56H

ALL MATERIALS ARE NEH FINISHING. SEE RESPONSIBILITY CHART. SEE ELEVATION NOTE # 15. ALL MATERIAL FINISHING TO BE 24 GA. SEE COLOURED ELEVATIONS FOR CONCRETE COLOURS.

ELEVATION NOTES:  
- REFER TO SCOPE OF WORK BEFORE APPLYING ITEMS BELOW  
1. EXTERIOR WALL GLAZING SPLITTING FLASHING NOTED TO BE REMOVED AND REPAIRED BY G.C. PATCH 4. REPAIR/REPLACE AS NOTED EXISTING DAMAGED BY NEH WORK.  
2. EXISTING WINDOWS & ALUMINUM GLAZED DOORS NOTED TO BE REMOVED AND REPAIRED BY G.C. UNLESS NOTED TO BE REMOVED AND DISPOSED BY G.C. UNLESS NOTED TO BE REMOVED AND DISPOSED BY G.C. UNLESS NOTED TO BE REMOVED AND DISPOSED BY G.C. UNLESS NOTED TO BE REMOVED AND DISPOSED BY G.C.  
3. REMOVE ALL EXISTING ELECTRICAL OUTLETS, JUNCTION BOXES, COVERS, HALL MOUNTED OR SPLIT LIGHTS TO REMAIN PRIOR TO PAINTING AND REINSTALL IN SAME LOCATION AFTER.  
4. EXISTING EXTERIOR LIGHTING INCLUDING ROOF LIGHT BEAMS NOTED TO BE REMOVED. CAP OFF ELECTRICAL PER ELECTRICAL ENGINEER'S RECOMMENDATIONS AND INSTRUCTIONS.  
5. EXISTING METAL ROOFING SHEATHING FLASHING GUTTERS, RA'S AND CAP FLASHING NOTED TO BE REMOVED AND REPAIRED BY G.C. PATCH 4. REPAIR AS REQUIRED ALL EXISTING DAMAGED BY NEH WORK.  
6. G.C. TO INSPECT ALL EXISTING VAPOR BARRIER SHEATHING FRAMING AND INSULATION TO DETERMINE IF REPLACEMENT WILL BE NECESSARY. IF ANY NOTIFIED IMMEDIATELY FOR REPAIRATION INSTRUCTION.  
7. EXISTING ILLUMINATED SIGNAGE & SUPPORTS NOTED TO BE REMOVED OR RELOCATED. REFER TO ELECTRICAL DRAWINGS FOR ELECTRICAL ENGINEER'S REQUIREMENTS. G.C. TO PATCH & REPAIR EXISTING DAMAGED BY NEH WORK AS RECD AND COORDINATE BACKING/SUPPORTS WITH SIGN COMPANY.

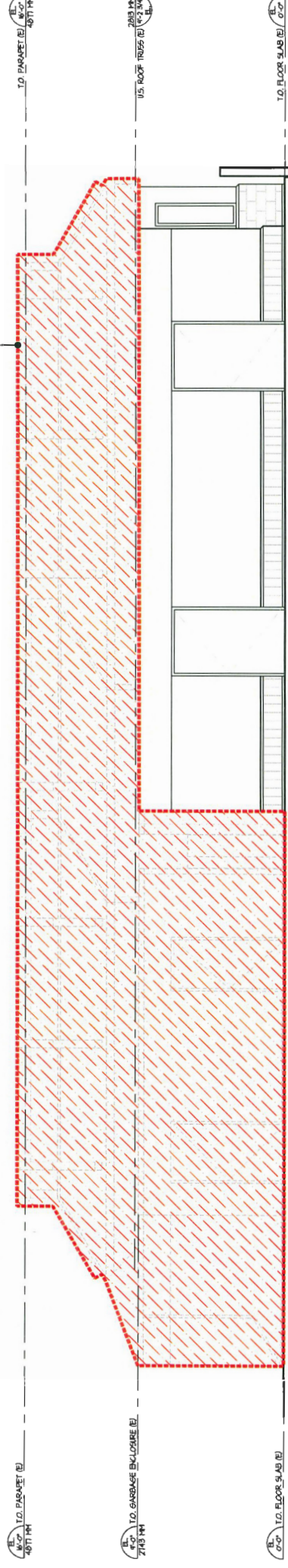
8. WASH ALL SURFACES AND REPAIR AS NECESSARY PRIOR TO APPLYING PAINT.  
9. PATCH ANY EXISTING DAMAGED SHALCO TO MATCH EXISTING. ALL Voids AND CRACKS TO BE EPOXY GRouted PRIOR TO PAINTING.  
10. CLEAN AND REPAIR AS NECESSARY ALL EXISTING SURFACES TO REMAIN UNPAINTED.  
11. REMOVE EXISTING SIGNAGE TO REMAIN ON BUILDING PRIOR TO PAINTING. REPLACE SIGNAGE UPON COMPLETION.  
12. PRIOR TO PAINTING IF ROOF RAIL & GUTTER IS GALVANIZED WILL BE REQUIRED TO BE CLEANED AS PER PAINT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.  
13. REMOVE ALL EXISTING SHAKER STANDS AND OTHER WALL MOUNTED FIXTURES PRIOR TO PAINTING AND REINSTALLATION.  
14. EXISTING ACCESS PANELS ARE TO BE PAINTED TO MATCH ADJACENT SURFACES.  
15. COORDINATION TO COORDINATE BLOTTING AND SUPPORTS REQUIRED FOR ALL SURFACES.  
16. REFER TO EXTERIOR FINISH SPECIFICATION ON DRAWING A1.01.

MCDONALD'S  
MCDONALD'S RESTAURANTS OF CANADA LIMITED  
4400 STILL CREEK DRIVE, BURNABY B.C. V5C 6C6

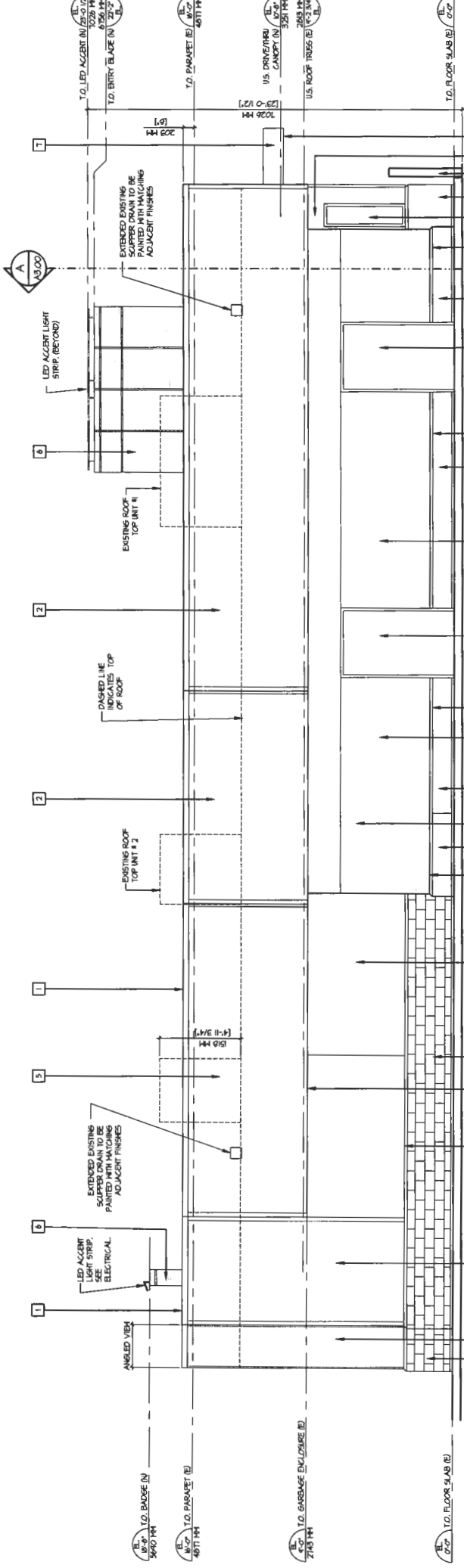
REV	DATE	DESCRIPTION
MAR/20/16		RE-ISSUED FOR DP
NOV/5/16		RE-ISSUED FOR DP
JAN/19/17		ISSUED FOR M.D.'S REVIEW
APR/19/16		ISSUED FOR M.D.'S REVIEW

CONSULTANT

SHADED AREA DENOTES APPROX. EXTENT OF NEW STRUCTURE & EXTERIOR TO BE UPGRADED. G.C. TO VERIFY SITE CONDITIONS ON SITE PRIOR TO PRICING. REFER TO PROPOSED ELEVATION & PLANS FOR NEW FINISHES. ITEMS TO REMAIN TO BE REMOVED, REPAINTED AND DETAILS (BUILDING/WALL SECTIONS & SECTION DETAILS) FOR FURTHER CLARIFICATION.



