



To: Development Permit Panel

Date: September 9, 2019


From: Wayne Craig
Director of Development

File: DP18-797026
HA18-797029

Re: Application by Eric Stedman Architect for a Development Permit and Heritage Alteration Permit at 12060 & 12080 1st Avenue

Staff Recommendation

1. That a Development Permit be issued which would permit the construction of a three-storey, mixed-use development at 12060 and 12080 1st Avenue on a site zoned “Steveston Commercial (CS3)”.
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - a) Increase the maximum permitted building height from 12 m to 14 m to allow stair and elevator access to the rooftop outdoor amenity area.
 - b) Increase the total allowable maximum aggregate width of a recessed balcony opening on the front façade from 25% of the lot width to 32% of the lot width on the 2nd and 3rd storeys.
 - c) Increase the allowable maximum aggregate area of all recesses and openings on the front façade from 33% to 35 %.
 - d) Reduce the minimum required vehicle manoeuvring aisle width in the parking area from 7.5 m to 6.7 m.
3. That a Heritage Alteration Permit (HA18-797029) be issued at 12060 and 12080 1st Avenue in accordance with the Development Permit.


Wayne Craig
Director of Development

WC:mp
Att. 7

Staff Report

Origin

Eric Stedman Architect has applied to the City of Richmond for permission to develop a three-storey, mixed-use building at 12060 and 12080 1st Avenue on a site zoned “Steveston Commercial (CS3)”. The site consists of two legal parcels: the southern parcel at 12080 1st Avenue contains a single detached house, and the northern parcel at 12060 1st Avenue contains a private garden.

The current CS3 zone allows for a mixed-use building with a maximum Floor Area Ratio of 1.0; as the appropriate zoning is already in place, no rezoning is required. Prior to future building permit issuance, the developer is required to enter into a Servicing Agreement for the design and construction of the required frontage improvement works and site services.

The subject site is in the Steveston Village Heritage Conservation Area; therefore the Development Permit application is being considered in coordination with a Heritage Alteration Permit to be issued concurrently.

The subject site does not contain an identified heritage resource to be maintained and conserved.

Development Information

Please refer to attached Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the north: A three-storey, mixed-use development with an open pedestrian arcade fronting onto 1st Avenue.
- To the east: The rear lane and a grocery store (Super Grocer) having the front entrance on No.1 Road.
- To the south: Four single-storey commercial buildings fronting onto Moncton Street. Three of them (3831, 3871 and 3891 Moncton Street) are identified heritage resources in Steveston Village.
- To the west: Across 1st Avenue are two-storey, mixed-used developments.

Public Consultation

A notification sign for the Development Permit and Heritage Alteration Permit applications has been installed on the subject property. Although the subject site is not one of the identified heritage resources to be maintained and conserved in Steveston Village, all the comments received are related to the historic value of the site, particularly related to the private garden

created and managed by Ms. Kay Sakata, who was the former owner of the house and the garden.

The following is a summary of the comments/concerns.

- Five written comments from members of the public were received in response to the development notification sign installed on the subject property (**Attachment 2**). They wanted the house and garden to be preserved to honour the legacy of Ms. Kay Sakata. The subject site was initially proposed to be one of the identified heritage resources in Steveston Village as part of the draft Steveston Area Plan, presented to Council in 2009. At the June 15, 2009 Public Hearing, the daughter (i.e., one of the current owners) of Ms. Kay Sakata provided a written submission to request for removal of the site from the proposed list of identified heritage resources, and she also spoke at the Public Hearing on behalf of her mother, brother and husband to request the site be taken off the list of the identified heritage resources. She noted that there would be significant future financial implications for the family due to potential devaluation of the property value. A few other members of the public also spoke at the Public Hearing to support her request, and it was agreed to by Council. The house and the garden are not identified heritage resources (i.e., they are not protected heritage resources) in Steveston Village.
- Staff also received several phone calls from members of the public inquiring about details of the proposed development and its status. Staff clarified the heritage status of the site (i.e., the site is not one of the identified heritage resources in Steveston Village) and informed the inquirers that the applicant for the proposed development is a group of individuals including the daughter of Ms. Kay Sakata, and they intended to live in the new building. No one expressed specific concerns or objection to the proposed development but noted that they were surprised and/or disappointed by the proposed removal of the garden.
- The Chair and the Executive Director of the Steveston Historical Society also contacted staff to learn more about the applications, particularly to learn about how the legacy of Ms. Kay Sakata and the garden will be commemorated. On April 19, 2018, staff met with the Chair and the Executive Director and provided detailed information on the proposed development. No further comments were received from the Steveston Historical Society.
- A representative of the owner at 3831 Moncton Street, the immediately adjacent site to the south, contacted staff to learn more about the proposed development. He expressed his concerns regarding the overall height of the proposed building in comparison to the existing one-storey buildings on Moncton Street. The applicant provided a set of architectural drawings including a drawing showing the proposed 1st Avenue streetscape to the inquirer. No further comments were received.
- The owners of the property provided a letter to the owners of the eight neighbouring properties in the immediate neighbourhood to seek feedback on the proposed development. The owners indicated that they had selected the neighbouring properties which they believe would be most interested in the proposed development. In response to the letter, two emails were sent to the owners from the immediate neighbours acknowledging receipt of the letter. No specific concerns/comments were provided. The letter and a map of the notified properties are included in **Attachment 3**.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the “Steveston Commercial (CS3)” zone except for the zoning variances noted below.

Zoning Compliance/Variations (staff comments in bold)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) Increase the maximum permitted building height from 12 m to 14 m to allow stair and elevator access to the rooftop outdoor amenity area.

Staff supports the proposed variance for the following reasons:

- *The Steveston Area Plan Development Permit Guidelines encourages use of roofs as outdoor living spaces. An elevator access is provided to ensure the space is accessible for all residential users. The rooftop deck includes a communal outdoor amenity area as well as urban agriculture planters for use of all residents. All the residential units are designed to be accessible with potential to be easily renovated to accommodate a future resident in a wheelchair.*
 - *The proposed height to the top of the parapet is 10.3 m, which is below the maximum permitted building height, and the elevator structure projects above the parapet by 3.7 m.*
 - *The proposed location and height of the stair and elevator structures are consistent with the Steveston Area Plan Development Permit Guidelines for the Steveston Village Character Area. The Steveston Area Plan requires stairs and elevator structures be well integrated with the overall design of the building and setback from all roof edges to a minimum distance of 1.0 m. The structures will be treated with the same cladding material and the proposed parapets help reduces their visibility.*
 - *The applicant has provided a view analysis to show that the proposed rooftop deck access structures will not be visible from Moncton Street and 1st Avenue.*
 - *The height variance is requested for the elevator structure to accommodate the required overrun clearance by the Safety Code for Elevators and Escalators. The Code requires a minimum of 1.5m be provided between the elevator cab and hoist beam.*
 - *Providing one communal access to the roof top rather than multiple individual access points minimizes potential visual impacts of the structure.*
- 2) Increase the total aggregate width of a recessed balcony opening on the front façade from 25% of the lot width to 32% of the lot width on the 2nd and 3rd storeys.

The intent of the zoning provision is to achieve strong, continuous street walls, which is one of the main heritage characters of Steveston Village. Staff supports the proposed variance for the following reasons:

- *The width of each individual balcony does not exceed the maximum permitted 2.4 m.*

- *The proposed design achieves the intent of the zoning provision by siting the building tight to the property line and providing a plain street wall design with the recessed balconies located at both ends on the street façade to limit interruption.*
 - *The recessed balcony openings are proportioned adequately and the design is compatible with the existing buildings in the block.*
 - *The balconies are proposed to encourage cross ventilation and improve day lighting to the residential units.*
- 3) Increase the aggregate area of all recesses and openings on the front façade from 33% to 35%.

The intent of this zoning provision is also to achieve strong, continuous street walls, which is one of the main heritage characters of Steveston Village. Staff supports the proposed variance for the following reasons:

- *The variance mainly results from the entire first storey being recessed to provide continuous pedestrian arcade along 1st Avenue. The recessed first storey reinforces the continuity of the streetscape and is compatible with the designs of the adjacent buildings.*
- 4) Reduce the minimum required vehicle manoeuvring aisle width in the parking area from 7.5 m to 6.7 m.

Staff supports the proposed variance as it enables compliance with the on-site parking requirement, and the variance is limited to the driveway entrance. The width of the north-south drive aisle complies with the 7.5 m requirement. The City's Transportation Department has been consulted and does not object to the variance as the proposed parking layout is functional and will not compromise vehicle circulation or safety.

Richmond Heritage Commission Comments

The Richmond Heritage Commission reviewed the project at its meeting held on February 20, 2019, and adopted the following resolution.

That the Development Permit and the Heritage Alteration Permit applications for 12060 and 12080 1st Avenue be supported subject to the following conditions:

- 1. Incorporate a mural (e.g. mosaic) or public art on the south wall to commemorate the history of the Sakata family and Ms. Kay Sakata's garden;*
- 2. Further refine the design of the elevator structure to minimize its visual impact;*
- 3. Commemorate the garden through heritage pavement design (patterns or colours) in front of the storefronts; and*
- 4. Add more colours (e.g., colourful plants) to storefronts to commemorate the garden and bring attention to the site history.*

Staff also recommended provision of artwork on the south wall in keeping with the Richmond Heritage Commission's comment. The owners considered providing artwork on the south wall but would not agree to provide. In order to address the issue related to the exposed end/party wall, the south wall will be treated with the same level of finish and materials on the building's front façade.

All other comments have been addressed as follows:

- The same cornice and roof line of the building has been incorporated into the elevator structure.
- Linear pavers are proposed in the recessed entry area along the 1st Avenue commercial frontage to reflect historic wood planking and mark door entries.
- Colourful plants have been added to the planters along 1st Avenue to bring attention to the site history.

The Richmond Heritage Commission also reviewed details of the heritage signs proposed to commemorate Ms. Kay Sakata's garden and family history, and supported the proposed wording, design and locations.

A copy of the relevant excerpt from the February 20, 2019 Richmond Heritage Commission minutes is attached for reference (**Attachment 4**).

Advisory Design Panel Comments

The Advisory Design Panel was supportive of the proposed development. A copy of the relevant excerpt from the Advisory Design Panel Minutes from April 3, 2019 is attached for reference (**Attachment 5**). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '*bold italics*'.

Analysis

Conditions of Adjacency

- The Steveston Area Plan supports a continuous commercial storefront street wall with harmonious height of buildings, parapets, canopies and fasciae. The proposed building design will reinforce the strong street wall and will extend the pedestrian arcade established by two other three-storey buildings to the north. The proposed height of the buildings and parapets match those of the existing buildings on the north side.
- The properties immediately to the south contain one-storey commercial buildings. Three of the properties at 3831, 3871 and 3891 Moncton Street are identified heritage resources to be maintained and conserved. However, two-storey additions can be possibly built behind the original portions of the identified heritage resources in the future through comprehensive redevelopment in accordance with the Steveston Area Plan. The proposed south wall will be treated the same as the front façade with high-quality cladding material and texture.
- Site grading is designed to match the existing elevation of the sidewalk along 1st Avenue. No significant grade differences to surrounding properties or retaining walls will be required.

Urban Design and Site Planning

- The 1st Avenue streetscape is animated with pedestrian-oriented commercial storefront and the continuous pedestrian arcade.
- Vehicle access is provided from the lane and a surface parking area is provided at rear. A carport is proposed for the residential parking spaces proposed on the east side and Level 2 electric vehicle charging outlets will be provided for all residential parking spaces in accordance with the Zoning Bylaw requirement.

- The provision of off-street parking spaces meets the bylaw requirement. A designated residential visitor parking space is provided.
- An outdoor amenity area for the residents is proposed on the roof top deck and is designed and located in the central portion of the roof area. The proposed communal outdoor amenity area will be shared by residents.
- Service areas for garbage and recycling bins are contained in a fully enclosed space at the rear of the development with access off the lane.

Architectural Form and Character

- The building form is inspired by heritage simple massing with traditional details found in other buildings in Steveston Village. The flat roof form is compatible with the existing buildings in the Steveston Village Core Area.
- In response to the Steveston Village Core Area Development Permit Guidelines, the historic lot lines are represented by creating two distinct building facades with a cornice, a stepped parapet, different paint colours, and independent lease spaces.
- Exterior cladding materials include fibre cement shingles and board and batten siding, and the proposed colours are muted heritage colours; these are consistent with acceptable materials and colours in the Steveston Village Core Area. A variety of spacing in the placement of the battens is intended to provide a textured surface and visual interest.
- The cladding materials proposed on the front façade are carried around the south elevation and lane frontage.
- Wood-framed windows are proposed. Ground floor windows on the street façade follow a historic rhythm in Steveston Village with uniform sill height not more than 0.6m (2 ft.) above floor level. Windows on floors above the ground floor have uniform sill height generally 0.75 m (2.5 ft.) above floor level, heads generally 0.45 m from ceiling level and proportioned to be approximately twice as high as wide; this is consistent with the Steveston Village Core Area Development Permit Guidelines.

Tree Retention and Replacement

- The applicant has submitted a Certified Arborist's Report, which identifies eight (8) on-site trees, assesses tree structure and condition, and provides recommendations on tree retention and removal relative to the proposed development. The tree management plan is included in **Attachment 6**.
- The City's Tree Preservation Coordinator has reviewed the Arborist Report and has provided the following comments:
 - Seven (7) trees (tag #991, 992, 994, 995, 996, 997 and 998) located on the development site are all in poor condition; they either are dying (sparse canopy foliage), have been previously topped or exhibit structural defects such as large cavities at the main branch union and co-dominant stems with inclusions. These trees are not good candidates for retention and should be replaced.
 - One (1) tree (tag# 993), Corkscrew Willow, is located on the development site. This tree is in good condition but is located in the side yard. The tree is in conflict with the proposed development. Remove and replace.
- The applicant wishes to remove eight (8) on-site trees. The 2:1 replacement ratio would require a total of 16 replacement trees. The landscape plan shows 16 new trees to be planted on the site: 12 replacement trees in the parking and landscaped area at the rear of the

development, and four (4) replacement trees on the rooftop. The proposed replacement tree sizes meet the size requirements in Tree Protection Bylaw 8057. The required landscape letter of credit includes the amount required for the tree replacement.

Landscape Design and Open Space Design

- Although the existing garden is not an identified heritage resource, a number of community members value the garden and the family history associated with it. The landscape architect has conducted a garden inventory and has incorporated the planting species which are found in the current garden to celebrate the history of the garden.
- In addition to the planting species, the following features have also been incorporated into the landscape design to commemorate the history of the garden and Sakata family:
 - Two interpretive heritage signs: one on the west wall adjacent to the residential entry and the other free standing sign in the garden planter along the lane
 - Linear pavers to reflect historic wood planking to mark door entries on the 1st Avenue commercial frontage and the rear residential entry from the parking area
 - Decorative garden pattern trench drain
 - Colourful planting species in the planters along 1st Avenue frontage.
- The accessible area on the rooftop includes planters for urban agriculture, four Cork Bark Maple trees and various groundcovers and perennials around the patios. The landscape architect indicates that the proposed Cork Bark Maple is suitable for the rooftop as it is a small species and will be no higher than 10' at its mature state as they will be planted with restricted soil in planters. The trees are proposed on the east side of the rooftop (i.e., a minimum of 10 m away from the street property line) to reduce their visibility from the street.
- One communal rooftop patio is proposed in the middle and private patios are proposed for the top units. 6' high wooden screen is proposed between patios to provide privacy. The height to the top of the wooden screen does not exceed the maximum permitted height of 12 m in the CS3 zone, and the screen will not be visible from the streets.
- A landscape letter of credit in the amount of \$222,657.60 is required to be submitted prior to issuance of the Development Permit to secure the implementation of the proposed landscape design, including the heritage signage.

Crime Prevention Through Environmental Design

- The width of the residential entrance is limited to 2 m in accordance with the zoning requirement, and is controlled by a secured lobby.
- The proposed entry is fully glazed and is open to the street and the parking area to maximize visibility.
- The 1st Avenue areas are visible from the fully-glazed retail spaces and the residential lobby.
- The residential units have windows, patios and roof top areas overlooking the entire parking area and the lane.

Accessible Housing

- The proposed development includes the Basic Universal Housing Features regarding building access, doors and doorways, manoeuvring space at doorways and corridor widths. Also, the kitchen, one of the bedrooms and one of the bathrooms are designed with the potential to be easily renovated to accommodate a future resident in a wheelchair.

- All of the proposed units include aging-in-place features to accommodate mobility constraints associated with aging. These features include:
 - Stairwell hand rails;
 - Lever-type handles for plumbing fixtures and door handles;
 - Solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers; and
 - Elevator access to the units and rooftop outdoor amenity area.

Sustainability Features

- The following sustainability features are included in the development:
 - Permeable paving and trees in the parking area to assist with storm water management
 - Collection of rainwater for use in vegetable and flower gardens at roof level
 - Water efficient fixture in the residential and commercial units
 - Radiant heating system for the residential units
 - Heat recovery ventilation for a high level of indoor air quality
 - Placement of window and door openings to encourage cross ventilation and reduce the need for cooling in the residential units.

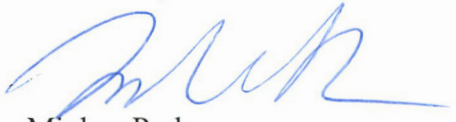
Servicing and Frontage Improvements

- A Servicing Agreement is required prior to issuance of future Building Permit for the design and construction of engineering infrastructure and frontage improvements. Works include but are not limited to the following:
 - Construct a 1.67 m wide concrete sidewalk that matches the width of the existing sidewalk in this block of 1st Avenue, and 0.15 m wide concrete curb and gutter.
 - Remove the existing pavement marking related to on-street parking on 1st Avenue and prepare a new pavement marking plan to back fill the development curb frontage with angle parking.
 - Remove any affected traffic/parking signage and install new signage required along the development frontage.
 - Construct a new driveway for vehicle access from the lane to the site.
 - Provide street lighting along the lane frontage with bollards offset 0.5m away from the street lighting poles.
 - Provide Pavement re-grading and upgrades on lane as required by Engineering Department.

Conclusions

The proposed development would meet applicable policies and Development Permit Guidelines, and the applicant has incorporated architectural and landscape elements to celebrate the history of the garden and Sakata family.

Staff recommend that the Development Permit and Heritage Alteration Permit be endorsed, and issuance by Council be recommended.



Minhee Park,
Planner 2

MP:cas

Attachment 1: Development Application Data Sheet

Attachment 2: Written Comments from the General Public

Attachment 3: Letters to Immediate Neighbours by the Owners and Map

Attachment 4: Excerpt from the February 20, 2019 Richmond Heritage Commission Minutes

Attachment 5: Excerpt from the April 3, 2019 Advisory Design Panel Meeting Minutes Excerpt

Attachment 6: Tree Management Plan

Attachment 7: Development Permit Considerations



DP18-797026

Attachment 1

Address: 12060 & 12080 1st Avenue

Applicant: Eric Stedman Architect

Owner: Sakata Gardens Enterprises Ltd.

Planning Area(s): Steveston

	Existing	Proposed
Site Area:	1,226.2 m ²	No Change
Land Uses:	Single Detached House	Mixed Use Residential and Commercial
Steveston Area Plan Designation:	Heritage Mixed-Use	No Change
Zoning:	Steveston Commercial (CS3)	No Change
Number of Units:	1 residential unit	4 residential units and 4 commercial units

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	1.0	1.0	none permitted
Lot Coverage:	Max. 100 %	50 %	None
Setback – Front Yard:	Min. 0 m	0 m	None
Setback – Side Yard:	Min. 0 m	0 m	None
Setback – Side Yard:	Min. 0 m	0 m	None
Setback – Rear Yard:	Min. 0 m	24.7 m	None
Height (m):	Max. 12 m	14 m	Variance
Maximum Width of Recessed Balcony Opening on Front Façade:	2.4 m	2.4m	None
Aggregate Width of Recessed Balcony Opening on Front Façade per floor:	25% of the lot width	32% of the lot width	Variance
Aggregate Area of All Recesses and Openings on Front Façade:	33% of the façade	35% of the façade	Variance
Off-street Parking Spaces – Regular/Commercial:	6 residential + 1 visitor 10 commercial	6 residential + 1 visitor 10 commercial	None
Off-street Parking Spaces – Accessible:	1	1	None
Total off-street Spaces:	17	17	None

Tandem Parking Spaces	not permitted	None	None
Minimum Width of Drive Aisle	7.5 m	6.7 m	Variance

Park,Minhee

----- Forwarded message -----
From: <laura.e.stapleton@gmail.com>
Date: 26 April 2018 at 00:11
Subject: Sakata house
To: carol@carolday.net

Hello Councillor Day,

I am writing to you in regards to the property at 12060 and 12080 1st Avenue in Steveston Village, the former home of long time Richmond resident Kay Sakata.

I'm sure you are familiar with Ms. Sakatas' beautiful old 1940s home, and her even more beautiful garden. This property is a well-recognized and well-loved part of Steveston Village, and one of the few remaining vestiges of the communities' humble roots.

The Sakata house is such a rare jewel that it is my belief that Steveston merchants and local residents alike would unanimously wish to see it be preserved. To that end, I am inquiring on their behalf to find out what can be done to maintain this vital part of Steveston history.

As you likely know, there is a development permit application on the site for a mixed residential and commercial project. I would like to know how far the review of this application has proceeded, and also if the property has been sold. From there, my plan is to start a lobby group to petition the city with possible routes towards preservation of the Sakata house. Ideas include but are not limited to an art gallery (perhaps as an extension of the main Richmond Art Gallery), converted office space, community garden, public park, and more.

Thank you kindly for your time and consideration.

