



**City of
Richmond**

Report to Development Permit Panel

To: Development Permit Panel

Date: May 22, 2018

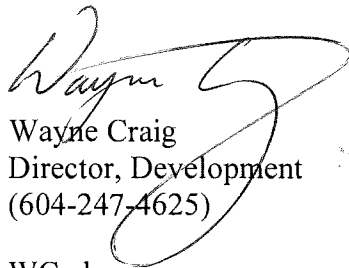
From: Wayne Craig
Director, Development

File: DP 16-728670

Re: **Application by Anwer Kamal for a Development Permit at 6571 No. 4 Road
(formerly 6571/6573 No. 4 Road)**

Staff Recommendation

That a Development Permit be issued which would permit the construction of six townhouse units at 6571 No. 4 Road on a site zoned "Town Housing (ZT60) – North McLennan (City Centre)".



Wayne Craig
Director, Development
(604-247-4625)

WC:el
Att. 4

Staff Report

Origin

Anwer Kamal has applied to the City of Richmond for permission to develop six townhouse units at 6571 No. 4 Road (formerly 6571/6573 No. 4 Road). The site is being rezoned from “Single Detached (RS1/F)” zone to “Town Housing (ZT-60) – North McLennan (City Centre)” for this project under Bylaw 9491 (RZ 11-578758), which received Third Reading following the Public Hearing on December 15, 2015. The site is currently vacant. A Servicing Agreement for frontage upgrades and service connections is required prior to Building Permit issuance.

Background

This project was given favourable consideration by the Development Permit Panel at its meeting held on September 13, 2017. A copy of the original report to Development Permit Panel with the associated Development Permit drawings, dated August 22, 2017, is attached to this report (Attachment A).

The Development Permit endorsed by Development Permit Panel on September 13, 2017 includes the protection and retention of a 42 cm calliper Western Red Cedar tree located at the southwest corner of the site. However, during the site preparation stage, prior to final adoption of the rezoning bylaw and issuance of the Development Permit, Tree Group staff noticed that the tree protection fencing had been pushed up against the tree and that the protected Western Red Cedar tree is damaged due to preload lock-blocks located approximately 0.3 m from the tree. Both the City’s Tree Preservation Coordinator and the project arborist agreed that the Western Red Cedar tree is dying as a result of preloading within the required tree protection zone; and that this tree should be removed. A report submitted by the project arborist can be found in Attachment B.

The Tree Group has issued two Municipal Ticket Information Notices to the property owner totalling \$1,750 and two Municipal Ticket Information Notices to the pre-load contractor totalling \$1,750. The total fine is \$3,500. In addition, as compensation to the damages made to the protected tree, the applicant is proposing to:

- plant a new 40 cm calliper Western Red Cedar tree at the northeast corner of the site;
- upsize the proposed Austrian Black Pine trees from 3.5 m to 4.5 m high;
- increase the pot sizes of shrubs and perennials; and
- upsize the height of the proposed Emerald Green Cedar along the side and rear property lines from 5 ft. to 6 ft.

A new Tree Management Plan and Landscape Plan are attached to the revised Development Permit Drawings.

Findings of Fact

In addition to the replacement of the Western Red Cedar tree and upsizing of proposed planting materials, the following changes to the Development Permit application are proposed:

- Change of site grade at the southwest corner of the site (i.e., where the tree well required to protect the 42 cm calliper Western Red Cedar tree was located) to match the proposed site grade of the adjacent yard areas, and integrate this space into the adjacent private yard space and the adjacent common area.
- Removal of one surface parking stall adjacent to the northwest corner of the internal drive aisle to allow the relocation of the hydro kiosk, as per BC Hydro's request. The proposed numbers of residential and visitor parking spaces are still in compliance with the bylaw. Please refer to the attached Development Application Data Sheet (Attachment C) for a comparison of the proposed development data with the relevant bylaw requirements.
- Planting of one additional tree at the original hydro kiosk location along the south property line.
- Minor amendments to the window openings to meet Building Code requirements.

All proposed changes to the Development Permit application are highlighted with red clouds on the attached Development Permit drawings.

Staff Comment

The applicant is proposing to replace the dying 42 cm calliper Western Red Cedar tree located at the southwest corner of the site with a new 40 cm calliper Western Red Cedar tree at the northeast corner of the site. This proposal has been reviewed and accepted by the City's Tree Preservation Coordinator. As fines have been issued to the owner and the pre-load contractor already, no additional compensation is requested.

In order to ensure the landscaping works are undertaken, the applicant is required to provide a landscape security of \$123,828.00 with the Development Permit. Since large specimen trees, in general, have a lower survival rate, a Tree Survival Security will be required as part of the Landscape Letter of Credit, as a condition to Development Permit issuance to ensure that the new trees to be planted on site will be protected. The City will release 80% of the security after construction and landscaping on the proposed townhouse complex are completed and inspections are approved. The remaining 20% of the security would be released two years later, subject to inspection.

It is also noted that, due to the elimination of a surface parking space and the tree well with associated stairs, the lot coverage of landscaping with live plant materials will be increased from 25.5% to 26.4%.

Conclusions

The applicant had presented a development that meets applicable policies and Development Permit Guidelines, and this development proposal was given favourable consideration by the Development Permit Panel at its meeting held on September 13, 2017. To rectify a tree preservation issue, the applicant has proposed minor changes to the development, and has agreed to the list of Development Permit Considerations (signed concurrence on file) outlined in Attachment D. Staff have no objection to the proposed revisions. On this basis, staff recommend support of this Development Permit application.



Edwin Lee
Planner I
(604-276-4121)

EL:blg

Attachment A: Report to Development Permit Panel (August 22, 2017)

Attachment B: Arborist Letter

Attachment C: Development Application Data Sheet

Attachment D: Development Permit Considerations



City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: August 22, 2017

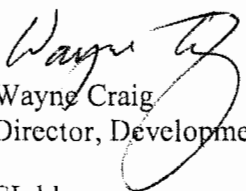
From: Wayne Craig
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Wayne Craig
Director, Development

EL:blg
Att. 2

Staff Report

Origin

Anwer Kamal has applied to the City of Richmond for permission to develop six townhouse units at 6571/6573 No. 4 Road. The site is being rezoned from “Single Detached (RS1/F)” zone to “Town Housing (ZT-60) – North McLennan (City Centre)” for this project under Bylaw 9491 (RZ 11-578758), which received third reading following the Public Hearing on December 15, 2015. The site is currently vacant. A Servicing Agreement for frontage upgrades and service connections is required prior to Building Permit issuance.

Development Information

Please refer to the attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the north, a 12-unit townhouse complex at 6551 No. 4 Road with access from No. 4 Road. A Cross-Access Easement is registered on Title of 6551 No. 4 Road to provide vehicle access to the subject site.
- To the south, right-in only driveway to A. R. MacNeill Secondary School and parking lots for the school. The school site is zoned “School & Institutional Use (SI)”.
- To the east, across No. 4 Road, large single-family lots zoned “Agriculture (AG1)” located within the Agriculture Land Reserve (ALR).
- To the west, a landscaped area and internal drive aisle within the A. R. MacNeill Secondary School property.

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on December 15, 2015. No concerns regarding the rezoning application was expressed at the Public Hearing.

Staff Comments

The Official Community Plan (OCP) designates the subject property as “Neighbourhood Residential” (i.e., areas where the principal uses are single-family, two-family and multiple-family housing). The City Centre Area, McLennan North Sub-Area Plan (Schedule 2.10C), designates the property as “Residential Area 3” for two-family dwelling and two-storey & three-storey townhouses with 0.65 base floor area ratio (FAR). The proposed two-storey and three-storey townhouse development will comply with both the OCP and the McLennan North Sub-Area Plan land use designations.

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the OCP and is generally in compliance with the “Town Housing (ZT-60) – North McLennan (City Centre)” zone.

Advisory Design Panel Comments

The subject application was not presented to the Advisory Design Panel on the basis that this small project generally meets all the applicable Development Permit Guidelines, and the overall design and site plan have adequately addressed staff comments.

Analysis

Conditions of Adjacency

- Both the form and massing of the proposed development are consistent with the existing surrounding townhouse developments which are comprised of two-storey and three-storey townhouses.
- Two-storey end units would be in keeping with the character of adjacent townhouse development to the north.
- An ALR buffer is proposed along the No. 4 Road frontage (see details in the *Landscape Design and Open Space Design* section below).
- A 1.8 m tall wood fence and four new trees are proposed along the north property lines to provide some privacy screening between the proposed development and the existing townhouse development to the north.
- No tree planting is permitted along the west property line on existing statutory right-of-way (SRW) for sanitary sewer.
- A 1.8 m tall wood fence is proposed to be installed on top of an approximately 1.2 m tall retaining wall along the west property line between the parking lot of A. R. MacNeill Secondary School and the subject site. This interface with the A.R. MacNeill Secondary School is consistent with the interface provided between the adjacent development to the north (at 6551 No. 4 Road) and the school.
- A 0.9 m tall metal picket fence is proposed to be installed on top of an approximately 1.0 m tall retaining wall along the south property line between the entry driveway and walkway of A. R. MacNeill Secondary School and the subject site. A 2.4 m tall trellis with 1.5 m tall solid fence is also proposed at the end of the drive aisle to screen the headlight glare from the townhouse development onto the school driveway.
- Landscaping is also proposed on the A. R. MacNeill Secondary School, along the west and south property line of the subject site, to screen the view of the proposed retaining walls on the townhouse site from the school. A landscape plan prepared by a registered landscape architect will be required prior to Development Permit issuance to the satisfaction of the Richmond School District.

- Perimeter drainage will be secured through the Building Permit to ensure storm water is managed and addressed through the development and will not impact the neighbouring properties.

Urban Design and Site Planning

- The proposal consists of six units provided in two townhouse clusters. Three units will have direct access from the street and three units will have access from the internal drive aisle.
- The proposal provides for a pedestrian-oriented streetscape fronting No. 4 Road with a landscaped edge treatment, low metal fencing, and metal gates to the street fronting units. A separate pedestrian entrance from No. 4 Road to the development site is proposed along the south property line.
- Vehicle access will be through the existing access easement registered on the neighbouring townhouse development to the north at 6551 No. 4 Road. No direct vehicle access to No. 4 Road is permitted for the subject site.
- The number of residential parking spaces proposed for this townhouse development exceeds the minimum parking requirement within the City Centre area, and all units will have two vehicle parking spaces.
- Tandem parking is permitted under the ZT60 zone, and two out of six townhouse units will have tandem garages (four tandem stalls in total). A Restrictive Covenant prohibiting the conversion of tandem parking area into habitable area will be secured as a condition of rezoning approval.
- Two visitor parking spaces are proposed, which meet the minimum bylaw requirement.
- Both residential and visitor bicycle parking are provided in compliance with the zoning bylaw minimum requirements.
- The provision of private outdoor spaces complies with the Development Permit Guidelines (30 m² per unit) of the OCP. All units have private outdoor spaces consisting of front or rear yard and balconies on the second floors.
- Outdoor amenity space is proposed at the southeast corner of the site for maximum casual surveillance opportunity and sun exposure. The size and location of the outdoor amenity space is appropriate in providing open landscape and amenity space convenient to all units.
- Additional outdoor amenity space (10% of the site area) as per the City Centre Amenity Space Provisions in the City Centre Area Plan is provided as a walkway and landscaped areas throughout the site.
- The required garbage, recycling and organic waste storage enclosures have been incorporated into the design of the west (rear) building to minimize the visual impact of these enclosures.

Architectural Form and Character

- The proposed building design is compatible to the adjacent townhouse development to the north. The architectural language proposed for the development is similar to conventional single-family homes with slope roofs.

- A pedestrian scale is generally achieved along the public streets and internal drive aisle through the inclusion of variation in building projections, recesses, entry porches, varying material/colour combinations, landscape features, and the use of individual unit entrances.
- The overall appearance of the proposal conforms to the design guidelines of the North McLennan area and should fit in well with the character of the surrounding area.
- The proposed building materials (asphalt roof shingles, hardi-siding/panel with trim) are generally consistent with the Official Community Plan (OCP) Guidelines and compatible with the character of the surrounding neighbourhood.

Landscape Design and Open Space Design

- Tree preservation was reviewed at rezoning stage: one 42 cm calliper Western Red Cedar tree located at the southwest corner of the site will be protected and retained on-site. To ensure that this tree will be protected, no landscape security for the proposed development will be returned until the post-construction assessment report confirming the protected tree survived the construction, prepared by the Arborist, is reviewed and approved by staff.
- Based on the 2:1 tree replacement ratio goal stated in the OCP, two replacement trees are required for the removal of one tree. The applicant is proposing to plant eight new trees on-site, including three conifers and five deciduous trees.
- An agricultural landscape buffer is required within the subject site, along the eastern edge of the No. 4 Road frontage. The buffer is intended to mitigate land use conflicts between the residential uses on the subject site and any agricultural land uses east of No. 4 Road. The landscape proposal was referred to the Agricultural Advisory Committee (AAC) on September 24, 2015 for their review and comments. Overall, the AAC was supportive of the proposal, but requests that the proposed Heavenly Bamboo be replaced as it is considered an invasive species. The landscape architect has replaced this plant species with Rhododendron on the final landscape plan.
- Along No. 4 Road, several types of low hedges, small trees and some small ornamental grasses are proposed to create layered landscape with rich texture and colour contrast and year round visual interest.
- Adjacent to the school driveway, low metal picket fencing is proposed along the south property line and a trellis is proposed at the terminus of the internal driveway to provide strong spatial definition
- Each unit will have a private yard with landscaping, a small lawn area and/or a small patio. Various hedges, shrubs and ground covers, as well as perennials and grasses have been selected to ensure the landscape treatment remains interesting throughout the year.
- A children's play area designed for children aged two to five years old is proposed for the outdoor amenity area. The play equipment includes a playhouse and two spring toys which were chosen to fit into the provided space and to allow multiple children to play at the same time. The equipment provides different play opportunities for the development of social, imagination, balance, and motor skills. Two benches are provided within the outdoor amenity space for caregivers.

- Surface parking stalls and pedestrian walkways will be treated with permeable pavers for better water infiltration and variety in paving surfaces. Pavers proposed for the internal drive aisle and visitor parking stalls match the colour scheme used on the adjacent townhouse site for consistence. Salmon colored pavers are proposed on the surface residential parking stalls to differentiate the residential parking stalls from the visitor parking stalls.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$100,049.00 in association with the Development Permit.
- Indoor amenity space is not proposed on-site. A \$6,000 cash-in-lieu contribution has been secured as a condition of rezoning approval, consistent with the OCP.

Crime Prevention Through Environmental Design

- Site lighting and clear sight lines provide unobstructed views of surrounding area.
- Plantings near residential entries are low to maximize views and casual surveillance opportunities of common areas.
- All entrances are visible and overlooked by pedestrians or by neighbour's windows.

Sustainability


- The applicant has committed to achieving an EnerGuide rating of 82 for the proposed townhouses and to pre-ducting all units for solar hot water heating.
- A Certified Energy Advisor has confirmed that the proposed townhouse units will be designed to achieve an EnerGuide rating of 82. The report prepared by the Energy Advisor is on file and will be utilized through the Building Permit review process to ensure these measures are incorporated in the Permit drawings.

Accessible Housing

- The proposed development includes one convertible unit that is designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The potential conversion of this unit will require installation of a vertical lift in the stacked storage space (which has been dimensioned to allow for this in Unit A1A of the street fronting building (east building)) in the future, if desired.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
 - Stairwell hand rails.
 - Lever-type handles for plumbing fixtures and door handles.
 - Solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Conclusion

The applicant has satisfactorily addressed staff's comments regarding conditions of adjacency, site planning and urban design, architectural form and character, and landscape design. The applicant has presented a development that meet applicable policies and Development Permit Guidelines, and fits into the existing context. The applicant has agreed to the list of Development Permit Considerations (signed concurrence on file) outlined in Attachment 2. On this basis, staff recommend support of this Development Permit application.


Edwin Lee
Planner 1
(604-276-4121)

EL:blg

Attachment 1: Development Application Data Sheet
Attachment 2: Development Permit Considerations



DP 16-728670

Attachment 1

Address: 6571 and 6573 No. 4 Road

Applicant: Anwer Kamal

Owner: Anwer Kamal

Planning Area(s): North McLennan Sub-Area (City Centre)

Floor Area Gross: 956.5 m²

Floor Area Net: 690.4 m²

	Existing	Proposed
Site Area:	1,115 m ²	1,091m ² (net after road dedication)
Land Uses:	Single-Family Residential	Multiple-Family Residential
OCP Designation:	Neighbourhood Residential	No Change
Area Plan Designation:	CCAP: General Urban T4 North McLennan Sub-Area Plan: "Residential Area 3" - two-family dwelling and 2 & 3-storey townhouses with 0.65 base FAR	No Change
Zoning:	Single Detached (RS1/F)	Town Housing (ZT60) – North McLennan (City Centre)
Number of Units:	2	6

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.65	0.64	none permitted
Lot Coverage – Building:	Max. 40%	40%	none
Setback – Front Yard (m):	Min. 6.0 m	6.2 m	none
Setback – North Side Yard (m):	Min. 3.0 m	3.1 m	none
Setback – South Side Yard (m):	Min. 3.0 m	3.0 m	none
Setback – Rear Yard (m):	Min. 3.0 m	3.0 m	none
Height (m):	Max. 12.0 m (3 storeys)	10.61 m (3 storeys)	none
Lot Area:	Min. 1,010 m ²	1,091 m ²	none
Off-street Parking Spaces – Regular (R) / Visitor (V):	1.4 (R) and 0.2 (V) per unit	2 (R) and 0.2 (V) per unit	none
Off-street Parking Spaces – Total:	9 (R) and 2 (V)	12 (R) and 2 (V)	none
Tandem Parking Spaces:	Permitted	4 spaces	none
Small Car Parking Spaces	None when fewer than 31 spaces are provided on site	2 (surplus spaces)	none

Handicap Parking Spaces:	None when fewer than 3 visitor parking spaces are required	0	none
Amenity Space – Indoor:	Min. 70 m ² or Cash-in-lieu	Cash-in-lieu	none
Amenity Space – Outdoor:	Min. 6 m ² x 6 units = 36 m ²	36.7 m ²	none



Development Permit Considerations

Development Applications Department
6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 6571/6573 No. 4 Road

File No.: DP 16-728670

Prior to approval of the Development Permit, the developer is required to complete the following:

1. Final adoption of the Zoning Amendment Bylaw 9491.
2. Submission of a landscape plan prepared by a registered landscape architect identifying landscaping to be planted on the A. R. MacNeill Secondary School, along the west and south property line of the subject site, to screen the view of the proposed retaining walls on the townhouse development from the school.
3. Receipt of a Letter-of-Credit for landscaping and tree survival in the amount of \$100,049.00. No landscaping and tree survival security will be released until:
 - a) a Letter of Assurance from the Landscape Architect, confirming that all on site and off site landscaping are installed in accordance with the landscape plans, has been submitted;
 - b) an Arborist Post Construction Impact Assessment Report, confirming survival of the protected tree, has been submitted; and
 - c) physical inspection has been undertaken by staff.

Prior to Building Permit Issuance, the developer must complete the following requirements:

1. Enter into a Servicing Agreement* for the design and construction of engineering infrastructure improvements:
 - a) Water Works:
 - i. Using the OCP Model, there is 65 l L/s of water available at a 20 psi residual at the hydrant at 6620 No 4 Road. Based on your proposed development, your site requires a minimum fire flow of 220 L/s.
 - ii. The Developer is required to:
 - Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm the development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage and Building designs.
 - Install a fire hydrant at No 4 Road frontage to service the proposed townhouse development. Coordination with the City's Fire department to confirm the location of the proposed hydrant is also required.
 - iii. At the Developer's cost, the City will:
 - Cut and cap at main the existing water service connection at No. 4 Road frontage.
 - Install new water connection to service the proposed site. Details of the new water service shall be finalized via the servicing agreement design review.
 - b) Storm Sewer Works:
 - i. At the Developer's cost, the City will:
 - Cut and cap at main the existing storm sewer service connections at No. 4 Road frontage. Remove existing IC.
 - Install new storm sewer connection to service the proposed site. Details of the new storm service shall be finalized via the servicing agreement design review.
 - c) Sanitary Sewer Works:
 - i. The Developer is required to:
 - Provide a 3 meter wide utility SRW along the entire west property line of the proposed site.

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- Install a new sanitary sewer connection to service the proposed site. Details of the new storm service shall be finalized via the servicing agreement design review.
- d) Frontage Improvements:
- i. The Developer is required to:
 - Removing existing sidewalk and create a 1.5m grass & treed boulevard behind the existing curb (trees to be Littleleaf Linden), with a 1.5 m sidewalk behind that which will abut the new property line. All works are at the client's sole cost; i.e. no credits apply. The works are an extension of SA06-326784 from the north at 6551 No 4 Road. Improvements shall be built to the ultimate condition wherever possible.
 - Provide street lighting along No. 4 Road frontage.
 - Locate all above ground utility cabinets and kiosks required to service the proposed development within the developments site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be included in the Rezoning staff report and the development process design review. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the right of ways dimensions and the locations for the aboveground structures. If a private utility company does not require an aboveground structure, that company shall confirm this via a letter to be submitted to the City. The following are examples of SRWs that shall be shown in the functional plan and registered prior to SA design approval:
 - 1) BC Hydro PMT – 4mW X 5m (deep)
 - 2) BC Hydro LPT – 3.5mW X 3.5m (deep)
 - 3) Street light kiosk – 1.5mW X 1.5m (deep)
 - 4) Traffic signal kiosk – 1mW X 1m (deep)
 - 5) Traffic signal UPS – 2mW X 1.5m (deep)
 - 6) Shaw cable kiosk – 1mW X 1m (deep) – show possible location in functional plan
 - 7) Telus FDH cabinet - 1.1mW X 1m (deep) – show possible location in functional plan
- e) General Items:
- i. The Developer is required to:
 - Provide if pre-load is required, prior to pre-load installation, a geotechnical assessment of preload and soil preparation impacts on the existing sanitary sewer along the proposed site's west property line, proposed utility installations, and provide mitigation recommendations. The mitigation recommendations shall be incorporated into the first SA design submission or if necessary to be implemented prior to pre-load.
 - Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
 - 2. Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities, including building demolition, occurring on-site.
 - 3. Incorporation of accessibility, CPTED, and sustainability features/measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
 - 4. Submission of DCC's (City & GVS&DD), School site acquisition charges, Address Assignment Fee, and servicing charges, etc.
 - 5. If applicable, payment of latecomer agreement charges associated with eligible latecomer works.
 - 6. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.

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7. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.
All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.
The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.
- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

Signed

Date



No. DP 16-728670

To the Holder: ANWER KAMAL
Property Address: 6571 AND 6573 NO. 4 ROAD
Address: C/O ERIC LAW
ERIC LAW ARCHITECT INC.
#216 – 288 WEST 8TH AVENUE
VANCOUVER, BC V5Y 1N5

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #4 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$100,049.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 16-728670

To the Holder: ANWER KAMAL
Property Address: 6571 AND 6573 NO. 4 ROAD
Address: C/O ERIC LAW
ERIC LAW ARCHITECT INC.
#216 – 288 WEST 8TH AVENUE
VANCOUVER, BC V5Y 1N5

- 7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.
This Permit is not a Building Permit.