1 EXISTING SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



2 PROPOSED SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

- ELEVATION NOTES:**
- REFER TO SCOPE OF WORK BEFORE APPLYING ITEMS BELOW
  - EXTERIOR WALL GLAZING, SOFFIT, FLASHINGS & FLASHINGS NOTED TO BE REMOVED ARE TO BE REMOVED AND DISPOSED BY G.C. PATCH & REPAIR SURFACES AS REQUIRED BY NEH WORK.
  - EXISTING WINDOWS & ALUMINUM GLAZED DOORS NOTED TO BE REMOVED ARE TO BE REMOVED & DISPOSED BY G.C. UNLESS NOTED TO BE REPAIRED OR RESTORED TO ORIGINAL CONDITION BY NEH WORK.
  - EXISTING WINDOWS, SITE MEASUREMENTS, WINDOW BOXES, DOORBELLS, HALL MOUNTED OR SOFFIT LIGHTS TO REMAIN PRIOR TO PAINTING AND REINSTALL IN SAME LOCATION AFTER.
  - EXISTING EXTERIOR LIGHTING, INCLUDING ROOF LIGHT BEAMS NOTED TO BE REMOVED, CAP OFF ELECTRICAL PER ELECTRICAL ENGINEER'S RECOMMENDATIONS AND INSTRUCTIONS.
  - EXISTING METAL ROOFING SHEATHING, FLASHING, GUTTERS, RA.S AND CAP FLASHINGS NOTED TO BE REMOVED TO BE DISPOSED BY G.C. PATCH & REPAIR AS REQUIRED. ALL EXISTING VAPOR BARRIER, SHEATHING FRAMING AND INSULATION TO REMAIN UNLESS OTHERWISE NOTED.
  - EXISTING ILLUMINATED SIGNAGE & SUPPORTS NOTED TO BE REMOVED OR RELOCATED. REFER TO ELECTRICAL DWGS FOR ELECTRICAL ENGINEER'S REQUIREMENTS. G.C. TO PATCH & REPAIR EXISTING DAMAGED BY NEH WORK AS NEED AND COORDINATE BACKINGS/SUPPORTS WITH SIGN COMPANY.

- 9. WASH ALL SURFACES AND REPAIR AS NECESSARY PRIOR TO APPLYING PAINT.
- 10. PATCH ANY EXISTING DAMAGED STUCCO TO MATCH EXISTING. ALL VOIDS AND CRACKS TO BE EPOXY GROUTED PRIOR TO PAINTING.
- 11. CLEAN AND REPAIR AS NECESSARY ALL EXISTING SURFACES TO REMAIN UNPAINTED.
- 12. REMOVE EXISTING SIGNAGE TO REMAIN ON BUILDING PRIOR TO PAINTING. REPLACE SIGNAGE UPON COMPLETION.
- 13. PRIOR TO PAINTING IF ROOF, BAL & GUTTER IS GALVANIZED SHALL BE REQUIRED TO BE CLEANED AS PER PAINT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
- 14. REMOVE ALL EXISTING SPUNKER STANDS AND OTHER WALL MOUNTED FIXTURES PRIOR TO PAINTING AND REINSTALLATION.
- 15. EXISTING ACCESS PANELS ARE TO BE PAINTED TO MATCH ADJACENT SURFACES.
- 16. SIGNAGE TO BE COORDINATED WITH SIGN COMPANY.
- 17. REFER TO EXTERIOR FINISH SPECIFICATION ON DRAWING A.C.I.

MATERIAL	COLOUR	MATERIAL	COLOUR
1. PRIMERED METAL CAP FLASHING	CHARCOAL GC-8072	13. METAL WINDOW SILL FLASHING (EXISTING) - DARK GREY	PAINTED DULUX PAINT HDC 44
2. HORIZONTAL METAL SIDING, ADOBO	CHARCOAL GREY (GC-8072)	14. * REFINISHED METAL BASE / CAP / THRU WALL FLASHING	CHARCOAL GC-8072
3. 4" FIBER CONCRETE TERN - SMOOTH - 2 1/2" THICK	DULUX PAINT CHESTNUT/CACAO BROWN HDC 31	15. METAL BASE / THRU WALL FLASHING (EXISTING) - DARK GREY	PAINTED DULUX PAINT HDC 44
4. STUCCO (EXISTING) - HEDRAH GREY	PAINTED DULUX PAINT REGENT GREY HDC 44	16. REFORMATED METAL PANEL SOFFIT - ADOBO	BRIT WHITE
5. FIBER CONCRETE LAP SIDING	DULUX PAINT CHESTNUT/CACAO BROWN HDC 31	17. METAL PANEL SOFFIT - ADOBO	BRIT WHITE
6. METAL PANEL - RED	NON RED	18. METAL PANEL SOFFIT - ADOBO	PAINTED DULUX PAINT HDC 46
7. METAL PANEL / FIBER - WHITE	BRIT WHITE	19. METAL DOORS & FRAMES (EXISTING) - HEDRAH GREY	CLEAR ANODIZED
8. STUCCO (EXISTING) - HEDRAH GREY	STANED - NAKA-MI CHARCOAL GREY	20. ALUMINUM STOREFRONT DOOR/MINDOW FRAMES (EXISTING)	CLEAR ANODIZED
9. SPLIT FACE CONCRETE BLOCK - DARK GREY	STANED - NAKA-MI CHARCOAL GREY	21. ALUMINUM STOREFRONT DOOR/MINDOW FRAMES (EXISTING)	CLEAR ANODIZED
10. BRIT FACE CONCRETE BLOCK (EXISTING) - DARK GREY	SEE RESPONSIBILITY CHART. SEE ELEVATION NOTE # 15	22. WALL/LAND REPAIR WITH NEH GREY SUBGRADE	SEE 50% COFF-PANT
11. SOUNGE	SEE RESPONSIBILITY CHART. SEE ELEVATION NOTE # 15	23. TYP. REPAIR / PATCH-UP HERE SIGN	SEE 50% COFF-PANT

**EXTERIOR FINISHES**

MATERIAL	COLOUR	MATERIAL	COLOUR
1. PRIMERED METAL CAP FLASHING	CHARCOAL GC-8072	13. METAL WINDOW SILL FLASHING (EXISTING) - DARK GREY	PAINTED DULUX PAINT HDC 44
2. HORIZONTAL METAL SIDING, ADOBO	CHARCOAL GREY (GC-8072)	14. * REFINISHED METAL BASE / CAP / THRU WALL FLASHING	CHARCOAL GC-8072
3. 4" FIBER CONCRETE TERN - SMOOTH - 2 1/2" THICK	DULUX PAINT CHESTNUT/CACAO BROWN HDC 31	15. METAL BASE / THRU WALL FLASHING (EXISTING) - DARK GREY	PAINTED DULUX PAINT HDC 44
4. STUCCO (EXISTING) - HEDRAH GREY	PAINTED DULUX PAINT REGENT GREY HDC 44	16. REFORMATED METAL PANEL SOFFIT - ADOBO	BRIT WHITE
5. FIBER CONCRETE LAP SIDING	DULUX PAINT CHESTNUT/CACAO BROWN HDC 31	17. METAL PANEL SOFFIT - ADOBO	BRIT WHITE
6. METAL PANEL - RED	NON RED	18. METAL PANEL SOFFIT - ADOBO	PAINTED DULUX PAINT HDC 46
7. METAL PANEL / FIBER - WHITE	BRIT WHITE	19. METAL DOORS & FRAMES (EXISTING) - HEDRAH GREY	CLEAR ANODIZED
8. STUCCO (EXISTING) - HEDRAH GREY	STANED - NAKA-MI CHARCOAL GREY	20. ALUMINUM STOREFRONT DOOR/MINDOW FRAMES (EXISTING)	CLEAR ANODIZED
9. SPLIT FACE CONCRETE BLOCK - DARK GREY	STANED - NAKA-MI CHARCOAL GREY	21. ALUMINUM STOREFRONT DOOR/MINDOW FRAMES (EXISTING)	CLEAR ANODIZED
10. BRIT FACE CONCRETE BLOCK (EXISTING) - DARK GREY	SEE RESPONSIBILITY CHART. SEE ELEVATION NOTE # 15	22. WALL/LAND REPAIR WITH NEH GREY SUBGRADE	SEE 50% COFF-PANT
11. SOUNGE	SEE RESPONSIBILITY CHART. SEE ELEVATION NOTE # 15	23. TYP. REPAIR / PATCH-UP HERE SIGN	SEE 50% COFF-PANT

**PROPOSED ELEV. LEGEND:**

BOX	MATERIAL NUMBER	EXISTING GLAZING, DOORS, WINDOWS, ETC. TO BE REMOVED
13		

**PLAN # 3.C**

CONSULTANT SEAL

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DIMENSIONS SHALL NOT BE SCALED.