Laura Stapleton
778-230-1161

Sent from my iPhone

Park, Minhee

From: MayorandCouncillors
Sent: Tuesday, 1 May 2018 08:31
To: Konkin, Barry; Park, Minhee
Cc: Powell, Jo Anne
Subject: FW: Sakai house in steveston

-----Original Message-----

From: MayorandCouncillors
Sent: Tuesday, 1 May 2018 08:30
To: 'Dolena Znidarsic'
Subject: RE: Sakai house in steveston

Good morning,

This is to acknowledge and thank you for your email. Please be advised that copies of your email have been forwarded to the Mayor and each Councillor. In addition, your email has been forwarded to Barry Konkin, Manager, Policy Planning.

Thank you again for taking the time to bring your concerns to our attention.

Hanieh Berg | Acting Manager, Legislative Services City Clerk's Office | City of Richmond
6911 No. 3 Road, Richmond, BC V6Y 2C1

-----Original Message-----

From: Dolena Znidarsic [<mailto:dmznidarsic@gmail.com>]
Sent: Friday, 27 April 2018 20:57
To: MayorandCouncillors
Subject: Sakai house in steveston

Dear mayor/councillors,

I was so disheartened to see that this property is up for re-development.

It's one of Richmond's most historical landmarks and I'm shocked to see it's not being saved as a historical site. There's so much of "old" Richmond disappearing (including our valuable farmlands). We need to preserve such properties/lands - the historical value is just too great to lose...we all need to remember and honour our pioneers. Save our history and farmlands for future generations...

Thank you,
Dolena Znidarsic

Sent from my iPhone

Park,Minhee

Subject: STEVESTON DEVELOPMENT PERMIT APPLICATION

From: annel200 [<mailto:annel200@gmail.com>]
Sent: Sunday, 16 December 2018 09:58
To: MayorandCouncillors
Cc: Carol Day
Subject: STEVESTON DEVELOPMENT PERMIT APPLICATION

FILE DP18-797026
12060 and 12080 1st Ave
Steveston.

I have communicated to you previously at the time of the passing of the owner of this property. At that time I requested that council take steps to acquire and maintain in perpetuity the garden portion of the property.

The owner's family were longstanding and upstanding residents of Richmond/ Steveston. She was honoured late in her life by being featured in the annual festival parade.

One of the lots in question holds the family home. The other lot is totally a beautiful, mature mixed garden. It was created and cared for by the owner throughout her life until shortly before her passing.

The family name should be kept alive in Steveston's future.

I again request that council purchase the garden lot to keep the garden for the public in perpetuity. There are enough bland structures erasing the local history. The city has developer funding that should be directed to a genuine historic valued project such as this.

A. Lerner
12633 No. 2 Road
Richmond

Park,Minhee

From: MayorandCouncillors
Sent: Wednesday, 13 February 2019 16:54
To: Park,Minhee
Cc: Powell, Jo Anne; Konkin,Barry
Subject: FW: The Sakata House Steveston

From: MayorandCouncillors
Sent: Wednesday, 13 February 2019 16:52
To: 'lesmercer123@netscape.net'
Subject: RE: The Sakata House Steveston

Good Afternoon,

This is to acknowledge and thank you for your email. Please be advised that copies of your email have been forwarded to the Mayor and each Councillor. In addition, your email has been forwarded to Minhee Park, Planner.

Thank you again for taking the time to share your views with Richmond City Council.

Regards,
Claudia

Claudia Jesson
Manager, Legislative Services
City Clerk's Office
City of Richmond, 6911 No. 3 Road, Richmond, BC V6Y 2C1
Phone: 604-276-4006 | Email: cjesson@richmond.ca

From: lesmercer123@netscape.net [mailto:lesmercer123@netscape.net]
Sent: Sunday, 10 February 2019 08:31
To: Townsend, Ted; MayorandCouncillors
Subject: The Sakata House Steveston

Hello. I read with interest in the newspaper about Anne Lerner's request that the garden next to the Sakata house in Steveston be saved and somehow incorporated into the new building that will replace the Sakata house. I walk by almost every weekend, and one day when there were people in the yard, I noticed a few passersby stopped and asked them what would happen to the gorgeous garden that they had been enjoying for years. I didn't hear the answer, but I wondered myself and, like Anne Lerner and I'm sure many in the community, I was hoping it would be saved. It would be wonderful, I thought, to have a creative City Council with its new members ask the equally creative architects and planners to develop a building plan that would incorporate the garden, which could be called the Kay Sakata Garden.

Past City Councils I have found less progressive and creative and out-of-the-box thinkers, as a group. Maybe you will be different.

In hope,

Leslie Mercer

Park,Minhee

From: Parks

Sent: Thursday, 14 February 2019 15:36

To: Parks

Subject: City of Richmond BC - Report Problem or Request a Service - Case [0219-CS-COMMENT-020864] Modified



Attention: Administrator

The case 0219-CS-COMMENT-020864 has been modified from **Submit a General Comment, Compliment, or Question - Comment to Request a Service or Report a Problem - Parks, Trails, Community Gardens - Community gardens.**

Report a Problem - Request a Service

Category: Parks, Trails, Community Gardens

Sub-Category: Community gardens

Message:

I want to say I just heard that the most important garden in central Steveston may be taken down...I am dismayed as a resident in Richmond for many years it was one of the bright spots in our village. I hope someone will step up to support the continuation of this honorable citizens (Mrs Sakata) efforts..If there if there is anything I can contribute to the continuation of her legacy please let me know.

Location:

Uploaded Files:

Personal Information:

Rae Dalgarno

306-343-0234

raedalgarno@live.ca

Preferred Contact Method:

Technical Information:

Submitted By: Rae Dalgarno

Submitted On: Feb 14, 2019 03:31 PM

[Click Here](#) to open this message in the case management system. You should immediately update the Case Status either to Received to leave the case open for further follow-up, or select the appropriate status based on your activity and work protocols. Click Save to generate the standard received message to the customer, add any additional comments you wish to and click Save & Send Email. Close the browser window to exit.

12080 First Avenue
Richmond, BC
V7E 3L9

January 17, 2019

[REDACTED]
[REDACTED]
[REDACTED]

To Whom It May Concern:

Re: 3831 Moncton Street Property

I am writing to you as your neighbor to let you know about our property and home on First Avenue purchased by my parents, Kay and Shozo Sakata, in 1950. My name is Carol-Lyn Sakata Thaler, and since the death of my mother, Kay Sakata, in 2016, I have stayed in the house and tried to maintain the garden area.

It is the desire of my husband and I to live on the site. In order to do so, our intent is to rebuild on the property in line with the current street scape on First Avenue – commercial on the ground floor and residential units on the top two floors.

We are proceeding through the City Development Process and want to inform you of our current plans with the attached drawing and rendering. The project conforms to the current commercial zoning for the site and we have been working closely with the City during this process.

Included are the proposed plans of the property. Comments are welcome and should you have any questions, please leave a message on the First Avenue phone at 604-277-7354 or you can email me at clsakata2@gmail.com

Once again, comments are welcome; do not hesitate to contact me. An email to me to confirm receipt of this letter is appreciated.

Thank you,

Carol-Lyn Sakata Thaler

Excerpt from the Minutes from
The Richmond Heritage Commission Meeting

Wednesday, February 20, 2019 – 7:00 p.m.
Rm. M.2.002
Richmond City Hall

Development Permit and Heritage Alteration Permit (DP18-797026 & HA18-797029) 12060 and 12080 1st Avenue

Staff introduced the application by providing the site context and clarification on the heritage status of the site.

The project architect and landscape architect provided detailed information about the proposed development with the aid of a PowerPoint presentation focusing on how the proposed design meets the applicable design guidelines. Details of the proposed heritage interpretation signs were provided.

- Commission requested clarification on why the extra height was needed for the elevator structure and whether it could be further reduced. The project architect noted that the extra height was the minimum required by the Elevator Code for maintenance purposes. Commission discussed the visual impact of the elevator structure and noted that the impact could be further minimized by using an appropriate finish and colour.
- Commission asked if consideration had been given to save the existing planting materials and incorporate them into the landscape design. The landscape architect noted that it would be difficult to store plants during the construction, but the same plant species were proposed to commemorate the garden.
- Commission discussed whether the south wall could be a living garden. The landscape architect noted that it would be difficult to achieve a living wall.
- Commission felt that commemoration of the garden should be more than just interpretive signs, given the concerns/responses from the community. The following suggestions were made:
 - More colourful garden elements to be incorporated in the recessed storefronts
 - A mosaic or a mural to be incorporated on the south wall
 - Symbolic heritage design and colours to be incorporated into the pavement design
- A question was raised if rooftop patios were common in Steveston Village. Staff noted that they were becoming more common and most new developments in Steveston Village included rooftop patios.
- A comment was made that the applicant should consider transplanting the original plant materials with care, and working with the City to find proper storage. It was also suggested that signage campaign to move the plants to other areas in the community be considered.

It was moved and seconded:

That the Development Permit and the Heritage Alteration Permit applications for 12060 and 12080 1st Avenue be supported subject to the following conditions:

- 1. Incorporate a mural (e.g. mosaic) or public art on the south wall to commemorate the history of the Sakata family and Ms. Kay Sakata's garden;*
- 2. Further refine the design of the elevator structure to minimize its visual impact;*
- 3. Commemorate the garden through heritage pavement design (patterns or colours) in front of the storefronts; and*
- 4. Add more colours (e.g., colourful plants) to storefronts to commemorate the garden and bring attention to the site history.*

CARRIED

Excerpt from the Minutes from
The Advisory Design Panel Meeting

Wednesday, April 3, 2019 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall

2. **DP 18-797026 AND HA 18-797029 – 3-STOREY STEVESTON VILLAGE HERITAGE CONSERVATION AREA MIXED USE DEVELOPMENT, INCLUDING COMMERCIAL AT GRADE**

ARCHITECT: Eric Stedman Architect
LANDSCAPE ARCHITECT: CJKennedy Landscape Design
PROPERTY LOCATION: 12060 and 12080 1st Avenue

Applicant's Presentation

Eric Stedman, Eric Stedman Architect, and Caroline Kennedy, CJKennedy Landscape Design, presented the project and answered queries from the Panel on behalf of the applicant.

Panel Discussion

Comments from Panel members were as follows:

- the project is well done and complements the existing neighbourhood; appreciate the two distinct front facades to reflect the historic lot line; would like to see a similar treatment for the rear façade;

Applicant has incorporated comments.

- appreciate the images presented by the applicant to enable the Panel to better understand the project;
- concerned on the lack of manoeuvring space for vehicles on the visitor parking area, particularly at the northernmost stall at the corner;

The stall at the NW corner is the designated residential visitor space and is the least used. The layout is based on the required number of stalls.

- appreciate the presentation; the project is elegantly designed; consideration for shading on the west façade is well done; support the proposed variance to the maximum aggregate area of all recesses and openings in the proposed development;

- appreciate the comfortable lay-out for the residential units;
- consider a consistent colour treatment for the west (front) and east (rear) elevations for each of the two distinct building facades to enhance wayfinding in the proposed development; e.g., yellow coloured front façade should maintain the same colour for its rear façade;

Signage and a high degree of visibility into the retail spaces will address wayfinding. The colours of the elevations are now consistent on the both the East and West facades.

- consider more visual transparency for the east façade of the building to enhance wayfinding for visitors coming from the parking area at the rear of the building; consider relocating the washrooms of commercial units to achieve this objective;

The doors and sidelights are fully glazed. The entrances are aligned with the front entrances for a continuous visual connection through the retail spaces front to back. The suggested relocation of the washrooms significantly compromises future retail layouts for tenants and has not been incorporated.

- the elevator is the limiting factor in terms of massing on the roof; the stairwell behind the elevator has an eight-foot overhead clearance which exceeds the minimum Building Code requirement; applicant could trim the stairwell side should the applicant intend to reduce the massing of the roof access;

The potential reduction in the stair height is minimal and a code minimum is not acceptable for a high use, public area. The current massing reduces the visual impact of the structure more than a 'stepped' approach.

- the project fits well with the surrounding developments;
- consider incorporating a planting island on the existing corner bulge with overhead lighting at the site frontage to pay homage to the site's historic garden;

Response not required – per Minhee Park, April 18, 2017. Note that this is COR property.

- appreciate the proposed linear pavers on the site frontage; however, consider running the linear paving treatment the whole length of the covered area frontage, excluding the sidewalk; also consider relocating the planters in line with the columns and not at the entries to the commercial units to allow a clear path for pedestrian circulation;

The linear pavers layout is retained to designate storefront and residential entries. The planter locations are adjusted.

- consider relocating the bicycle racks on the building's frontage to the firewall;

Bike racks are relocated.

- appreciate the proposed landscape elements in the project; also appreciate the proposed landscaping at the rear of the site to celebrate the previous greenery on the site;
- nice compact project appears to work well;
- concerned about the provision for a common breezeway from front to back of the building; could work more successfully in a larger project but may not be appropriate in the Steveston area which is characterized by meandering passageways; consider redesigning the ground floor lay-out to provide a common passage connecting the rear parking area to the First Avenue and a lobby which includes the proposed location of the elevator and stair;

No common breezeway front to back is proposed. It is not suggested in any planning or zoning documents as appropriate for this site. Combining the residential entrance with a public access through the building presents significant CPTED issues and has not been incorporated.

- appreciate the rear (east) elevation which is more successful than the front elevation given its constraints;
- consider providing weather protection for the stair access at the roof level;

Weather protection is provided.

- consider delineating a pedestrian pathway from the residents' parking area to the building lobby entrance to assist in wayfinding; e.g., applicant could introduce a different paving treatment for the pedestrian pathway for better identification;

Landscape plan has been revised to incorporate paving designating a pathway.

- consider installing hanging signage at the back entrances to commercial units similar to the one proposed for the front entrances to commercial units to provide a stronger relationship between the front and back of the commercial units;

A designated signage area is identified on the drawings.

- on the front elevation, consider increasing the size of third storey windows below the high parapet relative to the second storey windows;

This was considered and not incorporated.

- on the rear elevation, investigate opportunities for integrating the ground floor vertical wood finish between the upper level windows to make the windows appear discontinuous and increase the use of the material on the rear facade;

This was considered and not incorporated. Note the panel comments supporting the rear elevation.

- consider installing an additional pair of trees on either side of the roof deck to screen the planting areas in the common outdoor amenity area;

Landscape plan has been updated.

- appreciate the high quality of work of the design team and the efforts of the owners to make the proposed project richer; and
- appreciate the concept for the proposed decorative elements on the blank south façade, which is highly visible from Moncton Street; however, the choice of laser cut image and other finer details, e.g., size, colour and lay-out of images need further consideration and development and should be compatible with the proposed colour on the south façade.

No artwork is proposed for the South elevation.

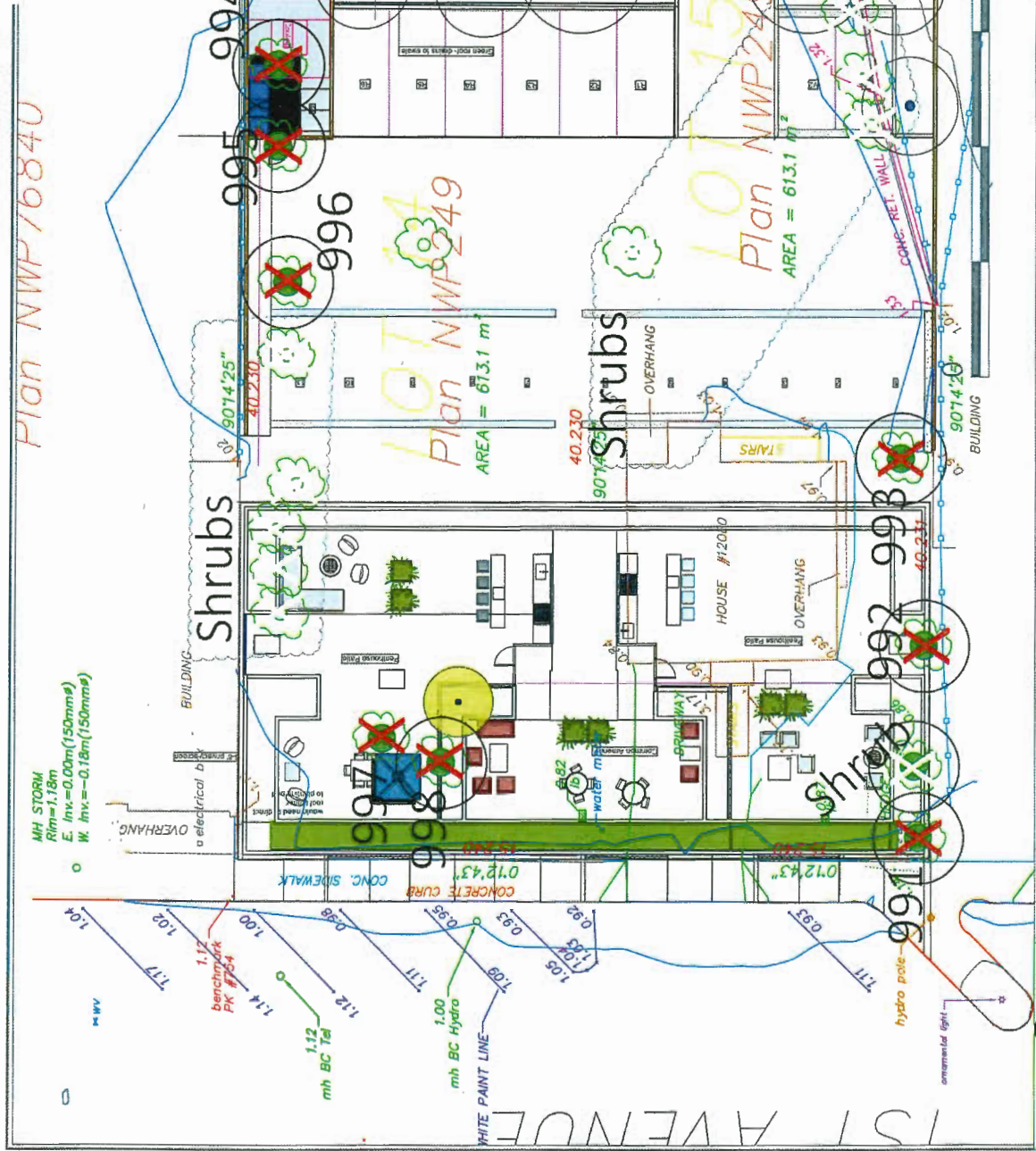
Panel Decision

It was moved and seconded:

That DP 18-797026 and HA 18-797029 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.

CARRIED

Tag #	Common Name	Botanical Name	DBH(cm)
991	English Walnut	Juglans nigra	40
992	Douglas Fir	Pseudotsuga amenziesii	43
993	Corkscrew Willow	Salix matsudana	29
994	Purpleleaf Plum	Prunus cerasifera	30
995	Purpleleaf Plum	Prunus cerasifera	35
996	Mountain Ash	Sorbus aucuparia	40
997	Saucer Magnolia	Magnolia x soulageana	55
998	Peach	Prunus persica	36



NOTES

- The location of the subject trees on this plan is approximate. Their location and ownership cannot be confirmed without being surveyed by a registered BC Land Surveyor.
- Any construction activities or grade changes within the Root Protection Zone must be approved by the project arborist.
- This plan is provided for context only, and is not certified as to the accuracy of the location of features or dimensions that are shown on this plan. Please refer to the original survey plan and engineering plans.

REFERENCE DRAWINGS

- Base Plans Provided by: Client

Date: 2017/11/06
 Drawn by: MR
 Page Size: TABLO10
 (11 X17)

Project Address: 12060 and 12080 First Avenue,
 Steveston, (Richmond) BC
 Client: Sakata Gardens Enterprises Ltd.

TREE RETENTION AND REMOVAL PLAN

MATTHEW ARBORIST CONSULTING INC.



**City of
Richmond**

Development Permit Considerations

Development Applications Department
6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 12060 and 12080 1st Avenue

File No.: DP18-797026

The following are to be met prior to forwarding the Development Permit application to Council for approval:

- Receipt of a Letter-of-Credit for landscaping in the amount of \$222,657.60 (a 10% contingency cost included).
- Consolidation of the lots into one development parcel.

Prior to future Building Permit issuance, the developer is required to complete the following:

- Enter into a Servicing Agreement* for the design and construction of engineering infrastructure and frontage improvements. A Letter of Credit or cash security for the value of the Servicing Agreement works, as determined by the City, will be required as part of entering into the Servicing Agreement. Works include, but may not be limited to:

Water Works:

- Using the OCP Model, there is 176 L/s of water available at 20 psi residual at 1st Ave frontage. Based on the proposed development, the site requires a minimum fire flow of 220 L/s per the City's design specification. In order to meet fire flow demands, water upgrades are required for the development.
- Developer is required to:
 - Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm the development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage and Building designs.
 - Upgrade approximately 80m of existing water main in 1st Avenue to 200 mm from the north property line of the development site to the existing water main in Moncton Street.
 - At the Servicing Agreement stage, the developer may provide Fire Underwriter Survey (FUS) fire flow calculations signed and sealed by a Professional Engineer confirming the required fire flow to serve the proposed development. If the developer's required fire flow is less than the available flow noted above (i.e. 176 L/s at 20 psi residual), the City will review if the water main upgrade can be removed from the scope of works. However, the City will not permit the water main upgrade to be removed from the scope of works if the development's site preparation works (i.e. preload, densification, etc.) may damage the existing fragile AC water main.
 - Review hydrant spacing on all road frontages and install new fire hydrants as required to meet City spacing requirements for commercial land use.
 - The current plan shows that travel distance from the fire hydrants will exceed the BC Building Code (BCBC) of 45m to a fire department connection (FDC). Another hydrant will be required on that side of the road to meet that BCBC requirement.

- At the Developer's cost, the City is required to:
 - Cut and Cap existing water connection servicing development site and install a new water connection complete with water meter and meter box.
 - Tie-in all existing water connections to the new upgraded water main.