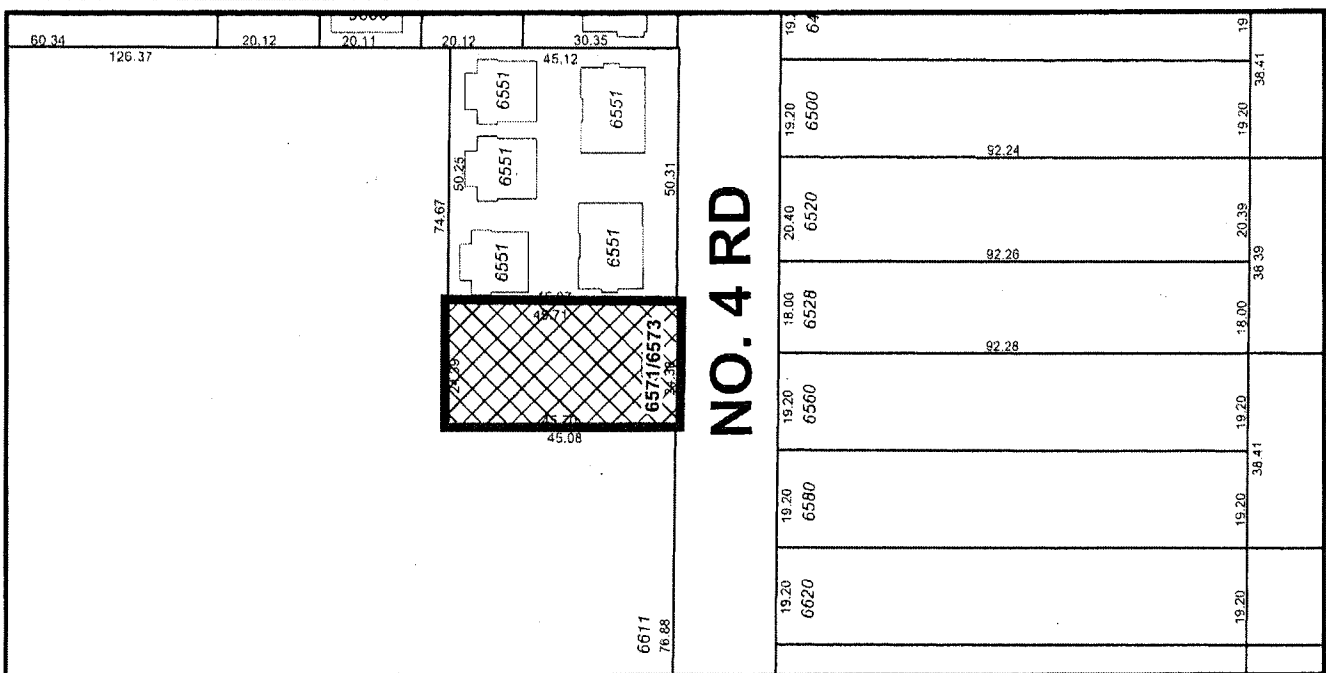
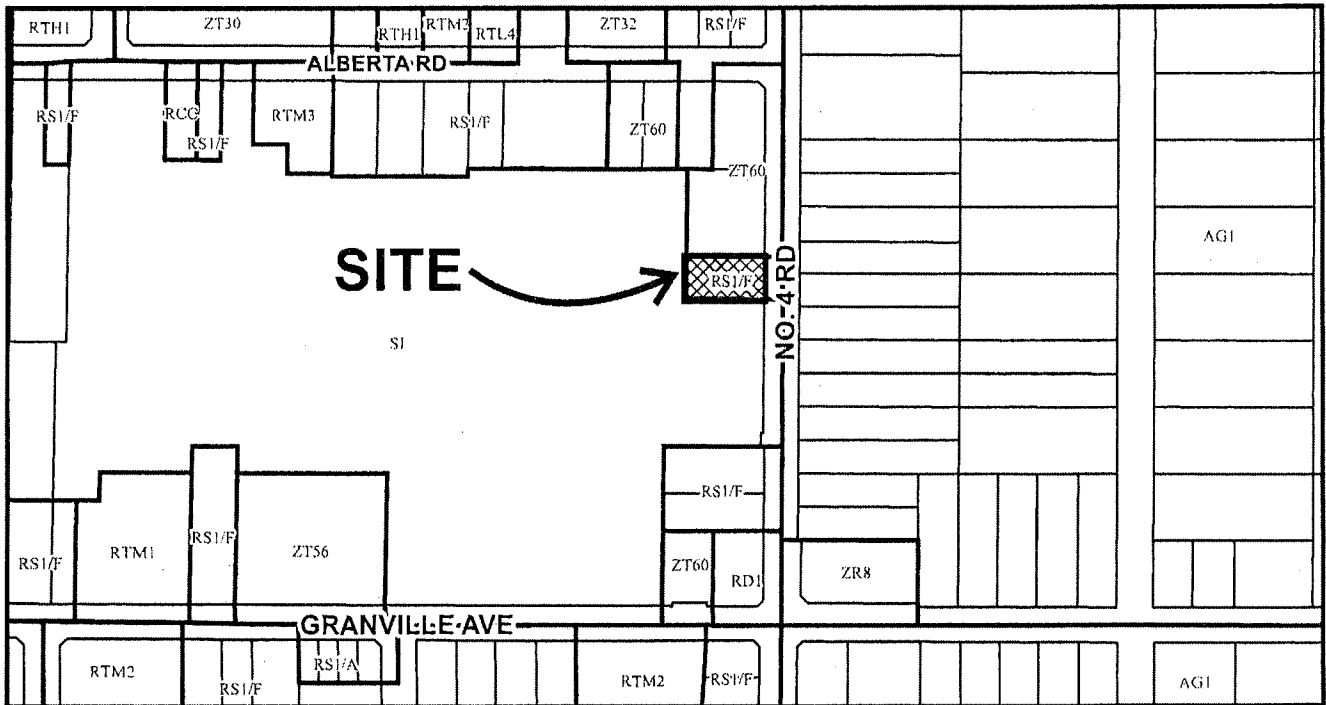
AUTHORIZING RESOLUTION NO. ISSUED BY THE COUNCIL THE
DAY OF

DELIVERED THIS DAY OF

MAYOR



City of Richmond



DP 16-728670 SCHEDULE "A"

Original Date: 04/15/16

Revision Date: 08/17/17

Note: Dimensions are in METRES

PROPOSED TOWNHOUSE DEVELOPMENT AT 6571-6573 NO. 4 ROAD, RICHMOND, BC

DEVELOPMENT DATA

(A) OMC ADDRESS: 6571-6573 NO. 4 ROAD, RICHMOND, BC
 (B) LEGAL DESCRIPTION: LOT 65 SECTION 10 BLOCK 4 NORTH RANGE 6 WEST NEW WESTMINSTER DISTRICT PLAN 46723
 (C) LOT AREA: 1,114 SM (11,991 SF) (BEFORE ROAD DEDICATION)
 1,091 SM (11,743 SF) (AFTER ROAD DEDICATION)
 (D) ZONING USE: CURRENT: RS1/F, PROPOSED: ZT60

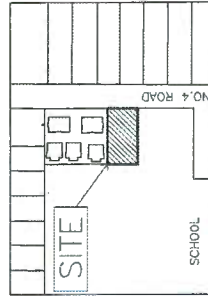
CURRENT ZONING (UNDER RS1/F ZONING)
 PROPOSED REZONING (ZT60)

(E) FLOOR AREA RATIO
 0.55 TO 454.5 SM
 0.3 TO REST OF SITE AREA TOTAL GROSS FLOOR AREA (7,633 SF)
 NA
 MAX - 40%
 MAX MAIN BUILDING HEIGHT - 12M
 FRONTYARD FACING NO. 4 RD - 5M
 NORTH AND SOUTH SIDEYARD - 3M
 REAR YARD - 3M

(F) NUMBER OF UNIT: 1 PER LOT
 MAX - 45%
 MAX HEIGHT - 9M
 FRONTYARD - 6M
 SIDEYARD - 2M
 REARYARD - 5M

(G) PARKING: 2 PER DWELLING UNIT
 1.4 PER DWELLING UNITS X6 = 9
 0.2 VISITOR PARKING / UNIT X6 = 2
 TOTAL = 11 REQUIRED
 ZT60 ZONING ALLOW TANDEM PARKING
 VISITOR BICYCLE
 0.2 PER DWELLING UNIT X6= 2
 RESIDENTIAL BICYCLE STORAGE
 1.25 PER DWELLING UNIT X6=8
 OUTDOOR AMENITY SPACE
 6SM PER UNIT X6= 36 SM (38BSF)

RESIDENTIAL PARKING: 6 REGULAR PARKING
 2 TANDEM PARKING (+ REGULAR)
 2 SMALL PARKING (SURPLUS)
 VISITOR PARKING: 2 REGULAR
 BICYCLE
 VISITOR BIKE RACK 2
 TOWNHOUSE 8 (INSIDE GABAGE)
 OUTDOOR AMENITY SPACE PROVIDED: 36.7 SM 395 SQ. FT.
 CHILDREN PLAYGROUND: 36.7 SM 395 SQ. FT. = 25.5%
 TOTAL LIVE PLANT / LAWN AREA: 2998 SQ. FT. / 11743 SQ. FT. = 25.5%
 TOTAL NCM POROUS AREA: 8897 SQ. FT. / 11743 SQ. FT. = 58.7%



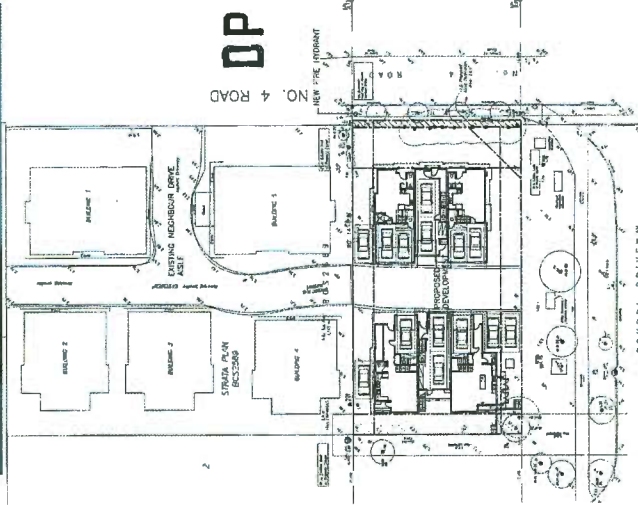
DRAWING LIST

- A1- DEVELOPMENT SUMMARY
- A1A-UPGRADE NOTE
- A2- SITE PLAN (1/F)
- A3- SITE PLAN ENVELOPE
- A4- PARKING PLAN
- A5- SITE PLAN (2/F & 3/F)
- A6- UNIT PLANS
- A7- ELEVATIONS
- A8- ELEVATIONS & SECTIONS
- A9- ELEVATIONS COLOR
- A10- OPEN SPACE AREA
- A11-FAR DIAGRAM



ERIC LAW ARCHITECT
 1000 WEST 10TH AVENUE, SUITE 200
 VANCOUVER, BC V6H 2E6
 TEL: (604) 681-8887
 WWW.ERICLAWARCHITECT.COM

NO.	REVISION
1	ISSUED FOR PERMITS
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10	ISSUED FOR PERMITS



PLAN #1
 DP 16-728670
 AUG 22 2017

PROPOSED TOWNHOUSE
 6571-6573 NO. 4 RD
 RICHMOND BC

DEVELOPMENT SUMMARY

PROJECT NUMBER: 16-03
 ISSUED: 8/22/2017
 CHECKED BY: EL
 FILENAME: 16-03_DP_1_TOWNHOUSE_DP.DWG

A1

2 SITE PLAN WITH ADJACENT LOTS
 NTS

DP 16-728670 DEVELOPMENT PERMIT

SUMMARY OF ENERGY 82 REPORT: REFER DETAIL TO ENERGY RATING REPORT PREPARED BY E3 ECO GROUP INC DATED JULY 10, 2017

Proposed Policy Compliance Construction Specifications Review: Row Houses (middle & end units)

All construction specifications are compliant with BCBC Code Sections 9.36 and 9.32 and all upgrades below the Base Case are listed below in BOLD:

Slab on grade	R12 full under slab insulation and R12 slab edge insulation
Above Grade Wall Construction	2x6 @ 16" o.c. R22 insulation
Door Specification	Fiberglass or metal-in polyurethane core doors. Glazing in doors: Double glazed, soft coat low E, insulated spacer, argon gas fill, picture windows; minimum U=1.70
Ventilation Specification	Heat Recovery Ventilator (55% SRE @ 70°C/45% SRE @ 25°C) distribution and ventilation rates as per BCBC Section 9.32
Air Tightness	5.5 ACH@50Pa; an estimate based on typical local construction. Refer to Note 3 below
Space Heating System	Air source heat pump (7.1 HSPF and 14.5 SEER minimum) with electric resistance heater in fan coil as back up
Energy Credits:	
Low energy lighting	50% of lighting is EnergyStar rated; 100kWh/year credit
Energy Star appliances	EnergyStar fridge, dishwasher and clothes washer; 95kWh/year credit
Solar Hot Water Ready	All units must comply with the BC Solar Hot Water Ready Regulation (refer to Guide to the Province of BC Solar Hot Water Ready Regulation 2013 for details)

SUMMARY OF THERMAL REPORT: REFER DETAIL TO THERMAL COMFORT REPORT PREPARED BY ENERSOLV DATED SEPTEMBER 9, 2016

CONCLUSION

From the results obtained in this energy model the PMV is 0.06 which is between the -0.5 and +0.5 PMV acceptable bandwidth for thermal comfort conditions under ISO-7730 and ASHRAE standard 55. Therefore, air conditioning is required for this building design to adequately satisfy the cooling requirements and maintain human comfort levels in accordance with ASHRAE-55 standards and International Standards Organization (ISO) 7730.

SUMMARY OF ACOUSTIC UPGRADE. REFER DETAILS TO ACOUSTICAL REPORT PREPARED BY BKL CONSULTANTS DATED JULY 22, 2016

1. Roof Assembly

The proposed roof construction assumed to be:

- asphalt shingles
- 1/2" plywood sheathing
- pre-engineered wood truss
- 100 batt insulation
- 1 layer 3/8" gypsum wall board

will provide adequate noise isolation to all interior spaces.

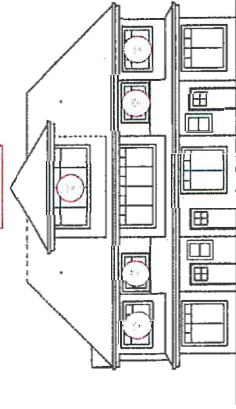
2. Exterior Wall

The proposed exterior wall construction assumed to be:

- location, Level 1
 - 1/2" plywood sheathing
 - 1/2" plywood sheathing
 - 2x4 studs @ 16" o/c
 - R20 batt insulation
 - 1/2" Type X gypsum wall board
- Location, Levels 2 and 3
 - 1/2" vinyl siding
 - 1/2" plywood sheathing
 - 2x4 studs @ 16" o/c
 - R20 batt insulation
 - 1/2" Type X gypsum wall board

1st AUG 2016

Figure 4.1.1 End Line Line Drawing (Elevation) of Row House Upgrade



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 www.ericlawarchitect.com

1	DESIGN
2	PERMITTING
3	CONSTRUCTION
4	POST-OCCUPANCY
5	OPERATION
6	DECOMMISSIONING

1	DESIGN
2	PERMITTING
3	CONSTRUCTION
4	POST-OCCUPANCY
5	OPERATION
6	DECOMMISSIONING

PLAN # 1A
 DP 16-728670
 AUG 22 2017

PROPOSED TOWNHOUSE
 6571-6573 NO. 4 RD
 RICHMOND BC

UPGRADE NOTES

PROJECT NUMBER:	12-03
ISSUE:	07/22/2017
DESIGNED BY:	EL
CHECKED BY:	EL
FILENAME:	12-03-1701-110223-00.DWG

A1A

DEVELOPMENT PERMIT

DP 16-728670

will provide adequate noise isolation to all interior spaces except for all east facing bedrooms in the east townhouse with direct exposure to No. 4 Road. These bedrooms require an additional layer of 1/2" Type X gypsum wall board on all north, south, and east walls.

3. Exterior Windows and Balcony/Patio Doors

Windows with a standard glazing detail, assumed to be two layers of 3 mm glass separated by a 13 mm airspace (OTC 24), and sliding glass doors with a standard glazing detail, assumed to be one layer of 5 mm glass and one layer of 3 mm glass separated by a 13 mm airspace (OTC 26), will provide adequate noise isolation to interior spaces with the exception of bedrooms in the east townhouse with direct exposure to No. 4 Road. The following table provides the minimum OTCs for the Transmission Class (OTC) ratings, including example window glazings, for all locations which require upgrading:

Minimum OTC Rating	Example Window Glazing	Location of Window
20	6mm-16.6 two layers of 6mm glass (one layer laminated) separated by one 16mm airspace	All second floor bedrooms in east townhouse with direct exposure to No. 4 Road
32	6-10-4-10-8 one pane of 6mm glass and one pane of 4mm glass and one pane of 8mm glass separated by 10 mm air spaces	All third floor bedrooms in east townhouse with direct exposure to No. 4 Road

The locations of required window upgrades have been indicated on the architectural elevation plan as shown in Figure 4.

All of the windows should be specified to meet the A2 performance rating for A1 Tightest found in the CSA standard CAN/CSA A440.08 or least reaction. Any other windows meeting the required OTC ratings are acceptable. Where a single laminated pane is specified and if there are no overriding considerations, the laminated pane should be installed on the interior side of the building since its acoustic performance will be somewhat temperature dependant. Note that the OTC rating values with panel dimensions. As such, any test data or predicted OTC performance must reasonably reflect the panel dimensions adopted for this project. Any increase in window pane thickness or separating airspaces indicated beyond that shown above is also acceptable. Effective weatherstripping should be installed on the exterior door.

4. Certification of Installation

There is also a requirement in Richmond's Restrictive Covenant that the building can not be occupied until a Registered Professional approved by Richmond's Planning and Development Manager certifies that the building has been constructed in accordance with the design reviewed and the recommendations of the approved acoustic report. As stated in our proposal dated February 17, 2016,



NO.	REVISION
1	PRELIMINARY PLAN
2	REVISED FOR PERMITS
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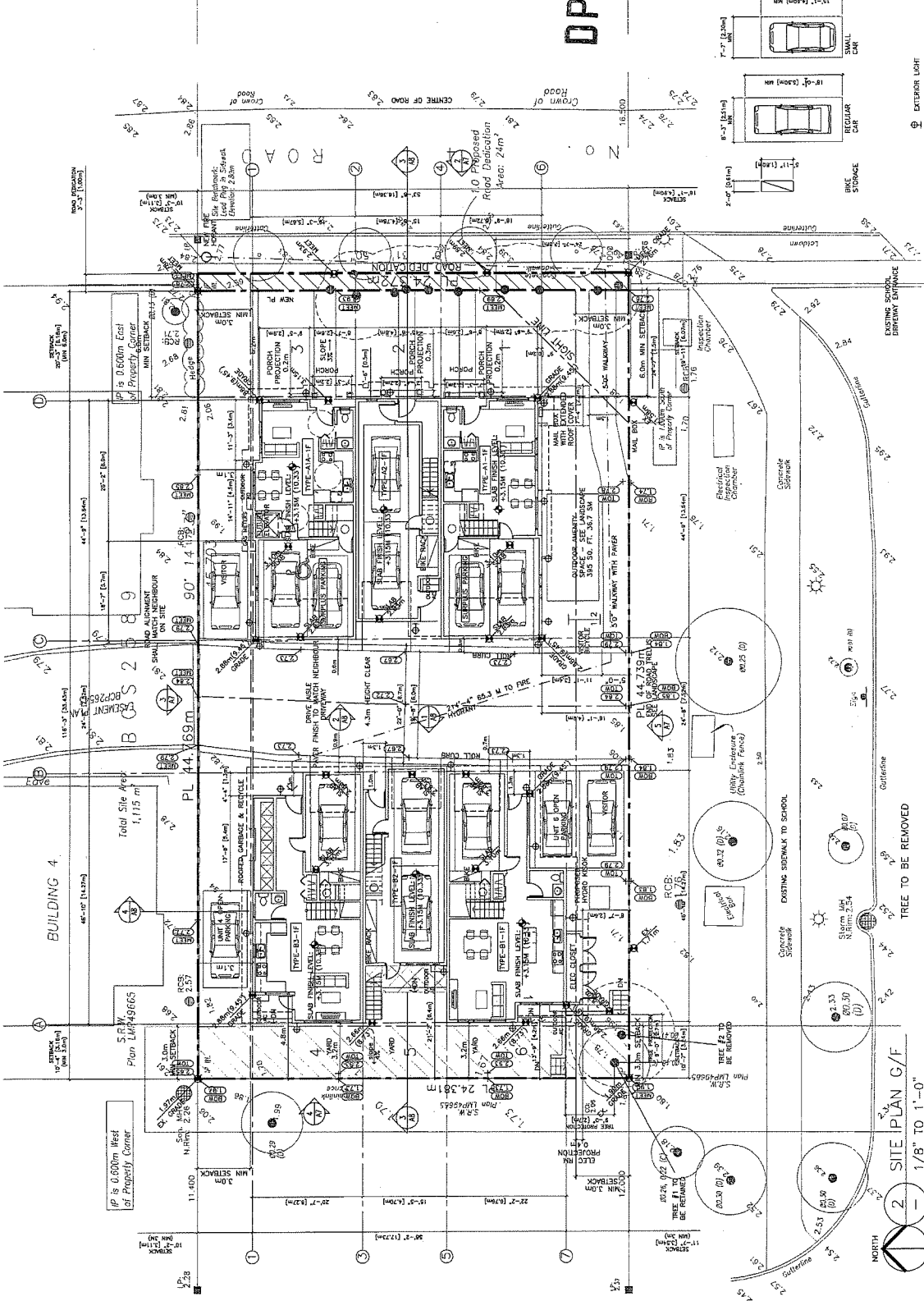
PLAN # 18
 DP 16-728670
 AUG 2-2-2017

PROPOSED TOWNHOUSE
 6574-6573 NO. 4 RD
 RICHMOND BC
 SITE PLAN (1/F)

PROJECT NUMBER: 17-03
 ISSUED: 07/27/2017
 CHECKED BY: EL
 FILE NAME: 17-03_SDP_170302A-10P.DWG

A2

DEVELOPMENT PERMIT



SEE FOR ALL PARKING
 ALSO SEE AL FOR PARKING DIMENSIONS INSIDE THE LINE

SCHOOL DRIVEWAY
 AIR-CONDITIONING IS
 REQUIRED IN ALL UNITS

MINIMUM OF ONE OF PARKING STALLS TO BE PROVIDED WITH A 120V RECEPTACLE TO ACCOMMODATE ELECTRIC
 VEHICLE CHARGING EQUIPMENT
 AN ADDITIONAL ONE OF PARKING STALLS TO BE CONSTRUCTED TO ACCOMMODATE THE FUTURE INSTALLATION OF
 ELECTRIC VEHICLE CHARGING EQUIPMENT (E.G. PRE-DICTATED FOR FUTURE WIRING).

2 SITE PLAN G/F
 1/8" TO 1'-0"

DP 16-728670

BUILDING HEIGHT: 13.46m ~2.61m (8.5')



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 1250 WEST 10TH AVENUE SUITE 200
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 FAX: (604) 681-8889
 WWW.ERICLAWARCHITECT.COM

- 1. DATE: 10/10/2017
- 2. DRAWING NO.: 16-728670-01
- 3. PROJECT NO.: 16-728670
- 4. DRAWING TITLE: SITE PLAN G/F
- 5. DRAWING SCALE: 1/8" = 1'-0"
- 6. DRAWING SHEET NO.: 1 OF 1
- 7. DRAWING SHEET TOTAL: 1 OF 1
- 8. DRAWING SHEET SIZE: 11" x 17"
- 9. DRAWING SHEET ORIENTATION: VERTICAL
- 10. DRAWING SHEET POSITION: CENTER

PLAN # 1C
 DP 16-728670
 AUG 2 2 2017

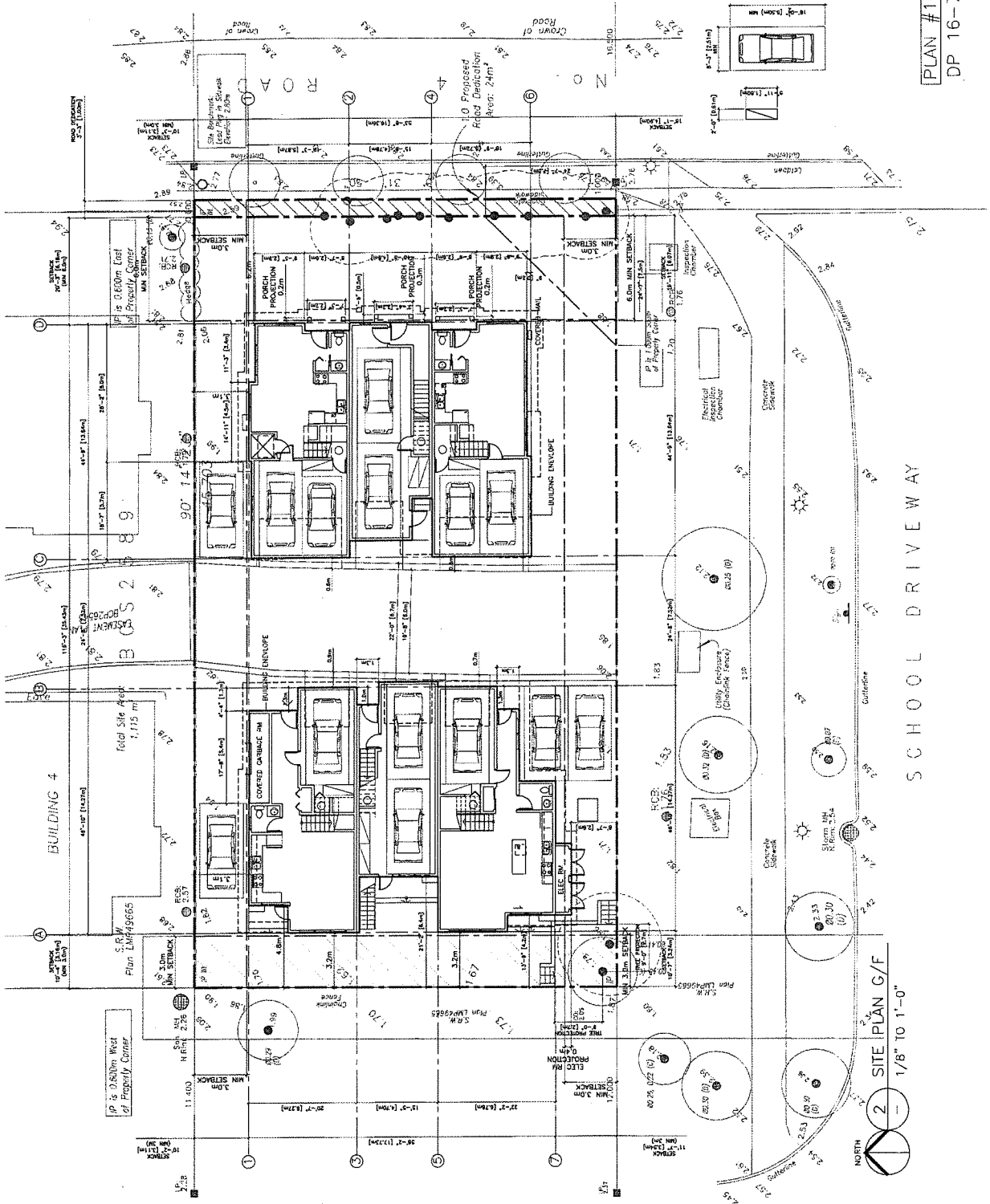
PROPOSED TOWNHOUSE
 6574-6575 NO. 4 RD
 RICHMOND BC

SITE PLAN ENVELOPE

PROJECT NUMBER: 16-03
 ISSUE: 01
 DATE: 8/22/2017
 CHECKED BY: EL
 FILE NAME: 16-03_DP_16728670-01.DWG

A2A

DEVELOPMENT PERMIT

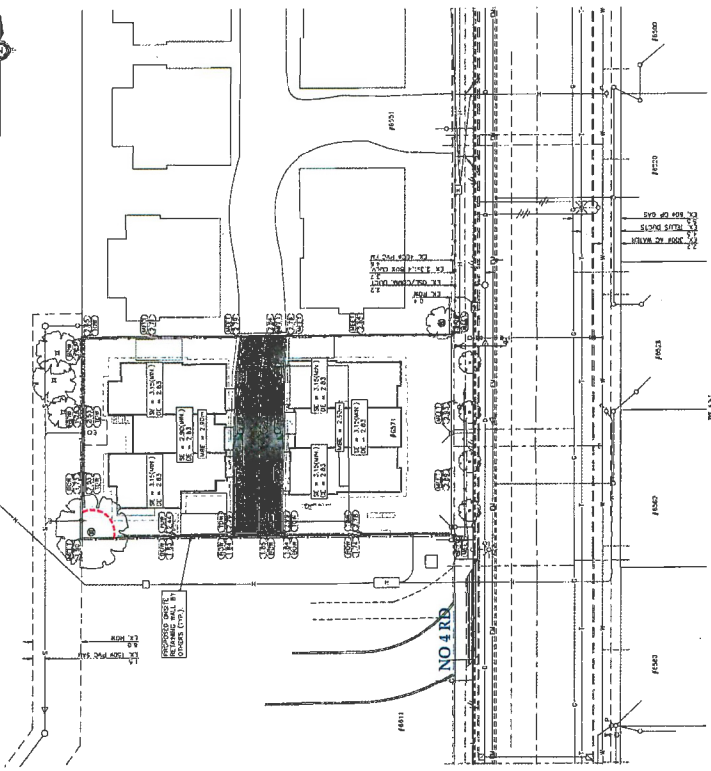


PLAN #11

DP 16-728670

SCHOOL DRIVEWAY

2 SITE PLAN G/F
 1/8" TO 1'-0"

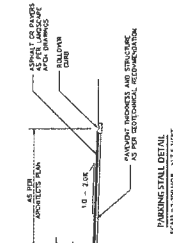
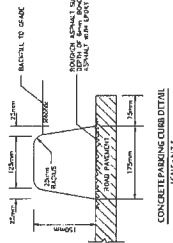
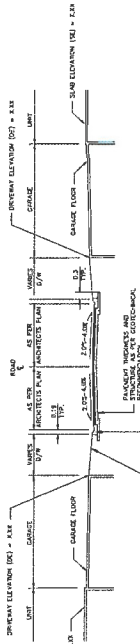


DP 16-728070
PLAN #1D
AUG 2 2 2017

City of Richmond
ROADWORKS
6571 NO. 4 ROAD
CITYVIEW

SCALE: 1:250
DATE: 08/22/17
SHEET NO. 1 OF 1

- REVISIONS:**
1. CORRECTED IN ACCORDANCE WITH RECORDS PROVIDED. CONTAINMENT FUNDINGS AND PERMITS OBTAINED.
 2. ASPHALT AND ROAD STRUCTURE TO BE CONSTRUCTED IN ACCORDANCE WITH GEOTECHNICAL REPORT.
 3. STRUCTURE TO BE FINISHED BY CONTRACTOR. CONTRACTOR TO PLACE CURB AND GUTTER MATERIAL ON AS SHOWN BY THE GEOTECHNICAL REPORT. CONTRACTOR TO PROVIDE SLOPED SURFACE (MIN 2%) TO DRAINAGE.
 4. ALL ROAD ELEVATIONS ARE FINISHED AND GUTTER ELEVATIONS.
 5. ALL ROADWAY CURBS ARE ROLLED CURBS AS PER FACTOR 1000.0 CONNECTION DRAWING NO. CA.
 6. ALL ROADWAY CURBS SHALL BE RELATED TO FINISH, 100% FINISHED ELEVATION.
 7. ALL ROADWAY CURBS SHALL BE RELATED TO FINISH, 100% FINISHED ELEVATION.
 8. CLEARANCE OVER SIGN SHALL BE 14'-0" MIN.
 9. FOR CONCRETE PAVING AND ROAD PAVEMENT LOCATIONS AND FINISH SEE TO LANDSCAPE ARCHITECTS.
 10. ELEVATIONS SHOWN AS BMS (3152) ARE FINISH ELEVATIONS.
 11. ELEVATIONS SHOWN AS BMS (1132) ARE PROPOSED FINISHED ABOVE ELEVATIONS.
 12. ELEVATIONS SHOWN AS BMS (1132) ARE PROPOSED FINISHED TOP OF RETAINING WALL ELEVATIONS.
 13. COMPANIES TO BE SHOWN ON THE PLAN NOT MATCH NODE 5-DRAW OR PLAN PREPARED BY OTHERS.