**LOVICK  
SCOTT  
ARCHITECTS**  
  
3707 1ST AVENUE  
BURNABY, BC V5C 3V6  
ADMIN@LOVICKSCOTT.COM  
604 298 3700 WWW.LOVICKSCOTT.COM  
MEMBER OF THE ABC, AIA, SMA, IMA & NWTAA  
ARCHITECTURAL SEAL

**DP 17-775868**  
**JUN 2 2019**

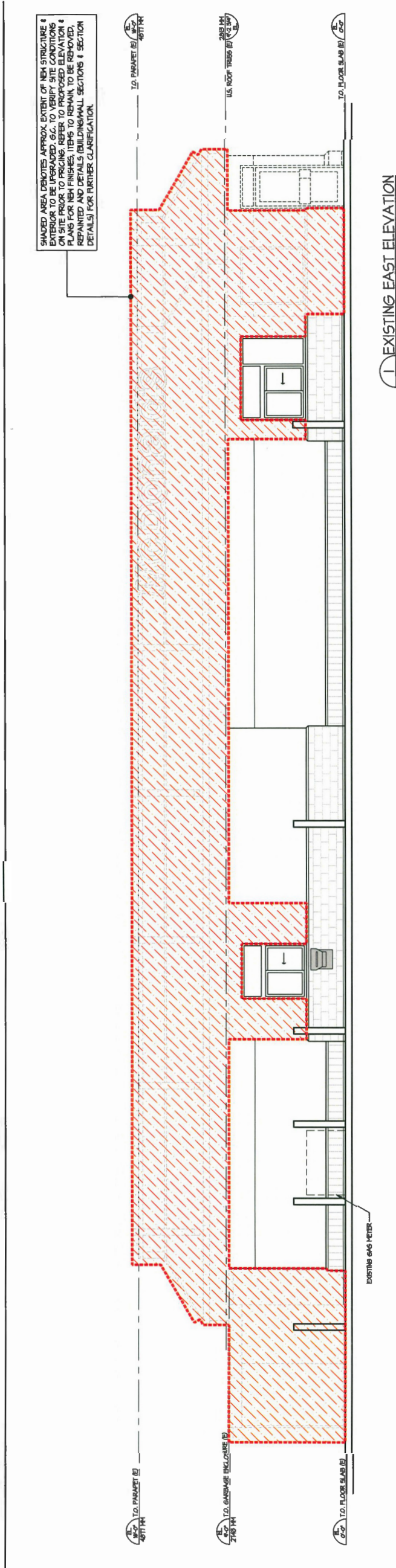
CONSULTANT SEAL  
PROJECT: MCDONALD'S RESTAURANT  
CLIENT: MCDONALD'S RESTAURANTS OF CANADA LIMITED  
PROJECT ADDRESS: 8140 No.2 Road, RICHMOND, BC  
DRAWN BY: A.A. & P.S.  
SCALE: 1/4" = 1'-0"

PROJECT NUMBER	DRAWING NUMBER
16-025	A2.2

DATE: APRIL 2016

BLUNDELL NO.2 - 16-025

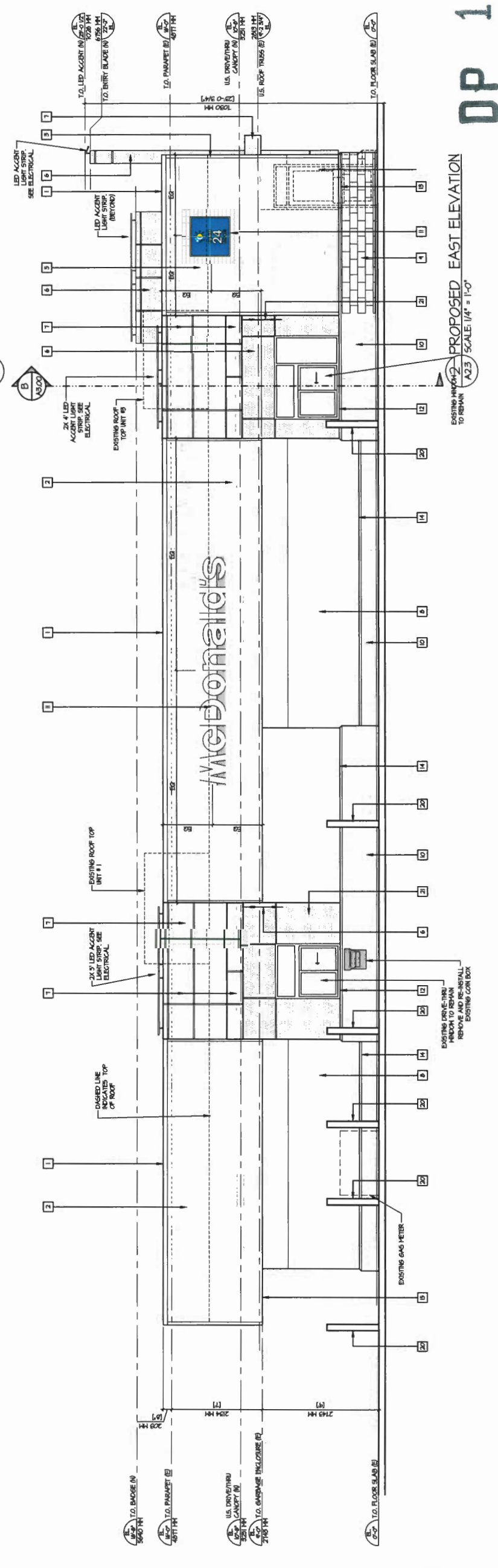
MCDONALD'S		MCDONALD'S RESTAURANTS OF CANADA LIMITED 4400 STILL CREEK DRIVE, BURNABY B.C. V5C 6C6	
REV	DATE	DESCRIPTION	REVISION
NOV/16		RE-ISSUED FOR DP	
NOV/16		RE-ISSUED FOR DP	
APR/17		ISSUED FOR HCD'S REVIEW	
APR/17		ISSUED FOR HCD'S REVIEW	



**LOVICK SCOTT ARCHITECTS**

3707 1ST AVENUE  
BURNABY, BC V5C 3V6  
ADMIN@LOVICKSCOTT.COM  
604.298.3700 WWW.LOVICKSCOTT.COM  
MEMBER OF THE AIBC, AAA, SAA, MAA & NWTRA ARCHITECTURAL SOCI.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DIMENSIONS SHALL NOT BE SCALED.



**McDonald's Restaurant**

5140 No.2 Road,  
RICHMOND, BC

PROJECT NUMBER: 16-025  
DRAWING NUMBER: A2.3  
SCALE: 1/4" = 1'-0"  
DATE: APRIL, 2016  
REVISION: AUG/2016

OWNER: McDonald's  
ARCHITECT: LOVICK SCOTT ARCHITECTS LTD.  
DATE: JUN 26 2019

**PROPOSED ELEV. LEGEND:**

MATERIAL NUMBER	MATERIAL	COLOUR
1	PREFINISHED METAL CAP FLASHING	CHARCOAL G.C.-K072
2	HORIZONTAL METAL SIDING, ADOBO	CHARCOAL G.C.-K072
3	44" FIBER CEMENT TRIM - SHOOTER - 8 1/2" WIDTH	DARK GREY (02-0472)
4	STICCO (DIMITED DOTTED HATCHED, TEXTURE TO MATCH EXISTING) - FERRIS GREY	PAINTED DULUX PAINT REGENT GREY MCD 41
5	FIBER CEMENT LAP SIDING	DARK GREY
6	METAL PANEL - RED	RED
7	METAL PANEL / SIDING - WHITE	WHITE
8	STICCO (EXISTING) - MEDIUM GREY	STANDED - MANKAM CHARCOAL GREY
9	SPRIT FACE CONCRETE BLOCK - DARK GREY	STANDED - MANKAM CHARCOAL GREY
10	SPRIT FACE CONCRETE BLOCK (EXISTING) - DARK GREY	SEE RESPONSIBILITY CHART: SEE ELEVATION NOTE # 15
11	SIGNAGE	SEE SIGN COMPANY

**PLAN # 3.d**

**EXTERIOR FINISHES**

MATERIAL	COLOUR	MATERIAL	COLOUR
1	PREFINISHED METAL CAP FLASHING	12	METAL SIDING SILL FLASHING (EXISTING) - DARK GREY
2	HORIZONTAL METAL SIDING, ADOBO	13	PREFINISHED METAL BASE / CAP / TRIM WALL FLASHING
3	44" FIBER CEMENT TRIM - SHOOTER - 8 1/2" WIDTH	14	METAL BASE / TRIM WALL FLASHING (EXISTING) - DARK GREY
4	STICCO (DIMITED DOTTED HATCHED, TEXTURE TO MATCH EXISTING) - FERRIS GREY	15	PERFORATED METAL PANEL SOFFIT - ADOBO
5	FIBER CEMENT LAP SIDING	16	METAL PANEL SOFFIT - ADOBO
6	METAL PANEL - RED	17	METAL PANEL SOFFIT - MEDIUM GREY
7	METAL PANEL / SIDING - WHITE	18	ALUMINUM STOREFRONT DOOR/MEDCH FRAMES (EXISTING)
8	STICCO (EXISTING) - MEDIUM GREY	19	ALUMINUM STOREFRONT DOOR/MEDCH FRAMES (EXISTING)
9	SPRIT FACE CONCRETE BLOCK - DARK GREY	20	BOLLARD (8" WITH RED GREY SERRATED)
10	SPRIT FACE CONCRETE BLOCK (EXISTING) - DARK GREY	21	PAY HERE / PICK-UP HERE SIGN
11	SIGNAGE		