Storm Sewer Works:

- Developer is required to:
 - Provide approximately 53m of 200mm storm sewer lane drainage on the lane and tie-in to the existing lane drainage on to the north and south via manholes.
- At the Developer's cost, the City will:
 - Cut and Cap the existing storm sewer service connections serving the development site.
 - Install a new storm connection and inspection chamber at the 1st Avenue property frontage.

Sanitary Sewer Works:

- At the Developer's cost, the City will:
 - Cut and cap the existing sanitary connection at the east property frontage, and remove inspection chamber.
 - Install a new sanitary connection complete with inspection chamber at the lane frontage of the property. The new connection shall be tied in to the manhole at the south property line of the development site.

Frontage Improvements:

- The developer is required to:
 - Provide frontage requirement as per Transportation Comments below.

1st Avenue Development Frontage Improvement

- All existing driveways along the 1st Avenue development frontage are to be closed permanently. The Developer is responsible for the removal of the existing driveway let-downs and the replacement with barrier curb/gutter and concrete sidewalk per standards described below. The cross-section of the frontage improvements, measuring from the property line towards the east curb of 1st Avenue, shall include the following:
 - a) 1.67 m wide concrete sidewalk that matches the width of the existing sidewalk in this block of 1st Avenue.
 - b) 0.15 m wide concrete curb and gutter.
 (Note: The exact dimensions of the frontage improvements will be determined as part of the Servicing Agreement detailed design process and legal surveys).
- Upon closing the existing driveways and back filling with new sidewalk and curb/gutter, the Developer is required to, across the 1st Avenue development frontage, complete the following pavement marking and signage works:
 - a) Remove the existing pavement marking related to on-street parking. As part of the Servicing Agreement detailed design process, prepare a new pavement marking plan to back fill the development curb frontage with angle parking (45 degree at 5.5 m x 2.5 m car parking space dimensions).
 - b) Remove any affected traffic/parking signage and install new signage as required along the development frontage.

Lane Development Frontage Improvements

- The existing lane has a pavement width of 10 m. Consult Engineering on the requirements for pavement re-grading and other upgrades. The extent of the required works will be determined by Engineering.
- Construct a new driveway for vehicle access to the site. The driveway, including the offset, is to be contained behind the adjoining property line and the projection of the property line to the curb.

Road Functional Plan

- A road functional plan is required for approval by the City. The plan is to show the frontage improvement works as described above including: road works, behind the curb frontage improvements, complete road cross-sections, and pavement marking.
- Coordinate with BC Hydro, Telus and other private communication service providers:
 - Before relocating/modifying any of the existing power poles and/or guy wires within the property frontages.
 - To underground overhead service lines.
 - To locate/relocate all above ground utility cabinets and kiosks required to service the proposed development, and all above ground utility cabinets and kiosks located along the development's frontages, within the development's site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be included in the development design review process. Coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the requirements (e.g., statutory right-of-way dimensions) and the locations for the aboveground structures. If a private utility company does not require an aboveground structure, that company shall confirm this via a letter to be submitted to the City. The following are examples of statutory right-of-ways that shall be shown on the architectural plans/functional plan, the servicing agreement drawings, and registered prior to Servicing Agreement design approval:
 - BC Hydro PMT – 4.0 x 5.0 m
 - BC Hydro LPT – 3.5 x 3.5 m
 - Street light kiosk – 1.5 x 1.5 m
 - Traffic signal kiosk – 2.0 x 1.5 m
 - Traffic signal UPS – 1.0 x 1.0 m
 - Shaw cable kiosk – 1.0 x 1.0 m
 - Telus FDH cabinet – 1.1 x 1.0 m
- Provide street lighting along the lane frontage with bollards offset 0.5m away from the street lighting poles.
- Review street lighting levels along all road and lane frontages, and upgrade as required.

General Items:

- The Developer is required to:
 - Provide, within the first servicing agreement submission or prior to start of site preparation works (whichever comes first), a geotechnical assessment of preload, de-watering, and soil preparation impacts on the existing utilities fronting the development site and provide mitigation recommendations.

- Monitor the settlement at the adjacent utilities and structures during pre-loading, dewatering, and soil preparation works per a geotechnical engineer's recommendations, and report the settlement amounts to the City for approval.
 - Submit a proposed strategy at the building permit stage for managing excavation de-watering. Note that the City's preference is to manage construction water onsite or by removing and disposing at an appropriate facility. If this is not feasible due to volume of de-watering, the Developer will be required to apply to Metro Vancouver for a permit to discharge into the sanitary sewer system. If the sanitary sewer does not have adequate capacity to receive the volume of construction water, the Developer will be required to enter into a de-watering agreement with the City to discharge treated construction water to the storm sewer system.
 - Enter into, if required, additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Enter into an encroachment agreement for cornices that encroach into 1st Avenue.
 - The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
 - Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<http://www.richmond.ca/services/ttp/special.htm>).
 - If applicable, payment of latecomer agreement charges, plus applicable interest associated with eligible latecomer works.



No. DP18-797026

To the Holder: Eric Stedman Architect
Property Address: 12060 & 12080 1st Avenue
Address: 4065 Virginia Crescent
North Vancouver BC V7R 3Z2

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a) Increase the maximum permitted building height from 12 m to 14 m to allow stair and elevator access to the rooftop.
 - b) Increase the total allowable maximum aggregate width of a recessed balcony opening on the front façade from 25% of the lot width to 32% of the lot width on the 2nd and 3rd storeys.
 - c) Increase the allowable maximum aggregate area of all recesses and openings on the front façade from 33% to 35%.
 - d) Reduce the minimum required manoeuvring aisle width from 7.5 m to 6.7 m.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #20 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$222,657.60 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.

Development Permit
No. DP18-797026

To the Holder: Eric Stedman Architect
Property Address: 12060 & 12080 1st Avenue
Address: 4065 Virginia Crescent
North Vancouver BC V7R 3Z2

7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.
8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO. _____
DAY OF _____, _____.

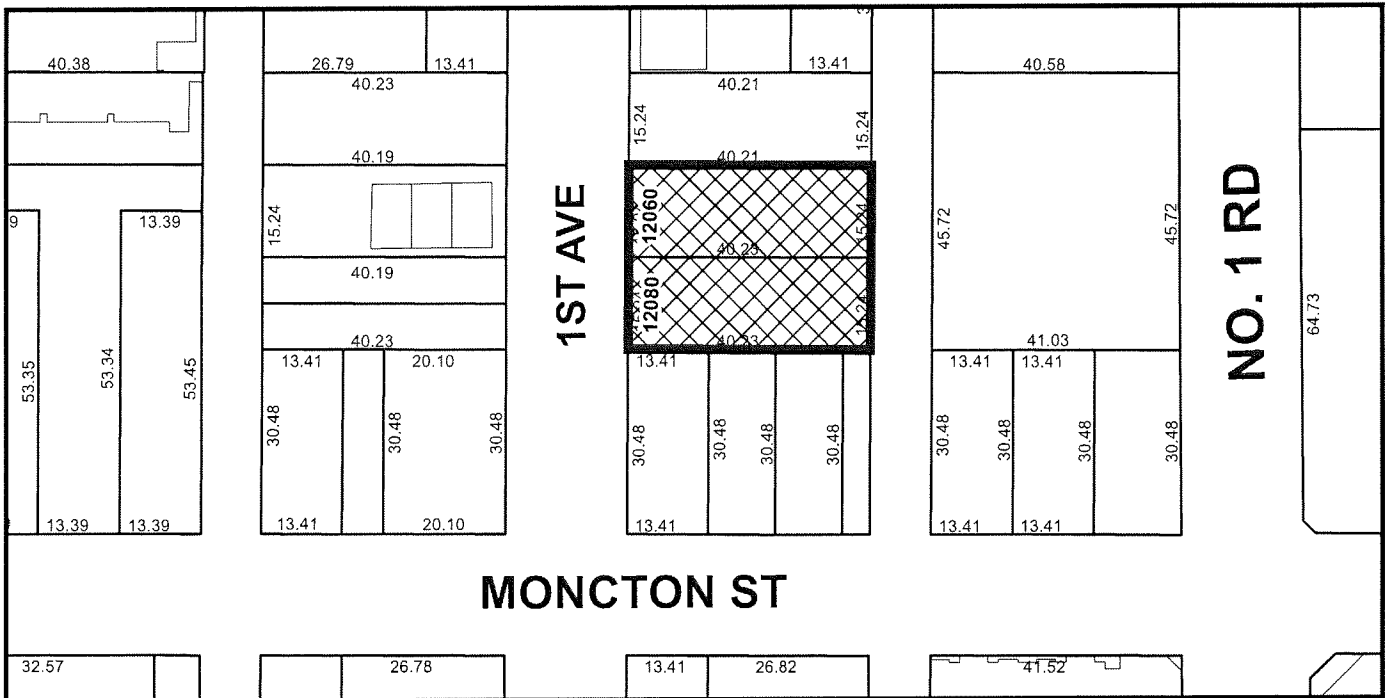
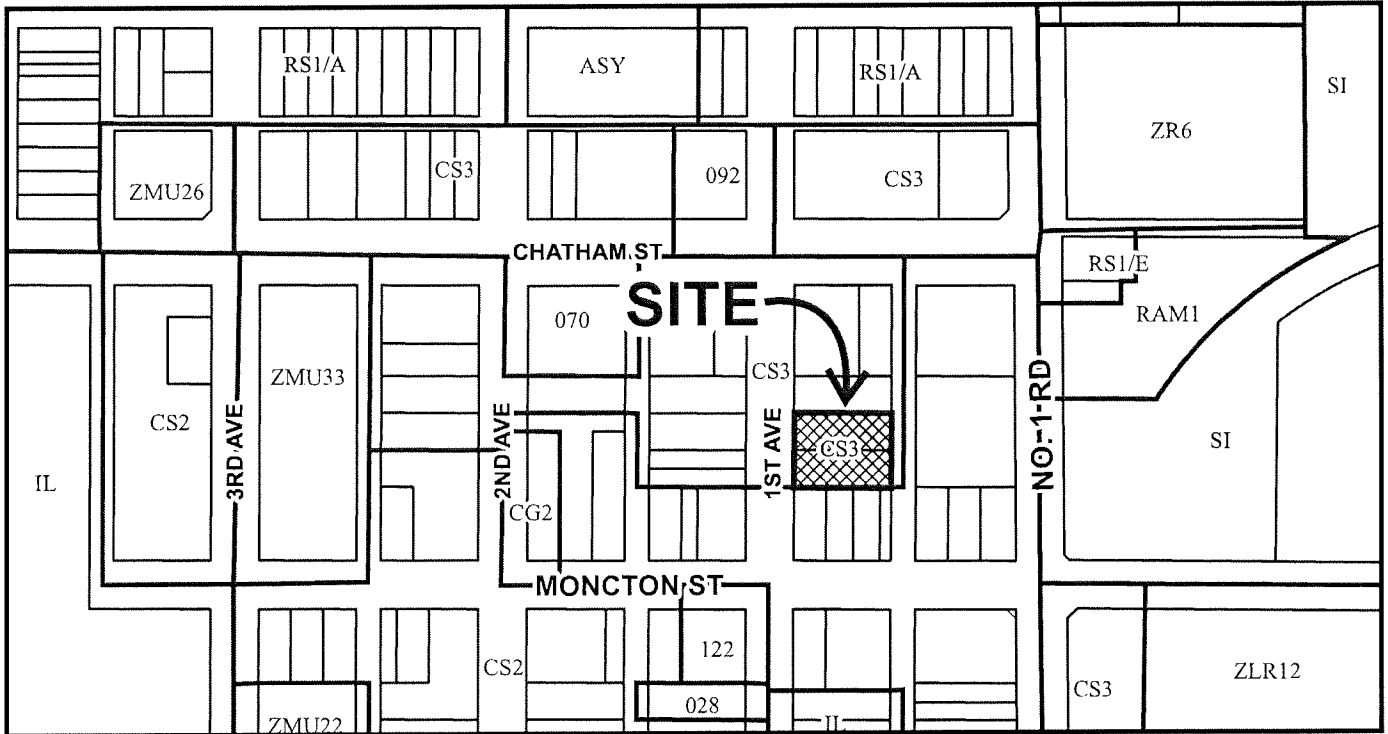
ISSUED BY THE COUNCIL THE

DELIVERED THIS _____ DAY OF _____, _____.

MAYOR



City of Richmond



DP 18-797026 SCHEDULE "A"

Original Date: 01/09/18

Revision Date:

Note: Dimensions are in METRES



City of Richmond

Heritage Alteration Permit
Development Applications Department
6911 No. 3 Road, Richmond, BC V6Y 2C1

File No.: HA18 -797029

To the Holder: Eric Stedman Architect
Property Address: 12060 and 12080 1st Avenue
Legal Description: Lot 14 and 15 Block 3 Section 10 Block 3 North Range 7 West New Westminster
District Plan 249

(s.972, *Local Government Act*)

1. (Reason for Permit)
 - Designated Heritage Property (s.967)
 - Property Subject to Temporary Protection (s.965)
 - Property Subject to Heritage Revitalization Agreement (s.972)
 - Property in Heritage Conservation Area (s.971)
 - Property Subject to s.219 Heritage Covenant
2. This Heritage Alteration Permit is issued in accordance with approved Development Permit DP18-797026.
3. This Heritage Alteration Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by DP18-797026.
3. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse.

AUTHORIZING RESOLUTION NO. <Resolution No.> ISSUED BY THE COUNCIL THE
DAY OF <Date>

DELIVERED THIS <Day> DAY OF <Month>, <Year>

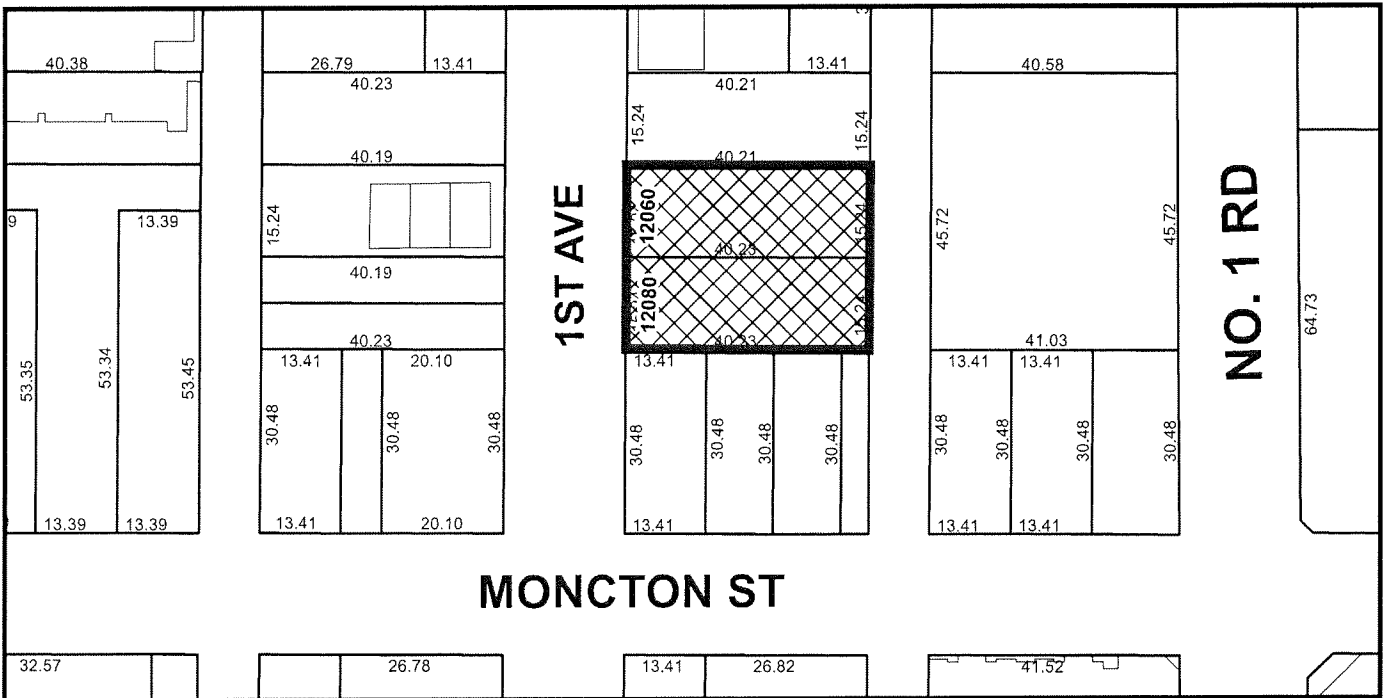
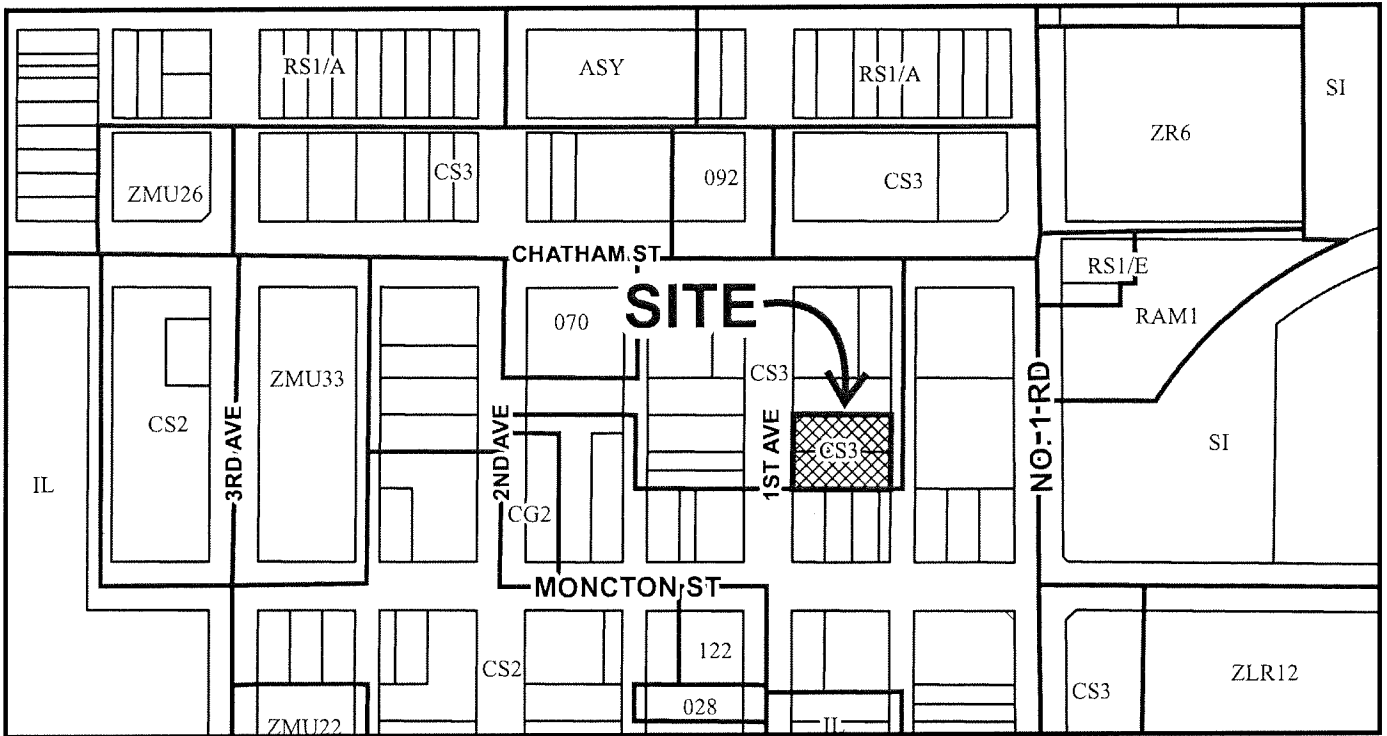
MAYOR

CORPORATE OFFICER

IT IS AN OFFENCE UNDER THE *LOCAL GOVERNMENT ACT*, PUNISHABLE BY A FINE OF UP TO \$50,000 IN THE CASE OF AN INDIVIDUAL AND \$1,000,000 IN THE CASE OF A CORPORATION, FOR THE HOLDER OF THIS PERMIT TO FAIL TO COMPLY WITH THE REQUIREMENTS AND CONDITIONS OF THE PERMIT.



City of Richmond



HA 18-797029

Original Date: 01/09/18

Revision Date:

Note: Dimensions are in METRES

No.	Description	Date
1	Issued for DP/HAP	15/12/17
2	Issued for DP/HAP	12/08/18
3	Issued for DP/HAP	02/11/18
4	Issued for DP/HAP	01/02/19
5	Issued for DP/HAP	15/03/19
6	Issued for DP/HAP	15/05/19
7	Issued for DP/HAP	19/08/19

PROJECT DIRECTORY

Owner:
Sakata Gardens Enterprises Ltd.
3420 Raymond Avenue, Richmond
BC V7E 1A8
email: sakatagardens@gmail.com
contact: Peter Thaler, tel: 604 757 8013
Stephen Clarke, tel: 604 417 9126

Landscapes Architect:
C.Kennedy Landscapes Architect
307-121 West 20th Street, North Vancouver
BC V7M 1Y2
tel: 604 828 7649
contact: Carolyn Kennedy, ck@ckda.com

Structural Engineer:
Eldatum Consulting Inc.
202-388 West 8th Avenue, Vancouver
BC V5Y 3X2
tel: 604 730 1422
contact: Eric Karsh, ekarsh@eldatum.com

Electrical:
SWS 700 - 1045 Howe Street, Vancouver
V6Z 2A9
tel: 604 685 9381
contact: Andy Tashiro, andy.tashiro@wsp.com

Mechanical:
WSP
700 - 1045 Howe Street, Vancouver
V6Z 2A9
tel: 604 685 9381
contact: Greg Lee, greg.lee2@wsp.com

Civil:
Aplin Martin Consultants Ltd
910-1111 West Hastings Street, Vancouver
BC V6E 4E9
tel: 604 678 9434
contact: Maggie Young, myyoung@aplinalm.com

Survey:
Murray & Associates
201-12448 - 82 Avenue, Surrey
V3W 3E9
tel: 604 571 8188
contact: Zuzana Fukova, z.fukova@murraya.com

Geotechnical:
Golder Associates, Suite 200 - 2920 Virtual Way
Vancouver, V5M 0C4
tel: 604 286 4200
contact: Craig Smith, craig_smith@golder.com

STATISTICS

New Mixed-use Building at 12060, 12080 1st Avenue.