NOT FOR CONSTRUCTION
18 SEP 2017

NO.	DATE	BY	CHK.	REVISION / DESCRIPTION

CoreConcept CONSULTING LTD.
2420-26th Street, Suite 200, Richmond, BC, V6V 3B7
www.coreconcept.com

ANWER KAMAL
Civil Engineer
Professional Registration No. 18852
Date: 3/07/14

NOTES:

1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
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GENERAL NOTES:

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ERIC LAW ARCHITECT
 1000 W. 10TH AVENUE, SUITE 100
 DENVER, CO 80202
 TEL: (303) 733-1111
 FAX: (303) 733-1112
 WWW.ERICLAWARCHITECT.COM

NO.	DESCRIPTION
1	TO SCALE PLAN OF DEVELOPMENT
2	TO SCALE PLAN OF REVISION
3	TO SCALE PLAN OF REVISION
4	TO SCALE PLAN OF REVISION
5	TO SCALE PLAN OF REVISION
6	TO SCALE PLAN OF REVISION
7	TO SCALE PLAN OF REVISION

PLAN # 2
 DP 16-728670
 AUG 2-2-2017

- 1. SITE PLAN
- 2. EXISTING AND PROPOSED DRIVEWAYS
- 3. EXISTING AND PROPOSED DRIVEWAY PAVEMENT
- 4. EXISTING AND PROPOSED DRIVEWAY CURBS
- 5. EXISTING AND PROPOSED DRIVEWAY SIDEWALKS
- 6. EXISTING AND PROPOSED DRIVEWAY LIGHT FIXTURES
- 7. EXISTING AND PROPOSED DRIVEWAY SIGNAGE

PROPOSED TOWNHOUSE
 6571-6573 NO. 4 RD
 RICHMOND BC

PARKING-PLAN

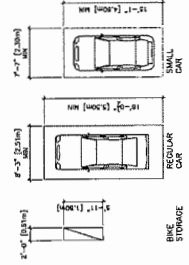
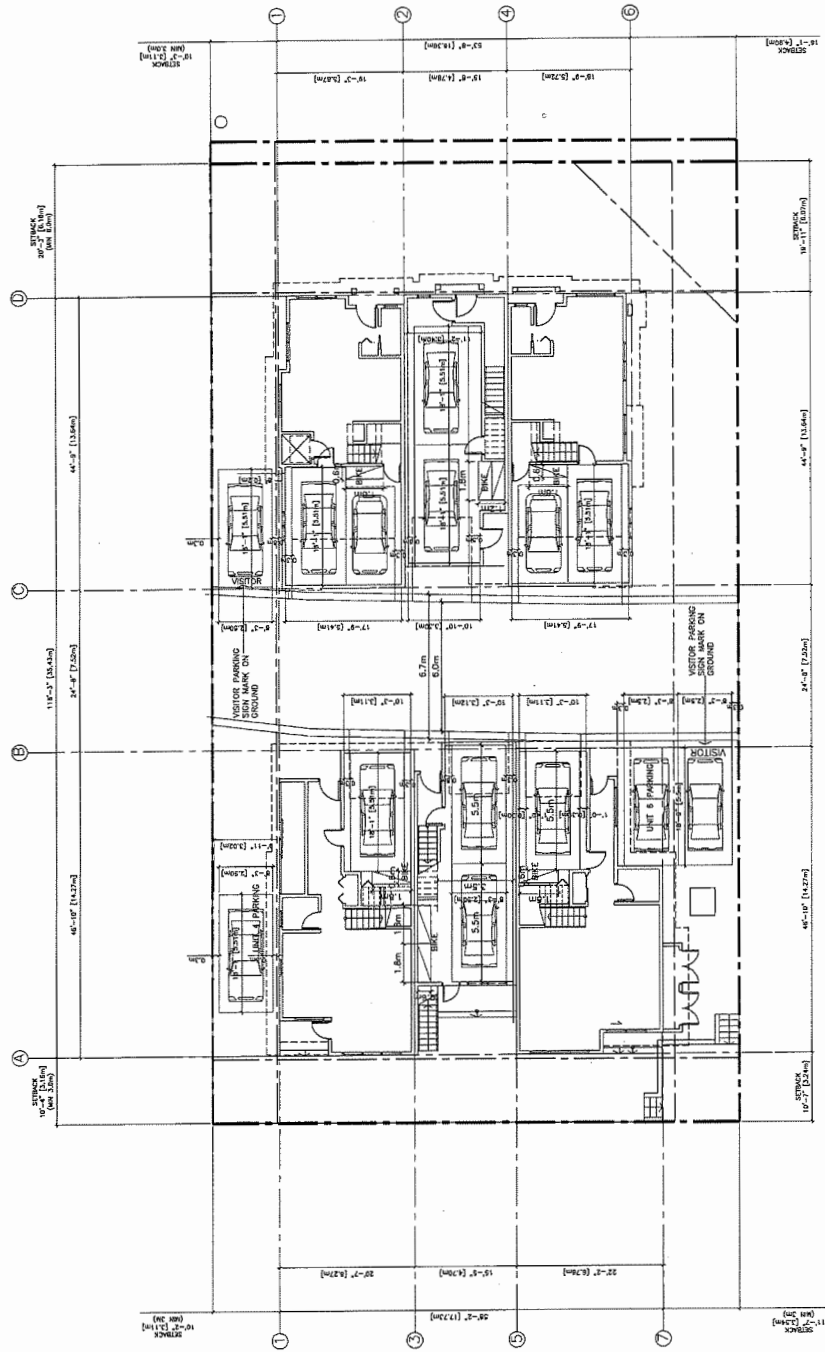
PROJECT NUMBER:	12-03
ISSUED:	8/22/2017
DESIGNED BY:	EL
CHECKED BY:	EL
FILENAME:	12-03_120322A-DP.DWG

A3

DEVELOPMENT PERMIT

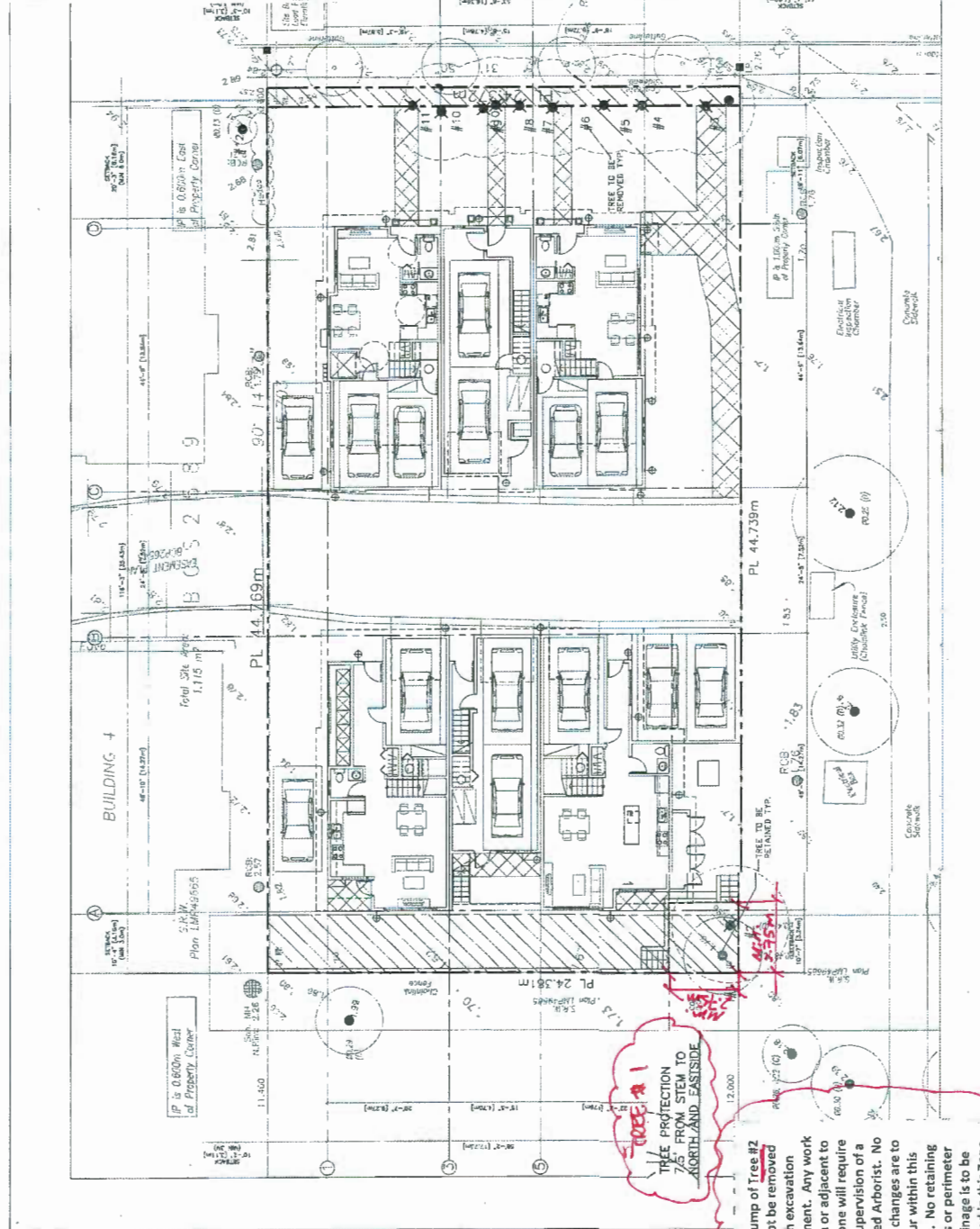
PLAN #2

DP 16-728670



PROPOSED	PROPOSED
1.4 PER CARLING UNITS 45 = 9	RESIDENTIAL PARKING: 6 REGULAR PARKING
0.2 VISITOR PARKING / UNIT 45 = 2	2 VISITOR PARKING (4 REGULAR)
TOTAL = 11 RESIDENTIAL	2 SMALL PARKING (SM/PLUS)
2000 CARLING ADJUST BUCKLE PARKING	2 REGULAR
VISITOR BICYCLE	2
WHEEL BIKE RACK	2
RESIDENTIAL BICYCLE STORAGE	8 (INSIDE GARAGE)
TOWNHOUSE	
1.25 PER DWELLING UNIT 65+4	

TREE #	TREE SPECIES (on site) (Botanical name)	DBH (cm)	SPREAD (m) Radius
1	Cedar (<i>Thuja plicata</i>)	44	4
2	Birch (<i>Betula</i> sp.)	45	4.5
3	Cedar (<i>Thuja plicata</i>)	27	4
4	Cedar (<i>Thuja plicata</i>)	31	3.5
5	Cedar (<i>Thuja plicata</i>)	41	3.5
6	Cedar (<i>Thuja plicata</i>)	46	3.5
7	Cedar (<i>Thuja plicata</i>)	29	3.5
8	Cedar (<i>Thuja plicata</i>)	24	3.5
9	Cedar (<i>Thuja plicata</i>)	30	3.5
10	Cedar (<i>Thuja plicata</i>)	34	3.5
11	Cedar (<i>Thuja plicata</i>)	38	4



PLAN # 3
 OP 16-728670
 AUG 22 2017

NOTE:
 FOR DETAILED INFO ON TREE REMOVAL AND
 RETENTION, SEE ARBORIST'S REPORT.

JHL Design Group Inc.
 Landscape Architecture + Urban Design

DATE: 17/08/2017
 TIME: 10:00 AM
 PROJECT: 16-728670
 SHEET: 1 OF 1

PROJECT TITLE
TOWNHOUSE DEVELOPMENT
 607-4573 RD. # ROAD, RICHMOND, BC

DATE: 17/08/2017
 TIME: 10:00 AM
 PROJECT: 16-728670
 SHEET: 1 OF 1

DATE: 17/08/2017
 TIME: 10:00 AM
 PROJECT: 16-728670
 SHEET: 1 OF 1

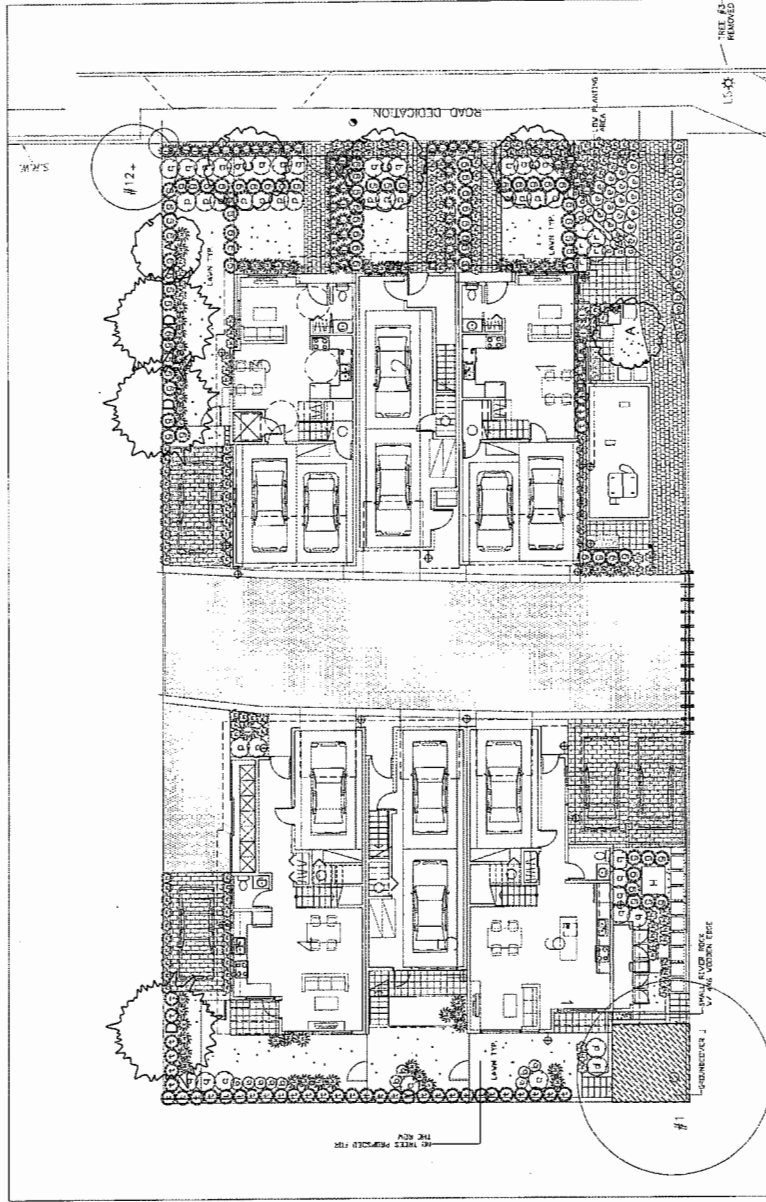
DATE: 17/08/2017
 TIME: 10:00 AM
 PROJECT: 16-728670
 SHEET: 1 OF 1

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PLANT LIST	Botanical Name	Common Name	Size	Spacing
1	Common Oak	Common Oak	10' x 10'	10' x 10'
2	Common Cherry	Common Cherry	10' x 10'	10' x 10'
3	Common Maple	Common Maple	10' x 10'	10' x 10'
4	Common Birch	Common Birch	10' x 10'	10' x 10'
5	Common Elm	Common Elm	10' x 10'	10' x 10'
6	Common Dogwood	Common Dogwood	10' x 10'	10' x 10'
7	Common Magnolia	Common Magnolia	10' x 10'	10' x 10'
8	Common Redwood	Common Redwood	10' x 10'	10' x 10'
9	Common Cypress	Common Cypress	10' x 10'	10' x 10'
10	Common Juniper	Common Juniper	10' x 10'	10' x 10'
11	Common Yew	Common Yew	10' x 10'	10' x 10'
12	Common Holly	Common Holly	10' x 10'	10' x 10'
13	Common Boxwood	Common Boxwood	10' x 10'	10' x 10'
14	Common Lavender	Common Lavender	10' x 10'	10' x 10'
15	Common Rose	Common Rose	10' x 10'	10' x 10'
16	Common Hydrangea	Common Hydrangea	10' x 10'	10' x 10'
17	Common Philadelphus	Common Philadelphus	10' x 10'	10' x 10'
18	Common Forsythia	Common Forsythia	10' x 10'	10' x 10'
19	Common Lilac	Common Lilac	10' x 10'	10' x 10'
20	Common Spirea	Common Spirea	10' x 10'	10' x 10'
21	Common Viburnum	Common Viburnum	10' x 10'	10' x 10'
22	Common Nandina	Common Nandina	10' x 10'	10' x 10'
23	Common Camellia	Common Camellia	10' x 10'	10' x 10'
24	Common Azalea	Common Azalea	10' x 10'	10' x 10'
25	Common Dogwood	Common Dogwood	10' x 10'	10' x 10'
26	Common Magnolia	Common Magnolia	10' x 10'	10' x 10'
27	Common Redwood	Common Redwood	10' x 10'	10' x 10'
28	Common Cypress	Common Cypress	10' x 10'	10' x 10'
29	Common Juniper	Common Juniper	10' x 10'	10' x 10'
30	Common Yew	Common Yew	10' x 10'	10' x 10'
31	Common Holly	Common Holly	10' x 10'	10' x 10'
32	Common Boxwood	Common Boxwood	10' x 10'	10' x 10'
33	Common Lavender	Common Lavender	10' x 10'	10' x 10'
34	Common Rose	Common Rose	10' x 10'	10' x 10'
35	Common Hydrangea	Common Hydrangea	10' x 10'	10' x 10'
36	Common Philadelphus	Common Philadelphus	10' x 10'	10' x 10'
37	Common Forsythia	Common Forsythia	10' x 10'	10' x 10'
38	Common Lilac	Common Lilac	10' x 10'	10' x 10'
39	Common Spirea	Common Spirea	10' x 10'	10' x 10'
40	Common Viburnum	Common Viburnum	10' x 10'	10' x 10'
41	Common Nandina	Common Nandina	10' x 10'	10' x 10'
42	Common Camellia	Common Camellia	10' x 10'	10' x 10'
43	Common Azalea	Common Azalea	10' x 10'	10' x 10'
44	Common Dogwood	Common Dogwood	10' x 10'	10' x 10'
45	Common Magnolia	Common Magnolia	10' x 10'	10' x 10'
46	Common Redwood	Common Redwood	10' x 10'	10' x 10'
47	Common Cypress	Common Cypress	10' x 10'	10' x 10'
48	Common Juniper	Common Juniper	10' x 10'	10' x 10'
49	Common Yew	Common Yew	10' x 10'	10' x 10'
50	Common Holly	Common Holly	10' x 10'	10' x 10'
51	Common Boxwood	Common Boxwood	10' x 10'	10' x 10'
52	Common Lavender	Common Lavender	10' x 10'	10' x 10'
53	Common Rose	Common Rose	10' x 10'	10' x 10'
54	Common Hydrangea	Common Hydrangea	10' x 10'	10' x 10'
55	Common Philadelphus	Common Philadelphus	10' x 10'	10' x 10'
56	Common Forsythia	Common Forsythia	10' x 10'	10' x 10'
57	Common Lilac	Common Lilac	10' x 10'	10' x 10'
58	Common Spirea	Common Spirea	10' x 10'	10' x 10'
59	Common Viburnum	Common Viburnum	10' x 10'	10' x 10'
60	Common Nandina	Common Nandina	10' x 10'	10' x 10'
61	Common Camellia	Common Camellia	10' x 10'	10' x 10'
62	Common Azalea	Common Azalea	10' x 10'	10' x 10'
63	Common Dogwood	Common Dogwood	10' x 10'	10' x 10'
64	Common Magnolia	Common Magnolia	10' x 10'	10' x 10'
65	Common Redwood	Common Redwood	10' x 10'	10' x 10'
66	Common Cypress	Common Cypress	10' x 10'	10' x 10'
67	Common Juniper	Common Juniper	10' x 10'	10' x 10'
68	Common Yew	Common Yew	10' x 10'	10' x 10'
69	Common Holly	Common Holly	10' x 10'	10' x 10'
70	Common Boxwood	Common Boxwood	10' x 10'	10' x 10'
71	Common Lavender	Common Lavender	10' x 10'	10' x 10'
72	Common Rose	Common Rose	10' x 10'	10' x 10'
73	Common Hydrangea	Common Hydrangea	10' x 10'	10' x 10'
74	Common Philadelphus	Common Philadelphus	10' x 10'	10' x 10'
75	Common Forsythia	Common Forsythia	10' x 10'	10' x 10'
76	Common Lilac	Common Lilac	10' x 10'	10' x 10'
77	Common Spirea	Common Spirea	10' x 10'	10' x 10'
78	Common Viburnum	Common Viburnum	10' x 10'	10' x 10'
79	Common Nandina	Common Nandina	10' x 10'	10' x 10'
80	Common Camellia	Common Camellia	10' x 10'	10' x 10'
81	Common Azalea	Common Azalea	10' x 10'	10' x 10'
82	Common Dogwood	Common Dogwood	10' x 10'	10' x 10'
83	Common Magnolia	Common Magnolia	10' x 10'	10' x 10'
84	Common Redwood	Common Redwood	10' x 10'	10' x 10'
85	Common Cypress	Common Cypress	10' x 10'	10' x 10'
86	Common Juniper	Common Juniper	10' x 10'	10' x 10'
87	Common Yew	Common Yew	10' x 10'	10' x 10'
88	Common Holly	Common Holly	10' x 10'	10' x 10'
89	Common Boxwood	Common Boxwood	10' x 10'	10' x 10'
90	Common Lavender	Common Lavender	10' x 10'	10' x 10'
91	Common Rose	Common Rose	10' x 10'	10' x 10'
92	Common Hydrangea	Common Hydrangea	10' x 10'	10' x 10'
93	Common Philadelphus	Common Philadelphus	10' x 10'	10' x 10'
94	Common Forsythia	Common Forsythia	10' x 10'	10' x 10'
95	Common Lilac	Common Lilac	10' x 10'	10' x 10'
96	Common Spirea	Common Spirea	10' x 10'	10' x 10'
97	Common Viburnum	Common Viburnum	10' x 10'	10' x 10'
98	Common Nandina	Common Nandina	10' x 10'	10' x 10'
99	Common Camellia	Common Camellia	10' x 10'	10' x 10'
100	Common Azalea	Common Azalea	10' x 10'	10' x 10'

NOTES:

- Maintain min. 2% slope away from building.
- All plants and landscape installation to conform to BCSLA Landscape Standards Latest Edition.
- All planting medium to be tested by (P&A) (624 074 893) and amended accordingly if necessary, and to be tested again at Substantial Completion.
- Minimum planting medium depth:
 - 1' on slab
 - 2' on sub
- Use 12"x30"mm, all around the roadbed, 24" small trees on slab, 30" medium sized trees on slab
- For detailed info see specifications
- All plant material shall meet minimum size requirements as indicated in plant list.
- Trees planted in lawn areas to have 1 m dia. mulched ring.
- Make sure better around rootballs to be cut and removed to prevent girdling.
- All proposed trees should be planted min. 3 m away from building foundation or face of buildings or retaining walls.
- Install min. 1" of compacted bank mulch on all shrub beds after planting and only screened compacted bank mulch.
- Contractor to ensure all plant material delivered to site is from nurseries certified to be free from Phytophthora ramorum virus (Sudden Oak Death).
- Contractor to report any discrepancies to plant numbers immediately to Landscape Architect.
- All on-site landscape to be irrigated with an automatic irrigation system.
- Provide one hose bib for every unit to cover all landscaped areas.