**ELEVATION NOTES:**

- REFER TO SCOPE OF WORK BEFORE APPLYING ITEMS BELOW.
- EXTERIOR WALL GLAZING, SOFFIT FLASHING & FLASHING NOTED TO BE REMOVED. ARE TO BE REMOVED AND DISPOSED BY G.C. PATCH & REPAIR.
- EXISTING WINDOW & MANKAM SIDING DOORS NOTED TO BE REMOVED. HEAD HEIGHTS OF NEW WINDOWS WILL BE DETERMINED BY EXISTING WINDOW. SITE MEASURE PRIOR TO ORDERING NEW WINDOWS.
- REMOVE ALL EXISTING ELECTRICAL, OUTLETS, JUNCTION BOXES, DOORBELLS, INTERCOMS, AND SOFFIT LIGHTS TO REMAIN PRIOR TO PAINTING AND FINISHING.
- EXISTING EXTERIOR LIGHTING INCLUDING ROOF LIGHT BEAMS NOTED TO BE REMOVED. CAP OFF ELECTRICAL PER ELECTRICAL ENGINEERS DRAWINGS FOR NEW EXTERIOR LIGHTING SPECIFICATIONS AND WIRING.
- EXISTING METAL ROOFING SHEATHING, FLASHING, GUTTERS, RA'S AND CAP SHEATHING TO BE REMOVED AND DISPOSED BY G.C. PATCH & REPAIR AS NOTED ON DRAWINGS.
- G.C. TO INSPECT ALL EXISTING VAPOR BARRIER SHEATHING, FRAMING AND INSULATION TO DETERMINE IF REPLACEMENT WILL BE NECESSARY. IF ANY ROT OR HOLD IS DISCOVERED PROJECT MANAGER & ARCHITECT IS TO BE NOTIFIED IMMEDIATELY FOR RE-EDIFICATION INSTRUCTIONS.
- EXISTING ILLUMINATED SIGNAGE & SUPPORTS NOTED TO BE REMOVED OR REPAIRED. REFER TO SIGN COMPANY FOR ELECTRICAL SPECIFICATIONS. ALL EXTERIOR FINISHES TO BE PAINTED. REPAIRS TO EXTERIOR FINISHES TO BE COORDINATED WITH SIGN COMPANY AS NOTED AND COORDINATE BACKINGS/SUPPORTS WITH SIGN COMPANY.

**PROPOSED EAST ELEVATION**

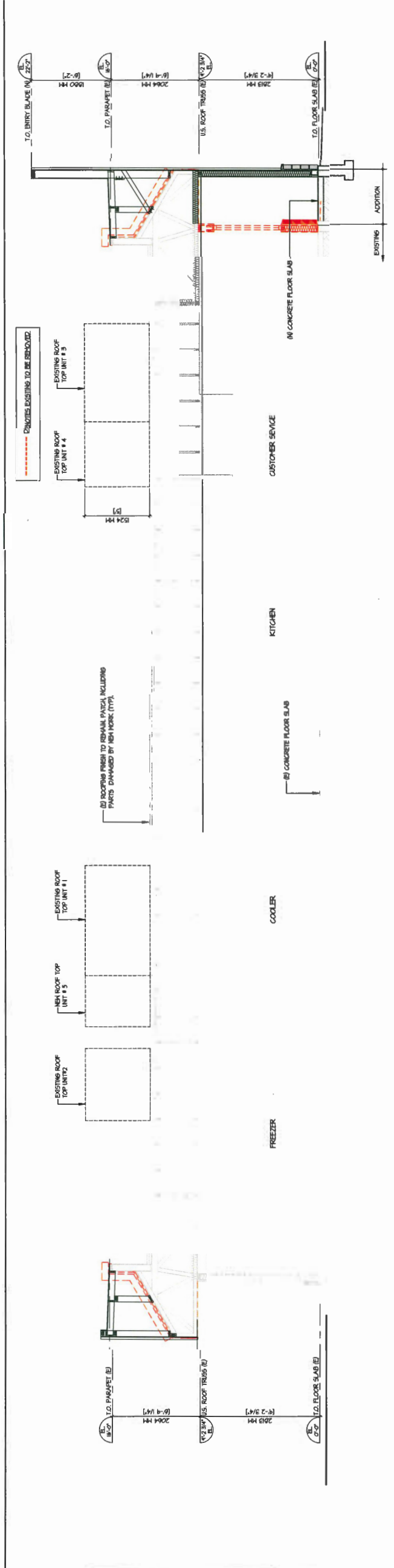
A2.3 SCALE: 1/4" = 1'-0"

EXISTING WINDOW TO REMAIN TO REPAIR

A2.3 SCALE: 1/4" = 1'-0"

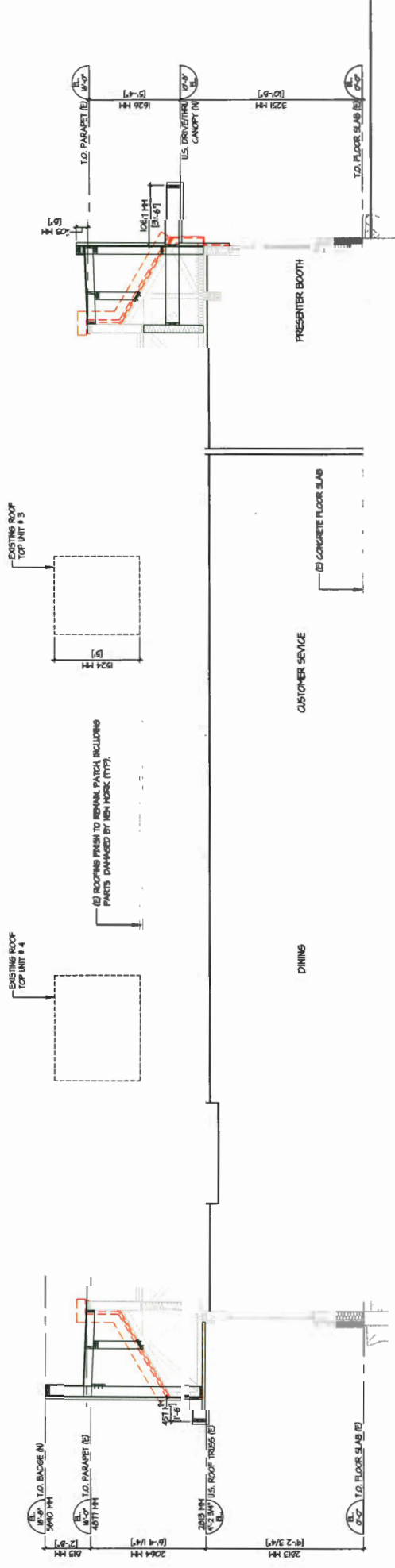
EXISTING WINDOW TO REMAIN TO REPAIR

<b>McDonald's</b>		MCDONALD'S RESTAURANTS OF CANADA LIMITED, 4400 STILL CREEK DRIVE, BURNABY B.C. V5C 6C6	
REV	DATE	DESCRIPTION	CONSULTANT
MAR/20/16		RE-ISSUED FOR CP	
NOV/5/15		RE-ISSUED FOR DP	
JUN/14/15		ISSUED FOR DP	
APR/14/16		ISSUED FOR H2% REVIEW	



1 BUILDING SECTION A  
A3.0 SCALE: 1/4" = 1'-0"

DASHED LINES TO BE REMOVED



2 BUILDING SECTION B  
A3.0 SCALE: 1/4" = 1'-0"

DASHED LINES TO BE REMOVED

DP 17-775868

JUN 26 2019

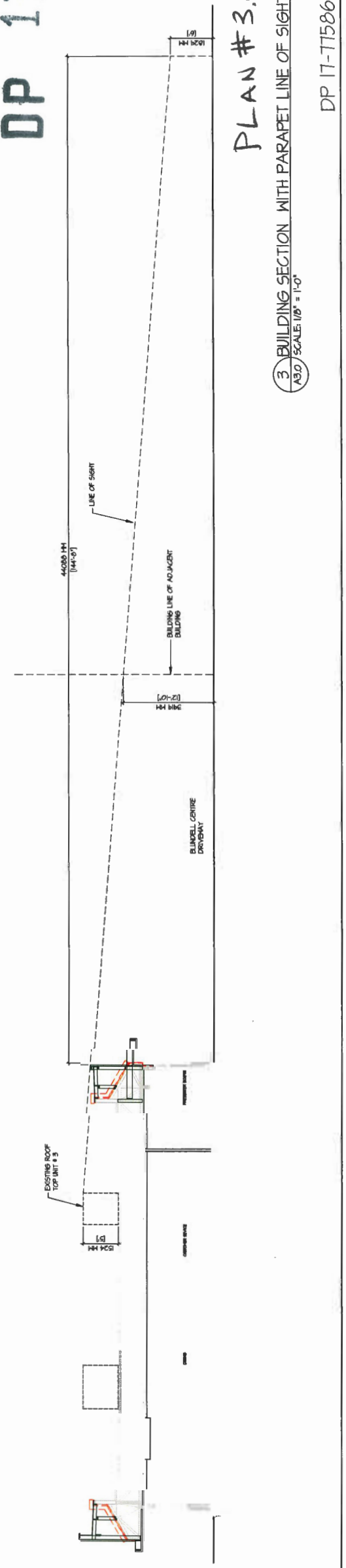
CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DIMENSIONS SHALL NOT BE SCALED.  
ARCHITECT  
LOVICK SCOTT ARCHITECTS

3707 1ST AVENUE  
BURNABY, BC V5C 3V6  
ADMIN@LOVICKSCOTT.COM  
604.298.3700 WWW.LOVICKSCOTT.COM  
MEMBER OF THE AIBC, AIA, SAA, MAA & NAITAA  
ARCHITECTURAL REG.