Legal Description: Lots 14 and 15, Both of Block 3, Section 10, Block 3 North, Range 7 West, New Westminster District, Plan 249.

Zoning: CSS

Site Area: 109.41 (1,226.2 sqm)

Site Area in FAR: 0.11156 (1,226.2 sqm)

Use: Commercial, Residential

Maximum Site Coverage: 100%

Front Yard Setback: No minimum, 5' (1.5 m) storefront from front property line.

Commercial space requirement: ground floor to 29.5' (9m) from front property line.

Rear Yard Setback: No minimum

Allowable Height: 3 storeys, 39.4' (12m)

Residential Parking: 6 spaces, 1 visitor total

Commercial Parking: 3 spaces per 100 sqm (1,076 sqft.) gross leasable floor area, 10 spaces total.

Requested Zoning Variances:

- Increase the maximum permitted building height from 12 m to 14 m to allow stair and elevator access to the rooftop.
- Increase the total allowable maximum aggregate width of a recessed balcony opening on the front facade from 10 m to 12 m.
- Increase the allowable maximum aggregate area of all recesses and openings on the front facade from 33% to 34.7%.
- Reduce the minimum required manoeuvring aisle width from 7.5 m to 6.7 m.

AREA SUMMARY

Ground Level:	606 sq ft. (included in FAR on ground floor only)
Common stair/Corridor:	383 sq ft. (not included in FAR)
Mechanical/Electrical:	860 sq ft.
Commercial (leasable):	879 sq ft.
CRU1	524 sq ft.
CRU3	857 sq ft.
CRU4	3,520 sq ft.
total	4,172 sq ft.
Area:	
Stair/Floor:	2,238 sq ft. x 2
Common stair and elevator (271 sq ft.) excluded from FAR:	4,475 sq ft.
Third Floor:	2,238 sq ft. x 2
Units 301/302	4,475 sq ft.
Common stair and elevator (271 sq ft.) excluded from FAR:	13,065 sq ft.
Total:	13,065 sq ft. is maximum FAR.

CODE ANALYSIS

Occupancy: Group C - Residential

Building Height: Group D/E - Business and Personal Services/Mercantile

Building Area: Three storeys. Excluding rooftop enclosure (stairway and elevator) to roof per 3.2.1.1.1

Stairways: 1277 sqm (13,750 sq ft.)

Standpipes: Required per 3.2.5.8

Construction: Combustible or non-combustible per 3.2.5.3 and 3.2.2.6.3.

Fire Protection: Floor assemblies to be fire separations with 45 min FRR. 2 hr between group C and E per table 3.1.3.1.

Fire Separation: Load bearing walls, columns and arches to have 45 min FRR, or same as supported assembly.

Fire Protection: Core and roof supporting structure has no FRR required.

Fire Separation: Assembly to meet floor fire separation requirements not roof per 3.2.2.13

Fire Protection: Heavy timber construction permitted where required FRR is 45 min or less per 3.1.4.6

Fire Protection: Load bearing steel or concrete members outside the face of the building and more than 1 m from unprotected openings are not required to have fire protection.

Fire Protection: Fire separation with a FRR of 2 hr between C and E per table 3.1.3.1.

Fire Protection: Fire separation with a FRR of 45 min per 3.3.4.2

Fire Protection: Fire separation with a FRR of 2 hr on ground floor, 45 min above per 3.3.4.2.2

Fire Protection: Slid: 0% openings permitted, FRR 1 hr, construction: non-combustible, cladding: non-combustible.

Fire Protection: A single exit is permitted provided the doorway is not more than 1.5 m above adjacent grade, and it is not necessary to travel more than 6 m above the adjacent grade per 3.3.4.4.3

Fire Protection: Use group D/E number of WC based on occupants/number of staff (<25) per table 3.7.2.2.B.C. - one per suite.

Fire Protection: 1100 mm, (9' - 8")

Fire Protection: 1100 mm, (9' - 8")

Separation of Major Occupancies: Fire separation with a FRR of 2 hr between C and E per table 3.1.3.1.

Separation of Residential Suites: Fire separation with a FRR of 45 min per 3.3.4.2

Separation of Exit Stair: Fire separation with a FRR of 2 hr on ground floor, 45 min above per 3.3.4.2.2

Spatial Separation: Slid: 0% openings permitted, FRR 1 hr, construction: non-combustible, cladding: non-combustible.

Egress from dwelling units: A single exit is permitted provided the doorway is not more than 1.5 m above adjacent grade, and it is not necessary to travel more than 6 m above the adjacent grade per 3.3.4.4.3

Washrooms: Use group D/E number of WC based on occupants/number of staff (<25) per table 3.7.2.2.B.C. - one per suite.

Exit stair width: 1100 mm, (9' - 8")

Exit corridor width: 1100 mm, (9' - 8")

DRAWING LIST

Architectural:

- A1 Statistics/Site Plan
- A2 Ground Floor Plan
- A3 Second Floor Plan
- A4 Third Floor Plan
- A5 Roof Plan
- A6 Sections
- A7 Elevations
- A8 Elevations
- A9 Elevations
- A10 Elevation Details
- A11 Streetscapes and Sections
- A12 Area Overlay
- A13 Area Overlay

Landscapes:

- L1 Landscapes Concepts Ground Level
- L2 Landscapes Concepts
- L3 Landscapes Concepts Roof Top Level

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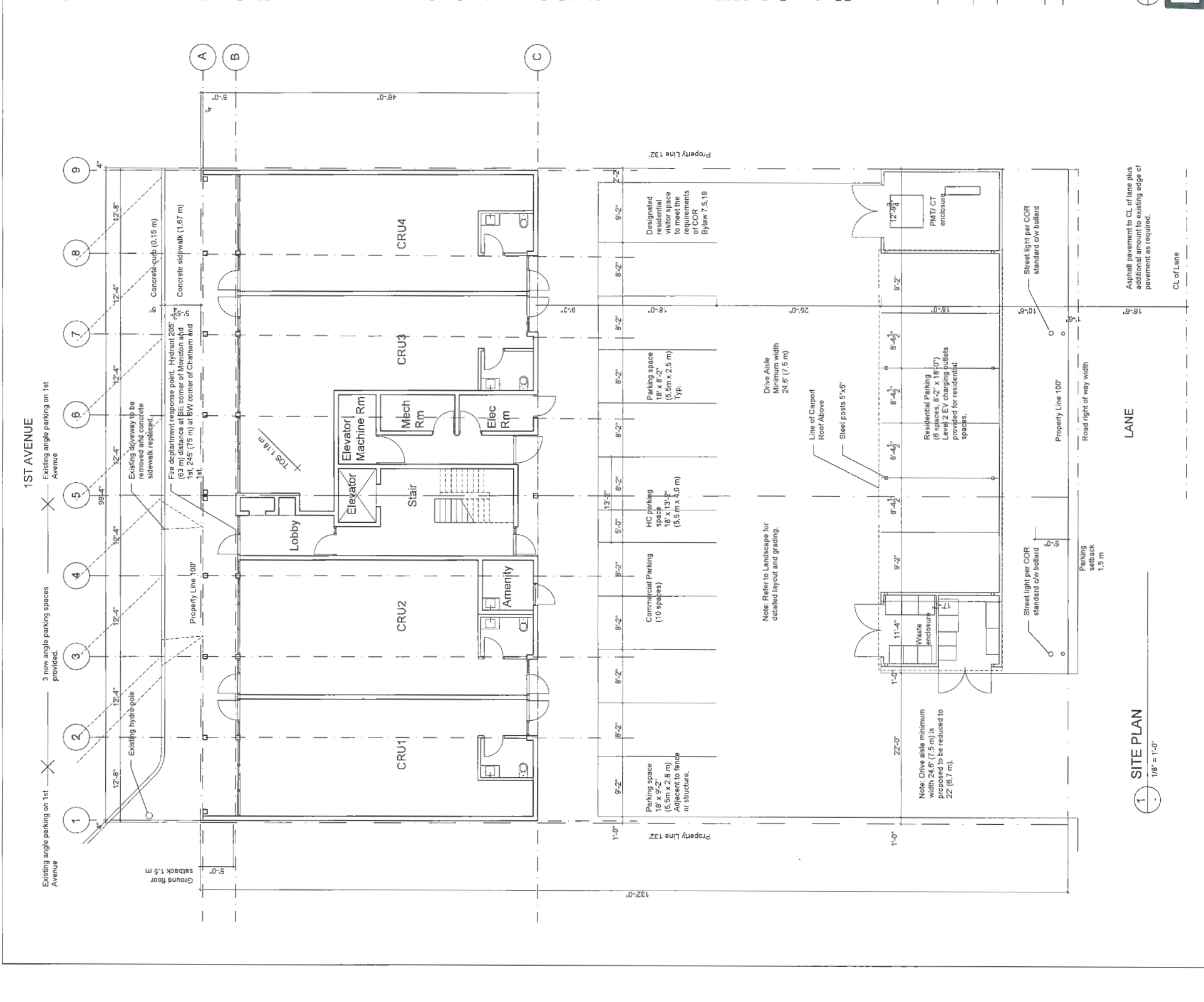
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Project Title:
12060, 12080 1ST AVE
SAKATA GARDENS
STEVESTON, BC

Drawing Title:
STATISTICS/
SITE PLAN

Scale: As noted
Date: 08/17
Check: ES

Drawing No.: A1
Revision No.:



DP 18-797026 plan #1

No.	Description	Date
1	Issued for DP/HAP	15/12/17
2	Issued for DP/HAP	12/08/18
3	Issued for DP/HAP	02/11/18
4	Issued for DP/HAP	01/02/19
5	Issued for DP/HAP	15/03/19
6	Issued for DP/HAP	15/06/19
7	Issued for DP/HAP	19/08/19

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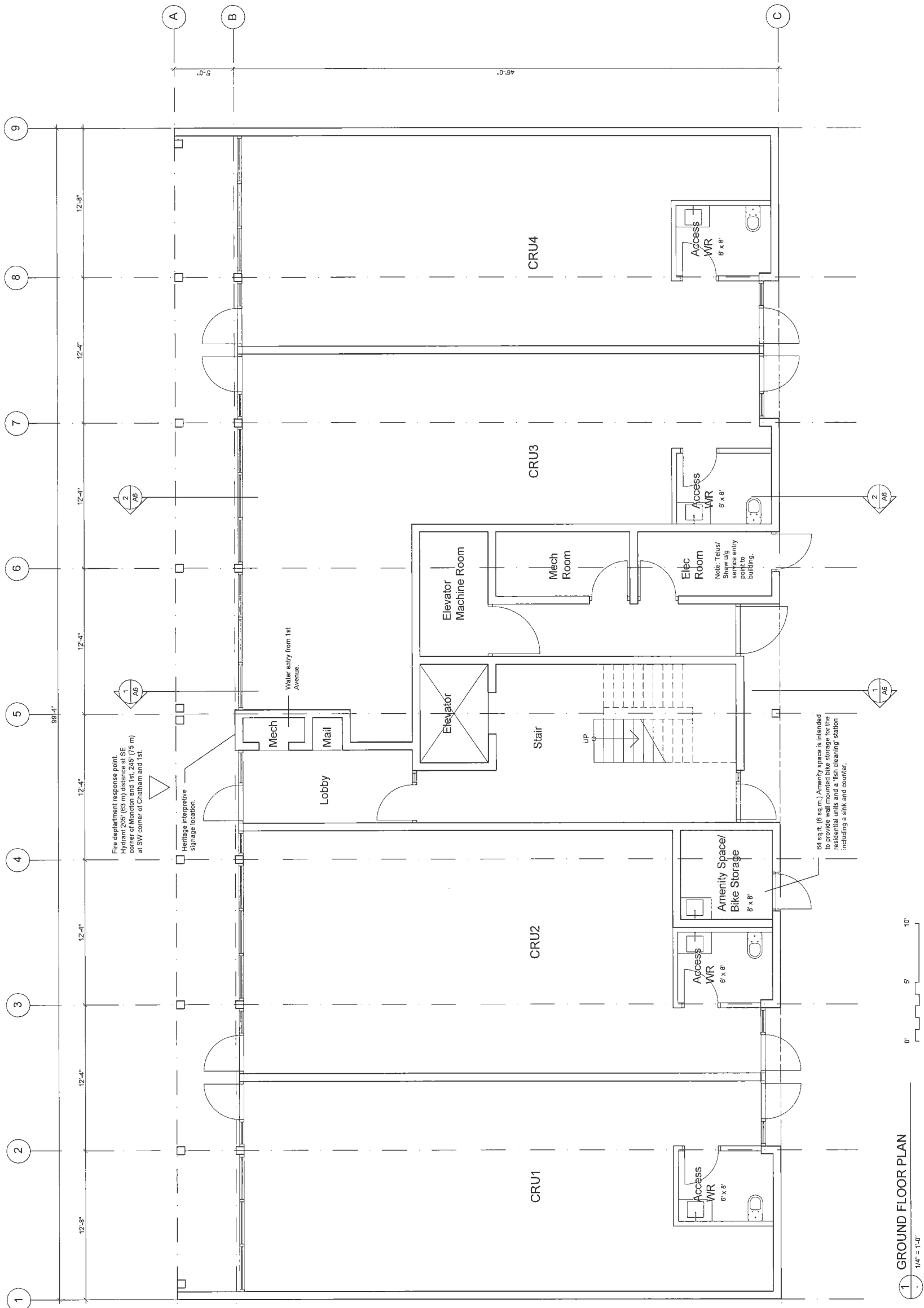
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Project Title:
**12060, 12080 1ST AVE
 SAKATA GARDENS
 STEVESTON, BC**

Drawing Title:
GROUND FLOOR PLAN

Scale: As noted	Drawing No. A2
Date: 08/17	Revision No.
Check: ES	

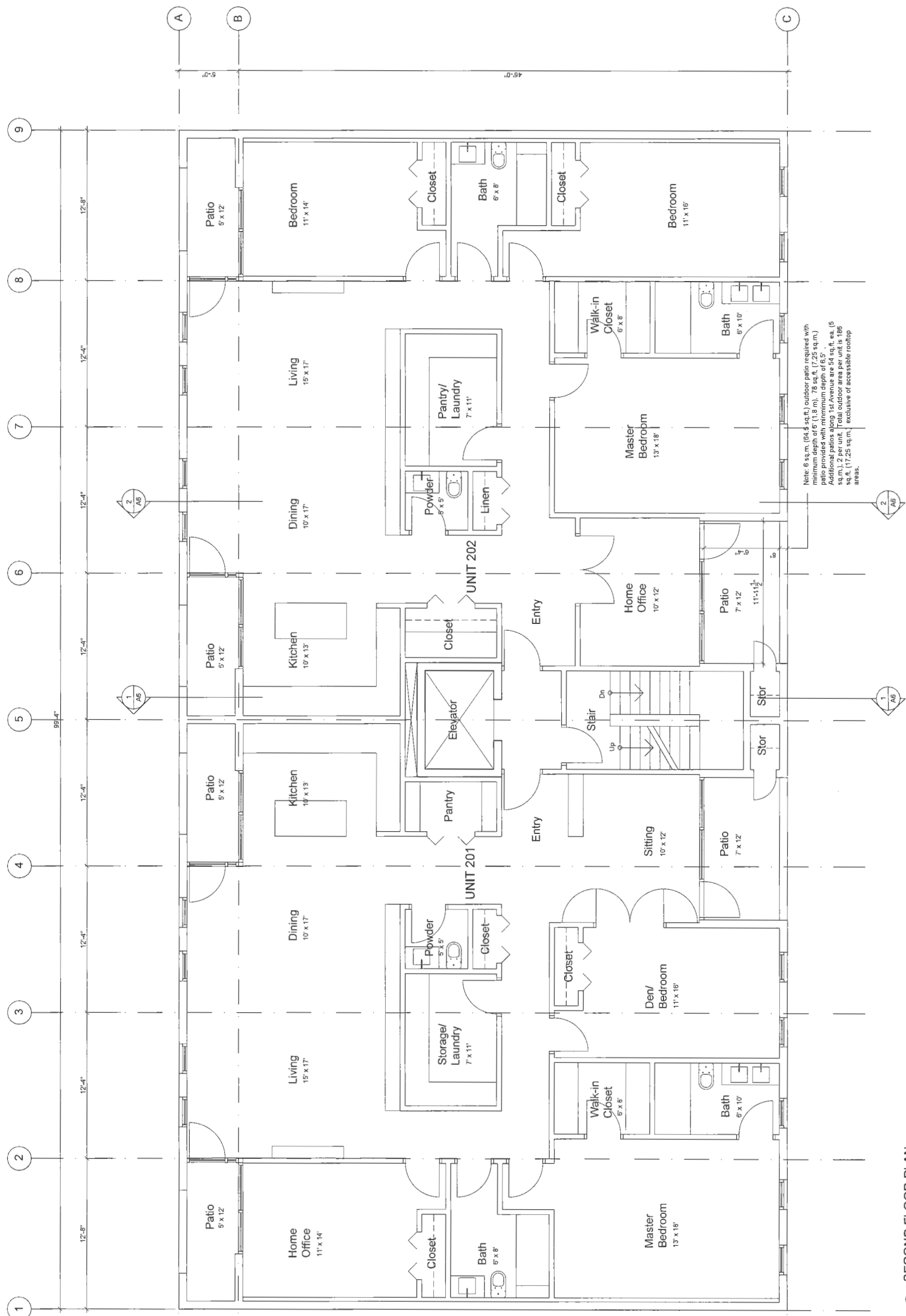
1ST AVENUE



1 GROUND FLOOR PLAN
 1/4" = 1'-0"

DP 18-797026 plan #2

No.	Description	Date
1	Issued for DP/HAP	15/12/17
2	Issued for DP/HAP	12/08/18
3	Issued for DP/HAP	02/11/18
4	Issued for DP/HAP	01/02/19
5	Issued for DP/HAP	15/03/19
6	Issued for DP/HAP	15/05/19
7	Issued for DP/HAP	19/08/19



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Project Title:
12060, 12080 1ST AVE
SAKATA GARDENS
STEVESTON, BC

Drawing Title:
SECOND FLOOR PLAN

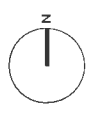
Scale: As noted	Drawing No. A3
Date: 08/17	Revision No.
Check: ES	

1ST AVENUE

1/4" = 1'-0"

DP 18-797026 plan #3

No.	Description	Date
1	Issued for DP/HAP	15/12/17
2	Issued for DP/HAP	12/08/18
3	Issued for DP/HAP	02/11/18
4	Issued for DP/HAP	01/02/19
5	Issued for DP/HAP	15/03/19
6	Issued for DP/HAP	15/05/19
7	Issued for DP/HAP	19/06/19



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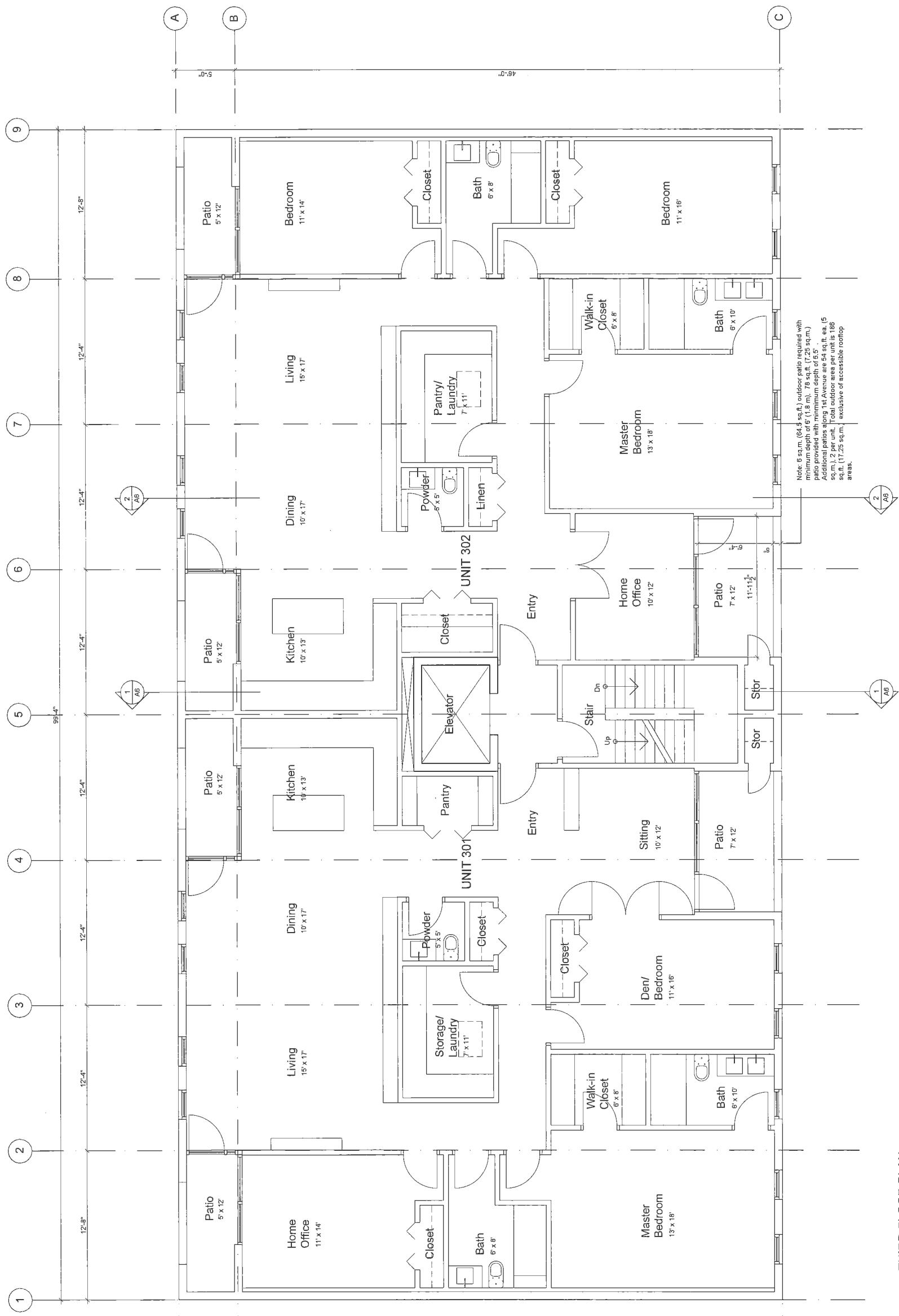
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Project Title:
**12060, 12080 1ST AVE
 SAKATA GARDENS
 STEVESTON, BC**

Drawing Title:
THIRD FLOOR PLAN

Scale: As noted	Drawing No. A4
Date: 08/17	Revision No.
Check: ES	

1ST AVENUE



Note: 6 sq.m. (64.5 sq.ft.) outdoor patio required with minimum depth of 6' (1.8 m). 78 sq.ft. (7.25 sq.m.) Additional patios along 1st Avenue are 54 sq.ft. ea. (5 sq.m.) and 24 sq.ft. ea. (2.25 sq.m.) exclusive of accessible rooftop areas.