PLAN # 38

DP 16-728670

AUG 2 2 2017

L-3

LANDSCAPE PLAN
PLANT LIST/DETAIL

TOWNHOUSE DEVELOPMENT
897-4873 NO. 4 ROAD, RICHMOND, BC

DATE: 1/18/17
REV: 17

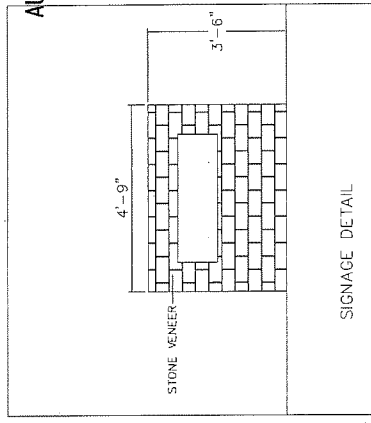
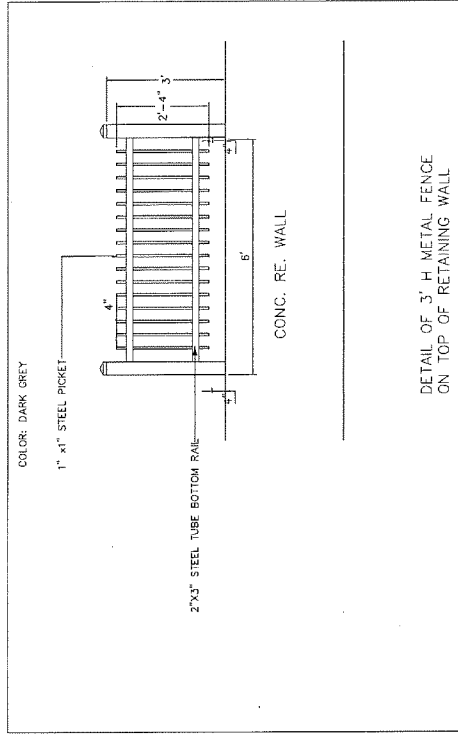
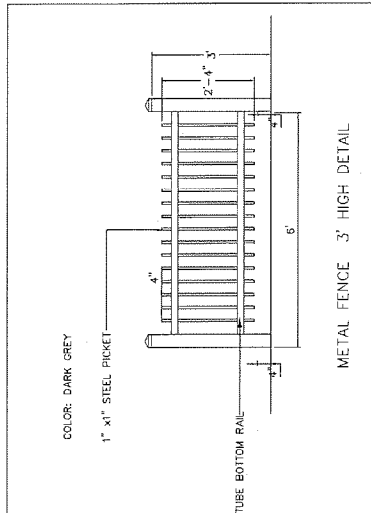
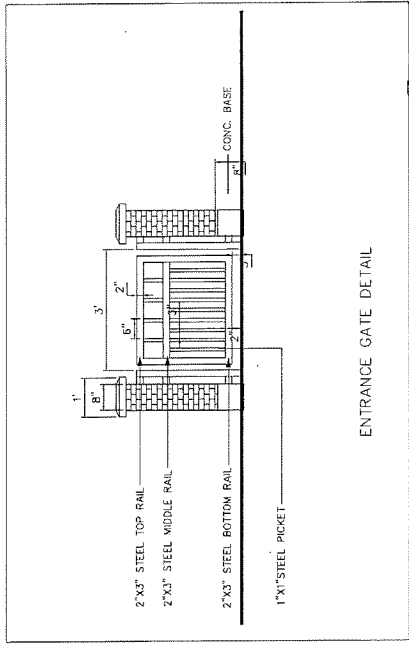
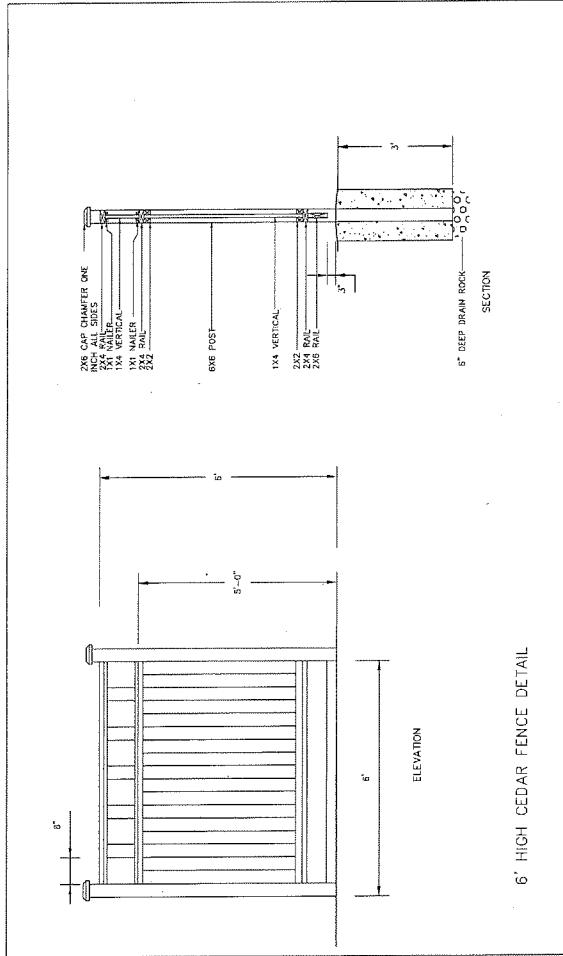
JHL Design Group Inc.
Landscape Architecture + Urban Design

JHL Design Group Inc.
Landscape Architecture + Urban Design

DATE: 1/18/17
REV: 17



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PLAN # 3C
 DP 16-728670
 AUG 2 2 2017

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JHL Design Group Inc.
 Landscape Architecture + Urban Design

4700 West Davis, Vancouver, BC
 Tel: 604-277-5234
 Fax: 604-277-5234
 Web: jhl.ca

REVISIONS

DATE	BY	DESCRIPTION
Oct. 18, 10	DP	Revision Submission
Feb. 17, 10	DP	Revision Submission
March 10, 10	DP	Revision Submission
Apr. 17, 10	DP	Revision Submission

PROJECT TITLE
 TOWNHOUSE DEVELOPMENT
 6571-6573 NO. 4 ROAD, RICHMOND, BC

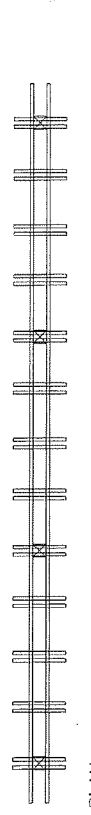
DATE Aug. 17
SCALE 1/4" = 1'-0"
DRW. NO.
CHECKED BY

DETAILS

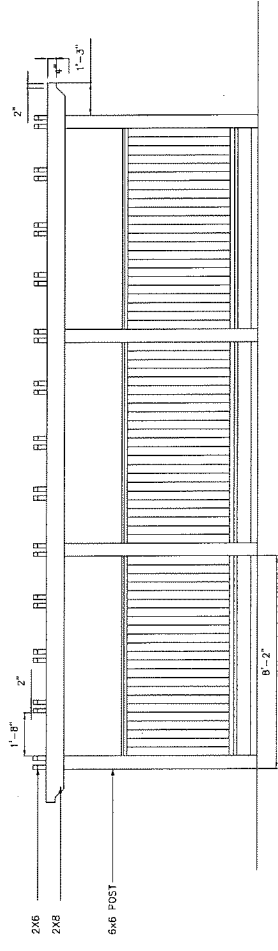
L-4

PLAN # 3D
 DP 16-728670

AUG 2 2 2017



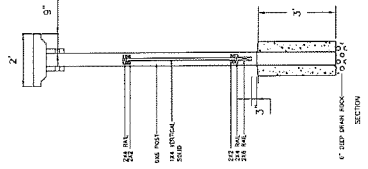
PLAN



ELEVATION

FRONT ELEVATION

ROAD END TRELLIS DETAIL



SECTION

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DATE: 08/22/17
 DRAWN BY: JHL
 CHECKED BY: JHL
 PROJECT NO.: 16-728670

JHL Design Group Inc.
 Landscape Architecture • Urban Design

4370 West 2nd Ave, Vancouver, BC
 Tel: 604-278-8943
 Fax: 604-278-8944
 Email: info@jhl.ca

SCALE: 1/4" = 1'-0"
 DATE: 08/22/17
 DRAWN BY: JHL
 CHECKED BY: JHL
 PROJECT NO.: 16-728670

PROJECT NAME
TOWNHOUSE DEVELOPMENT
 6571-6573 NO. 4 ROAD, RICHMOND, BC

DRAWING TYPE
DETAILS

L-5

PLAN # 3E

DP 16-728670

AUG 2 2 2017

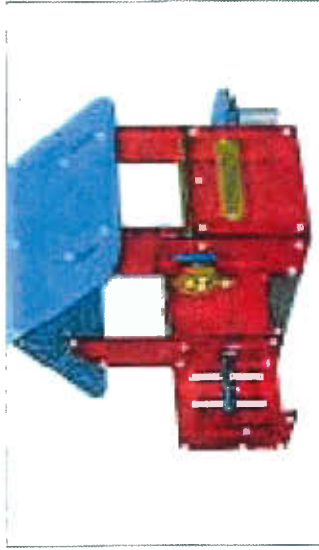


IMAGE OF PLAYHOUSE BY KOMPAN
(RED HOUSE, #1000)



IMAGE OF SPRING TOY BY KOMPAN



IMAGE OF SPRING TOY BY KOMPAN



IMAGE OF BENCH
BY HOKU, #1000



IMAGE OF BIKE RACK
BY COME, #1000



IMAGE OF COLLARD LIGHTING
BY FANTASIES, #1000

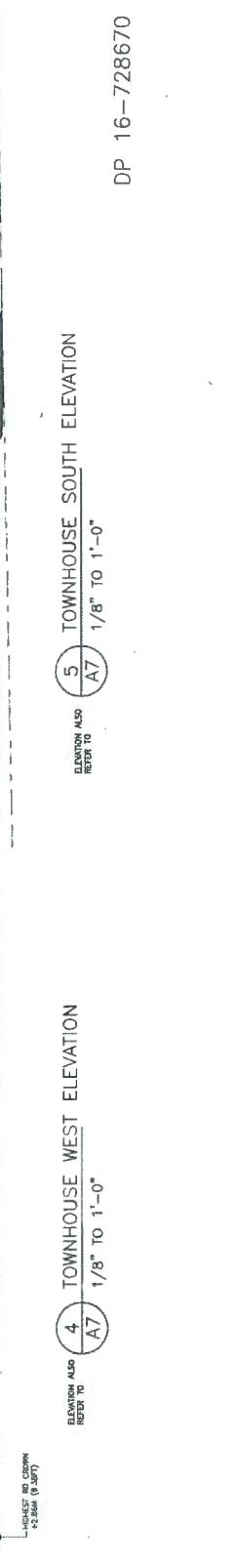
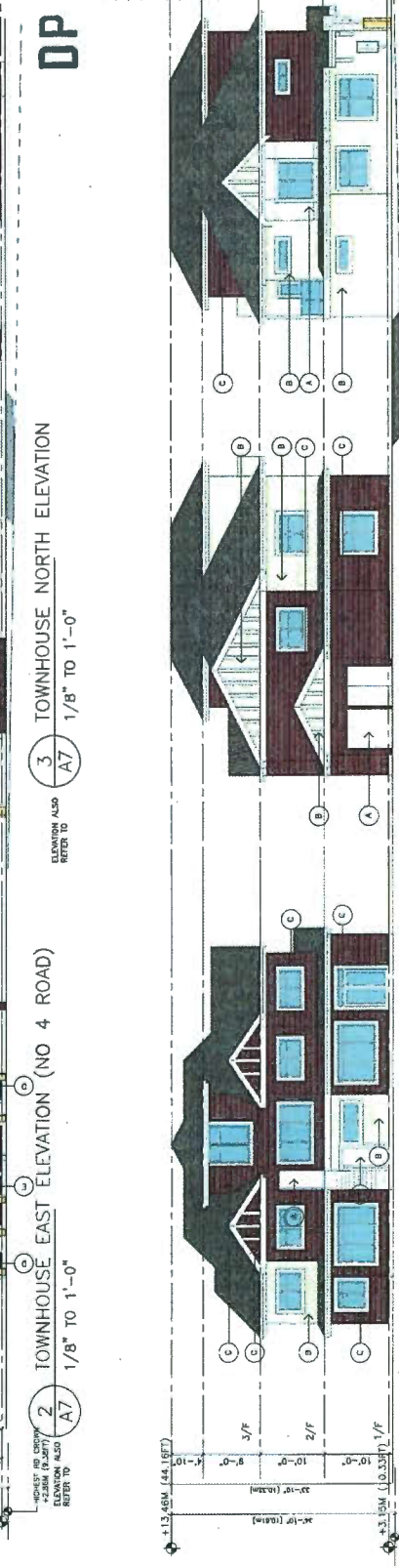
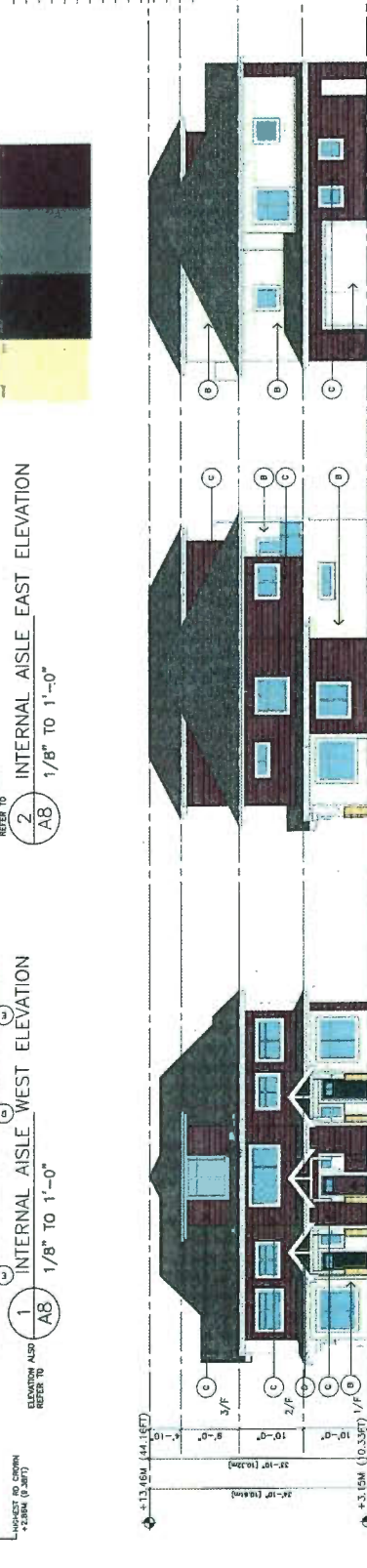
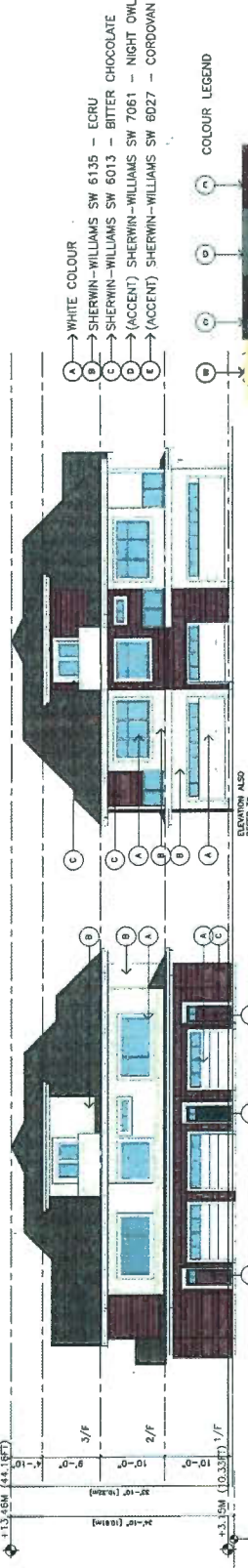
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<p>SCALE: 1/4" = 1'-0" DATE: Aug. 17 DRAWN BY: [Name] CHECK BY: [Name]</p>						

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COLOUR LEGEND

WHITE COLOUR
 SHERWIN-WILLIAMS SW 6135 - ECRU
 SHERWIN-WILLIAMS SW 6013 - BITTER CHOCOLATE
 SHERWIN-WILLIAMS SW 7061 - NIGHT OWL
 (ACCENT) SHERWIN-WILLIAMS SW 8027 - CORDOVAN
 (ACCENT) SHERWIN-WILLIAMS SW 8027 - CORDOVAN



PLAN # 4
 16-728670
 AUG 22 2017

PROPOSED TOWNHOUSE
 6574-6573 NO. 4 RD
 RICHMOND BC

ELEVATIONS - COLOR

PROJECT NUMBER: 12-03
 DRAWN BY: EL
 CHECKED BY: EL
 TITLE NAME: 12-03-D.P.L. TOWNHOUSE-PP-006

A9

DEVELOPMENT PERMIT

DP 16-728670

ELEVATION ALSO REFER TO **A7**

ELEVATION ALSO REFER TO **A7**

ELEVATION ALSO REFER TO **A7**

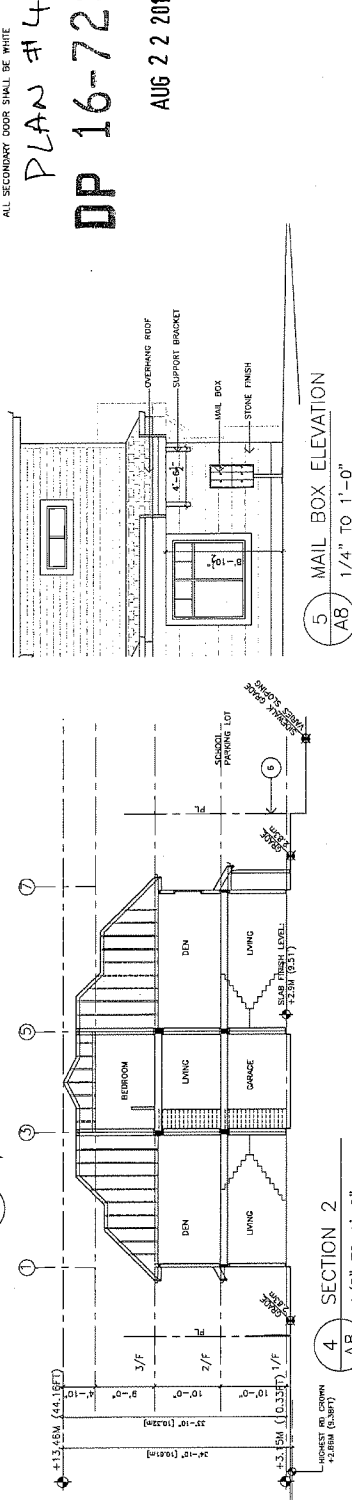
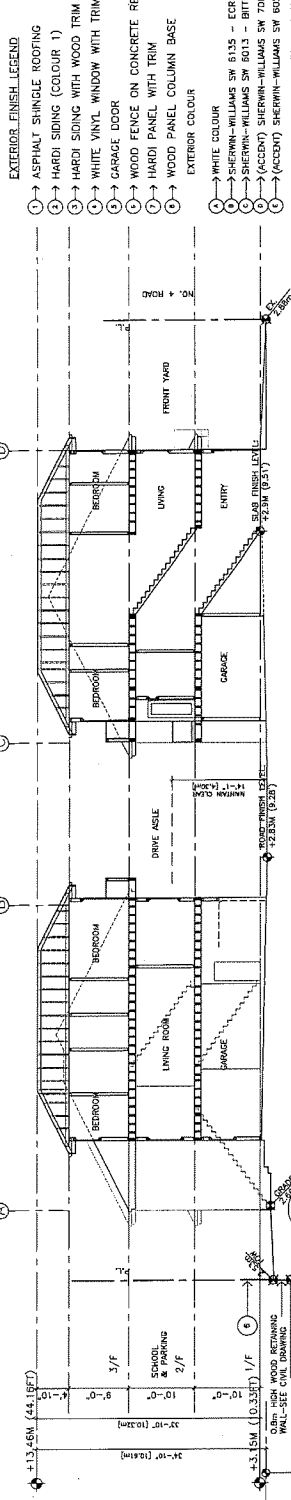
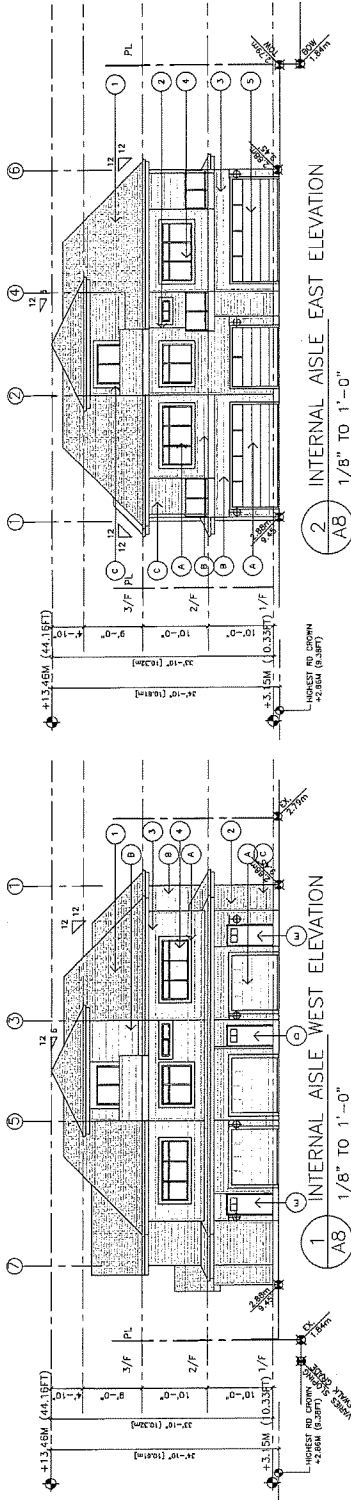
ELEVATION ALSO REFER TO **A7**

ELEVATION ALSO REFER TO **A7**

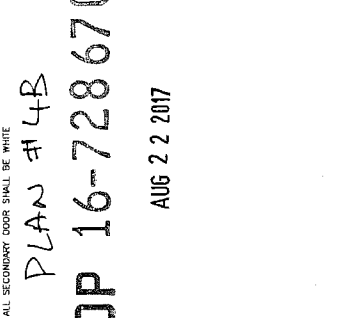


ERIC LAW ARCHITECT
 1100 WEST 10TH AVENUE, SUITE 200
 VANCOUVER, BC V6H 1T6
 TEL: 604-271-7878
 FAX: 604-271-7879
 WWW.ERICLAWARCHITECT.COM

- 1. PRELIMINARY DESIGN
- 2. PERMITTING
- 3. CONSTRUCTION
- 4. OCCUPANCY
- 5. POST-OCCUPANCY
- 6. DECOMMISSIONING
- 7. DEMOLITION



- EXTERIOR FINISH LEGEND**
- ① → ASPHALT SHINGLE ROOFING
 - ② → HARD SIDING (COLOUR 1)
 - ③ → HARD SIDING WITH WOOD TRIM (COLOUR 2)
 - ④ → WHITE VINYL WINDOW WITH TRIM
 - ⑤ → GARAGE DOOR
 - ⑥ → WOOD FENCE ON CONCRETE RETAINING WALL
 - ⑦ → HARDI PANEL WITH TRIM
 - ⑧ → WOOD PANEL COLUMNS BASE
- EXTERIOR COLOUR**
- ① → WHITE COLOUR
 - ② → SHERWIN-WILLIAMS SW 6135 - ECRU
 - ③ → SHERWIN-WILLIAMS SW 6013 - BITTER CHOCOLATE
 - ④ → (ACCENT) SHERWIN-WILLIAMS SW 7051 - NIGHT OWL
 - ⑤ → (ACCENT) SHERWIN-WILLIAMS SW 6027 - CORDOVAN
- ALL WOOD TRIM OR CORNER TRIM SHALL MATCH THE ADJACENT H
 PANEL COLOUR
 ALL WINDOW TRIM SHALL BE WHITE
 ALL DOOR TRIM SHALL BE WHITE
 ALL SECONDARY DOOR SHALL BE WHITE



PROPOSED TOWNHOUSE
 6571-6573 NO. 4 RD
 RICHMOND BC

ELEVATIONS & SECTIONS

PROJECT NUMBER: 12-03
 ISSUE: 01
 DATE: 07/27/2017
 CHECKED BY: EL
 FILENAME: 12-03_01_01_170822A-02.DWG

A8

PLAN # 13

DP 16-728670

DEVELOPMENT PERMIT

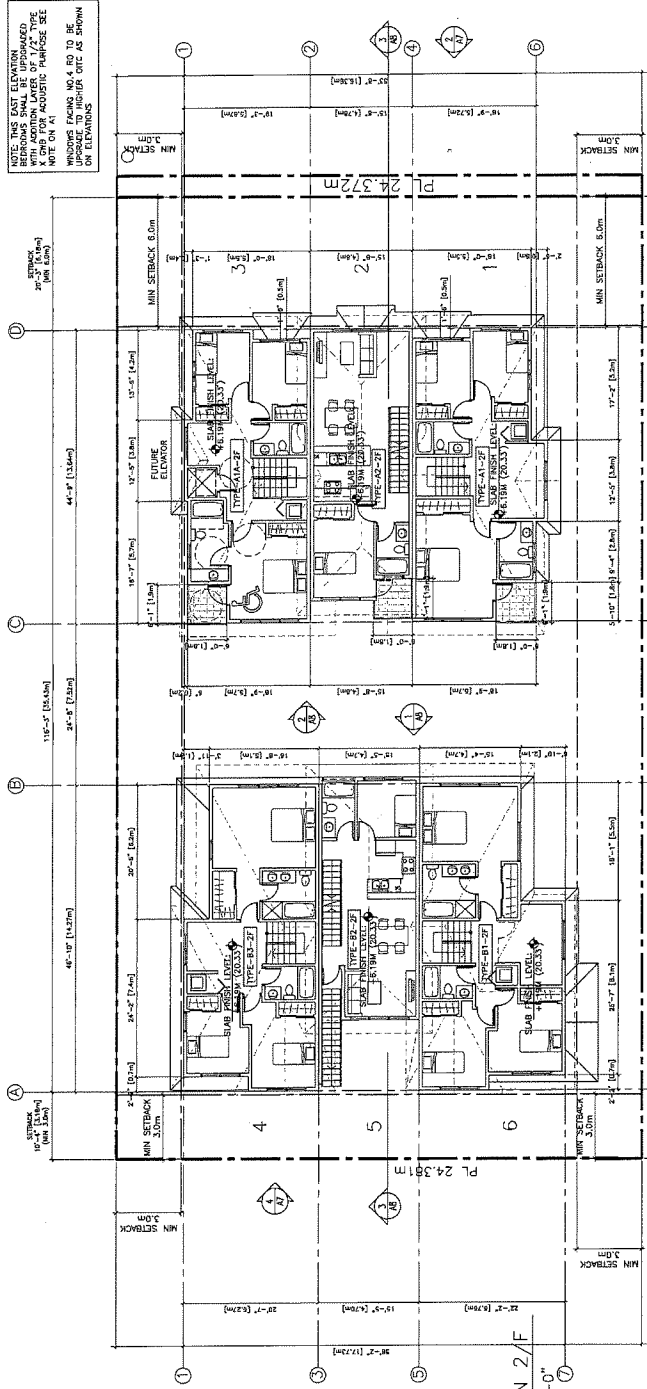
PLAN # 4B
 DP 16-728670
 AUG 2 2 2017



ERIC LEAW ARCHITECT
 1050 WEST 10TH AVENUE, SUITE 200
 VANCOUVER, BC V6H 2G6
 TEL: (604) 278-2299
 FAX: (604) 278-2297
 WWW.ERICLEAWARCHITECT.COM