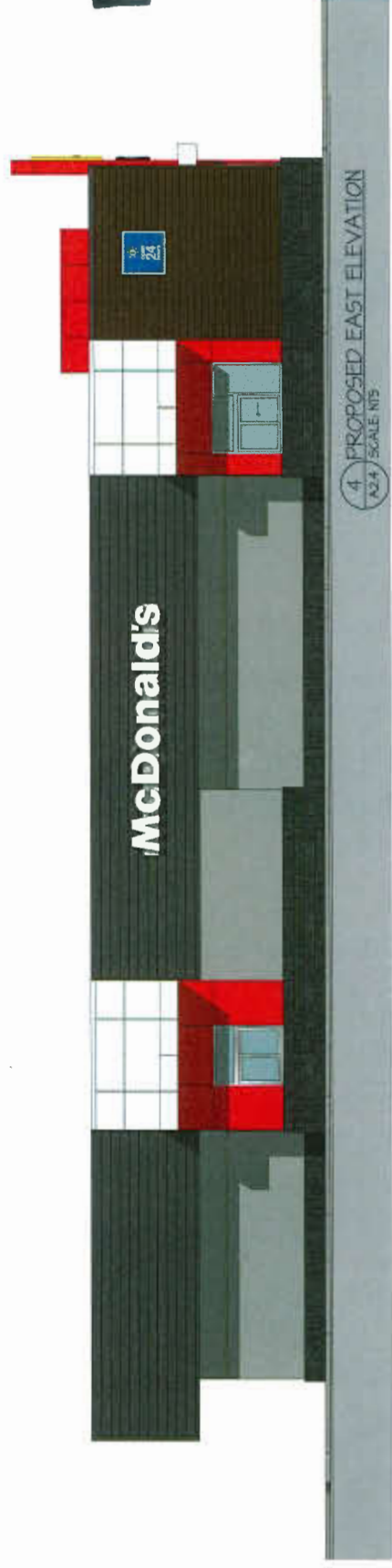
McDonald's Restaurant  
2140 No.2 Road,  
RICHMOND, BC  
DRAWING  
BUILDING SECTIONS  
A & B  
PLAN #22  
PROJECT NUMBER  
16-025  
DRAWING NUMBER  
A3.0  
DATE  
1/4" = 1'-0"  
REVISION  
APRIL 2016

PLAN #3.e

3 BUILDING SECTION WITH PARAPET LINE OF SIGHT  
A3.0 SCALE: 1/8" = 1'-0"



DP 17-775868



DP 17-775868

PLAN # 3.f

JUN 26 2019

BLUNDELL NO.2 - 16-025

COLOURED ELEVATIONS	
PLAN # 1B	
PROJECT NUMBER	16-025
DRAWING NUMBER	A2.4
SCALE	NOT TO SCALE
DATE	APRIL 2016
REVISION	AUG/2019

PROJECT  
**McDonald's Restaurant**  
 2140 No.2 Road,  
 RICHMOND, BC

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.  
 ARCHITECT



LOVICK  
 SCOTT  
 ARCHITECTS

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 MEMBER OF THE AIBC, AAA, SAA, MAA  
 ARCHITECTURAL BSA

CONSULTANT SEAL

REV	DATE	DESCRIPTION
JAN/04		RE-ISSUED FOR CP
NOV/06		RE-ISSUED FOR DP
JAN/07		ISSUED FOR DP
APR/06		ISSUED FOR MDT'S REVIEW

CONSULTANT

McDonald's®  
 McDONALD'S RESTAURANTS OF CANADA LIMITED,  
 4400 STILL CREEK DRIVE, BURNABY B.C. V5C 6C6

**TYPICAL WALL LEGEND:**

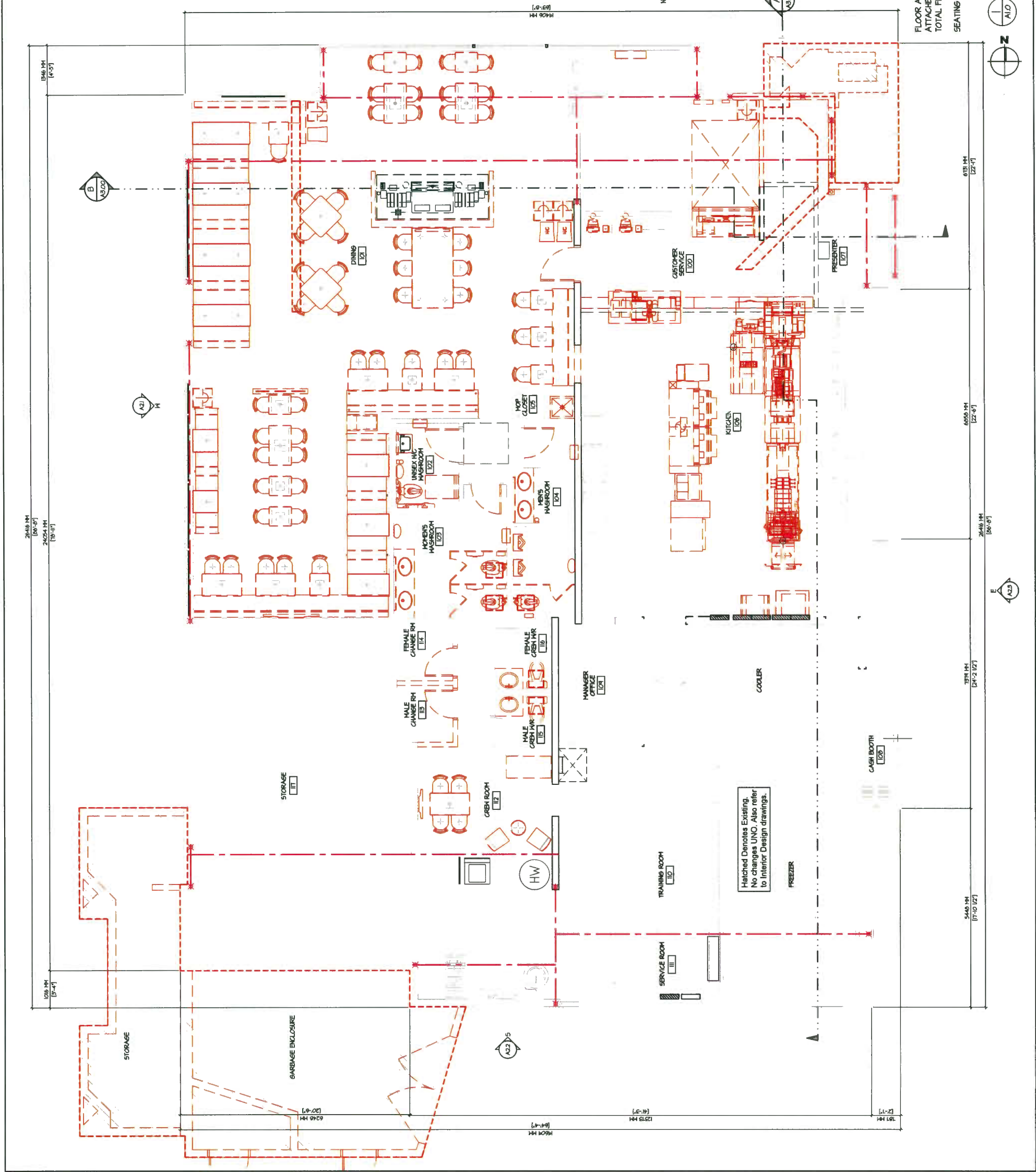
- 1) EXTERIOR WALL
- 2) INTERIOR WALL
- 3) WALLS TO BE DEMOLISHED (ALSO REFER TO OTHER SHEETS FOR DEMOLITION SCHEDULE)

**EXISTING FLOOR PLAN LEGEND:**

- ROOM NUMBER
- DOORS, MILLWORK, ETC. TO BE REMOVED

REV	DATE	DESCRIPTION
MAR/20/19		RE-ISSUED FOR DP
NOV/5/18		RE-ISSUED FOR DP
JAN/19/17		ISSUED FOR P.D.'S REVIEW
APR/11/16		ISSUED FOR P.D.'S REVIEW

CONSULTANT



Hatched Denotes Existing  
No changes UNO. Also refer  
to Interior Design drawings.