1/4" = 1'-0"
THIRD FLOOR PLAN

DP 18-797026 plan#4

No.	Description	Date
1	Issued for DP/HAP	15/12/17
2	Issued for DP/HAP	12/08/18
3	Issued for DP/HAP	02/11/18
4	Issued for DP/HAP	01/02/19
5	Issued for DP/HAP	15/03/19
6	Issued for DP/HAP	15/05/19
7	Issued for DP/HAP	19/08/19



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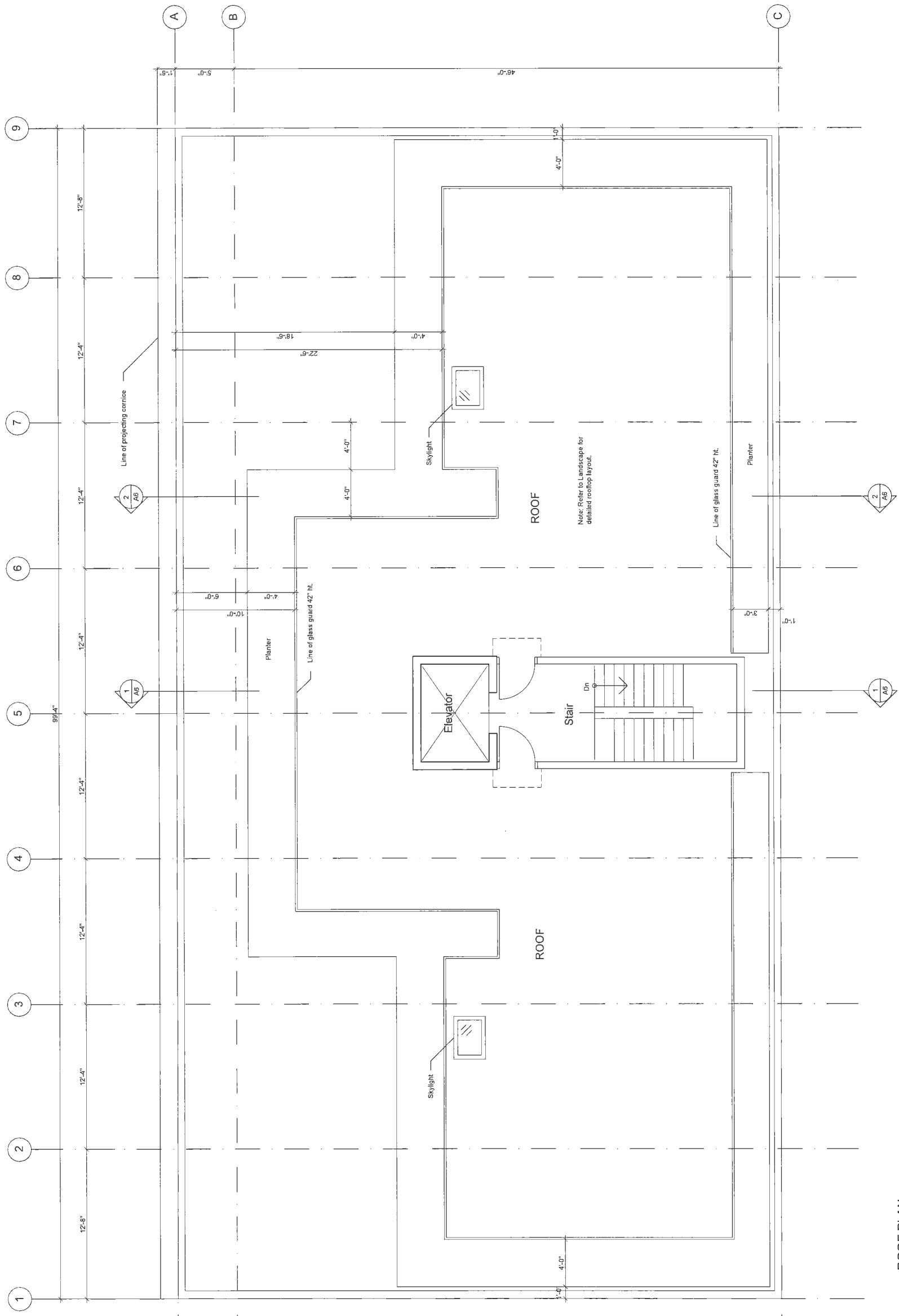
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Project Title:
 12060, 12080 1ST AVE
 SAKATA GARDENS
 STEVESTON, BC

Drawing Title:
 ROOF PLAN

Scale: As noted	Drawing No. A5
Date: 08/17	Revision No.
Check: ES	

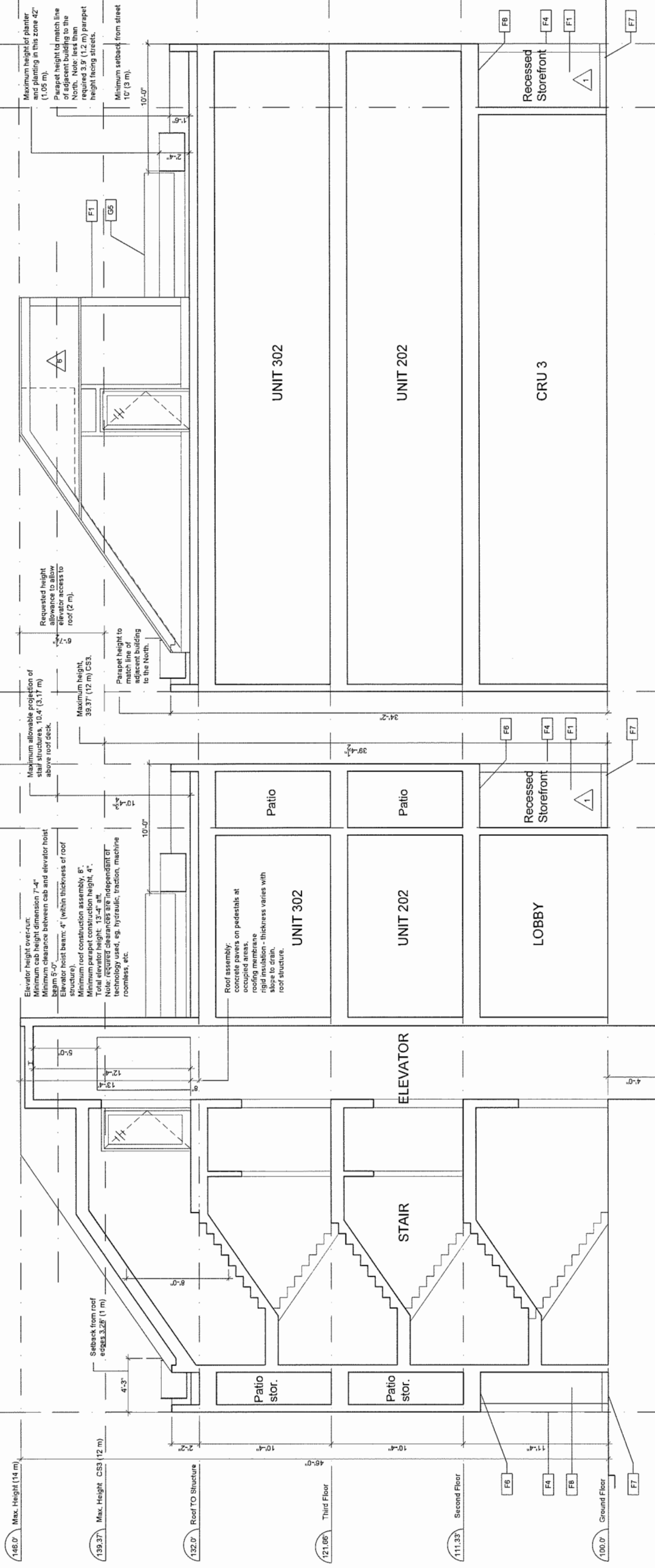
1ST AVENUE



1 ROOF PLAN
 1/4" = 1'-0"

DP 19-797026 plan #5

No.	Description	Date
1	Issued for DP/HAP	15/12/17
2	Issued for DP/HAP	12/08/18
3	Issued for DP/HAP	02/11/18
4	Issued for DP/HAP	01/02/19
5	Issued for DP/HAP	15/03/19
6	Issued for DP/HAP	15/05/19
7	Issued for DP/HAP	19/08/19



1 SECTION A-A
1/4" = 1'-0"

2 SECTION B-B
1/4" = 1'-0"

ESA

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COLOUR SCHEDULE

- 1 Hardie colour, 'Solidolith'
- 2 Hardie colour, 'Iron Grey'
- 3 Hardie colour, 'Arctic White'
- 4 Hardie colour, 'Light Mist'
- 5 Cedar, clear satin finish
- 6 Hardie colour, 'Light Mist'

Note: Colours are selected from manufacturers pre-finished cementitious product range. Painted finish colours to match.

MATERIAL / ASSEMBLY KEY

- F1 Single siding, 5" exposure
- F2 Fibre cement panel, board and batten exposure varies
- F3 Trim, exposure varies
- F4 Trim, exposure varies
- F5 Pre-finished metal flashing
- F6 Stained T&G wood scilly wall
- F7 Architectural concrete, sealed
- F8 Fibre cement panel, board and batten exposure varies
- F9 Prefinished metal cornice
- F10 Concrete block, sealed
- F11 Pre-finished metal louvre
- G1 Windows, double glazed
- G2 Windows and doors, double glazed
- G3 Storefront glazing, double glazed
- G4 Storefront entry doors and sidelights
- G5 Glass guard, 42" ht.
- G6 Solar shading
- G7 Skylight glazing, double glazed
- G8 Signage location
- D1 Painted metal door and frame
- E1 Pre-finished metal louvre

Project Title:
**12060, 12080 1ST AVE
SAKATA GARDENS
STEVESTON, BC**

Drawing Title:
SECTIONS

Scale: As noted
Date: 08/17
Check: ES

Drawing No.
A6

Revision No.

DP 18-797026 plan #6

No.	Description	Date
1	Issued for DP/HAP	15/12/17
2	Issued for DP/HAP	12/08/18
3	Issued for DP/HAP	02/11/18
4	Issued for DP/HAP	01/02/19
5	Issued for DP/HAP	15/03/19
6	Issued for DP/HAP	15/05/19
7	Issued for DP/HAP	19/08/19

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Project Title:
**12060, 12080 1ST AVE
SAKATA GARDENS
STEVESTON, BC**

Drawing Title:
ELEVATIONS

Scale: As noted	Drawing No. A7
Date: 08/17	Revision No.
Check: ES	



1 WEST ELEVATION
1/4" = 1'-0"

Recessed balconies

MATERIAL / ASSEMBLY KEY

F1	Shingle siding, 5" exposure	G1	Windows, double glazed
F2	Fibre cement panel, board and batten exposure varies	G2	Windows and doors, double glazed
F3	Trim, exposure varies	G3	Storefront glazing, double glazed
F4	Trim, exposure varies	G4	Storefront entry doors and sidelights
F5	Pre-finished metal flashing	G5	Glass guard, 42" ht
F6	Stained T&G wood soffit/wall	G6	Solar shading
F7	Architectural concrete, sealed	G7	Skylight glazing, double glazed
F8	Fibre cement panel, board and batten exposure varies	G8	Signage location
F9	Prefinished metal cornice	D1	Painted metal door and frame
F10	Concrete block, sealed	E1	Pre-finished metal louvre

COLOUR SCHEDULE

- 1 Handle colour, 'Salicloth'.
- 2 Handle colour, 'Iron Grey'.
- 3 Handle colour, 'Arctic White'.
- 4 Handle colour, 'Light Mist'.
- 5 Cedar, clear stain finish.
- 6 Handle colour, 'Light Mist'.

Note: Colours are selected from manufacturers pre-finished cementitious product range. Painted finish colours to match.

DP 40 70702
plan #7

No.	Description	Date
1	Issued for DP/HAP	15/12/17
2	Issued for DP/HAP	12/08/18
3	Issued for DP/HAP	02/11/18
4	Issued for DP/HAP	01/02/19
5	Issued for DP/HAP	15/03/19
6	Issued for DP/HAP	15/08/19
7	Issued for DP/HAP	19/08/19

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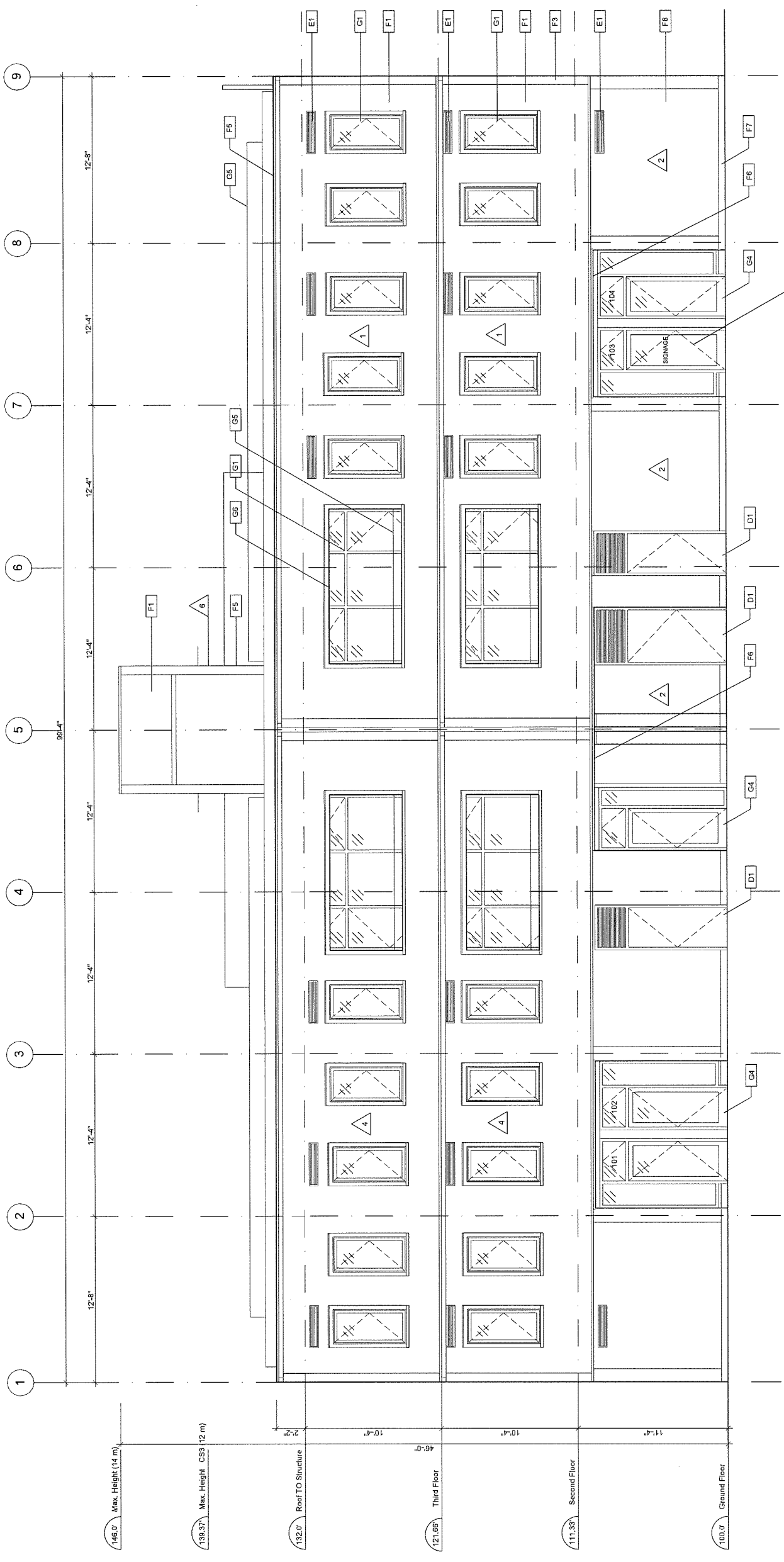
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 604 612 8762

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Project Title:
**12060, 12080 1ST AVE
 SAKATA GARDENS
 STEVESTON, BC**

Drawing Title:
ELEVATIONS

Scale: As noted	Drawing No. A8
Date: 08/17	Revision No.
Check: ES	



COLOUR SCHEDULE

- △ 1 Hardie colour, 'Safedoh'.
 - △ 2 Hardie colour, 'Iron Grey'.
 - △ 3 Hardie colour, 'Arctic White'.
 - △ 4 Hardie colour, 'Light Mist'.
 - △ 5 Cedar, clear satin finish.
 - △ 6 Hardie colour, 'Light Mist'.
- Note: Colours are selected from manufacturers pre-finished cementitious product range. Painted finish colours to match.

MATERIAL / ASSEMBLY KEY

- F1 Shingle siding, 5" exposure
- F2 Fibre cement panel, board and batten exposure varies
- F3 Trim, exposure varies
- F4 Trim, exposure varies
- F5 Pre-finished metal flashing
- F6 Stained T&G wood scuff wall
- F7 Architectural concrete, sealed
- F8 Fibre cement panel, board and batten exposure varies
- F9 Prefinished metal cornice
- F10 Concrete block, sealed
- G1 Windows, double glazed
- G2 Windows and doors, double glazed
- G3 Storefront glazing, double glazed
- G4 Storefront entry doors and sidelights
- G5 Glass guard, 42" ht.
- G6 Solar shading
- G7 Skylight glazing, double glazed
- G8 Signage location
- D1 Painted metal door and frame
- E1 Pre-finished metal louvre

DP 18-797026 plan #8

No.	Description	Date
1	Issued for DP/HAP	15/12/17
2	Issued for DP/HAP	12/08/18
3	Issued for DP/HAP	02/11/18
4	Issued for DP/HAP	01/02/19
5	Issued for DP/HAP	15/03/19
6	Issued for DP/HAP	15/05/19
7	Issued for DP/HAP	19/08/19

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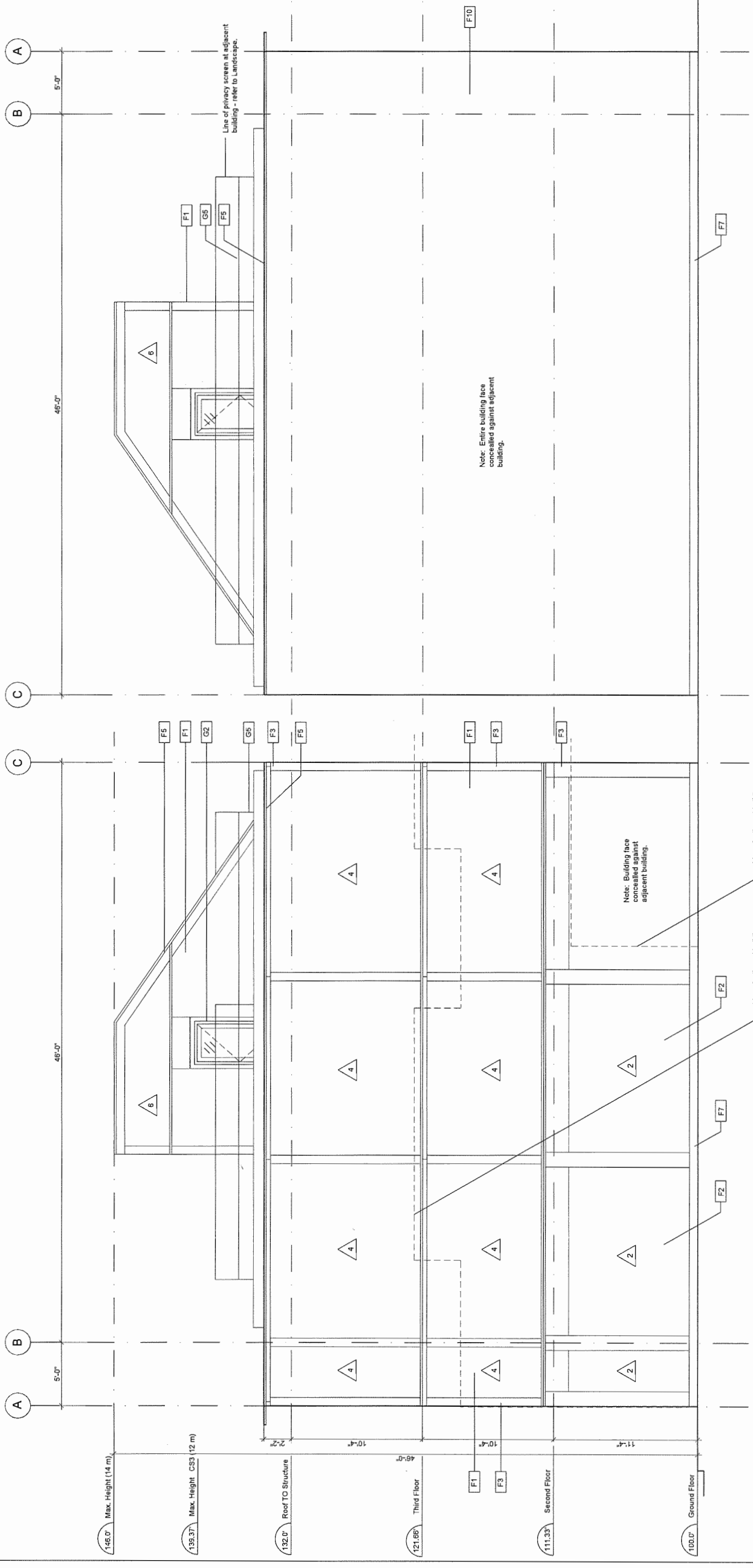
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Project Title:
**12060, 12080 1ST AVE
 SAKATA GARDENS
 STEVESTON, BC**

Drawing Title:
ELEVATIONS

Scale:	As noted
Date:	08/17
Check:	ES
Drawing No.	A9
Revision No.	