NO.	DESCRIPTION
1	FOUNDATION FOR THE APPLICATION
2	FOUNDATION FOR THE APPLICATION
3	FOUNDATION FOR THE APPLICATION
4	FOUNDATION FOR THE APPLICATION
5	FOUNDATION FOR THE APPLICATION
6	FOUNDATION FOR THE APPLICATION
7	FOUNDATION FOR THE APPLICATION

NOTE: THIS EAST ELEVATION
 IS TO BE USED FOR THE EAST ELEVATION
 WITH AN ADDITIONAL LAYER OF 1/2" TYPE
 NOTE ON AT ACoustIC PURPOSES SEE
 WINDOW SCHED NO. 4 RD TO BE
 UPDATED TO HIGHER DET AS SHOWN
 ON ELEVATIONS



1 SITE PLAN 2/F
 1/8" TO 1'-0"

AIR-CONDITIONING IS
 REQUIRED IN THESE UNITS

REFERENCE PLAN

DP 16-728670

AUG 2 2017

NO.	DESCRIPTION
8	FOUNDATION FOR THE APPLICATION
9	FOUNDATION FOR THE APPLICATION
10	FOUNDATION FOR THE APPLICATION
11	FOUNDATION FOR THE APPLICATION
12	FOUNDATION FOR THE APPLICATION

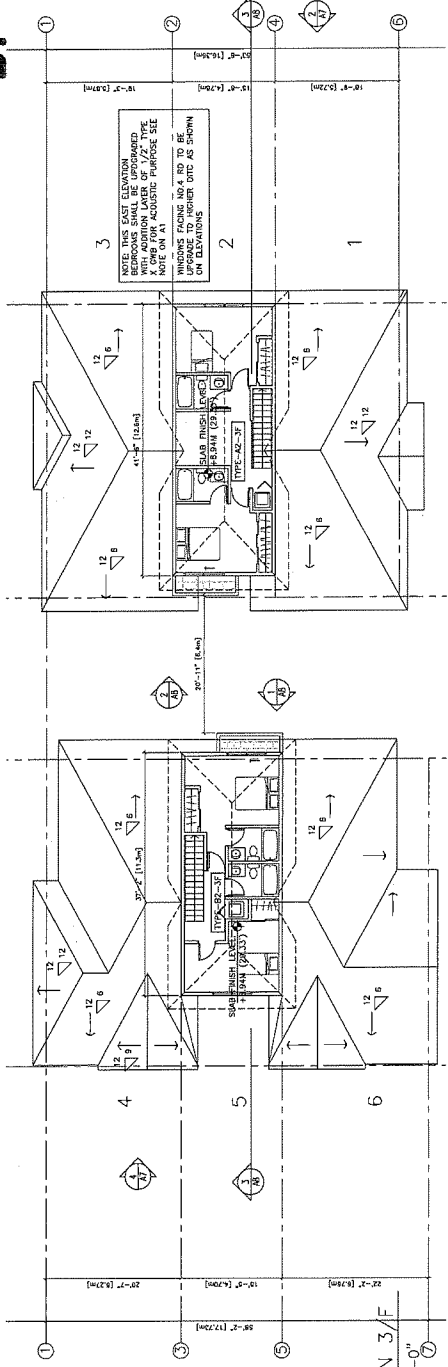
PROPOSED TOWNHOUSE
 6874-6873 NO. 4 RD
 RICHMOND BC

SITE PLAN (2/F & 3/F)

PROJECT NUMBER: 12-03
ISSUED: 07/22/2017
DRAWN BY: EL
CHECKED BY: EL
FILE NAME: 12-03-02-01-100224-00.DWG

A4

DEVELOPMENT PERMIT



2 SITE PLAN 3/F
 1/8" TO 1'-0"

AIR-CONDITIONING IS
 REQUIRED IN THESE UNITS

DP 16-728670

MOUNTAIN MAPLE GARDEN & TREE SERVICE LTD.
PHONE: 604 - 499- 6568
MOUNTAIN.MAPLE@HOTMAIL.COM

January 24, 2018

RE: Arborist Report - For property located at 6571 No 4 Rd., Richmond, BC

Further to the Revised Arborist Report dated September 12, 2017, this serves to discuss the condition of Tree #1. This site was attended on December 11, 2017 and January 15, 2018. Ten photographs have been included as part of this report.

On December 11, 2017, the Tree Protection Zone fencing for Tree #1 was not installed to capacity; concrete lock blocks were installed less than 2ft from the base of the stem on the east side, and the area was filled with 5ft of pre-load (sand). The south side of the canopy was mostly brown; however, the north side still had a significant amount of green, and the east side was in between. Some of the chlorotic foliage was still pliable. The property owner asked if the tree could be saved; it was advised that it is unlikely that the tree will survive the compaction that has occurred to the Critical Root Zone, but we could try. It was advised that the lock blocks and preload must be removed from a 12ft radius of the stem, and native grade restored; it was indicated that this work must be supervised by a Certified Arborist. Upon removal of the fill and lock blocks, the entire Critical Root Zone would require deep root fertilization, in an effort to alleviate the compacted soil.

On January 3, 2018, we were advised that the lock blocks and preload had been removed; this was not supervised by this firm. The site was visited again on January 15, 2018. Tree Protection Zone fencing has been reinstalled at 9ft from the base of the stem on the east side, 11ft from the base of the stem on the northeast side, and 15ft from the base of the stem on the north side. About six inches of new soil had been installed within the TPZ. Further examination revealed that a 3" diameter root was severed 5ft from the base of the stem on the east side; it is assumed that this was caused during the removal of the preload, and that other structural roots have likely sustained damage.

It is very unlikely that this tree would have survived the compaction to its root system resulting from the lock blocks and preload. Compaction removes pore/air space from the soil, which smothers the roots, and impedes or prevents water flow. This species of tree has a rather low tolerance to root disturbance; the weight of the pre-load and lock blocks may have also caused damage/compaction to root tissue. This tree should be removed, and a new 4-5m tall Western Red Cedar (*Thuja plicata*) should be planted on the property upon completion of site development.

Limitations: Monitoring any portion of the development or construction process provides no undertakings regarding the future condition or behaviour of the tree(s). Recommendations and actions are to serve for the retention and protection of the tree(s), and are made according to commonly accepted arboricultural practises, and do not guarantee the survival and/or safety of the specimen(s). Tree conditions do change overtime, and the evaluation period is valid for the day on which it was performed only. No responsibility is assumed for any legal matters as a result of the retention of the tree(s). The consultant shall not be required to give testimony or attend court by any reason unless subsequent contractual arrangements are made, including payment of additional fees for such services. Loss or alteration of any part of this document invalidates the entire document. Possession of this document does not imply right of publication or use for any purpose by any other than the person to whom it is addressed, without verbal or written consent of the consultant. No part of this document shall be conveyed by anyone to the public by any means without prior written consent of the consultant.

Yours truly,



Kerin Matthews – sent electronically
ISA Certified Arborist #PN-5648
ISA Certified Tree Risk Assessor #0123
Inter-Municipal Business License #20014651



Dec 11/17 - Tree #1 southeast side



Dec 11/17 - Tree #1 northwest side



Dec 11/17 – Tree #1 east side



Dec 11/17 - Tree #1, northeast side



Jan 15/18 - Tree #1 southeast side



Jan 15/18 – Tree #1 north side



Jan 15/18 - Tree #1 east side



Jan 15/18 – New soil within TPZ



Jan 15/18 - Tree #1 severed root



Jan 15/18 - Tree #1 about 6" of new soil placed in TPZ



DP 16-728670

Attachment C

Address: 6571 No. 4 Road (formerly 6571/6573 No. 4 Road)

Applicant: Anwer Kamal

Owner: Anwer Kamal

Planning Area(s): North McLennan Sub-Area (City Centre)

Floor Area Gross: 956.5 m²

Floor Area Net: 690.4 m²

	Existing	Proposed
Site Area:	1,115 m ²	1,091 m ² (net after road dedication)
Land Uses:	Single-Family Residential	Multiple-Family Residential
OCP Designation:	Neighbourhood Residential	No Change
Zoning:	CCAP: General Urban T4 North McLennan Sub-Area Plan: "Residential Area 3" - two-family dwelling and 2 & 3-storey townhouses with 0.65 base FAR	No Change
Number of Units:	Single Detached (RS1/F)	Town Housing (ZT60) – North McLennan (City Centre)

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.65	0.64	none permitted
Lot Coverage – Building:	Max. 40%	40%	none
Setback – Front Yard (m):	Min. 6.0 m	6.2 m	none
Setback – North Side Yard (m):	Min. 3.0 m	3.1 m	none
Setback – South Side Yard (m):	Min. 3.0 m	3.0 m	none
Setback – Rear Yard (m):	Min. 3.0 m	3.0 m	none
Height (m):	Max. 12.0 m (3 storeys)	10.61 m (3 storeys)	none
Lot Area:	Min. 1,010 m ²	1,091 m ²	none
Off-street Parking Spaces – Regular (R) / Visitor (V):	1.4 (R) and 0.2 (V) per unit	1.83 (R) and 0.33 (V) per unit	none
Off-street Parking Spaces – Total:	9 (R) and 2 (V)	11 (R) and 2 (V)	none
Tandem Parking Spaces:	Permitted	4 spaces	none
Small Car Parking Spaces	None when fewer than 31 spaces are provided on site	2 (surplus spaces)	none

Handicap Parking Spaces:	None when fewer than 3 visitor parking spaces are required	0	none
Amenity Space – Indoor:	Min. 70 m ² or Cash-in-lieu	Cash-in-lieu	none
Amenity Space – Outdoor:	Min. 6 m ² x 6 units = 36 m ²	36.7 m ²	none



Development Permit Considerations

Development Applications Department
6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 6571/6573 No. 4 Road

File No.: DP 16-728670

Prior to approval of the Development Permit, the developer is required to complete the following:

1. Final adoption of the Zoning Amendment Bylaw 9491.
2. Receipt of a Letter-of-Credit for landscaping in the amount of \$123,828.00. The City will release:
 - a) 80% of the security when:
 - i. construction and landscaping on the proposed townhouse complex are completed;
 - ii. a Letter of Assurance from the Landscape Architect, confirming that all on site and off site landscaping are installed in accordance with the landscape plans, has been submitted; and
 - iii. physical inspection has been undertaken by staff.
 - b) the remaining 20% of the security when:
 - i. the construction and landscaping on the proposed townhouse complex have been completed for at least 2 years;
 - ii. an Arborist Post Construction Impact Assessment Report, confirming survival of the replacement tree, has been submitted; and
 - iii. physical inspection has been undertaken by staff.

Prior to Building Permit Issuance, the developer must complete the following requirements:

1. Enter into a Servicing Agreement* for the design and construction of engineering infrastructure improvements:
 - a) Water Works:
 - i. Using the OCP Model, there is 651 L/s of water available at a 20 psi residual at the hydrant at 6620 No 4 Road. Based on your proposed development, your site requires a minimum fire flow of 220 L/s.
 - ii. The Developer is required to:
 - Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm the development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage and Building designs.
 - Install a fire hydrant at No 4 Road frontage to service the proposed townhouse development. Coordination with the City's Fire department to confirm the location of the proposed hydrant is also required.
 - iii. At the Developer's cost, the City will:
 - Cut and cap at main the existing water service connection at No. 4 Road frontage.
 - Install new water connection to service the proposed site. Details of the new water service shall be finalized via the servicing agreement design review.
 - b) Storm Sewer Works:
 - i. At the Developer's cost, the City will:
 - Cut and cap at main the existing storm sewer service connections at No. 4 Road frontage. Remove existing IC.
 - Install new storm sewer connection to service the proposed site. Details of the new storm service shall be finalized via the servicing agreement design review.

Initial: _____

c) Sanitary Sewer Works:

i. The Developer is required to:

- Provide a 3 meter wide utility SRW along the entire west property line of the proposed site.
- Install a new sanitary sewer connection to service the proposed site. Details of the new storm service shall be finalized via the servicing agreement design review.

d) Frontage Improvements:

i. The Developer is required to:

- Removing existing sidewalk and create a 1.5m grass & treed boulevard behind the existing curb (trees to be Littleleaf Linden), with a 1.5 m sidewalk behind that which will abut the new property line. All works are at the client's sole cost; i.e. no credits apply. The works are an extension of SA06-326784 from the north at 6551 No 4 Road. Improvements shall be built to the ultimate condition wherever possible.
- Provide street lighting along No. 4 Road frontage.
- Locate all above ground utility cabinets and kiosks required to service the proposed development within the developments site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be included in the Rezoning staff report and the development process design review. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the right of ways dimensions and the locations for the aboveground structures. If a private utility company does not require an aboveground structure, that company shall confirm this via a letter to be submitted to the City. The following are examples of SRWs that shall be shown in the functional plan and registered prior to SA design approval:

- 1) BC Hydro PMT – 4mW X 5m (deep)
- 2) BC Hydro LPT – 3.5mW X 3.5m (deep)
- 3) Street light kiosk – 1.5mW X 1.5m (deep)
- 4) Traffic signal kiosk – 1mW X 1m (deep)
- 5) Traffic signal UPS – 2mW X 1.5m (deep)
- 6) Shaw cable kiosk – 1mW X 1m (deep) – show possible location in functional plan
- 7) Telus FDH cabinet - 1.1mW X 1m (deep) – show possible location in functional plan

e) General Items:

i. The Developer is required to:

- Provide if pre-load is required, prior to pre-load installation, a geotechnical assessment of preload and soil preparation impacts on the existing sanitary sewer along the proposed site's west property line, proposed utility installations, and provide mitigation recommendations. The mitigation recommendations shall be incorporated into the first SA design submission or if necessary to be implemented prior to pre-load.
 - Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
2. Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities, including building demolition, occurring on-site.
 3. Incorporation of accessibility, CPTED, and sustainability features/measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
 4. Submission of DCC's (City & GVS&DD), School site acquisition charges, Address Assignment Fee, and servicing charges, etc.
 5. If applicable, payment of latecomer agreement charges associated with eligible latecomer works.

Initial: _____

6. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
7. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.
All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.
The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.
- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

[signed copy on file]

Signed

Date



No. DP 16-728670

To the Holder: ANWER KAMAL

Property Address: 6571 NO. 4 ROAD (FORMERLY 6571/6573 NO. 4 ROAD)

Address: C/O ERIC LAW
ERIC LAW ARCHITECT INC.
#216 - 288 WEST 8TH AVENUE
VANCOUVER, BC V5Y 1N5

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #4 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$123,828.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 16-728670

To the Holder: ANWER KAMAL
Property Address: 6571 NO. 4 ROAD (FORMERLY 6571/6573 NO. 4 ROAD)
Address: C/O ERIC LAW
ERIC LAW ARCHITECT INC.
#216 - 288 WEST 8TH AVENUE
VANCOUVER, BC V5Y 1N5

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.
This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF

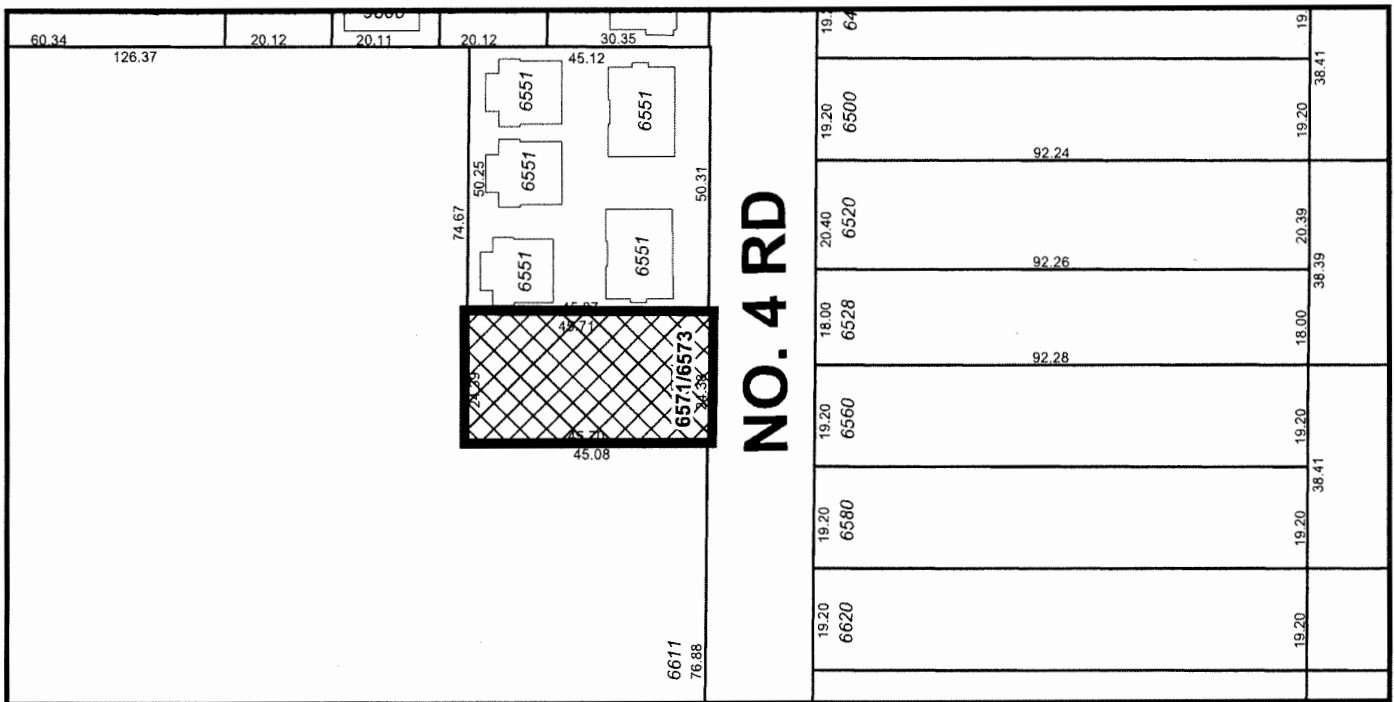
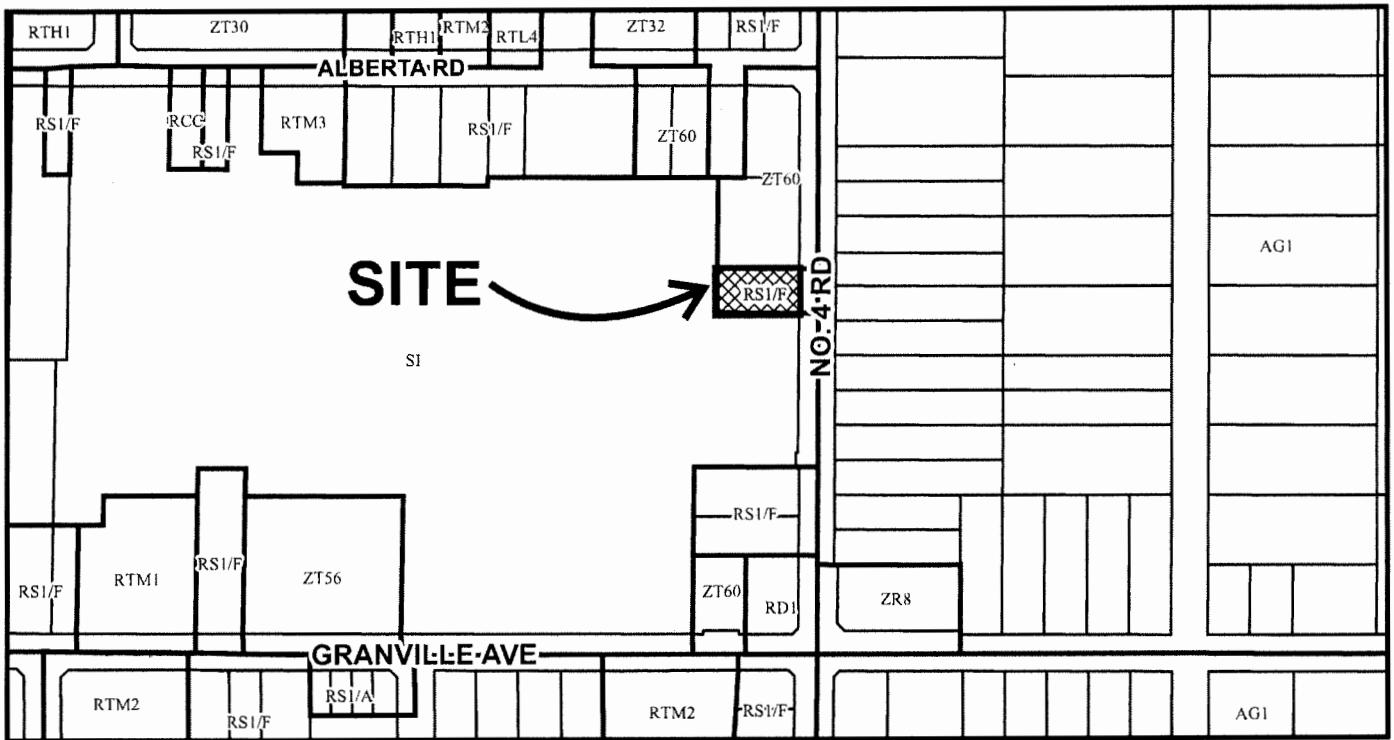
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

MAYOR



City of Richmond



DP 16-728670 SCHEDULE "A"

Original Date: 04/15/16

Revision Date: 08/17/17

Note: Dimensions are in METRES

PROPOSED TOWNHOUSE DEVELOPMENT AT 6571-6573 NO. 4 ROAD, RICHMOND, BC

DEVELOPMENT DATA

- (A) CIVIC ADDRESS: 6571-6573 NO. 4 ROAD, RICHMOND, BC
- (B) LEGAL DESCRIPTION: LOT 65 SECTION 10 BLOCK 4 NORTH RANGE 6 WEST NEW WESTMINSTER DISTRICT PLAN 46723
- (C) LOT AREA: 1,114 SM (11,991 SF) (BEFORE ROAD DEDICATION)
1,091 SM (11,743 SF) (AFTER ROAD DEDICATION)
- (D) ZONING USE CURRENT: RS1/F, PROPOSED: ZT60

CURRENT ZONING (UNDER RS1/F ZONING)
PROPOSED REZONING (ZT60)

- (E) FLOOR AREA RATIO 0.55 TO 454.5 SM
0.3 TO REST OF SITE AREA TOTAL GROSS FLOOR AREA (7,633 SF)
0.65
0.65 X 1,091 SM = 709.15 SM
- (F) NUMBER OF UNIT: 1 PER LOT
- (G) BUILDING COVERAGE: MAX - 45%
- (H) BUILDING HEIGHT: MAX HEIGHT - 9M
- (H) SETBACK: FRONTYARD - 6M
SIDEYARD - 2M
REARYARD - 6M

PROPOSED

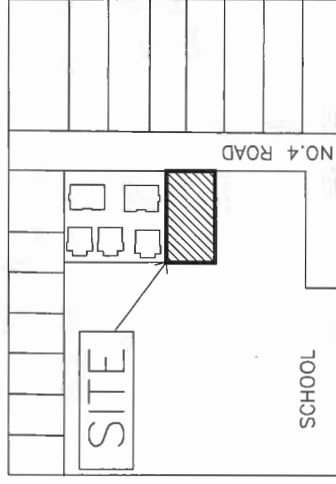
- 0.633
7432 SF NET GROSS FLOOR AREA
- 6 UNITS
- 40.0% (4702 SQ. FT.)
- BUILDING HEIGHT - 10.85M (35'7")
- FRONTYARD FACING NO 4 - 6.07M (19'11") (TO NEW PROPERTY LINE)
- NORTH SIDEYARD - 3.11M (10'2")
- SOUTH SIDEYARD - 3.54M (11'7")
- REAR YARD - 3.16M (10'4")

- RESIDENTIAL PARKING: 5 REGULAR PARKING
2 TANDEM PARKING (4 REGULAR)
- VISITOR PARKING: 2 SMALL PARKING (SURPLUS)
2 REGULAR

- BICYCLE VISITOR BIKE RACK 2
- TOWNHOUSE 8 (INSIDE GARAGE)