FLOOR AREA : 5,425.01 SQ.FT. (503.94 SQ.M.)  
ATTACHED GARAGE ENCLOSURE : 3,719.55 SQ.FT. (345.26 SQ.M.)  
TOTAL FLOOR AREA : 9,144.56 SQ.FT. (849.20 SQ.M.)  
SEATING : 110 SEATS

REFERENCE PLAN

DP 17-775868

JUN 26 2019



3707 1ST AVENUE  
BURNABY, BC V5C 3V6  
ADMIN@LOVICKSCOTT.COM  
604.288.3700 WWW.LOVICKSCOTT.COM  
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ARCHITECTURAL SEAL

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DIMENSIONS SHALL NOT BE SCALED.  
ARCHITECT

McDonald's Restaurant

8140 No.2 Road,  
RICHMOND, BC

PROJECT NUMBER	16-025
DRAWING NUMBER	A1.0
EXISTING/DEMO FLOOR PLAN	PLAN # 10
SCALE	1/4" = 1'-0"
DATE	MARCH 2016
REVISION	

EXISTING/DEMO FLOOR PLAN

DP 17-775868



SCALE: 1/4" = 1'-0"

EXISTING/DEMO FLOOR PLAN

SCALE: 1/4" = 1'-0"

EXISTING/DEMO FLOOR PLAN

SCALE: 1/4" = 1'-0"

EXISTING/DEMO FLOOR PLAN

SCALE: 1/4" = 1'-0"

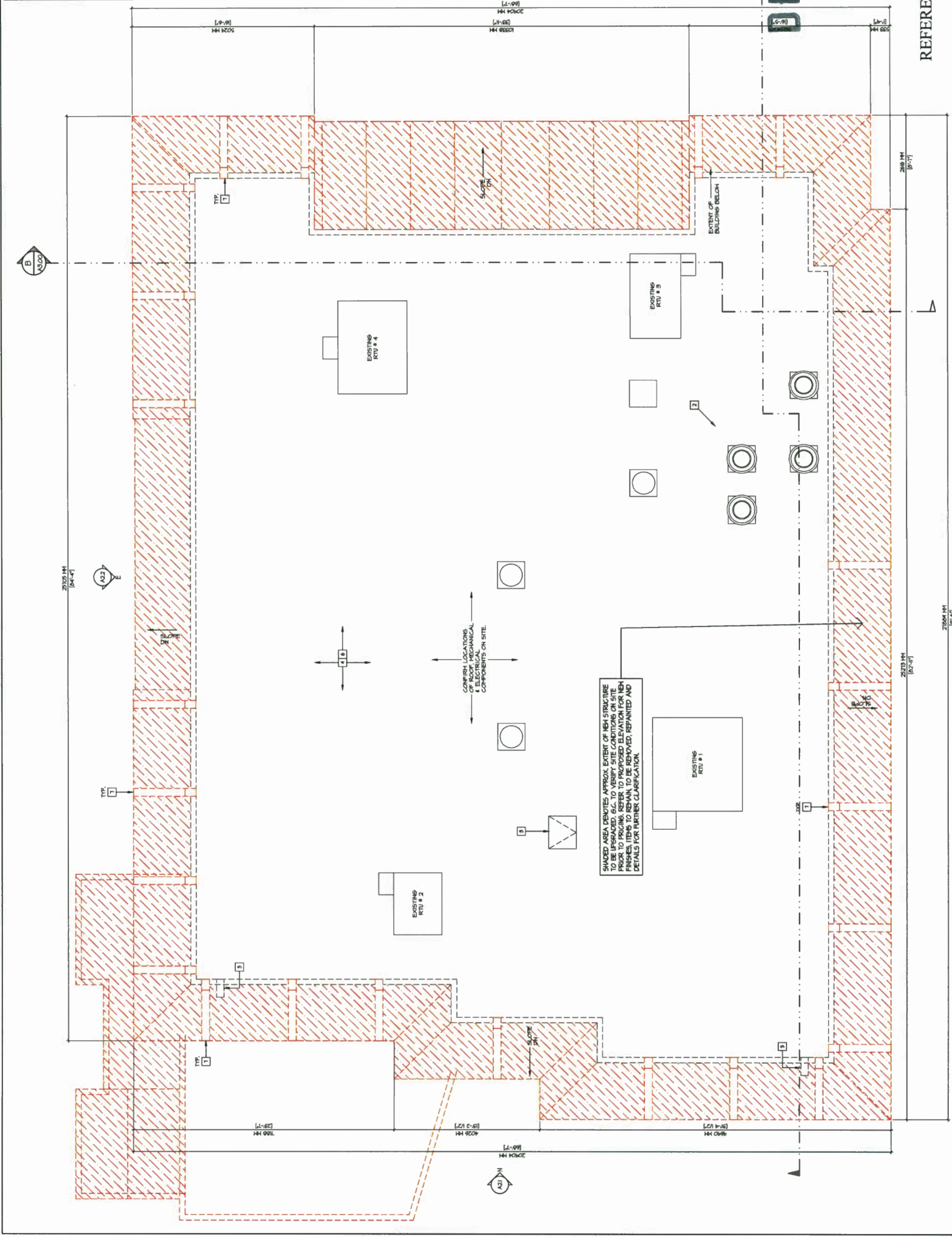
EXISTING/DEMO FLOOR PLAN

SCALE: 1/4" = 1'-0"

REV	DATE	DESCRIPTION
HARZORN	RE-ISSUED FOR DP	
NOV/SMB	RE-ISSUED FOR DP	
LANE/MTI	ISSUED FOR HCD'S REVIEW	
APR/AMB	ISSUED FOR HCD'S REVIEW	

**EXISTING/DEMO ROOF PLAN KEYNOTES:**

- EXISTING ROOF TOP FINISHES TO REMAIN. SEE MECHANICAL.
- EXISTING EXHAUST FAN TO REMAIN. SEE MECHANICAL.
- EXISTING ROOF HATCH.
- EXISTING ROOF SYSTEM TO REMAIN.
- EXISTING SQUARE DRAIN TO REMAIN AND TO BE MODIFIED.
- EXISTING ROOF DRAIN TO REMAIN. LOCATION TO BE CONFIRM ON SITE.
- EXISTING ROOF BEAM TO BE REMOVED.



**EXISTING/DEMO ROOF PLAN**  
 PLAN # 12  
 PROJECT NUMBER: 16-025  
 DRAWING NUMBER: A1.5  
 SCALE: 1/4" = 1'-0"  
 DATE: MARCH 2016

CONSULTANT SEAL

**McDonald's**  
 MCDONALD'S RESTAURANTS OF CANADA LIMITED  
 4400 STILL CREEK DRIVE, BURNABY B.C. V5C 6C6

**LOVICK SCOTT ARCHITECTS**  
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 BURNABY BC V5C 3V6  
 ADMIN@LOVICKSCOTT.COM  
 604.288.3700 WWW.LOVICKSCOTT.COM  
 MEMBER OF THE AIBC, AIA, SAA, MAA & NAITAA ARCHITECTURAL SOCI.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DIMENSIONS SHALL NOTE SCALED.

ARCHITECT

APPROVED  
 PROJECT: McDonald's Restaurant  
 2140 No.2 Road,  
 RICHMOND, BC  
 DRAWN BY: [Signature]

BLUNDELL NO.2 - 16-025

EXISTING / DEMO ROOF PLAN  
 PLAN # 12

PROJECT NUMBER: 16-025

DRAWING NUMBER: A1.5

SCALE: 1/4" = 1'-0"

DATE: MARCH 2016

REVISION

REVISION

REFERENCE PLAN

EXISTING/DEMO ROOF PLAN

SCALE: 1/4" = 1'-0"