1 NORTH ELEVATION
 1/4" = 1'-0"

1 SOUTH ELEVATION
 1/4" = 1'-0"

COLOUR SCHEDULE

- 1 Handle colour, 'Saffich'.
 - 2 Handle colour, 'Iron Grey'.
 - 3 Handle colour, 'Acidic White'.
 - 4 Handle colour, 'Light Mist'.
 - 5 Cedar, clear satin finish.
 - 6 Handle colour, 'Light Mist'.
- Note: Colours are selected from manufacturers pre-finished ornamental product range. Painted finish colours to match.

MATERIAL / ASSEMBLY KEY

- F1 Shingle siding, 5" exposure
- F2 Five cement panel, board and batten exposure varies
- F3 Trim, exposure varies
- F4 Trim, exposure varies
- F5 Pre-finished metal flashing
- F6 Stained T&G wood soffit wall
- F7 Architectural concrete, sealed
- F8 Five cement panel, board and batten exposure varies
- F9 Prefinished metal cornice
- F10 Concrete block, sealed
- G1 Windows, double glazed
- G2 Windows and doors, double glazed
- G3 Storefront glazing, double glazed
- G4 Storefront entry doors and sidelights
- G5 Glass guard, 42" ht.
- G6 Solar shading
- G7 Skylight glazing, double glazed
- G8 Signage location
- D1 Painted metal door and frame
- E1 Pre-finished metal louvre

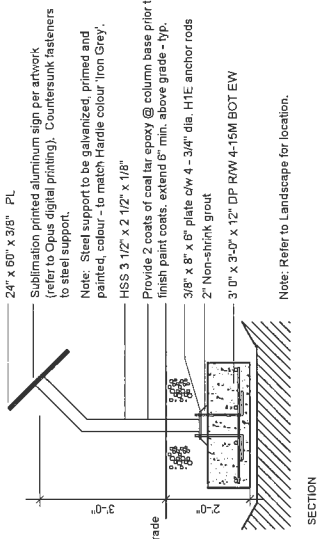
DP 18-797026 plan #9

No.	Description	Date
1	Issued for DP/HAP P10r-0	12/08/18
2	Issued for DP/HAP P10r-0	02/11/18
3	Issued for DP/HAP P10r-0	01/02/19
4	Issued for DP/HAP P10r-0	15/03/19
5	Issued for DP/HAP P10r-0	15/05/19
6	Issued for DP/HAP P10r-0	19/08/19

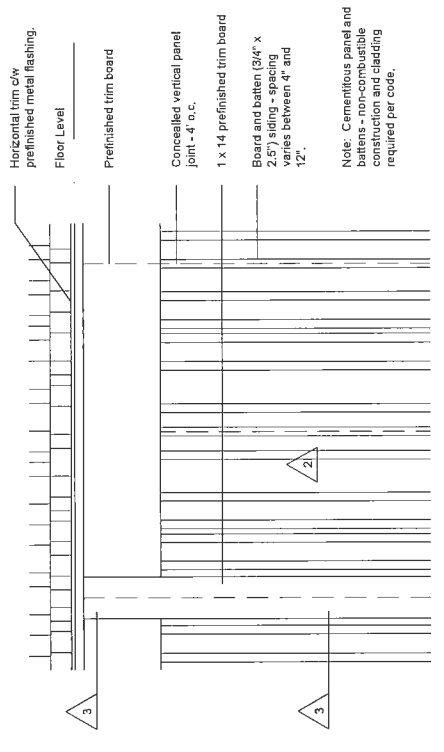
COLOUR SCHEDULE

- 1 Hardie colour, 'Sailcloth'.
- 2 Hardie colour, 'Iron Grey'.
- 3 Hardie colour, 'Arctic White'.
- 4 Hardie colour, 'Light Mist'.
- 5 Cedar, clear satin finish.
- 6 Hardie colour, 'Light Mist'.

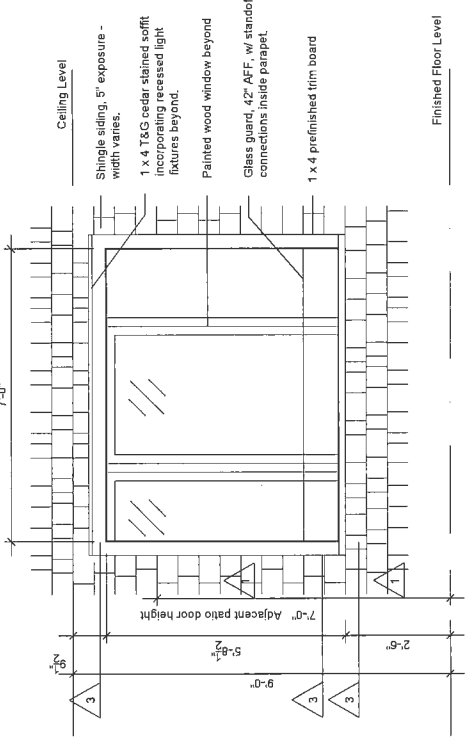
Note: Colours are selected from manufacturers pre-finished cementitious product range. Painted finish colours to match.



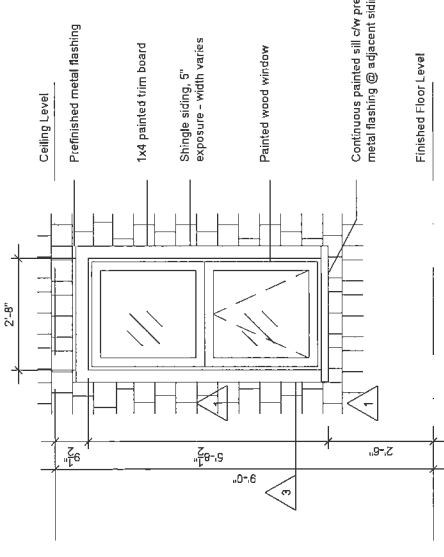
7 HERITAGE SIGN SUPPORT DETAIL
1/2" = 1'-0"



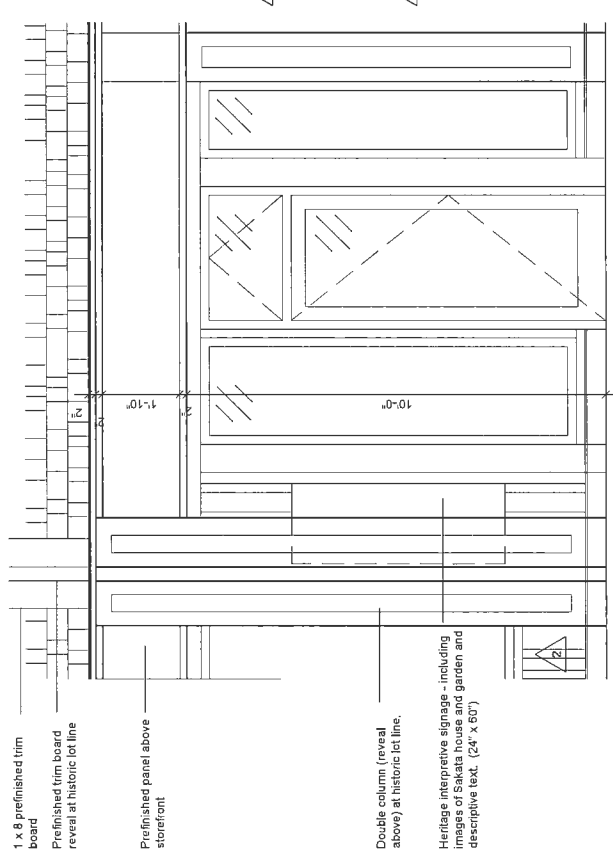
4 PARTIAL BOARD & BATTEN ELEVATION
1/2" = 1'-0"



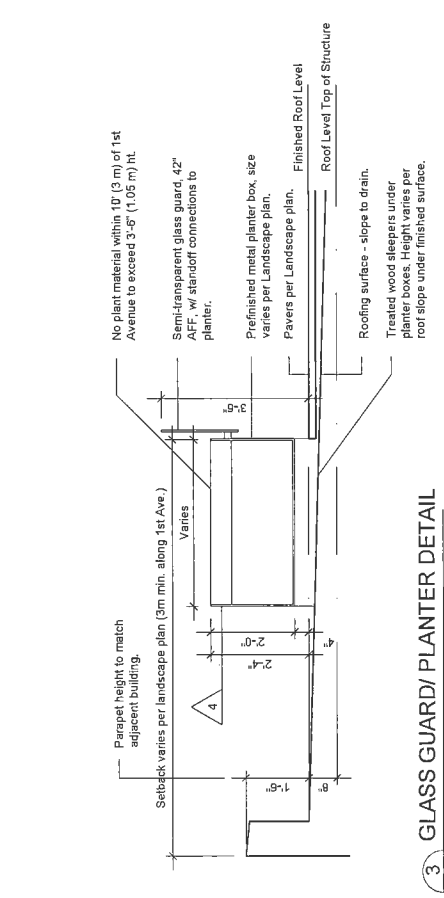
1 PARTIAL RECESSED PATIO ELEVATION
1/2" = 1'-0"



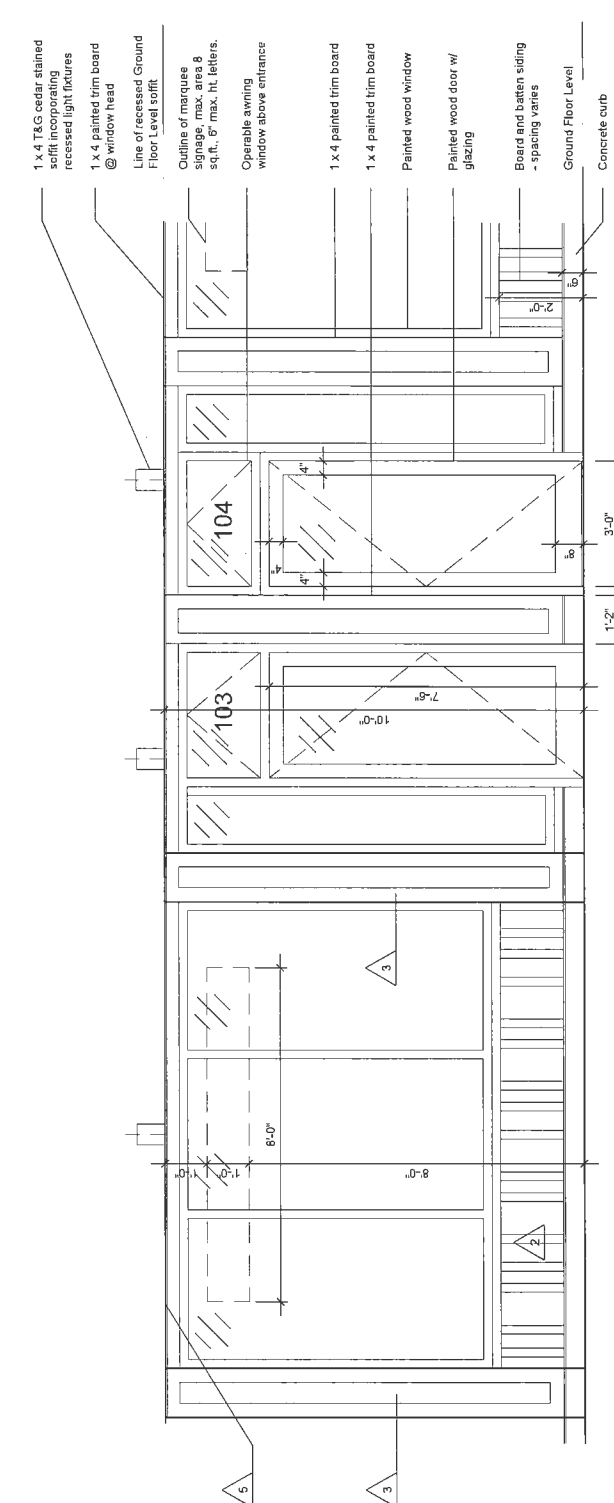
2 PARTIAL WINDOW ELEVATION
1/2" = 1'-0"



6 PARTIAL ENTRANCE ELEVATION
1/2" = 1'-0"



3 GLASS GUARD/PLANTER DETAIL
1/2" = 1'-0"



5 PARTIAL STOREFRONT ELEVATION
1/2" = 1'-0"

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Project Title:
**12060, 12080 1ST AVE
 SAKATA GARDENS
 STEVESTON, BC**

Drawing Title:
ELEVATION DETAILS

Scale: As noted
 Date: 08/18
 Check: ES

Drawing No.
A10
 Revision No.

DP 2026 797026 plan #10

No.	Description	Date
1	Issued for DPHAP Prior-to	12/08/18
2	Issued for DPHAP Prior-to	02/11/18
3	Issued for DPHAP Prior-to	01/02/19
4	Issued for DPHAP Prior-to	15/03/19
5	Issued for DPHAP Prior-to	15/05/19
6	Issued for DPHAP Prior-to	19/08/19

ESA

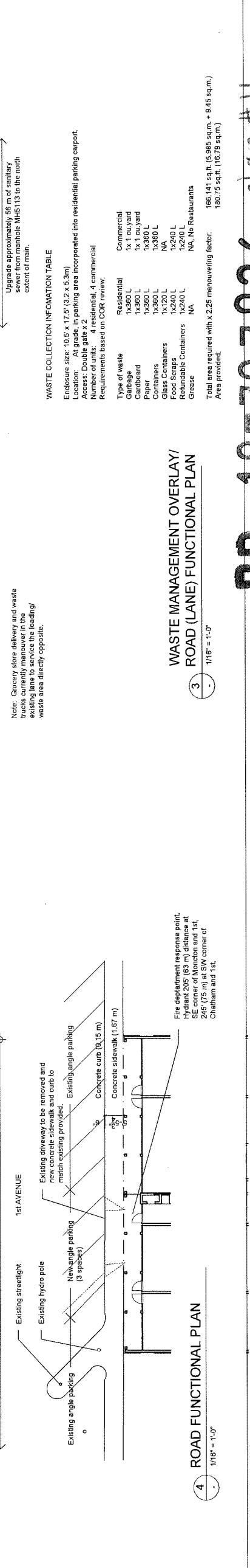
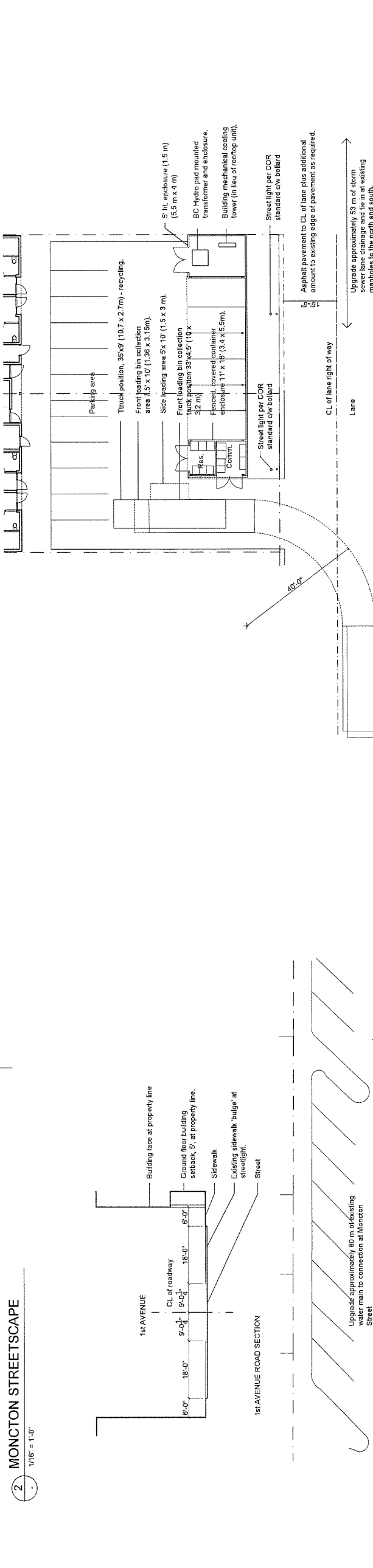
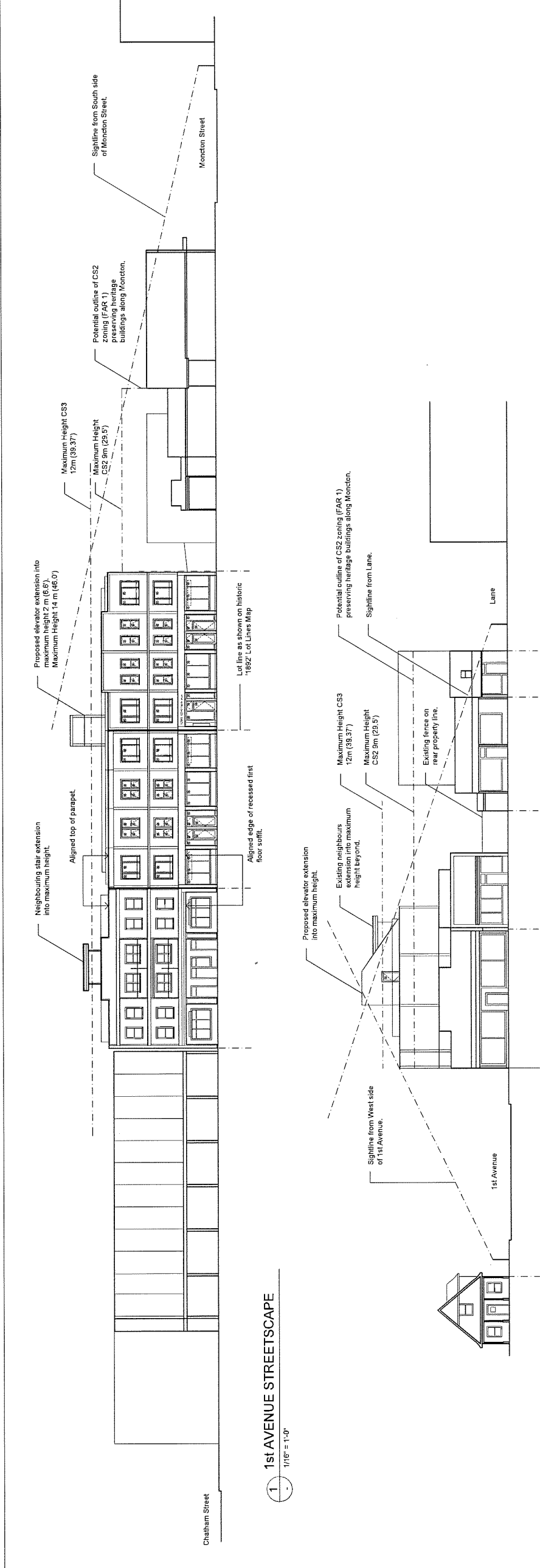
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Project Title:
 12060, 12080 1ST AVE
 SAKATA GARDENS
 STEVESTON, BC

Drawing Title:
 STREETSAPES AND
 SECTIONS

Scale: As noted	Drawing No.
Date: 08/18	A1a
Check: ES	Revision No.