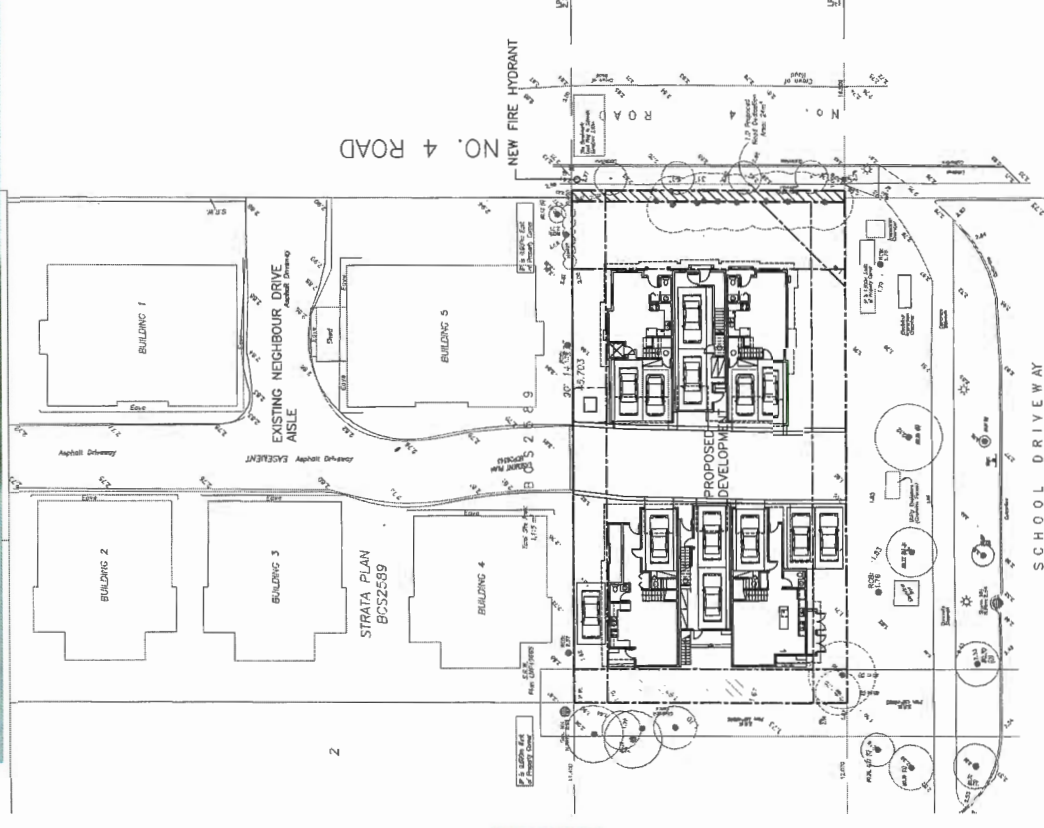
- OUTDOOR AMENITY SPACE PROVIDED: 36.7 SM 395 SQ. FT.
- CHILDREN PLAYGROUND: 36.7 SM 395 SQ. FT.
- TOTAL LIVE PLANT / LAWN AREA: 3110 SQ. FT. / 11743 SQ. FT. = 26.4%
- TOTAL NON POROUS AREA: 6899 SQ. FT. / 11743 SQ. FT. = 58.7%

- (I) PARKING: 2 PER DWELLING UNIT



DRAWING LIST

- A1- DEVELOPMENT SUMMARY
- A1A-UPGRADE NOTE
- A2- SITE PLAN (1/1F)
- A2A- SITE PLAN ENVELOPE
- A3- PARKING PLAN
- A4- SITE PLAN (2/F & 3/F)
- A5- UNIT PLANS
- A6- UNIT PLANS
- A7- ELEVATIONS
- A8- ELEVATIONS & SECTIONS
- A9- ELEVATIONS COLOR
- A10- OPEN SPACE AREA
- A11-FAR DIAGRAM



2 SITE PLAN WITH ADJACENT LOTS

NTS

ERIC LAW ARCHITECT

eric.law.architect@gmail.com
1100 WEST 10TH AVENUE VANCOUVER, BC V6H 2Y1
TEL: (604) 505-3099
FAX: (604) 909-2897

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REVISED	DATE	DESCRIPTION
1	2016.04.04	FOR DP APPLICATION
2	2016.10.25	FOR DP RESUBMISSION
3	2017.02.28	FOR CITY DP REVIEW
4	2017.05.24	FOR CITY DP RESUBMISSION
5	2017.07.21	FOR CITY DP RESUBMISSION
6	2017.07.27	FOR CITY DP RESUBMISSION
7	2017.09.22	FOR CITY DP RESUBMISSION
8	2018.04.16	FOR CITY DP AMENDMENT

REVISION	DATE	DESCRIPTION
7	2018.04.08	REMOVED TREE #1 AND TREE WELL
8	2018.03.15	RELOCATED HYDRANT
5	2017.08.31	ADJUSTED ROOF AND BALCONY ADDED
4	2017.07.31	ADJUSTED PERMEABLE DIAGRAM
3	2017.05.15	ADJUSTED BACK RETAINING WALL HEIGHT
2	2017.02.28	FOR CITY DP EMAIL COMMENTS
1	2016.08.27	FOR CITY DP COMMENTS

PROPOSED TOWNHOUSE
6571-6573 NO. 4 RD
RICHMOND BC

DEVELOPMENT SUMMARY

PROJECT NUMBER: 12-03
ISSUED: 4/17/2018
DRAWN BY: EL
CHECKED BY: EL
FILENAME: 12-03_SFD_180417-DPP-AMEND

A1

MAY 22 2018

DP 16-728670 DP 16-728670 PLAN # 1

DEVELOPMENT PERMIT

Proposed Policy Compliance Construction Specifications Review: Row Houses (middle & end units)

All construction specifications are compliant with BCBC Code Sections 9.36 and 9.32 and all upgrades beyond the Base Case are listed below in **BOLD**:

Slab on grade	R12 full under slab insulation and R12 slab edge insulation
Above Grade Wall Construction	2x6 @ 16" o.c. R22 insulation
Door Specification	Fiberglass or metal-skin polyurethane core doors. Glazing in doors: Double glazed, soft coat low E, insulated spacer, argon gas fill, picture windows; maximum USI 1.70
Ventilation Specification	Heat Recovery Ventilator (55% SRE@OC/45%SRE@-25C); distribution and ventilation rates as per BCBC Section 9.32
Air Tightness	5.5 ACH@50Pa: an estimate based on typical local construction. Refer to Note 3 below
Space Heating System	Air source heat pump (7.1 HSPF and 14.5 SEER minimum) with electric resistance heater in fan coil as back up
Energy Credits:	
Low energy lighting	50% of lighting is EnergyStar rated; 190kWh/year credit
Energy Star appliances	EnergyStar fridge, dishwasher and clothes washer: 95kWh/year credit
Solar Hot Water Ready	All units must comply with the BC Solar Hot Water Ready Regulation (refer to Guide to the Province of BC Solar Hot Water Ready Regulation 2013 for details)

CONCLUSION

From the results obtained in this energy model the PMV is 0.06 which is between the -0.5 and +0.5 PMV acceptable bandwidth for thermal comfort conditions under ISO-7730 and ASHRAE standard 55. Therefore, air conditioning is required for this building design to adequately satisfy the cooling requirements and maintain human comfort levels in accordance with ASHRAE-55 standards and International Standards Organization (ISO) 7730.

1. Roof Assembly

The proposed roof construction assumed to be:

- asphalt shingles
- 1/2" plywood sheathing
- pre-engineered wood truss
- R40 batt insulation
- 1 layer 5/8" gypsum wall board

will provide adequate noise isolation to all interior spaces.

2. Exterior Wall

The proposed exterior wall construction assumed to be:

Location: Level 1

- Hardi-panel siding
- 1/2" plywood sheathing
- 2 x 6 wood studs @ 16" o/c
- R20 batt insulation
- 1/2" Type X gypsum wall board

Location: Levels 2 and 3

- Vinyl siding
- 1/2" plywood sheathing
- 2 x 6 wood studs @ 16" o/c
- R20 batt insulation
- 1/2" Type X gypsum wall board

will provide adequate noise isolation to all interior spaces except for all east-facing bedrooms in the East townhouse with direct exposure to No. 4 Road. These bedrooms require an additional layer of 1/2" type X gypsum wall board on all north, south, and east walls.

3. Exterior Windows and Balcony/Patio Doors

Windows with a standard glazing detail, assumed to be two layers of 3 mm glass separated by a 13 mm airspace (OITC 24), and sliding glass doors with a standard glazing detail, assumed to be one layer of 5 mm glass and one layer of 3 mm glass separated by a 13 mm airspace (OITC 26), will provide adequate noise isolation to all interior spaces with the exception of bedroom windows on the east facade of the building. The following table summarizes the required minimum Outdoor Indoor Transmission Class (OITC) ratings, including example window glazing, for all locations which require upgrading:

Minimum OITC Rating	Example Window Glazing	Location of Window
30	6Lam-16-6 two layers of 6mm glass (one layer laminated) separated by one 16mm airspace	All second floor bedrooms in east townhouse with direct exposure to No. 4 Road
32	6-10-4-10-8 one pane of 6mm glass and one pane of 4mm glass and one pane of 8mm glass separated by 10 mm air spaces	All third floor bedrooms in east townhouse with direct exposure to No. 4 Road

The locations of required window upgrades have been indicated on the architectural elevation/plan as shown in Figure 4.

All of the windows should be specified to meet the A3 performance rating for Air Tightness found in the CSA standard CAN/CSA-A440-08, or latest revision. Any other windows meeting the required OITC ratings are acceptable. Where a single laminated pane is specified and if there are no overriding considerations, the laminated pane should be installed on the interior side of the building since its acoustic performance will be somewhat temperature dependant. Note that the OITC rating varies with panel dimensions. As such, any test data or predicted OITC performance must reasonably reflect the panel dimensions adopted for this project. Any increase in window pane thickness or separating airspace thickness beyond that shown above is also acceptable. Effective weatherstripping should be installed on the exterior doors.

4. Certification of Installation

There is also a requirement in Richmond's Restrictive Covenant that the building can not be occupied until a Registered Professional approved by Richmond's Planning and Development Manager certifies that the building has been constructed in accordance with the design reviewed and the recommendations of the approved acoustic report. As stated in our proposal dated February 17, 2016,

EAST TOWNHOUSE

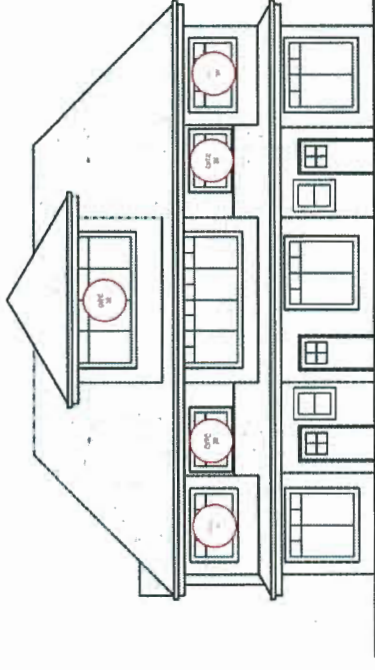


Figure 4: East Elevation Showing Required Window Upgrades

Date: July 2016

ISSUED	FOR
1	2016.04.04 FOR DP APPLICATION
2	2016.10.25 FOR DP RESUBMISSION
3	2017.02.28 FOR CITY DP REVIEW
4	2017.05.24 FOR CITY DP RESUBMISSION
5	2017.07.21 FOR CITY DP RESUBMISSION
6	2017.07.27 FOR CITY DP RESUBMISSION
7	2017.08.22 FOR CITY DP RESUBMISSION
8	2018.04.16 FOR CITY DP AMENDMENT

ERIC LAW ARCHITECT

216 West 10th Avenue Vancouver BC
 TEL: (604) 905-2099
 FAX: (604) 909-2897

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PROPOSED TOWNHOUSE
6571-6573 NO. 4 RD
RICHMOND BC

UPGRADE NOTES

PROJECT NUMBER:	12-03
ISSUED:	4/17/2018
DRAWN BY:	EL
CHECKED BY:	EL
FILENAME:	12-03_SFD_180417-DPP-AMEND

MAY 22 2018

DP 16-728670 A1A

PLAN # 1A

DP 16-728670

DEVELOPMENT PERMIT

ERIC LAW ARCHITECT

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 Vancouver, BC V6J 1R8
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REVISION	DESCRIPTION
1	2017.02.28 PER CITY DP COMMENTS
2	2017.02.28 PER CITY DP COMMENTS
3	2017.05.15 ADJUSTED BACK RETAINING WALL HEIGHT
4	2017.07.21 ADJUSTED ROOF AND BALCONY ADDED
5	2018.03.15 RELOCATED HYDRO LIFT
6	2018.04.08 REMOVED TREE #1 AND TREE WELL

PROPOSED TOWNHOUSE
6571-6573 NO. 4 RD
RICHMOND BC

SITE PLAN (1/1F)

PROJECT NUMBER: 12-03
 ISSUED: 4/17/2018
 DRAWN BY: EL
 CHECKED BY: EL
 FILENAME: 12-03_SFD_180417-DPP-AMEND

MAY 22 2018

DP 16-728670

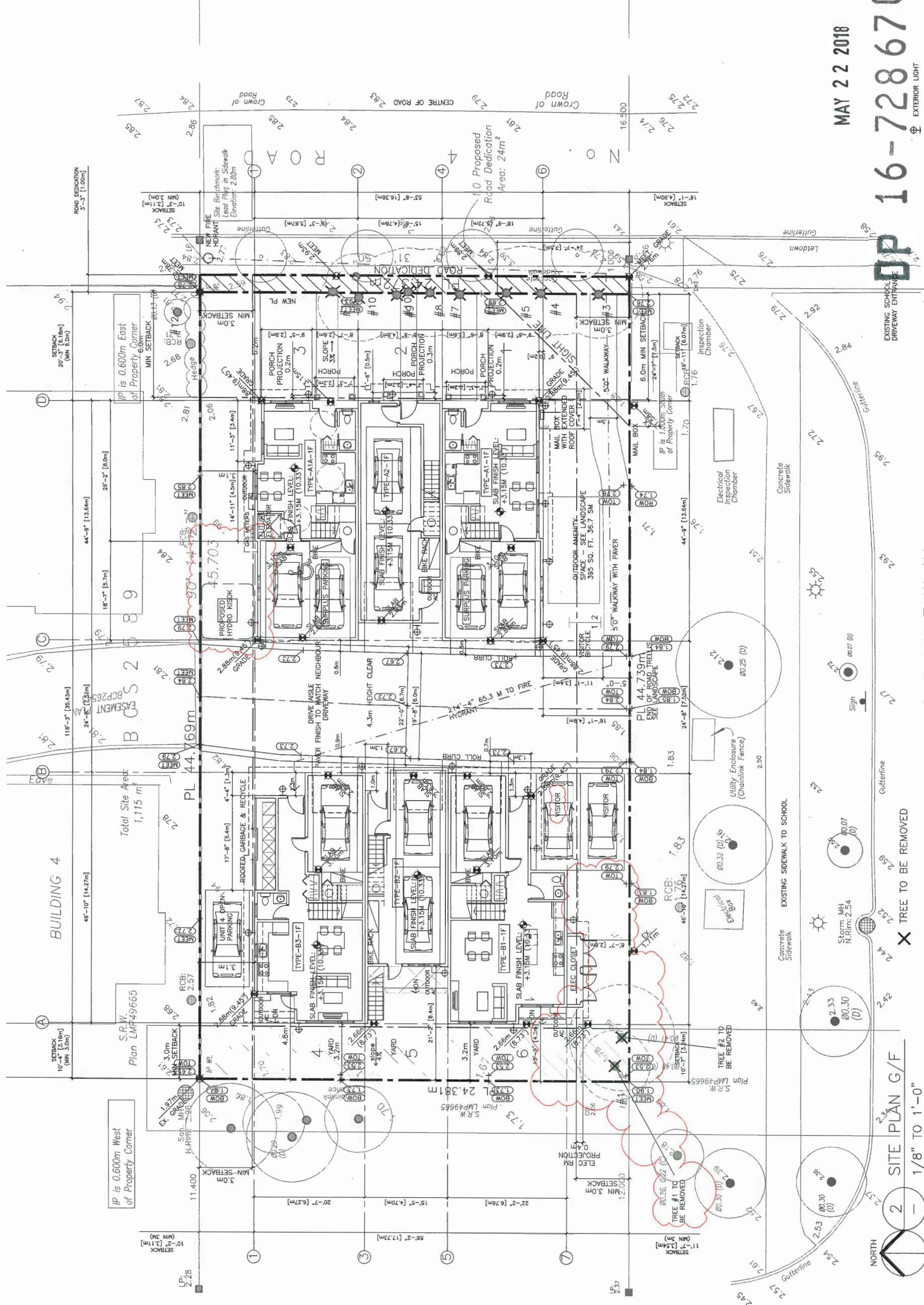
EXTERIOR LIGHT

PLAN 21B

DP 16-728670

A2

DEVELOPMENT PERMIT



BUILDING 4

IP is 0.600m West of Property Corner

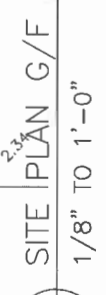
Total Site Area: 1,115 m²

Plan LMP49665

IP is 0.600m East of Property Corner

MIN SETBACK 3.0m

ROAD DEDICATION 3'-3" [1.00m]



2 SITE PLAN G/F
 1/8" TO 1'-0"

SCHOOL DRIVEWAY

CONCRETE SIDEWALK

EXISTING SCHOOL DRIVEWAY ENTRANCE

11.0 Proposed Road Dedication Area: 24m²

CROWN OF ROAD

FINISH GRADE:
 NW LOT CORNER: 1.97 NE HOUSE CORNER: 2.88
 SE LOT CORNER: 2.78 SW HOUSE CORNER: 2.88
 SW LOT CORNER: 2.76 SW HOUSE CORNER: 2.88
 NW HOUSE CORNER: 2.88
 AVERAGE GRADE: 2.61 M (8.56')

BUILDING HEIGHT: 13.45m -2.61m= 10.85m

A MINIMUM OF 20% OF PARKING STALLS TO BE PROVIDED WITH A 120V RECEPTACLE TO ACCOMMODATE ELECTRIC VEHICLE CHARGING EQUIPMENT.

AN ADDITIONAL 25% OF PARKING STALLS TO BE CONSTRUCTED TO ACCOMMODATE THE FUTURE INSTALLATION OF ELECTRIC VEHICLE CHARGING EQUIPMENT (E.G. PRE-DUCTED FOR FUTURE WIRING).

AIR-CONDITIONING IS REQUIRED IN ALL UNITS

SIZE FOR ALL PARKING

ALSO SEE A4 FOR PARKING DIMENSIONS INSIDE THE UNIT

eric.law@ericlawarchitect.com
 10118 BURNHAMTHORPE RD. UNIT 101
 VANCOUVER, BC V6N 1A7
 TEL: (604) 909-2099
 FAX: (604) 909-2897

ALL RIGHTS RESERVED. THIS PLAN AND DESIGN ARE AT ALL TIMES TO REMAIN THE PROPERTY OF ERIC LAW ARCHITECT INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION. THIS DRAWING IS FOR USE IN THIS PROJECT ONLY. ANY OTHER USE WITHOUT WRITTEN PERMISSION IS STRICTLY PROHIBITED.

ISSUED	DESCRIPTION
1	2016.04.04 FOR DP APPLICATION
2	2016.10.25 FOR DP RESUBMISSION
3	2017.02.26 FOR CITY DP REVIEW
4	2017.05.24 FOR CITY DP RESUBMISSION
5	2017.07.21 FOR CITY DP RESUBMISSION
6	2017.08.22 FOR CITY DP RESUBMISSION
7	2017.08.22 FOR CITY DP RESUBMISSION
8	2018.04.16 FOR CITY DP AMENDMENT

REVISION	DESCRIPTION
1	2018.04.27 PER CITY DP COMMENTS
2	REVISION

PROPOSED TOWNHOUSE
6571-6573 NO. 4 RD
RICHMOND BC

SITE PLAN ENVELOPE

PROJECT NUMBER: 12-03
 ISSUED: 4/17/2018
 DRAWN BY: EL
 CHECKED BY: EL
 FILENAME: 12-03_SFD_180417-DPP-AMEND

MAY 22 2018

PLAN # IC

DP 16-728670

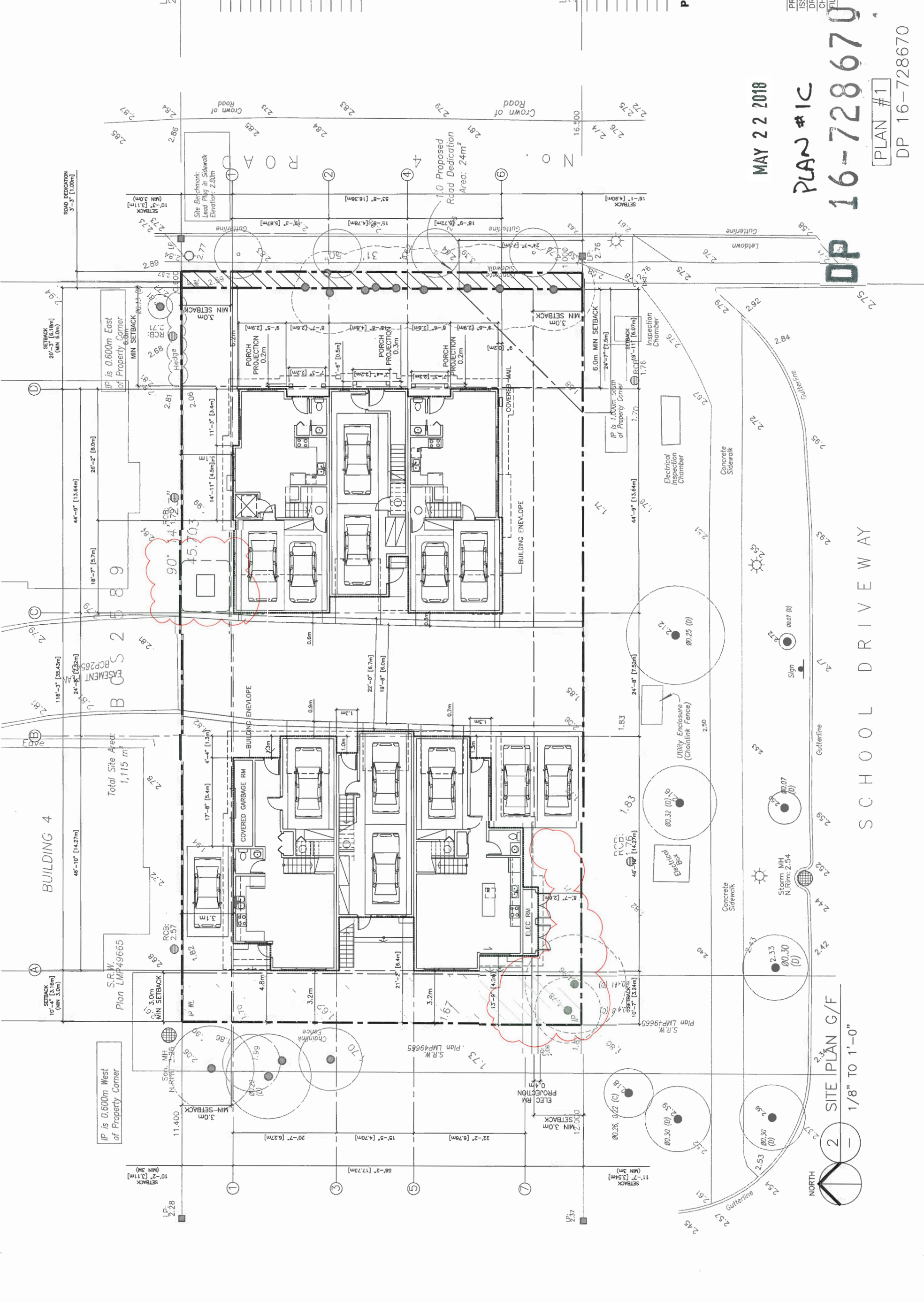
PLAN #1

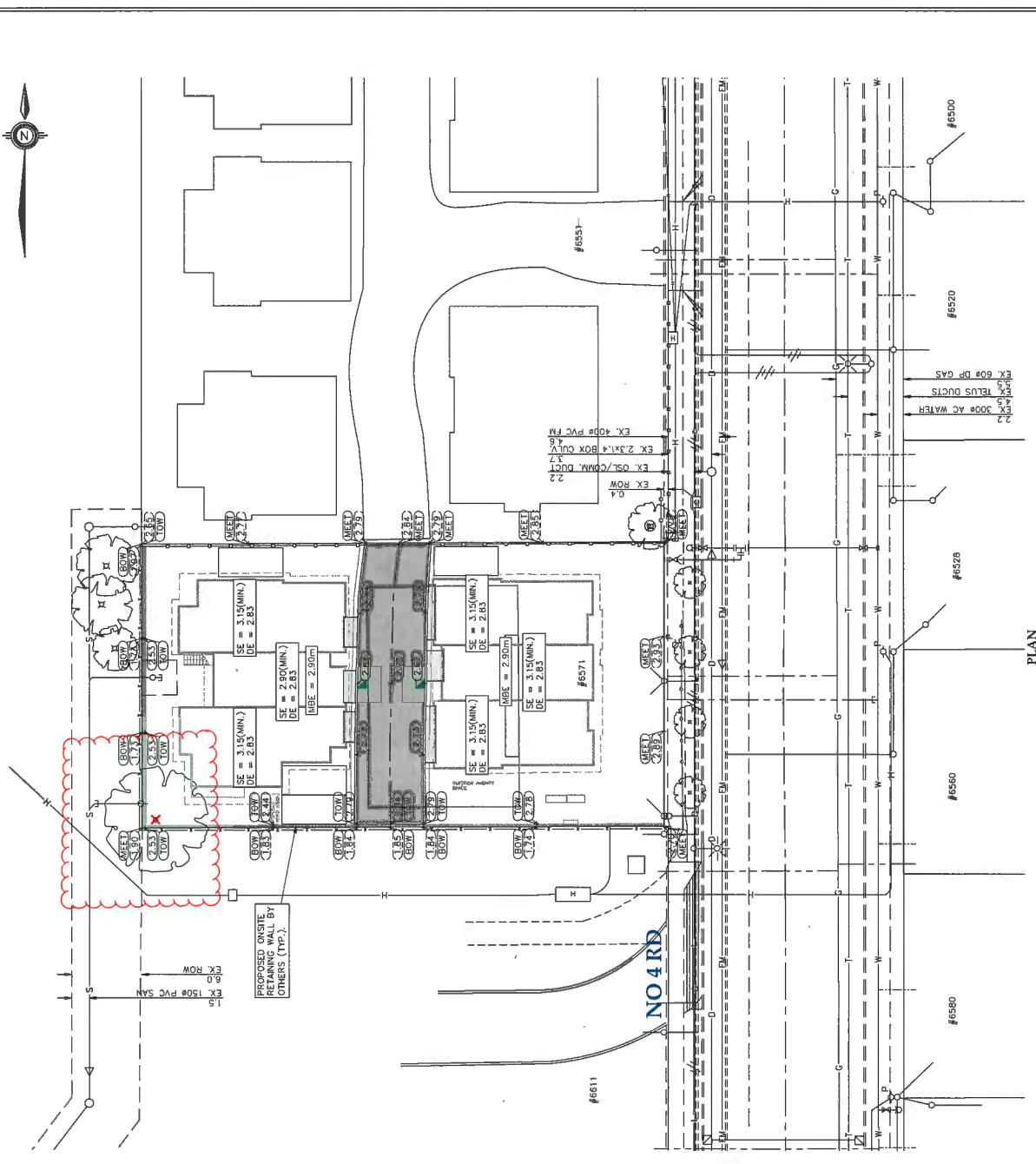
SCHOOL DRIVEWAY

1/8" TO 1'-0"

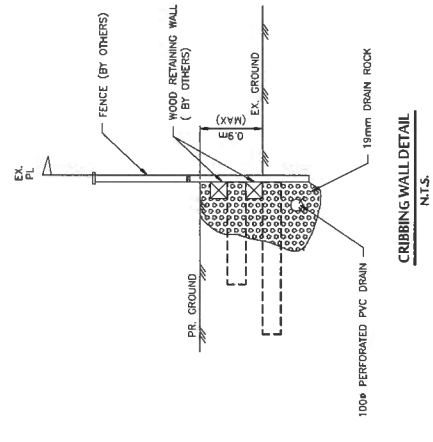
SITE PLAN G/F

DEVELOPMENT PERMIT



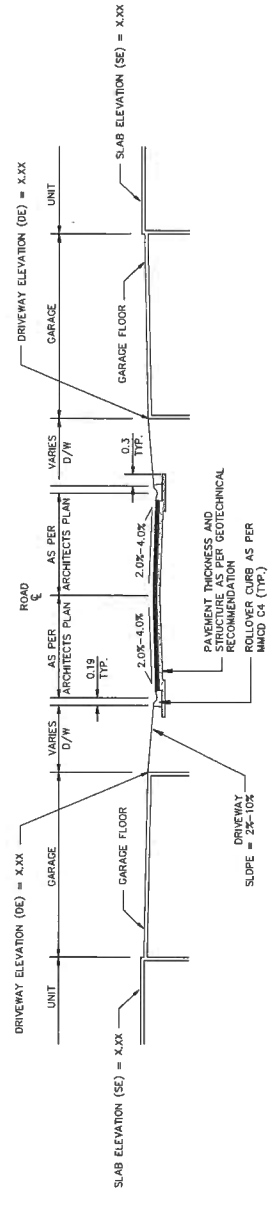


PLAN
SCALE: 1:250

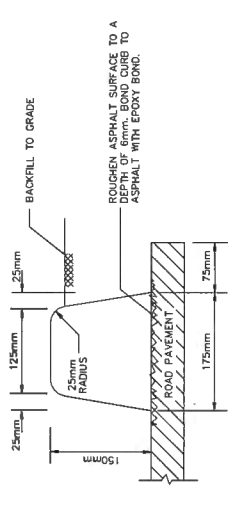


CRIBBING WALL DETAIL
N.T.S.