DP 17-175868

JUN 26 2019

DP 17-175868



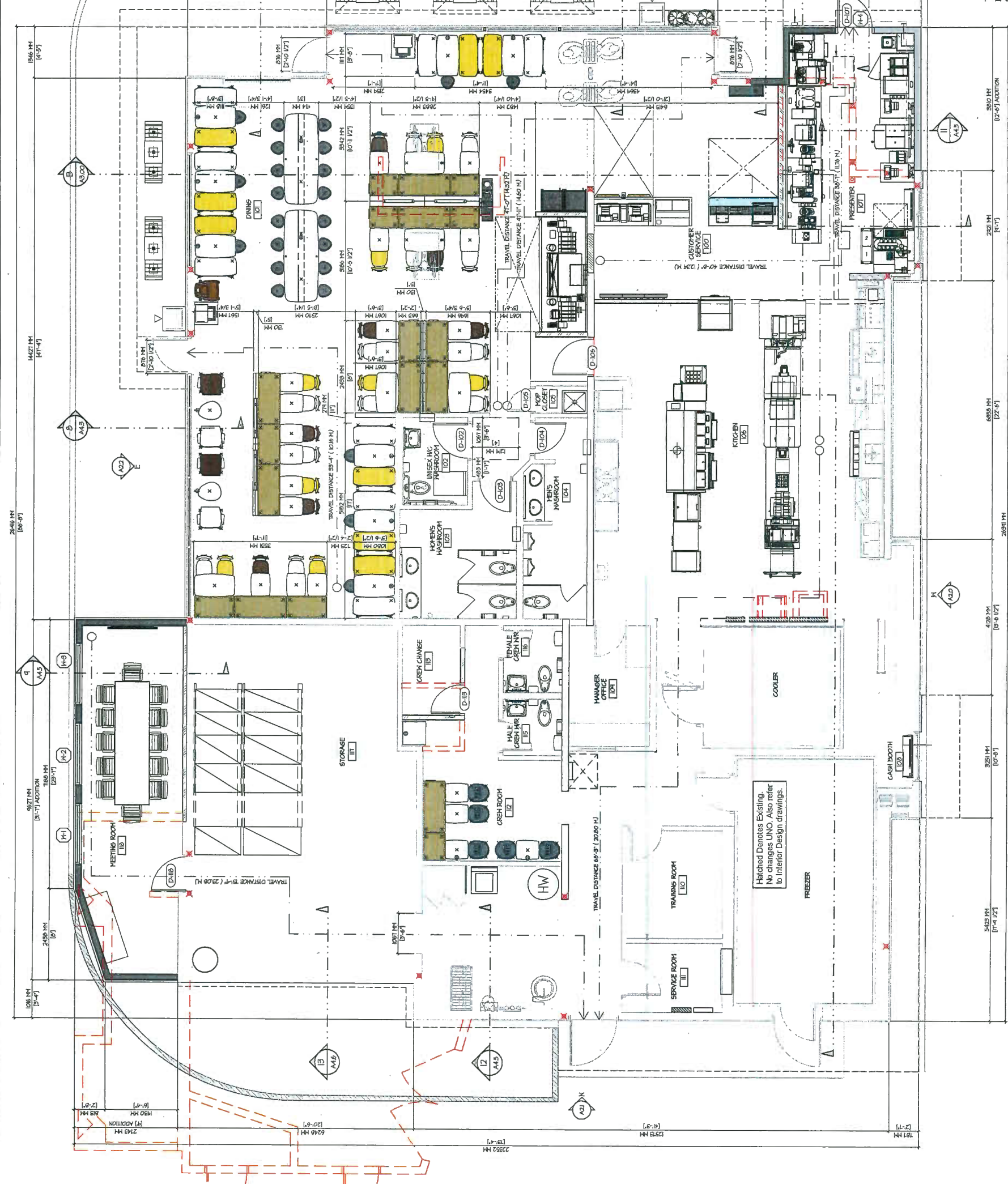
REV	DATE	DESCRIPTION
NOV/2016		RE-ISSUED FOR DP
JAN/2017		ISSUED FOR MCR'S REVIEW

**TYPICAL WALL LEGEND:**

NOTE:  
 1. ALL ASSEMBLIES TYPICAL UNO, FOR SEAM WALLS OR SPECIALTY  
 2. REFER TO WALL SCHEDULE FOR ASSEMBLIES, FINISHES AND REQUIRED PROL.  
 3. REFER TO WALL SCHEDULE FOR ASSEMBLIES, FINISHES AND REQUIRED PROL.

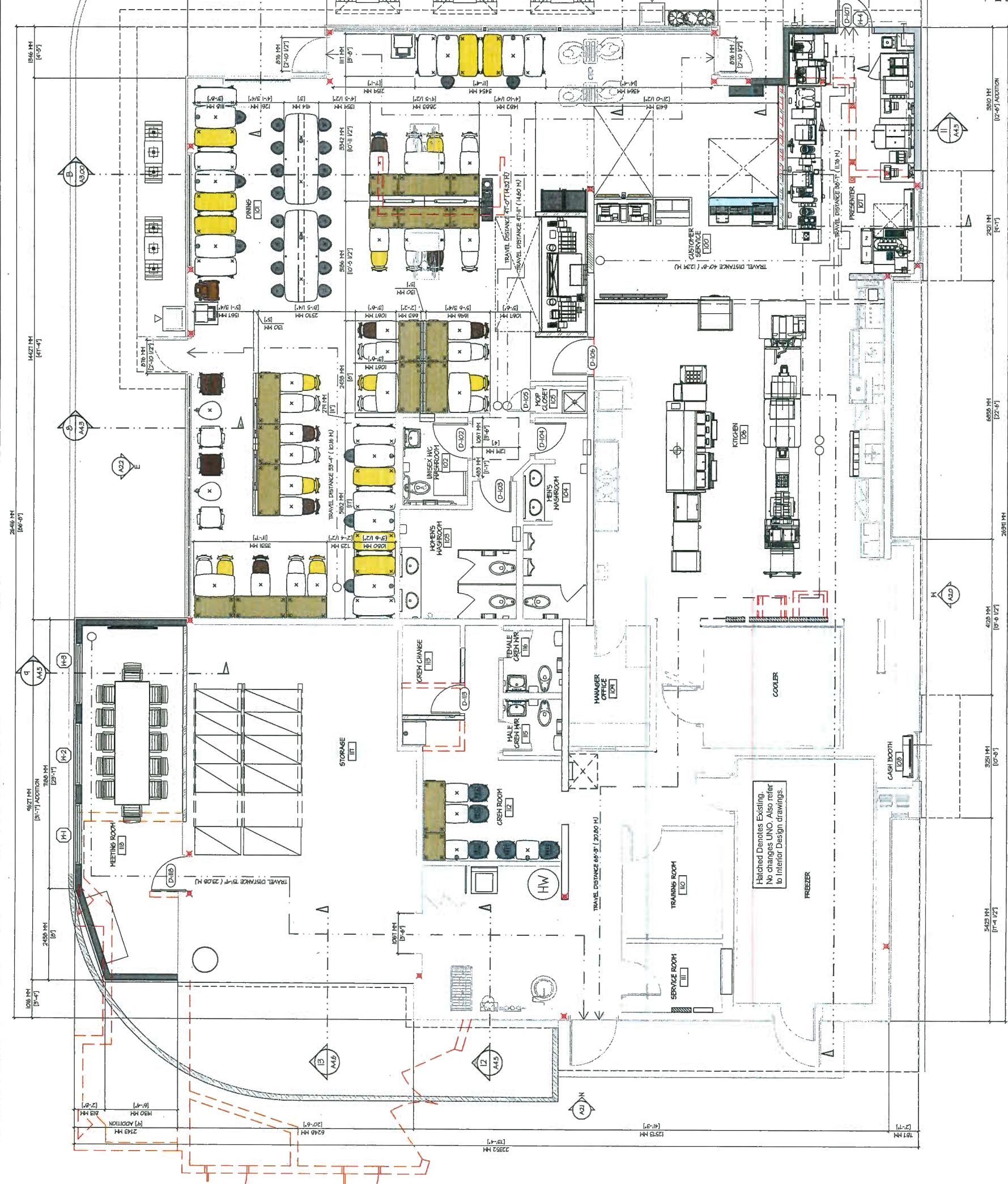
**PROPOSED FLOOR PLAN LEGEND:**

XXXX ROUGH NUMBER  
 (P-2023) DOOR NUMBER, REFER TO DOOR SCHEDULE  
 (H-X) HATCH NUMBER, REFER TO HATCH SCHEDULE  
 (R-1) HALLS, DOORS, ETC. TO BE REMOVED  
 (H-X) HATCH NUMBER, REFER TO HATCH SCHEDULE



AREA LOST (STORAGE AND ATTACHED GARBAGE):  
 632.61 SQ.FT. (58.78 SQ.M.)  
 AREA ADDITION (PRESENTER BOOTH AND CREN ROOM): 329.90 SQ.FT. (30.46 SQ.M.)  
 TOTAL FLOOR AREA (NEW): 5551.21 SQ.FT. (516.23 SQ.M.)  
 DETACHED GARBAGE AREA (NEW) - SEE A50.2 : 321.21 SQ.FT. (29.85 SQ.M.)  
 SEATING : 115 SEATS

**PROPOSED FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"  
 DATE: MARCH, 2016



AREA LOST (STORAGE AND ATTACHED GARBAGE):  
 632.61 SQ.FT. (58.78 SQ.M.)  
 AREA ADDITION (PRESENTER BOOTH AND CREN ROOM): 329.90 SQ.FT. (30.46 SQ.M.)  
 TOTAL FLOOR AREA (NEW): 5551.21 SQ.FT. (516.23 SQ.M.)  
 DETACHED GARBAGE AREA (NEW) - SEE A50.2 : 321.21 SQ.FT. (29.85 SQ.M.)  
 SEATING : 115 SEATS

**PROPOSED FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"  
 DATE: MARCH, 2016

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DIMENSIONS SHALL NOT BE SCALED.