WASTE COLLECTION INFORMATION TABLE

Enclosure size: 10.5' x 17.5' (3.2 x 5.3m)
 Location: At grade, in parking area incorporated into residential parking carport.
 Access: Double gate x 2
 Number of units: 4 residential, 4 commercial
 Requirements based on COR review:

Type of waste	Residential	Commercial
Garbage	1x360 L	1x 1 cu.yard
Cardboard	1x360 L	1x360 L
Paper	1x360 L	1x360 L
Containers	1x360 L	NA
Glass Containers	1x720 L	NA
Paper Shredders	NA	NA
Portable Containers	1x240 L	1x240 L
Grease	NA	NA, No Restaurants

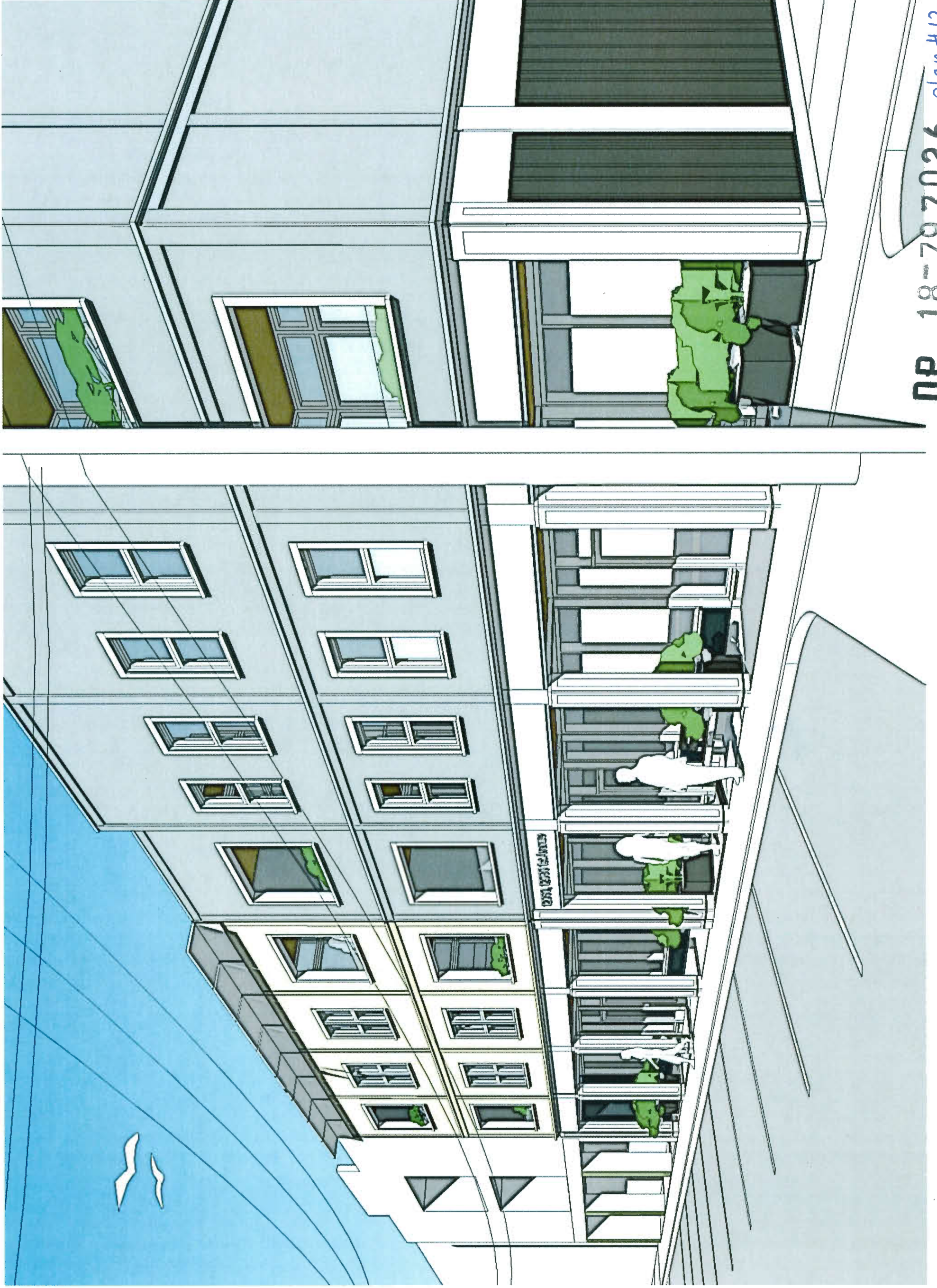
Total area required with x.2.25 manoeuvring factor: 186.141 sq.ft. (5.985 sq.m. + 9.45 sq.m.)
 Area provided: 180.75 sq.ft. (16.79 sq.m.)

WASTE MANAGEMENT OVERLAY/ ROAD (LANE) FUNCTIONAL PLAN

3 - 1/16" = 1'-0"

4 - 1/16" = 1'-0"

DP 18-707026 plan #11



DP 18-797026 plan #12

No.	Description	Date
1	Issued for DP/HAP	15/12/17
2	Issued for DP/HAP	12/08/18
3	Issued for DP/HAP	02/11/18
4	Issued for DP/HAP	01/02/19
5	Issued for DP/HAP	15/03/19
6	Issued for DP/HAP	15/05/19
7	Issued for DP/HAP	19/08/19

ESA
 Eric Statten Architects
 4080 Virginia Ct N, Vancouver, BC, V7R 3J2
 604 815 8932
 www.esa-architects.com

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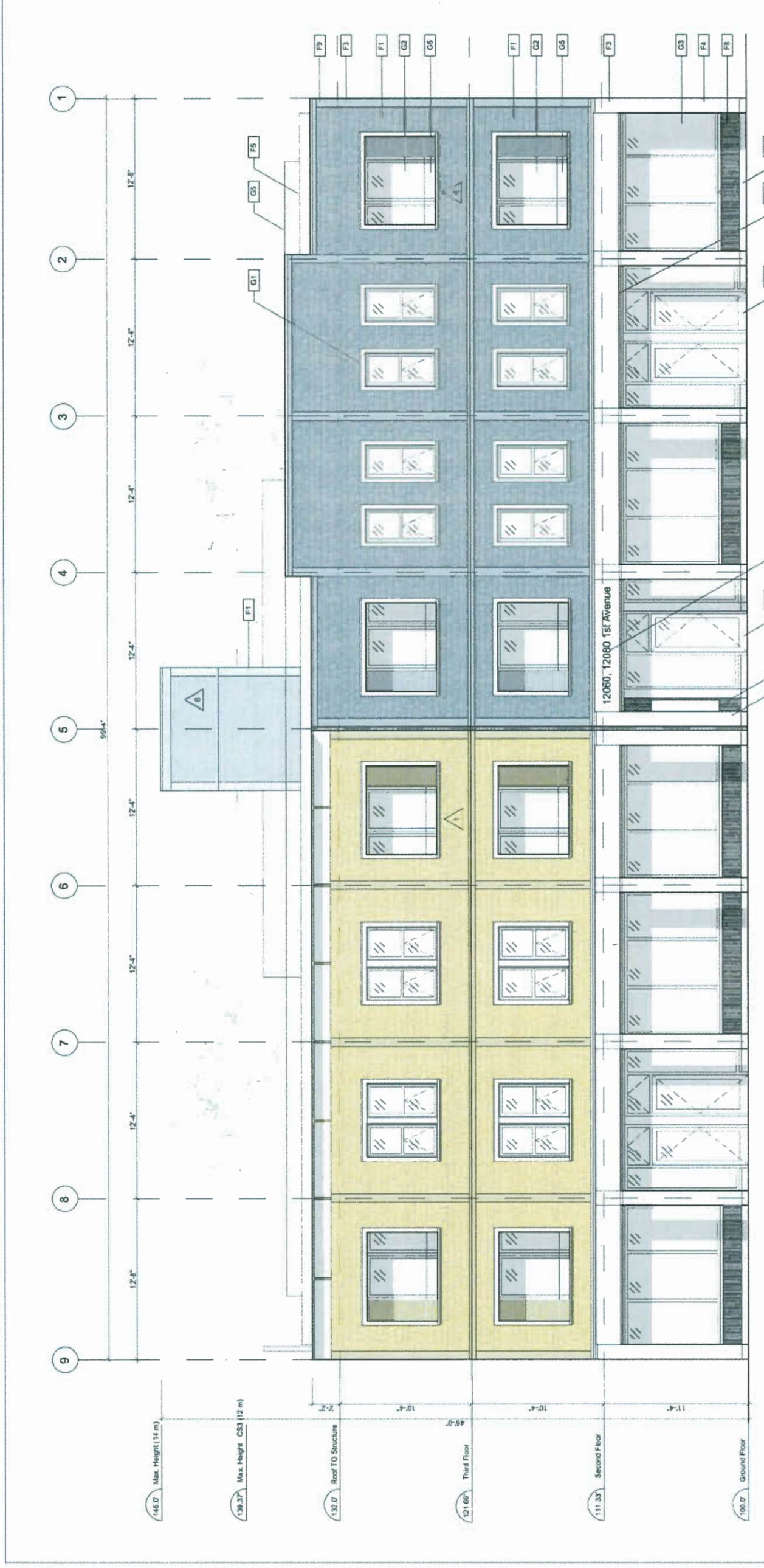
Project Title
 12060, 12080 1ST AVE
 SAKATA GARDENS
 STEVESTON, BC

Drawing Title:
 ELEVATIONS

Scale: As noted
Date: 08/17
Check: ES

Drawing No.:
A7

Revision No.:



COLOUR SCHEDULE

1	Handle colour, 'Solidity'
2	Handle colour, 'Iron Grey'
3	Handle colour, 'Arctic White'
4	Handle colour, 'Light Marl'
5	Cedar, clear satin finish
6	Handle colour, 'Light Marl'

Note: Colours are selected from manufacturers pre-finished decorative product ranges. Painted finish colours to match.

MATERIAL / ASSEMBLY KEY

F1	Shingle siding, 5' exposure
F2	Fibre cement panel, board and batten exposure joints
F3	Trim, exposure joints
F4	Trim, exposure joints
F5	Pre-finished metal flashing
F6	Stained T&G wood soffit wall
F7	Architectural concrete, sealed
F8	Fibre cement panel, board and batten exposure joints
F9	Pre-finished metal cornice
F10	Concrete block, sealed

MATERIAL / ASSEMBLY KEY

G1	Windows, double glazed
G2	Windows and doors, double glazed
G3	Storefront glazing, double glazed
G4	Storefront entry doors and sideights
G5	Glass guard, 42" ht.
G6	Solar shading
G7	Skylight glazing, double glazed
G8	Signage location
D1	Painted metal door and frame
E1	Pre-finished metal beams

1 WEST ELEVATION
 1/8" = 1'-0"

DP 18797026 plan #13

No.	Description	Date
1	Issued for DP/HAP	15/12/17
2	Issued for DP/HAP	12/08/18
3	Issued for DP/HAP	02/11/18
4	Issued for DP/HAP	01/02/19
5	Issued for DP/HAP	15/03/19
6	Issued for DP/HAP	19/05/19
7	Issued for DP/HAP	19/08/19

ESA

Eric Steamer Architect
4550 Victoria Park, Vancouver, BC, V7R 3Z2
604 412 8192

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Project Title:
12080, 12080 1ST AVE
SAKATA GARDENS
STEVESTON, BC

Drawing Title:
ELEVATIONS

Scale: As noted	Drawing No. A8
Date: 08/17	Revision No.
Check: ES	



1 EAST ELEVATION
1/8" = 1'-0"

COLOUR SCHEDULE

- 1 Handle colour, 'Salmon'
 - 2 Handle colour, 'Iron Grey'
 - 3 Handle colour, 'Arctic White'
 - 4 Handle colour, 'Light Mar'
 - 5 Cedar, clear satin finish
 - 6 Handle colour, 'Light Mar'
- Note: Colours are selected from manufacturers pre-finished commercial product range. Painted finish colours to match.

MATERIAL / ASSEMBLY KEY

- F1 Shingle siding, 5" exposure
- F2 Fibre cement panel, board and batten exposure vesies
- F3 Trim, exposure vesies
- F4 Trim, exposure vesies
- F5 Pre-finished metal flashing
- F6 Stained T&G wood soffits/wall
- F7 Architectural concrete, sealed
- F8 Fibre cement panel, board and batten exposure vesies
- F9 Prefinished metal cornice
- F10 Concrete block, sealed
- G1 Windows, double glazed
- G2 Windows and doors, double glazed
- G3 Storefront glazing, double glazed
- G4 Storefront entry doors and sublights
- G5 Glass guard, 42" ht.
- G6 Solar shading
- G7 Skylight glazing, double glazed
- G8 Signage location
- D1 Painted metal floor and frame
- E1 Pre-finished metal louvre

DP 18-797026 plan #14

No.	Description	Date
1	Issued for DP/HAP	19/12/17
2	Issued for DP/HAP Prior-to	12/09/18
3	Issued for DP/HAP Prior-to	02/11/18
4	Issued for DP/HAP Prior-to	01/02/19
5	Issued for DP/HAP Prior-to	15/03/19
6	Issued for DP/HAP Prior-to	15/05/19
7	Issued for DP/HAP Prior-to	19/08/19

ESA

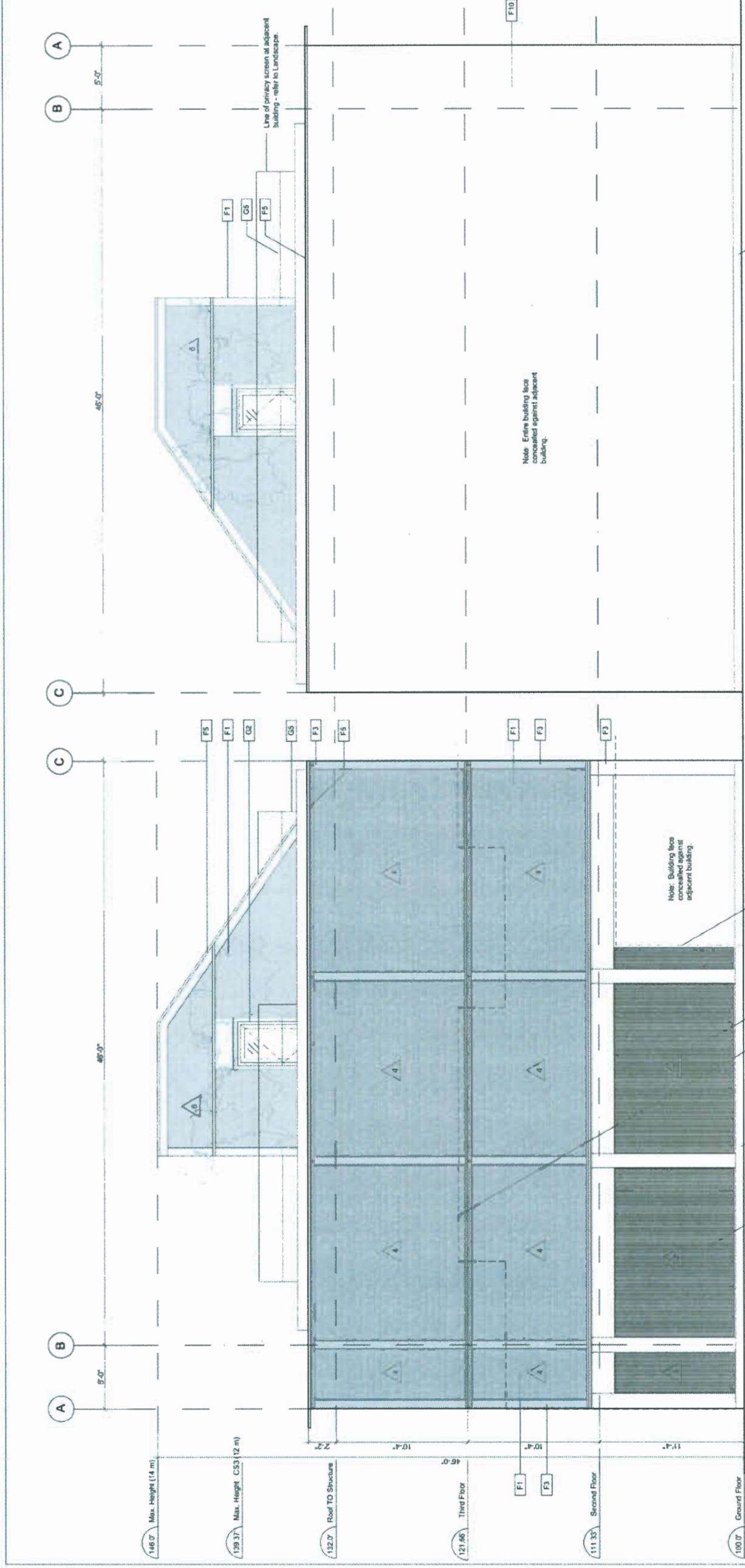
Eric Swetten Architect
4005 Virginia Ct. N. Vancouver, BC, V7R 3Z2
604 612 8782
esaa.com

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Project Title:
**12060, 12080 1ST AVE
SAKATA GARDENS
STEVESTON, BC**

Drawing Title:
ELEVATIONS

Scale: As noted	Drawing No. A9
Date: 08/17	Revision No.
Check: ES	



1 NORTH ELEVATION
1/4" = 1'-0"

1 SOUTH ELEVATION
1/4" = 1'-0"

COLOUR SCHEDULE

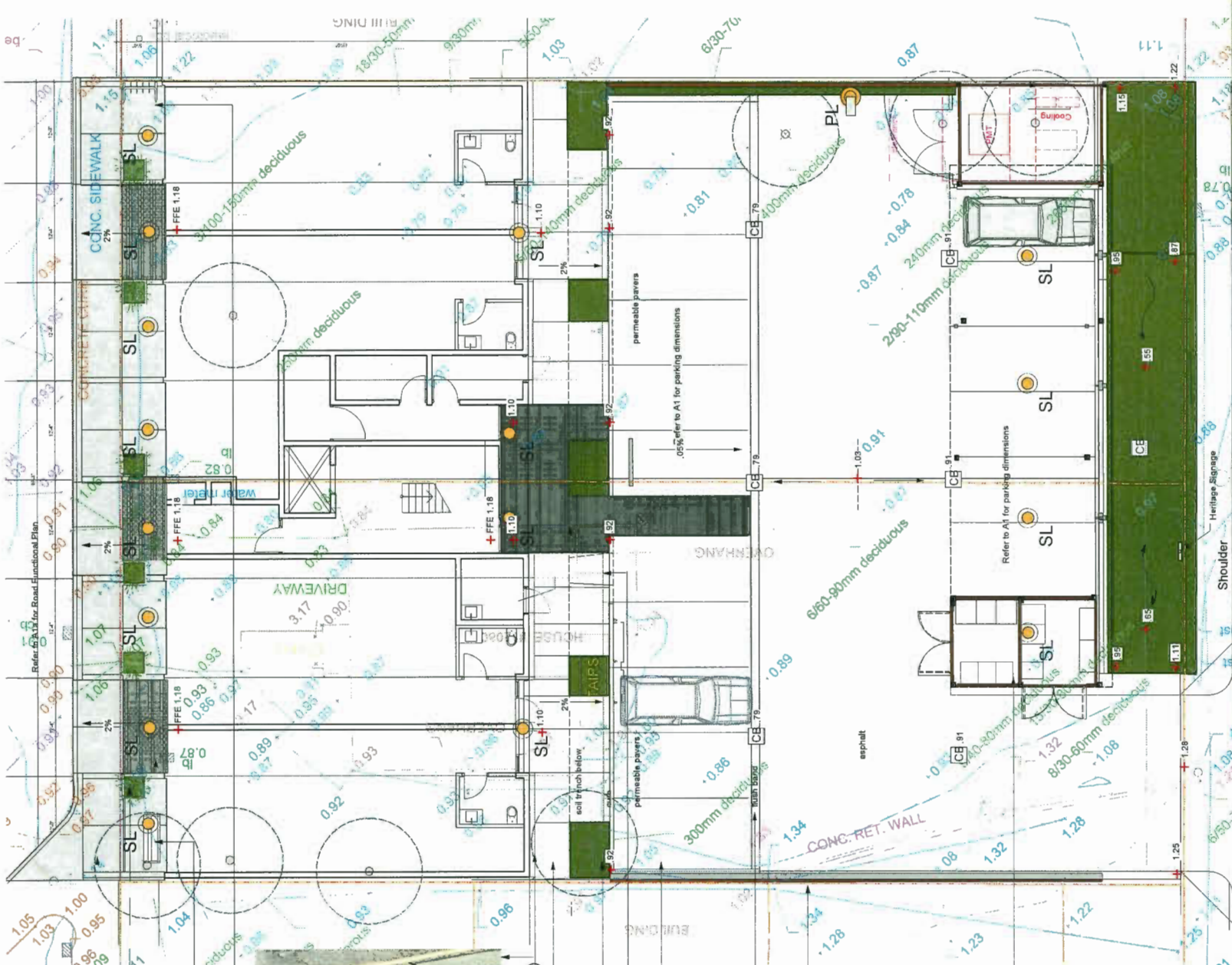
- 1 Handle colour, 'Salisbury'
- 2 Handle colour, 'Iron Grey'
- 3 Handle colour, 'Arctic White'
- 4 Handle colour, 'Light Mist'
- 5 Cedar, clear satin finish
- 6 Handle colour, 'Light Mist'

Note: Colours are selected from manufacturer pre-finished commercial product range. Painted finish colours to match.