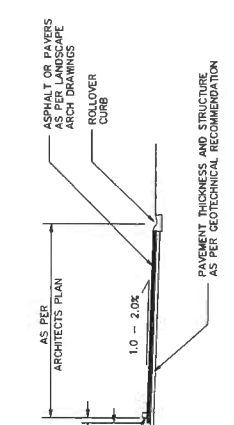
- ROADWORKS NOTES:**
- ROADWORKS TO BE CONSTRUCTED IN ACCORDANCE WITH RICHMOND ENGINEERING DEPARTMENT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
 - ASPHALT AND ROAD STRUCTURE TO BE CONSTRUCTED IN ACCORDANCE WITH GEOTECHNICAL REPORT.
 - SUBGRADE TO BE APPROVED BY GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF SUBBASE MATERIAL.
 - ALL SUBBASE AND BASE COURSE MATERIALS TO BE COMPACTED TO 95% MODIFIED PROCTOR DENSITY (MIN.) OR AS SPECIFIED BY THE GEOTECHNICAL ENGINEER.
 - ALL ROAD ELEVATIONS ARE PAVEMENT AND GUTTER ELEVATIONS.
 - ALL ROADWAY CURBS ARE ROLLED CURBS AS PER MASTER MUNICIPAL CONSTRUCTION DRAWING NO. C4.
 - ALL PARKING CURBS ARE AS PER DETAIL THIS SHEET. WHERE PARKING CURBS CONNECT TO ROADWAY CURBS THE PARKING CURB SHALL BE ADJUSTED TO PROVIDE A SMOOTH TRANSITION.
 - CURBS MUST BE INSTALLED WITHIN A VERTICAL TOLERANCE OF 5mm OR ARE SUBJECT TO REPLACEMENT AT THE CONTRACTOR'S COST.
 - GEOMETRIC CURB DATA REFERS TO THE BACK OF CURB.
 - FOR CONCRETE PAVING AND ROAD PAVERS LOCATIONS AND DETAILS REFER TO LANDSCAPE ARCHITECT'S DRAWINGS.
 - ELEVATIONS SHOWN AS THUS (SEE) ARE EXISTING ELEVATIONS.
 - ELEVATIONS SHOWN AS THUS (SEE) ARE PROPOSED FINISHED SURFACE ELEVATIONS.
 - ELEVATIONS SHOWN AS THUS (SEE) ARE PROPOSED FINISHED TOP OF RETAINING WALL ELEVATIONS.
 - COORDINATES (IF SHOWN ON THIS PLAN) MAY NOT MATCH THOSE SHOWN ON PLANS PREPARED BY OTHERS.



TYPICAL ROADWAY / UNIT CROSS-SECTION
SCALE: 1:100 HOR., N.T.S. VERT.



CONCRETE PARKING CURB DETAIL
SCALE=N.T.S.



PARKING STALL DETAIL
SCALE: 1:100 HOR., N.T.S. VERT.

PLAN # 1D
MAY 22 2018

DP 16-728670

City of Richmond
8811 NE 3 ROAD RICHMOND B.C. V6Y 2C1

ROADWORKS

TITLE: 6571 NO. 4 ROAD
CITY FILE: ---

DESIGN: CA	DWG. No.:	DATE: NOV 2018
DRAWN: CC	CHECKED: BCD	SCALE: 1:1, 250
ENGINEER: RF	SEC. No.: 10-4-6	SHT No.: 1 OF 1

NOT FOR CONSTRUCTION

10 APR 2018

REV#	DATE	BY	CH.	DESCRIPTION	REVISIONS
0	10 APR 2018	SL	RF	ISSUED FOR COORDINATION	

tel. 604.249.5040
fax. 604.249.5041
CoreConcept CONSULTING LTD.
#220-2639 Viking Way, Richmond, BC, V6V 3B7
www.coreconceptconsulting.com

ANWER KAMAL
Core Concept Consulting Project No. 10052
DWG. 3 OF 4

NOTES:

ALL ELEVATIONS ARE TO GEOMETRIC DATA AND REFER TO RICHMOND BENCHMARK NUMBER.

HPN #190, CONTROL MONUMENT 94H1524
LOCATED IN E. SIDE NO. 5 ROAD OPP. CL GRANVILLE AVE.
ELEVATION = 2.353 meters

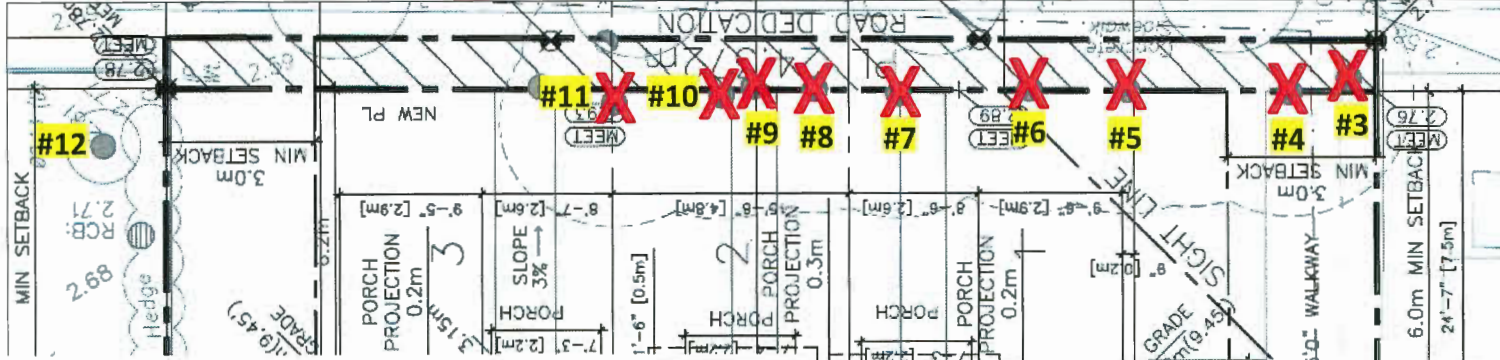
ALL MATERIALS AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE CURRENT CITY OF RICHMOND SUPPLEMENTARY SPECIFICATIONS AND DETAIL DRAWINGS, UNLESS OTHERWISE NOTED.

FORTIS E.C. SERVICES
THE SENDER OF THIS DRAWING SHALL BE RESPONSIBLE FOR DETERMINING THE LOCATION OF ALL CURBS AND SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND ARRANGING FOR THEIR RELOCATION IN ORDER TO FACILITATE INSTALLATION LOCATIONS MAY BE OBTAINED FROM:

BC ONE CALL SERVICE RECORDS DEPARTMENT
TELEPHONE: (604) 257-1900

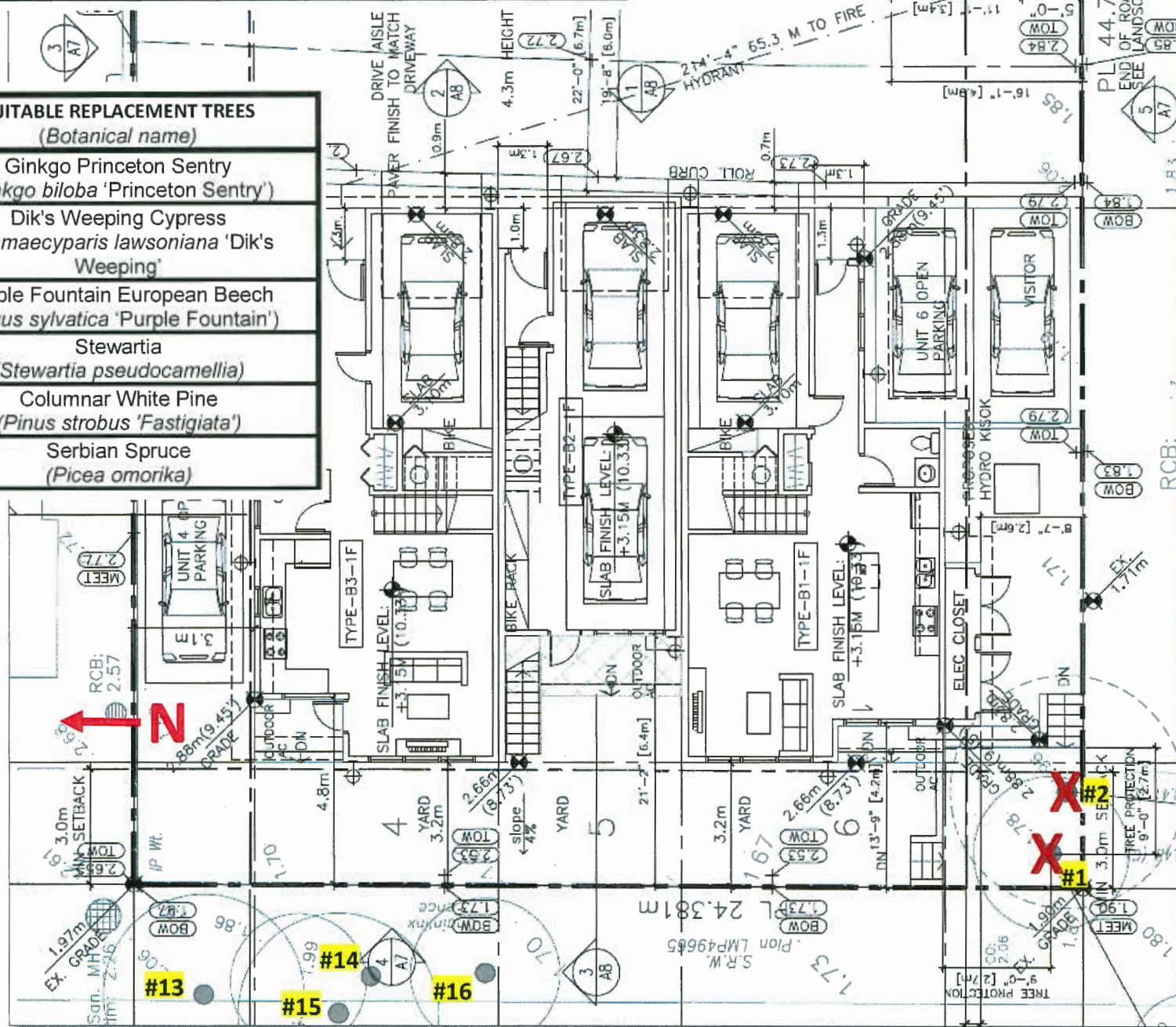
FORTIS REQUIRES 10 DAYS NOTICE PRIOR TO THE COMMENCEMENT OF ANY WORK.

Tree Removal & Retention Plan, Scale 1/16 = 1'



TREE #	TREE SPECIES (on site) (Botanical name)	DBH (cm)	SPREAD (m) Radius
1	Cedar (<i>Thuja plicata</i> .)	44	4
2	Birch (<i>Betula sp.</i>)	45	4.5
3	Cedar (<i>Thuja plicata</i> .)	27	4
4	Cedar (<i>Thuja plicata</i> .)	31	3.5
5	Cedar (<i>Thuja plicata</i> .)	41	3.5
6	Cedar (<i>Thuja plicata</i> .)	46	3.5
7	Cedar (<i>Thuja plicata</i> .)	29	3.5
8	Cedar (<i>Thuja plicata</i> .)	24	3.5
9	Cedar (<i>Thuja plicata</i> .)	30	3.5
10	Cedar (<i>Thuja plicata</i> .)	34	3.5
11	Cedar (<i>Thuja plicata</i> .)	39	4

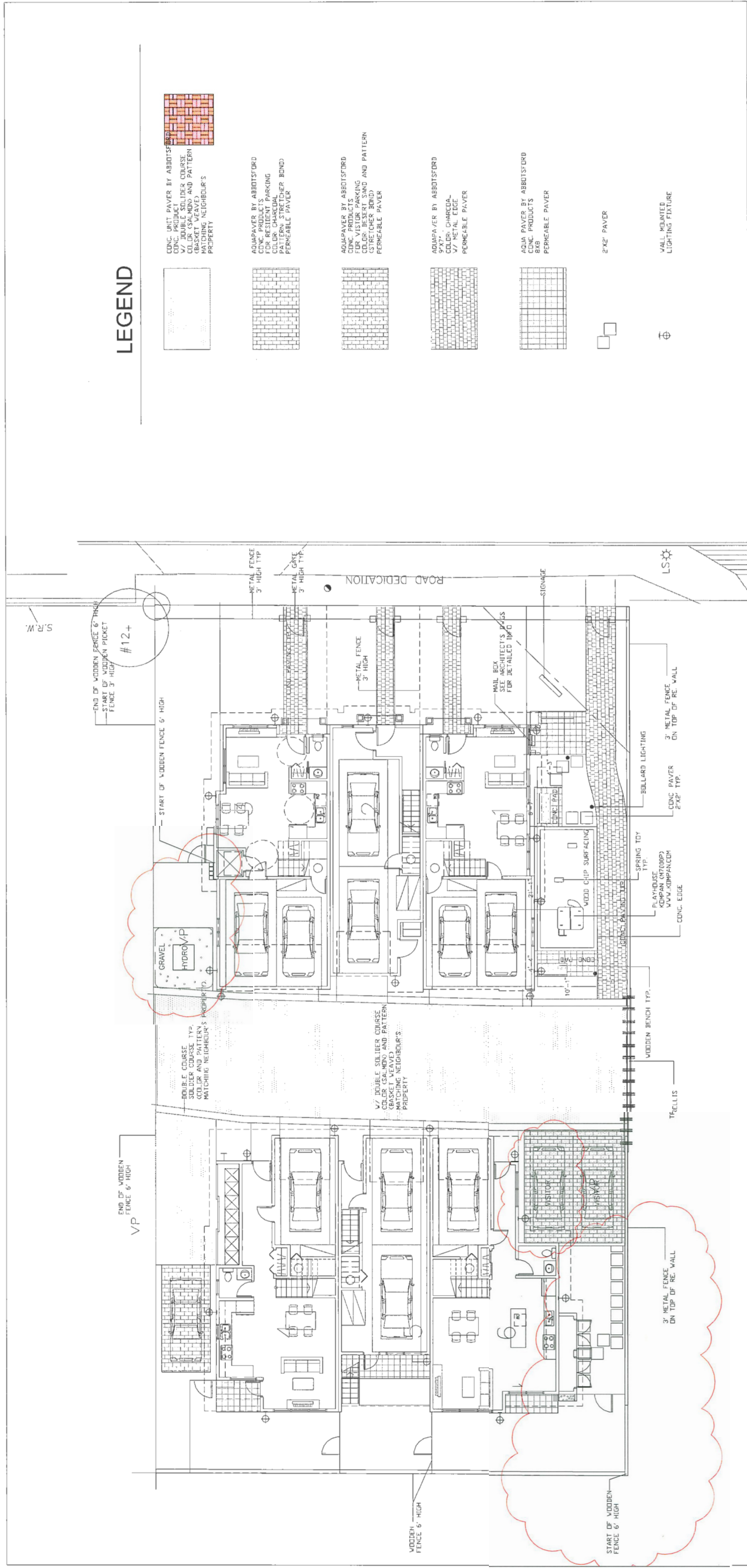
SUITABLE REPLACEMENT TREES (Botanical name)
Ginkgo Princeton Sentry (<i>Ginkgo biloba</i> 'Princeton Sentry')
Dik's Weeping Cypress <i>Chamaecyparis lawsoniana</i> 'Dik's Weeping'
Purple Fountain European Beech (<i>Fagus sylvatica</i> 'Purple Fountain')
Stewartia (<i>Stewartia pseudocamellia</i>)
Columnar White Pine (<i>Pinus strobus</i> 'Fastigiata')
Serbian Spruce (<i>Picea omorika</i>)



DP 16-728670

PLAN # 3

MAY 2 2 2018



PLAN # 3A
 DP 16-728670

MAY 22 2018

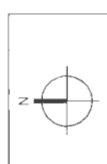
PROJECT TITLE
 TOWNHOUSE DEVELOPMENT
 6571-6573 NO. 4 ROAD, RICHMOND, BC

SCALE: 1/8"=1'-0"
 DATE: March, 18
 DRAWN:
 JOB NO.

4370, Main Street, Vancouver, BC
 Tel: 604-253-8813
 Fax: 1-888-277-9554
 Email: info@jhl.ca

JHL Design Group Inc.
 Landscape Architecture + Urban Design

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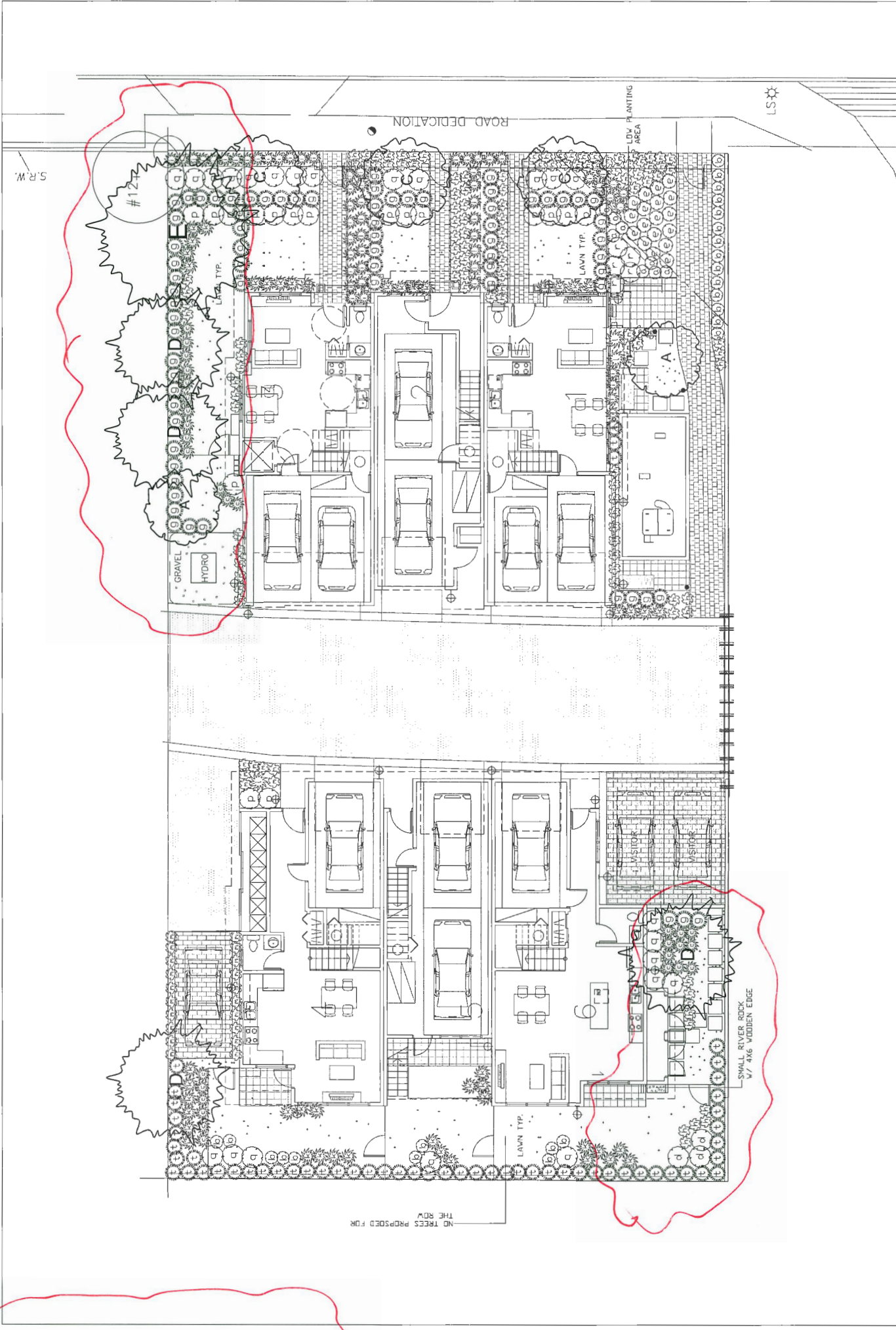
DRIVING TITLE
 HARD LANDSCAPE PLAN
 INFO ON FENCE LAYOUT

L-2

PLANT LIST	Symbol	Botanical Name	Common Name	Size	Spacing
	Trees				
2	A	Cornus mas	Cornelian Cherry Dogwood	9cm cal B&B	as shown
0	B	Magnolia kobus	Kobus Magnolia	8cm cal B&B	as shown
3	C	Styrax japonica	Japanese Strobil	9cm cal B&B	as shown
4	D	Pinus nigra	Austrian Black pine	4.5m High, B&B	as shown
1	E	Thuja plicata	Western Red Cedar	46cm cal, B&B	as shown
	Shrubs, Perennials & Grasses				
8	a	Azalea japonica Wardii Ruby	Evergreen Azalea	# 3 pot	as shown
24	b	Azalea japonica Diamond Red	Evergreen Azalea	# 3 pot	as shown
29	c	Polystichum muratum	Western Sword Fern	# 2 pot	as shown
3	d	Polystichum muratum	Western Sword Fern	# 2 pot	as shown
18	e	Erica x darleyensis 'Siberianmize'	Dwarf Oregon Grape	# 2 pot	as shown
0	f	Erica x darleyensis 'Siberianmize'	Winter White Heather	# 2 pot	as shown
72	g	Teucrium x media 'Hicks'	Mediterranean Pink Heather	B&B 4' High	as shown
89	h	Carex nemoralis 'Aureo-ovata'	Hicks' Yew	# 2 pot	as shown
56	i	Helictotrichon sempervirens	Variagated Sedge	# 2 pot	as shown
0	j	Arctostaphylos uva-ursi 'Vancouver Jade'	Blue Oak Grass	# 2 pot	as shown
48	k	Arctostaphylos uva-ursi 'Vancouver Jade'	Kimblinick	# 2 pot, 18" O.C.	as shown
3	l	Miscanthus 'Gracillimus'	Siberian Iris	# 50cm	as shown
56	m	Festuca ovina glauca 'Elijah Blue'	Medfin Grass	# 3 pot	as shown
0	n	Nandina domestica	Eight Blue Ficus	# 3 pot	as shown
17	o	Rhododendron 'Unique'	Heavenly Bamboo	# 3 pot	as shown
23	p	Rhododendron 'Mary Fleming'	Rhododendron	# 3 pot	as shown
5	q	Rhododendron 'Purple Splendor'	Rhododendron	# 3 pot	as shown
0	r	Rosa 'meiland La Strilla'	Rose	# 3 pot	as shown
0	s	Rhododendron 'Christmas Cheer'	Rhododendron	# 3 pot	as shown
56	t	Thuja occidentalis 'Smaragd'	Emerald Green Cedar	6' High, B & B, trim top	as shown

NOTES:

- Maintain min. 2% slope away from building.
- All plants and landscape installation to conform to BCSLA Landscape Standards Latest Edition.
- All growing medium to be tested by PSAI (604-273-8226) and amended accordingly if necessary, and to be tested again at Substantial Completion.
- Minimum planting medium depths:
lawn-67150mm, 9" on slab
groundcover &
shrubs-187450mm, min 18" on slab
trees-127300mm, all around the rootball, 24" small trees on slab, 30" medium sized trees on slab
For detailed info see specifications
- All plant material shall meet minimum size requirements as indicated in plant list.
- Trees planted in lawn areas to have 1 m dia. mulched ring.
- Make sure wire around rootballs to be cut and removed to prevent gridding.
- All proposed trees should be planted min. 3 m away from building foundation or face of buildings or retaining walls.
- Install min. 2" of composted bark mulch on all shrub beds after planting and rake smooth. Mulch to be 9.5mm screened composted bark mulch.
- Contractor to ensure all plant material delivered to site is from nurseries certified to be free from the Phytophthora ramorum virus (Sudden Oak Death).
- Contractor to report any discrepancies in plant numbers immediately to Landscape Architect.
- All on-site landscape to be irrigated with an automatic irrigation system.
- Provide one hose bib for every unit to cover all landscaped areas.