**LOVICK SCOTT ARCHITECTS**

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 BURNABY, BC V5C 3V6  
 ADMIN@LOVICKSCOTT.COM  
 604 298 3700 WWW.LOVICKSCOTT.COM  
 MEMBER OF THE AIBC, AIA, SAA, MAA & NAITMA ARCHITECTURAL BODIES

McDonald's Restaurant  
 8140 No.2 Road,  
 RICHMOND, BC  
 RICHMOND

PROPOSED FLOOR PLAN  
 PLAN # 11

PROJECT NUMBER: 16-025  
 DRAWING NUMBER: AI.11

SCALE: 1/4" = 1'-0"  
 DATE: MARCH, 2016

BLUNDELL NO.2 - 16-025

DP 17-775868  
 JUN 26 2019 REFERENCE PLAN

**McDonald's**  
 4400 STILL CREEK DRIVE, BURNABY B.C. V5C 6C6  
 McDONALD'S RESTAURANTS OF CANADA LIMITED

REV	DATE	DESCRIPTION
MAR/20/M		RE-ISSUED FOR DP
NOV/15/M		RE-ISSUED FOR DP
JAN/16/M		ISSUED FOR DP
APR/16/M		ISSUED FOR MCD'S REVIEW

- ROOF PLAN LEGEND:**
- [Pattern] TOP OF DRIVE THRU PARAPET NEW
  - [Pattern] TOP OF MAIN PARAPET NEW
  - [Pattern] TOP OF ENTRY BLAZE NEW
  - [Pattern] TOP OF BARGE NEW
  - [Pattern] ROOF TO BE REMOVED
  - [Pattern] ROOF TO REMAIN

- ROOF PLAN NOTES:**
- HIGH ALL SURFACES AND REPAIR AS NECESSARY PRIOR TO APPLYING PAINT.
  - MAINTAIN ALL EXISTING ROOF SLOPES AND FINISHES.
  - CALLS, SEAL AND MAKE GOOD ALL NEW ROOF PENETRATIONS.
  - REFER TO STRUCTURAL DRAWINGS FOR NEW ALL ROOF PENETRATIONS (ROOFDECK).
  - CONTRACTOR TO MAINTAIN THE INTEGRITY OF ROOF MEMBRANE AND BUILDING ENVELOPE.

- ROOF PLAN KEYNOTES:**
- SEE GENERAL NOTES ON DRAWING A01 FOR ADDITIONAL INSTRUCTIONS.
  - NEW SLOPE ROOF PARAPET.
  - NEW DRIVE THRU CANOPY.
  - NEW WHITE RUBBER CANOPY.
  - MAINTAIN EXISTING FIRESTOP AT ROOF ATTIC SPACE OR PROVIDE NEW FIRE STOPPING @ 60" OF FACE INTERFACES.
  - EXISTING ROOFING SYSTEM TO REMAIN AS IS.
  - EXISTING ROOF HATCH TO REMAIN AS IS.
  - EXISTING SLOPPER DRAIN TO BE EXTENDED 6" TO 8" OF THE FACE OF THE PARAPET HALL.
  - ROOF DRAIN TO REMAIN AS IS.
  - LOCATIONS ARE TO BE CONFIRMED ON SITE
  - NEW ROOF TOP INT. SEE MECHANICAL.

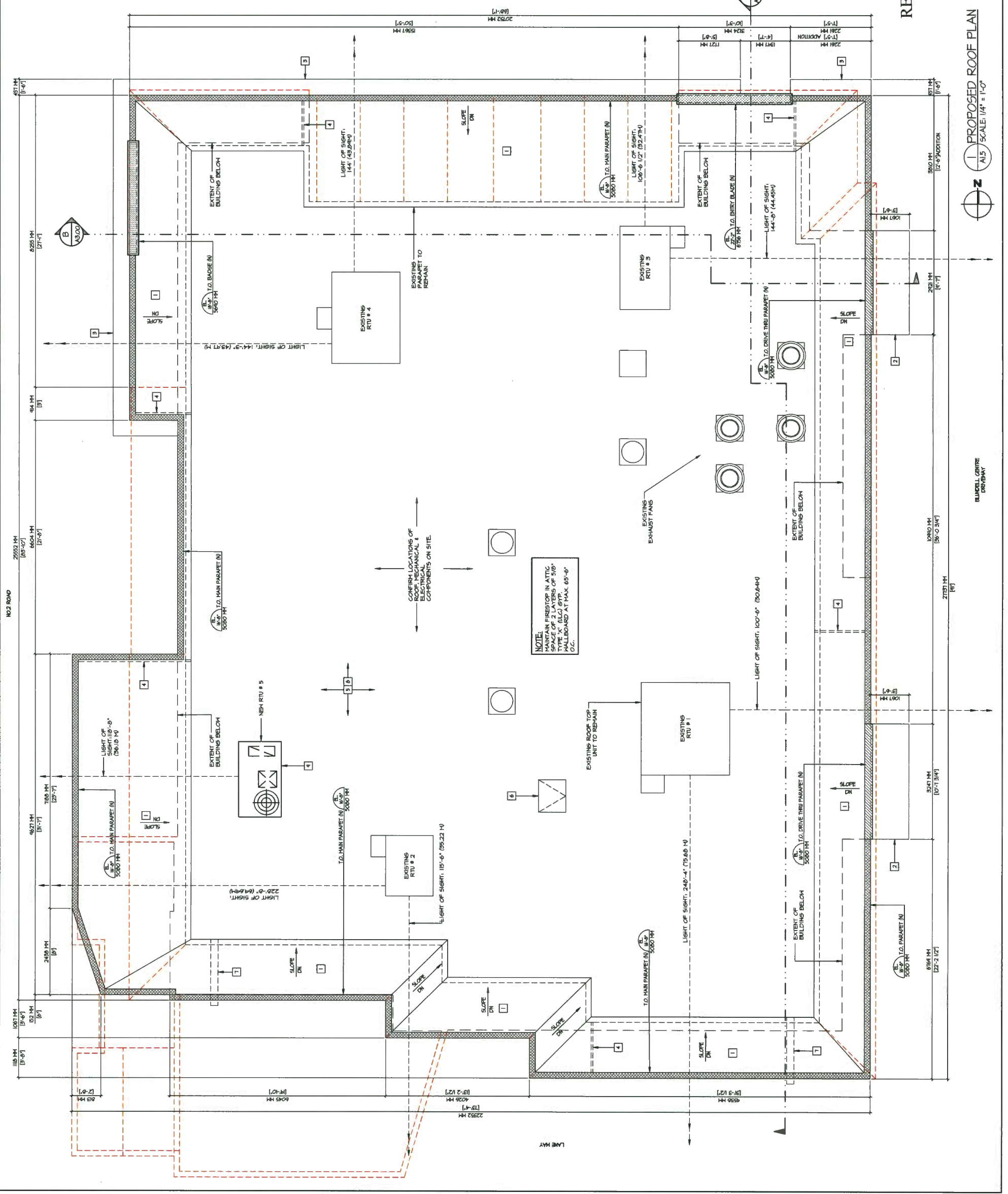
**ALL DIMENSIONS ARE TO BE CONFIRMED ON SITE**

CONSULTANT SEAL

LOVICK SCOTT ARCHITECTS  
 3707 1ST AVENUE  
 BURNABY, BC V5C 3V6  
 ADMIN@LOVICKSCOTT.COM  
 604.298.3700 WWW.LOVICKSCOTT.COM  
 MEMBER OF THE ABC, AAA, SAA, MAA & NWTAA ARCHITECTURAL BSA

**DP 17-775868**  
 JUN 26 2019

**McDonald's Restaurant**  
 8140 No. 2 Road,  
 RICHMOND, BC  
 DRAWING NO. 16-025  
 PROJECT NUMBER 16-025  
 DRAWING NUMBER A1.6  
 SCALE 1/4" = 1'-0"  
 DATE MARCH 2016



**REFERENCE PLAN**



**PROPOSED ROOF PLAN**  
 SCALE: 1/4" = 1'-0"

BLUNDELL CENTRE DRIVEWAY

BLUNDELL NO. 2 - 16-025

DP 17-775868



REV	DATE	DESCRIPTION
JUN/16		ISSUED FOR M&D'S REVIEW
JUN/17		ISSUED FOR D.P.
NOV/16		RE-ISSUED FOR D.P.
JUN/16		RE-ISSUED FOR D.P.

CONSULTANT

**McDonald's**  
 McDONALD'S RESTAURANTS OF CANADA LIMITED,  
 4400 STILL CREEK DRIVE, BURNABY B.C. V5C 6C6

CONSULTANT SEAL

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DIMENSIONS SHALL NOT BE SCALED.

**LOVICK  
SCOTT  
ARCHITECTS**

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**DP 17-175868**

JUN 26 2019

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DRAWN BY: R2/R  
 APPROVED:

PROJECT: McDonald's Restaurant

8140 No.2 Road,  
 RICHMOND, BC

DRAWING	
PROJECT NUMBER	16-025
DRAWING NUMBER	A2.5
SCALE	NOT TO SCALE
DATE	APRIL 2016
REVISION	AUG/21/16
PERSPECTIVES PLAN # 19	

REFERENCE PLAN

BLUNDELL NO.2 - 16-025



1 NO.2 ROAD VIEW  
A26 SCALE: NTS



2 NO.2 ROAD VIEW  
A26 SCALE: NTS

REV	DATE	DESCRIPTION
LIVE/019		RE-ISSUED FOR DP
NOV/5/16		RE-ISSUED FOR DP

CONSULTANT

**McDonald's®**

MCDONALD'S RESTAURANTS OF CANADA LIMITED  
4400 STILL CREEK DRIVE, BURNABY B.C. V5C 6C6

CONSULTANT SEAL

LOVICK SCOTT ARCHITECTS  
ARCHITECT

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**DP 17-775868**  
JUN 26 2019

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PROJECT: McDonald's Restaurant  
8140 No.2 Road,  
RICHMOND, BC

PERPECTIVES  
PLAN # 20

PROJECT NUMBER	16-025
DRAWING NUMBER	A2.6
SCALE	NOT TO SCALE
DATE	APRIL 2016
REVISION	