MATERIAL / ASSEMBLY KEY

- F1 Single siding, 5' exposure
- F2 Fibre cement panel, board and batten exposure vains
- F3 Trim, exposure vains
- F4 Trim, exposure vains
- F5 Pre-finished metal flashing
- F6 Stained T&G wood soffit/wall
- F7 Architectural concrete, sealed
- F8 Fibre cement panel, board and batten exposure vains
- F9 Prefinished metal cornice
- F10 Concrete block, sealed
- G1 Windows, double glazed
- G2 Windows and doors, double glazed
- G3 Storefront glazing, double glazed
- G4 Storefront entry doors and sideights
- G5 Glass guard, 42" ht.
- G6 Solar shading
- G7 Skylight glazing, double glazed
- G8 Signage location
- D1 Painted metal door and frame
- E1 Pre-finished metal louvre

DP 18-797026 plan #15



Broom finish concrete sidewalk to match adjacent
Decorative planters with colourful plant material
Inset pavers - Long linear pattern to reflect historic wood planking to mark door entries
Bench - Maglin MLB1065 High Density Paper- Charcoal
Bike Rack - Cora



Decorative Garden Pattern Trench drain (to meet Heritage Panel direction)
Broom finish concrete sidewalk
Linear Pavers to reflect historic wood planking
Trees in continuous soil trench
Curb Cut or Flush Curb for Accessibility
Permeable Pavers- Natural with Charcoal Lines for Retail Parking (plus visitor)

Flush Concrete Band
6' Visual Screening for Parking lot- Cedar Slat Fence

Carport structure for residential parking with visual screening for Garbage, recycling and utilities- screen to match fence. Refer to Arch for further details

Planted rain garden - utilizing perennial species from existing garden when suitable for rain garden environment



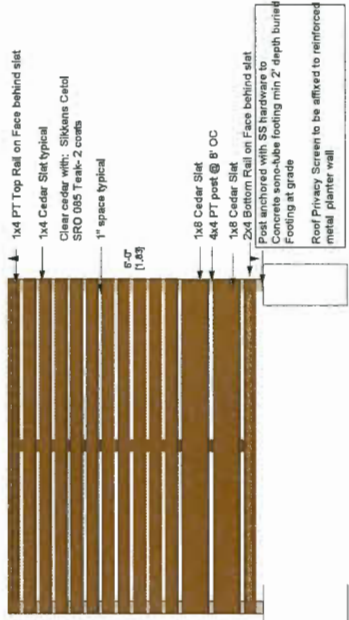
WL = Wall Light
SL = Recessed Soffit light
BL = Bollard Light
PL = Area Light

Parking Lot Area Light-LED

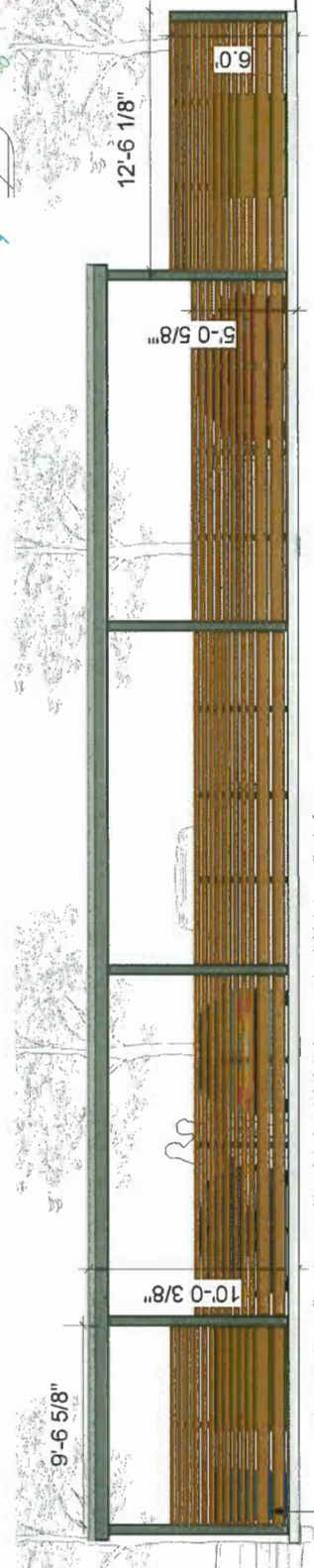


Bollard Small- Rooftop Light

Wall/Column Mounted Light



6' Tall Screening Fence at Grade



Carport West Side Elevation
Scale 1/4"=1'



Permeable pavers
Swedish columnar arbor- informal arrangement
Rain garden with planting

Issue No.	Date
Issue for DP Prior-0	25-04-2019
Issue for DP Prior-0	15-03-2019
Issue for DP Prior-0	14-02-2019
Issue for DP Prior-0	02-11-2018
Issue for DP Prior-0	12-08-2018
Issue for DP	15-12-2017
Issue for Review	17-11-2017
Issue for Review	24-10-2017
Issue for Review	13-10-2017
Issue for Review	20-09-2017
Issue for Review	15-09-2017

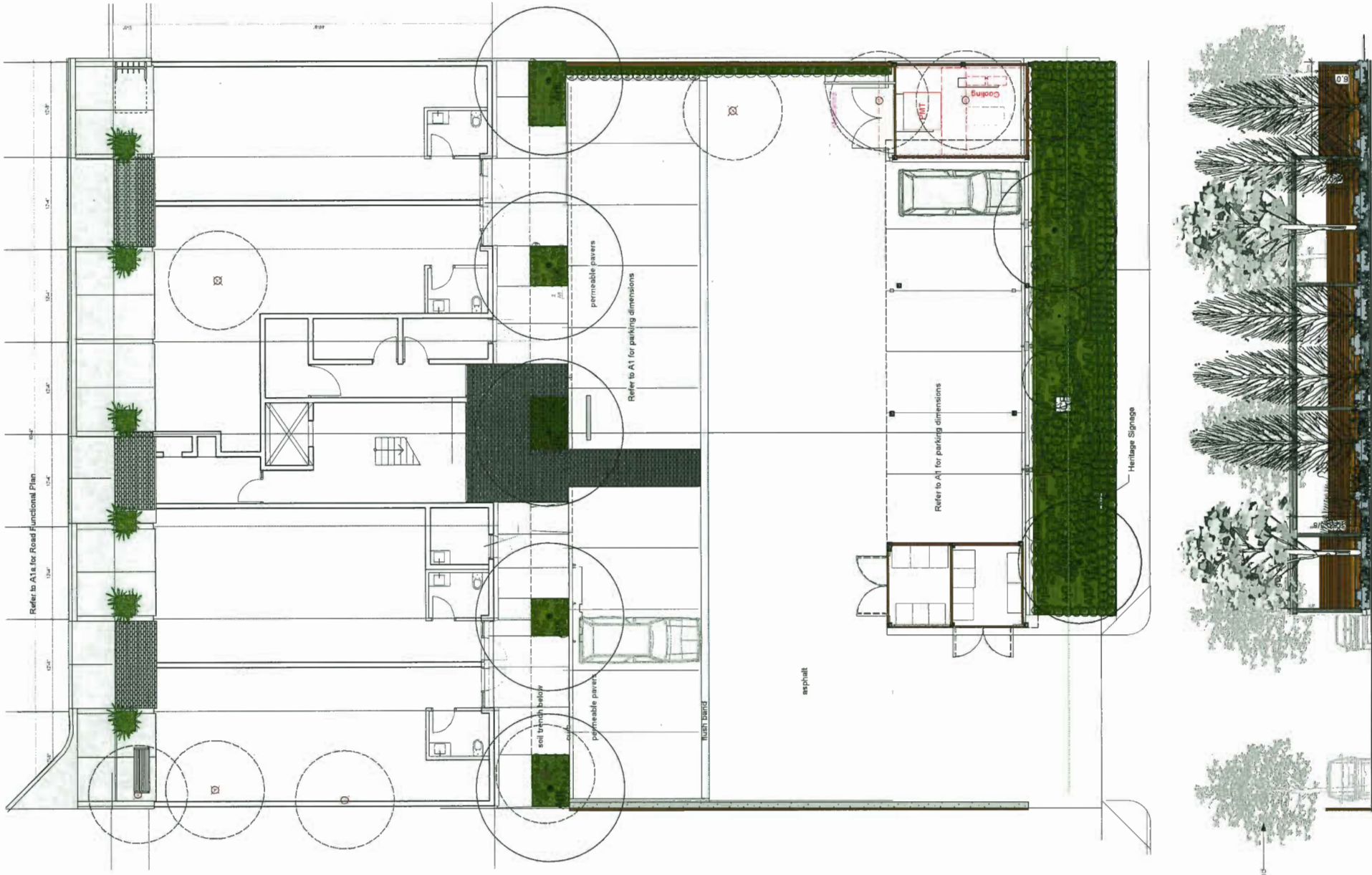
Client: Sakata Gardens
Project Title: Sakata Gardens

Revision No. :
Date :
Issue for Review

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Drawing Title: Landscape Concepts Ground Level
Project North: CJK
Checked By: CJK
Scale: 1/8"=1'
Job No.: 2017-0810
Sheet No.: L1

DP 18-797026 plan #10



- Issue for DP Prior-to 04-09-2019
- Issue for DP Prior-to 25-04-2019
- Issue for DP Prior-to 15-03-2019
- Issue for DP Prior-to 14-02-2019
- Issue for DP Prior-to 02-11-2018
- Issue for DP Prior-to 12-08-2018
- Issue for DP 15-12-2017
- Issue for Review 17-11-2017
- Issue for Review 24-10-2017
- Issue for Review 13-10-2017
- Issue for Review 20-09-2017
- Issue for Review 15-09-2017

Client: Sakata Gardens

Project Title: Sakata Gardens

Drawing Title: Landscape Concepts

Drawn By: CJK

Checked By:

Scale: 1/8"=1'

Job No.: 2017-0810

Sheet No.:



NOTE: In an effort to commemorate the existing Gardens- some existing plant material has been moved into the new garden and some new plants have been added. Viable perennials will be relocated into the new garden and some may be donated towards other gardens thus illustrated planting plan may adjust slightly based on the condition of re-used perennials.

Perennials that have been added to the include: anemones, iris, crocuses, Impatiens, primula, hosta, mondo grass, rose wall flower, columbine, goldenrod, heliopsis, nivalis, etc.



Colourful Planting in Pots along 1st

ID	Qty	Botanical Name	Common Name	Size
Trees				
ApS	4	Acer palmatum 'Sangojaku'	Coral Bark Maple	2m ht.
ApK	5	Acer rubrum 'Karpisck'	Karpisck Red Maple	6cm cal.
Ns	2	Nyssa sylvatica	Black Gum	10cm cal.
Pot	5	Populus tremuloides Erecta	Columar Trembling Aspen	9cm cal.
Shrubs				
ASG	13	Azalea Japonica 'Gumpo White'	Gumpo White Azalea	#2 pot
Am	24	Hamamelis virginica	Longleaf Hamamelis	#2 pot
BP	3	Bambusa multiplex 'Alphonse-Karr'	Alphonse-Karr Bamboo	#2 pot
GP	3	Phyllostachys puberula	Phyllostachys Puberula Bamboo	#2 pot
Groundcover, Vines, Ferns, Perennials and Grasses				
Ap	16	Anemone x hybrid	Japanese Anemone	#1 pot
Bc	52	Bergenia cordifolia	Heartleaf Bergenia	#1 pot
BcR	40	Bergenia cordifolia 'Roblum'	Red Bloom Elephant Ears	#1 pot
CaK	4	Calamagrostis x scutiflora 'Karl Foerster'	Feather Reed Grass	#2 pot
Cb	36	Carex burchardii	Leathertail Sedge	#1 pot
Cf	6	Carex flacca	Blue Creeping Sedge	#1 pot
CcE	52	Carex oshimensis 'Evergold'	Sedge	#1 pot
ED	20	Echinacea Charente Spirit	Charente Spirit Coneflower	#1 pot
FB	15	Festuca glauca 'Elijah Blue'	Elijah Blue Fescue	#1 pot
H	18	Hemerocallis macra 'Aurora'	Aurora Day Lily	#1 pot
HC	9	Heuchera 'Cherries Jubilee'	Cherries Jubilee	#1 pot
HeC	9	Heuchera 'Crima Bruise'	Crima Bruise	#1 pot
Is	48	Iris sibirica	Siberian Iris	#1 pot
Jc	54	Juncus effusus Spiralis	Crima Bruise Coral Balls	#1 pot
Mm	6	Miscanthus sinensis 'Morning Light'	Morning Light Maiden Grass	#3 pot
Op	112	Ophiopogon planicaulis 'Nigrescens'	Black Mondo Grass	#1 pot
Os	119	Oxalis oragna	Redwood Sorrell	#1 pot
Rh	24	Rubus odoratus	Blackberry Susan	#1 pot
Sr	55	Saxifraga menziesii	Saxifraga Menziesii	#1 pot
SH	104	Sedum rupestris 'Autumn Joy'	Autumn Stonecrop	#1 pot
SHM	20	Sedum mitchellii 'Maitrea'	Maitrea Stonecrop	#1 pot
Sc	6	Solidago 'Crown of Rays'	Goldenrod	#1 pot
Sl	170	Stipa tenuifolia	Mexican Feather Grass	#1 pot
Topsoil	45cu	Nest Sedium Mat Mix		

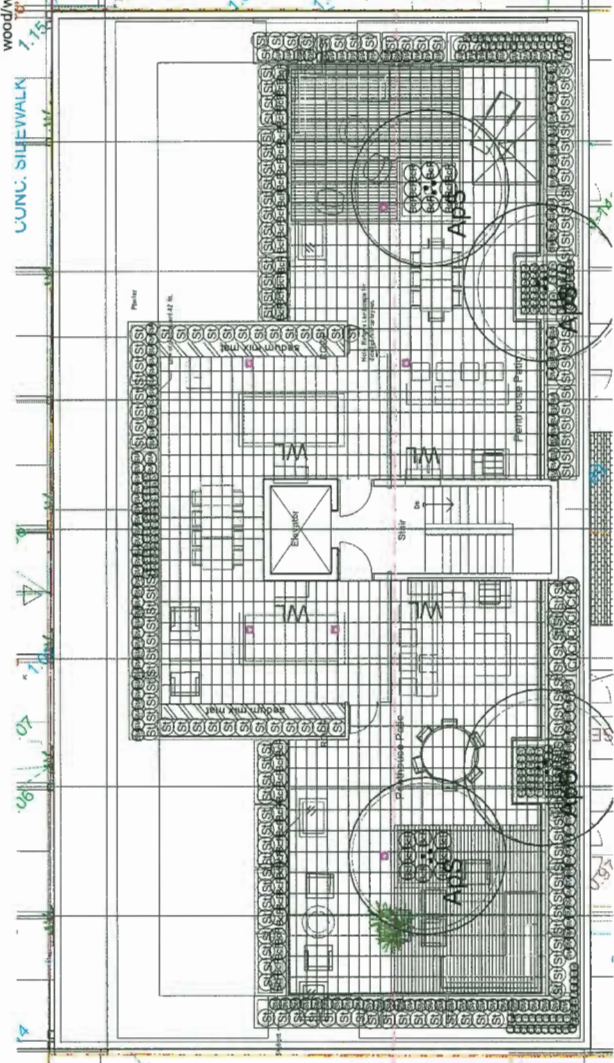
DP 18-797026 plan #17



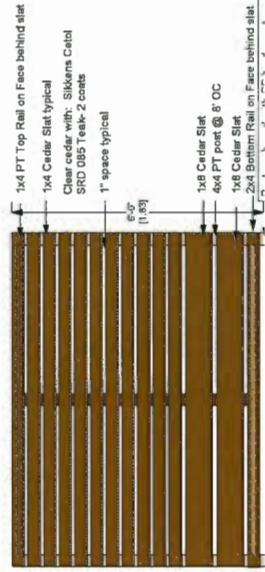
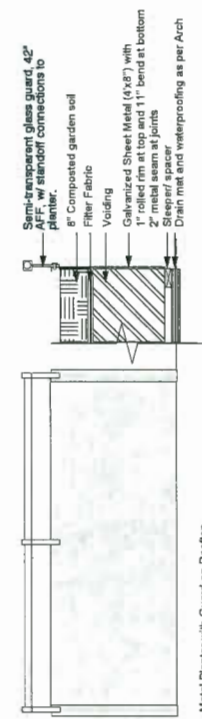
Roof Deck



- refer to arch for this area
- metal planters
- 6' height Wood screen at sides and between patios 32'-4 5/8" (10)
- 12x24 Concrete Slab paving on pedestals
- Continuous Guard Rail
- Bollard Lighting mounted inside of planter
- Outdoor kitchen with bar seating
- wood/wood composite decking



Roof Deck Planting



Privacy Screen to match ground level fence

Issue No	Date
Issue for DP Prior-to	05-09-2019
Issue for DP Prior-to	04-09-2019
Issue for DP Prior-to	25-04-2019
Issue for DP Prior-to	15-03-2019
Issue for DP Prior-to	14-02-2019
Issue for DP Prior-to	02-11-2018
Issue for DP Prior-to	12-08-2018
Issue for DP	15-12-2017
Issue for Review	17-11-2017
Issue for Review	24-10-2017
Issue for Review	13-10-2017
Issue for Review	20-09-2017
Issue for Review	15-09-2017

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Client: Sakata Gardens

Project Title: Sakata Gardens

Drawing Title: Landscape Concepts Roof Top Level

Project North: Drawn By: CJK
 Checked By:
 Scale: 1/8"=1' Job No.: 2017-0810
 Sheet No.: L3



OP 18-797026 plan #18

Sakata Gardens, Steveston Village

This site was once home to the historic Sakata house and garden. Shozo and Kay Sakata purchased the site in 1950 when Japanese-Canadians were returning to Steveston following internment during the Second World War. The garden supplied the family with vegetables and fruit until 1980 when Kay Sakata retired from working at the BC Packers cannery. She devoted countless hours over the following years creating a beautiful and extensive perennial garden that was well-loved by the community. Kay Sakata was well-known for sharing plant clippings with friends and visitors to the garden. Some of her plants live on in these gardens, neighbours' gardens and even in local parks. Her flowers were also displayed in the annual Steveston Salmon Festival's Ikebana (Japanese art of flower arrangement) competitions.



Painting of Kay Sakata working in her garden, 'Mrs Sakata's Garden', 2008. Centre panel of a triptych hanging in Richmond Hospital. Reproduced by permission of the artist, Loraine Welton.



Shozo and Kay Sakata in their Garden, 1960.

Heritage sign proposed for First Avenue.

Sakata Gardens, Historic Steveston Village

This site was once home to the historic Sakata house and garden. Shozo and Kay Sakata purchased the site in 1950 when Japanese-Canadians were returning to Steveston following internment during the Second World War. The garden supplied the family with vegetables and fruit until 1980 when Kay Sakata retired from working at the BC Packers cannery. She devoted countless hours over the following years creating a beautiful and extensive perennial garden that was well-loved by the community. Kay Sakata was well-known for sharing plant clippings with friends and visitors to the garden. Some of her plants live on in these gardens, neighbours' gardens and even in local parks. Her flowers were also displayed in the annual Steveston Salmon Festival's Ikebana (Japanese art of flower arrangement) competitions.



Painting of Kay Sakata working in her garden, 'Mrs Sakata's Garden', 2008. The original painting is hanging in Richmond Hospital. Reproduced by permission of the artist, Loraine Welton.

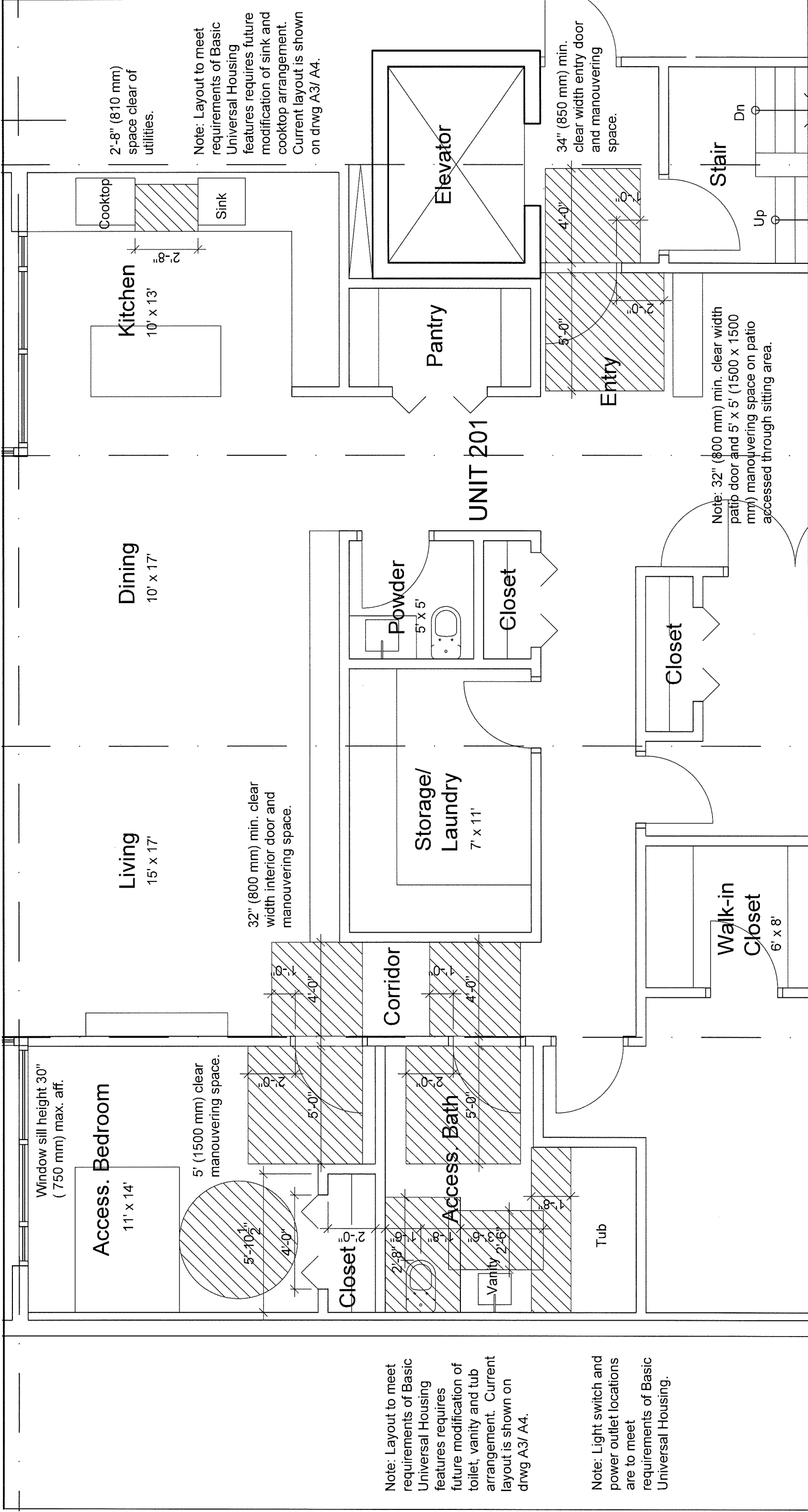


Kay Sakata in her garden, 2003.



The Sakata house and garden, 1960.

Heritage sign proposed for Lane.



Issued By:
ESA

This drawing is to be read in conjunction with the complete set of contract documents. Any impact on project cost or schedule is to be brought to the attention of the consultant.

Project Title:
SAKATA GARDENS

Drawing Title:
Basic Universal Housing Features

Drawing No.
ADP SK103

Ref. drwg: A3
Scale: NTS
Date: 18/04/19
Revision No.

DP 18-797026 plan #20