PLAN #3B

MAY 22 2018

OP 16-729670

L-3

LANDSCAPE PLAN/
PLANT LIST/DETAIL

TOWNHOUSE DEVELOPMENT
6571-6573 NO. 4 ROAD, RICHMOND, BC

SCALE 1/8" = 1'-0"
DATE MAY, 18
DRAWN
JOB NO.

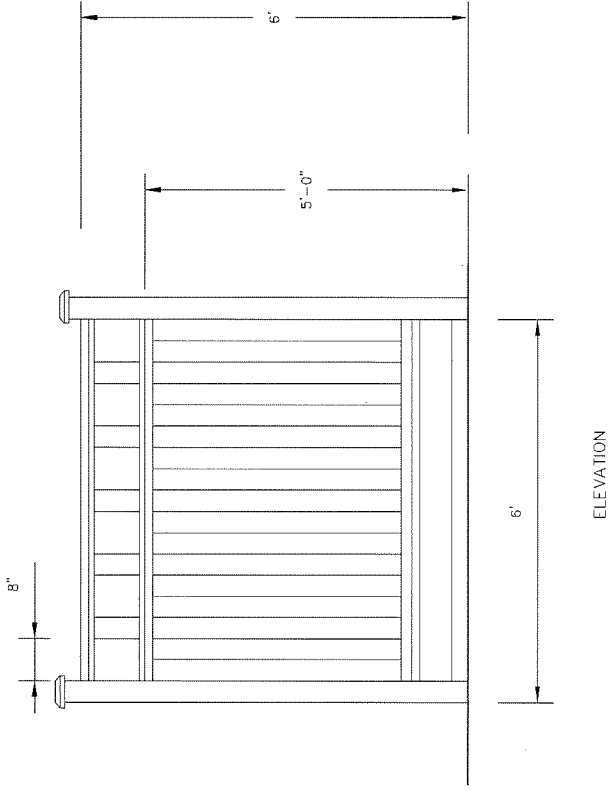
4370, Maple Street, Vancouver, BC
Tel: 604-683-8513
Fax: 1-866-277-9554
Email: info@jhl.com

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Landscape Architecture + Urban Design

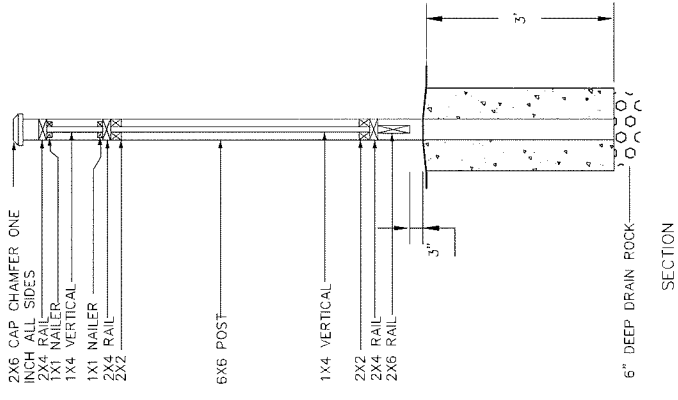
DATE	REVISIONS
Oct., 16	1st Revision Submission
Feb., 17	2nd Revision Submission
March, 17	3rd Revision Submission
Aug., 17	4th Revision Submission
March, 18	5th Revision Submission



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6' HIGH CEDAR FENCE DETAIL



2X6 CAP CHAMFER ONE
INCH ALL SIDES
1X4 MAILER
1X4 VERTICAL
1X1 MAILER
2X4 RAIL
2X2

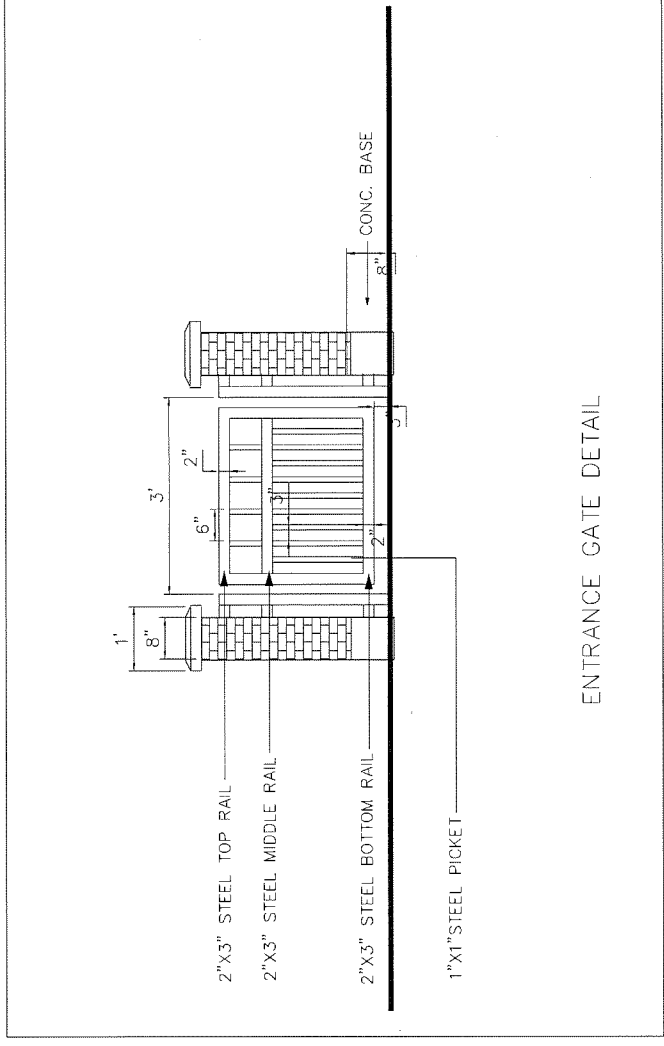
6X6 POST

1X4 VERTICAL

2X4 RAIL
2X4 RAIL

6" DEEP DRAIN ROCK

SECTION



ENTRANCE GATE DETAIL

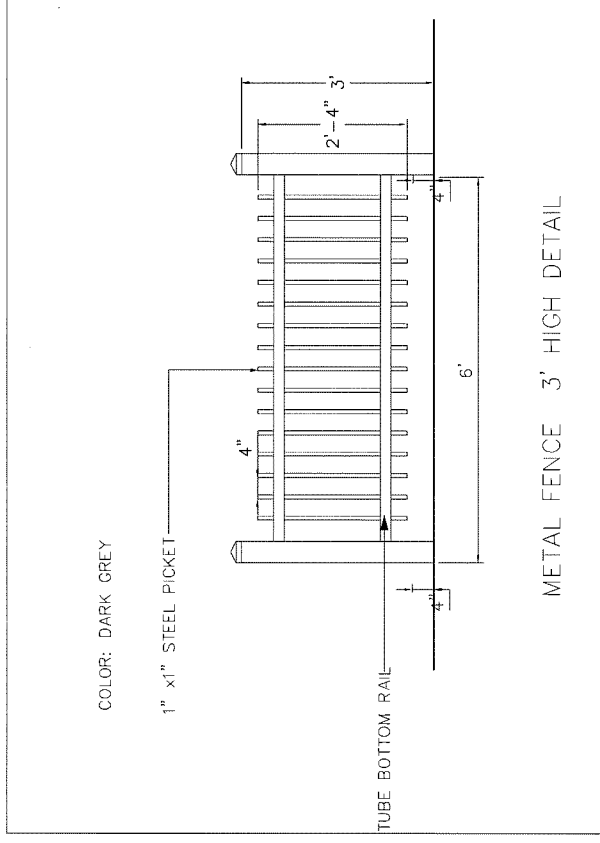
2"X3" STEEL TOP RAIL

2"X3" STEEL MIDDLE RAIL

2"X3" STEEL BOTTOM RAIL

1"X1" STEEL PICKET

CONC. BASE



METAL FENCE 3' HIGH DETAIL

COLOR: DARK GREY

1" x1" STEEL PICKET

4"

2'-4" 3"

TUBE BOTTOM RAIL

4"

6'

COLOR: DARK GREY

1" x1" STEEL PICKET

4"

2'-4" 3"

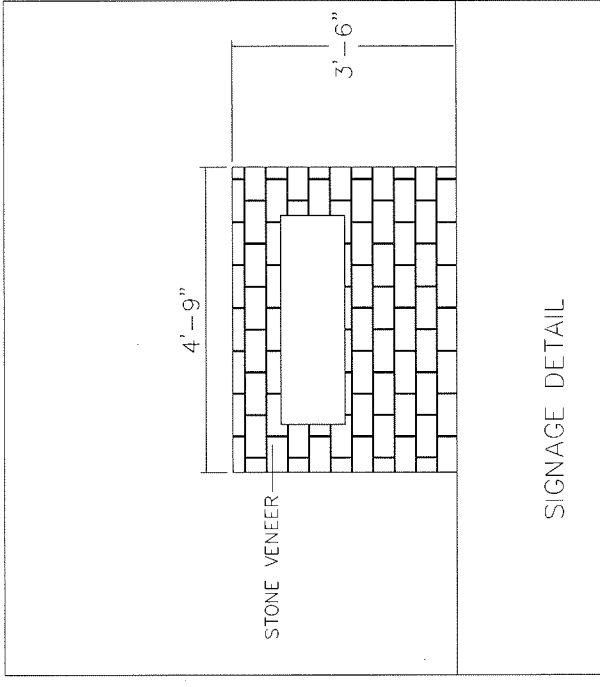
2"X3" STEEL TUBE BOTTOM RAIL

4"

6'

CONC. RE. WALL

DETAIL OF 3' H METAL FENCE
ON TOP OF RETAINING WALL



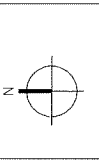
SIGNAGE DETAIL

STONE VENEER

4'-9"

3'-6"

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DATE	REVISIONS
April, 16	DP Submission
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Feb., 17	DP Revision Submission
March, 17	DP Revision Submission
Aug., 17	DP Revision Submission

JHL Design Group Inc.
Landscape Architecture + Urban Design

4370, Maple Street, Vancouver, BC
Tel: 604-283-8613
Fax: 1-866-277-9554
Email: phdesign@jhl.com

SCALE	DATE	JOB NO.
3/4"=1'-0"	AUG., 17	
	DRAWN	
	JOB NO.	

PROJECT TITLE
TOWNHOUSE DEVELOPMENT
6571-6573 NO. 4 ROAD, RICHMOND, BC

DRAWING TITLE
DETAILS

L-4

PLAN #3C MAY 22 2018

DP 16-728670



IMAGE OF SPRING TOY BY KOMPAN



IMAGE OF SPRING TOY BY KOMPAN

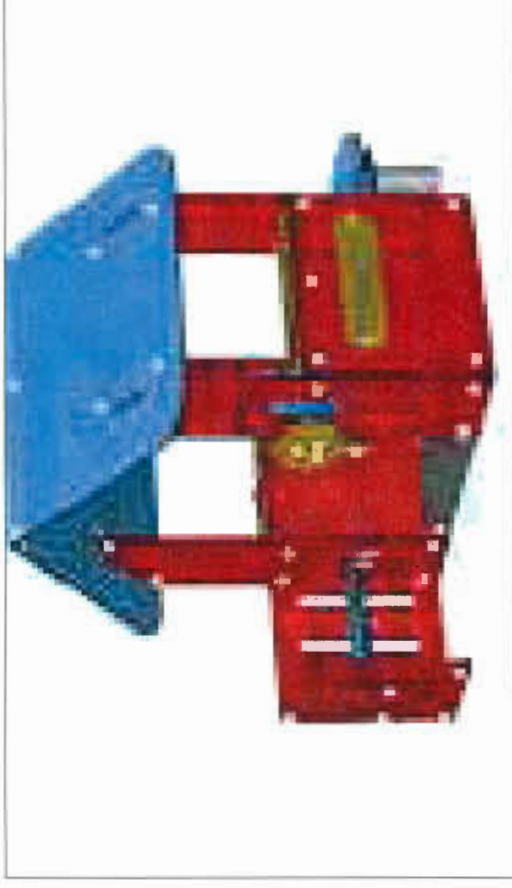


IMAGE OF PLAY HOUSE BY KOMPAN
(RED HOUSE, M7000)



IMAGE OF BOLLARD LIGHTING
(BY FAIRWEATHER, DOWNLIGHT LED 3P, HIKO)



IMAGE OF BENCH
MODEL: M.L.B 720W



IMAGE OF BIKE RACK
(BY CORA CANADA)

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DATE	REVISIONS
April, 16	DP Submission
Oct., 16	DP Revision Submission
Feb., 17	DP Revision Submission
March, 17	DP Revision Submission
Aug., 17	DP Revision Submission

JHL Design Group Inc.
Landscape Architecture + Urban Design

4370, Maple Street, Vancouver, BC
Tel: 604-283-8813
Fax: 1-866-277-9254
Email: info@jhl-design.com

SCALE	1/2" = 1'-0"
DATE	AUG., 17
DRAWN	
JOB NO.	

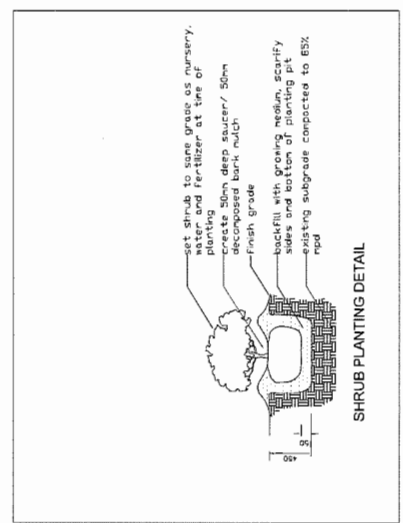
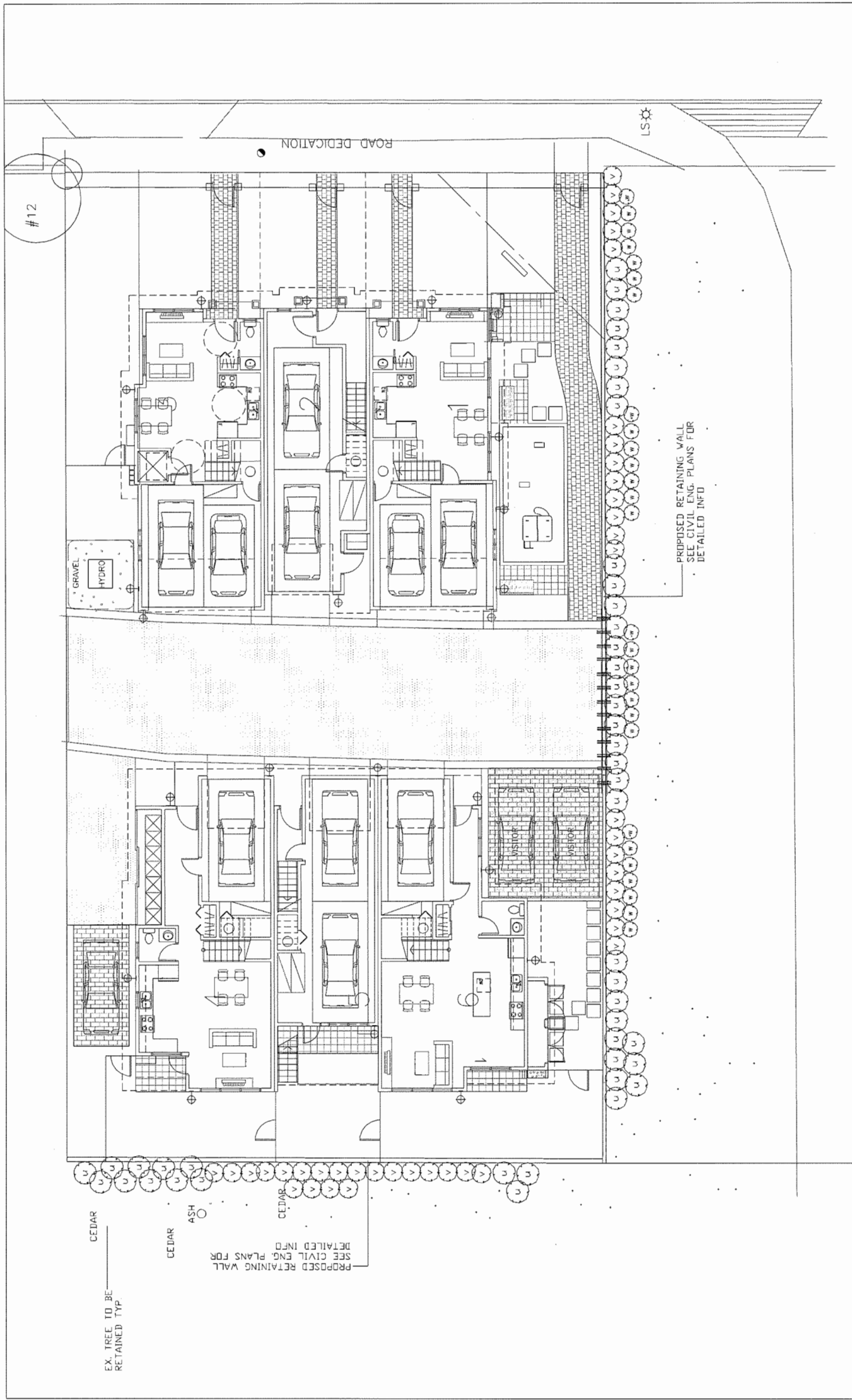
PROJECT TITLE
TOWNHOUSE DEVELOPMENT
6571-6573 NO. 4 ROAD, RICHMOND, BC

DRAWING TITLE
IMAGES

L-6

PLAN #3E MAY 22 2018

DP 16-728670



PLANT LIST	OFF-SITE	Common Name	Size	Spacing
Symbol	Botanical Name			
Trees				
Shrubs, Perennials & Grasses				
45	<i>Mahonia aquifolium</i>	Oregon Grape	# 2 pot	as shown
41	<i>Rosa rugosa</i> 'Alba'	York Rose	# 2 pot	as shown
28	<i>Erica x Darleyensis</i> 'Arthur Johnson'	Pink Winter Heather	# 1 pot	as shown

PLAN # 3F
MAY 22 2018
DP 16-728670

4370, Megie Street, Vancouver, BC
Tel: 604-263-8613
Fax: 604-271-9554
Email: jhl@jhlinc.ca

JHL Design Group Inc.
Landscape Architecture + Urban Design

PROJECT TITLE
TOWNHOUSE DEVELOPMENT
6571-8573 NO. 4 ROAD, RICHMOND, BC

SCALE: 1/8" = 1'-0"
DATE: May, 18
DRAWN:
JOB NO.

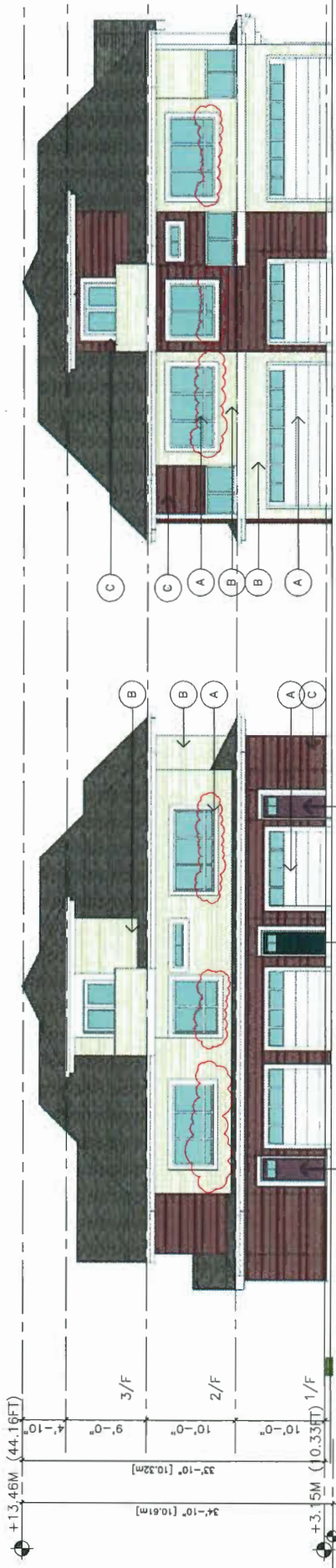
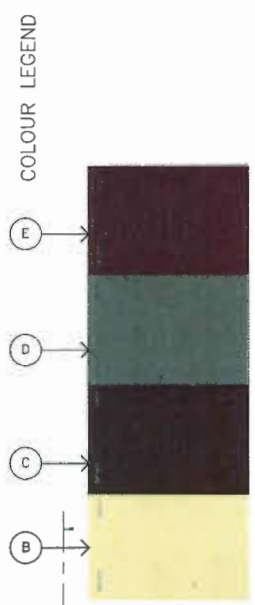
DRAWING TITLE
OFF SITE LANDSCAPE PLAN
PLANT LIST/ DETAIL

L-7

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ISSUED	DESCRIPTION
1	2016.04.04 FOR DP APPLICATION
2	2016.10.25 FOR DP RESUBMISSION
3	2017.02.28 FOR CITY DP REVIEW
4	2017.03.24 FOR CITY DP RESUBMISSION
5	2017.07.21 FOR CITY DP RESUBMISSION
6	2017.07.27 FOR CITY DP RESUBMISSION
7	2017.08.22 FOR CITY DP RESUBMISSION
8	2018.04.19 FOR CITY DP AMENDMENT

- A → WHITE COLOUR
- B → SHERWIN-WILLIAMS SW 6135 -- ECRU
- C → SHERWIN-WILLIAMS SW 6013 -- BITTER CHOCOLATE
- D → (ACCENT) SHERWIN-WILLIAMS SW 7061 -- NIGHT OWL
- E → (ACCENT) SHERWIN-WILLIAMS SW 6027 -- CORDOVAN



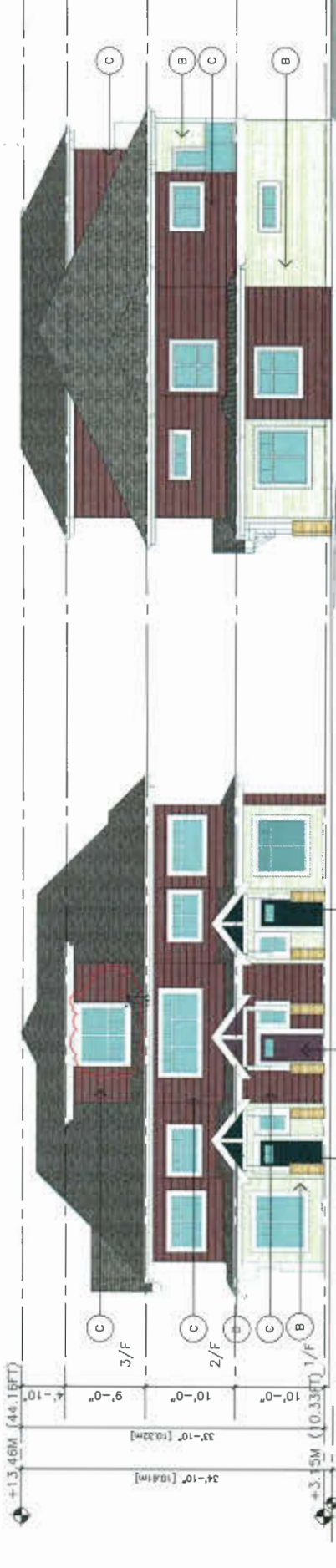
1 INTERNAL AISLE WEST ELEVATION
 1/8" TO 1'-0"
 ELEVATION ALSO REFER TO A8

2 TOWNHOUSE EAST ELEVATION (NO 4 ROAD)
 1/8" TO 1'-0"
 ELEVATION ALSO REFER TO A7

3 TOWNHOUSE NORTH ELEVATION
 1/8" TO 1'-0"
 ELEVATION ALSO REFER TO A7

4 TOWNHOUSE WEST ELEVATION
 1/8" TO 1'-0"
 ELEVATION ALSO REFER TO A7

5 TOWNHOUSE SOUTH ELEVATION
 1/8" TO 1'-0"
 ELEVATION ALSO REFER TO A7



2 INTERNAL AISLE EAST ELEVATION
 1/8" TO 1'-0"
 ELEVATION ALSO REFER TO A8

3 TOWNHOUSE EAST ELEVATION (NO 4 ROAD)
 1/8" TO 1'-0"
 ELEVATION ALSO REFER TO A7

4 TOWNHOUSE WEST ELEVATION
 1/8" TO 1'-0"
 ELEVATION ALSO REFER TO A7

5 TOWNHOUSE SOUTH ELEVATION
 1/8" TO 1'-0"
 ELEVATION ALSO REFER TO A7



3 TOWNHOUSE NORTH ELEVATION
 1/8" TO 1'-0"
 ELEVATION ALSO REFER TO A7

4 TOWNHOUSE WEST ELEVATION
 1/8" TO 1'-0"
 ELEVATION ALSO REFER TO A7

5 TOWNHOUSE SOUTH ELEVATION
 1/8" TO 1'-0"
 ELEVATION ALSO REFER TO A7



4 TOWNHOUSE WEST ELEVATION
 1/8" TO 1'-0"
 ELEVATION ALSO REFER TO A7



5 TOWNHOUSE SOUTH ELEVATION
 1/8" TO 1'-0"
 ELEVATION ALSO REFER TO A7

7	2018.04.09 REMOVED TREE #1 AND TREE WELL
8	2018.04.19 RELOCATED HYDRO LPT
9	2017.08.21 ADJUSTED ROOF AND BALCONY ADED
4	2017.07.21 ADJUSTED PERMEABLE DIAGRAM
3	2017.05.15 ADJUSTED BACK RETAINING WALL HEIGHT
2	2017.02.28 PER CITY DP BASE COMMENTS
1	2016.04.27 PER CITY DP COMMENTS

PROPOSED TOWNHOUSE
6571-6573 NO. 4 RD
RICHMOND BC
ELEVATIONS-COLOR

PROJECT NUMBER: 12-03
 ISSUED: 4/17/2018
 DRAWN BY: EL
 CHECKED BY: EL

PLAN # 4
MAY 22 2018
DP 16-728670
A9

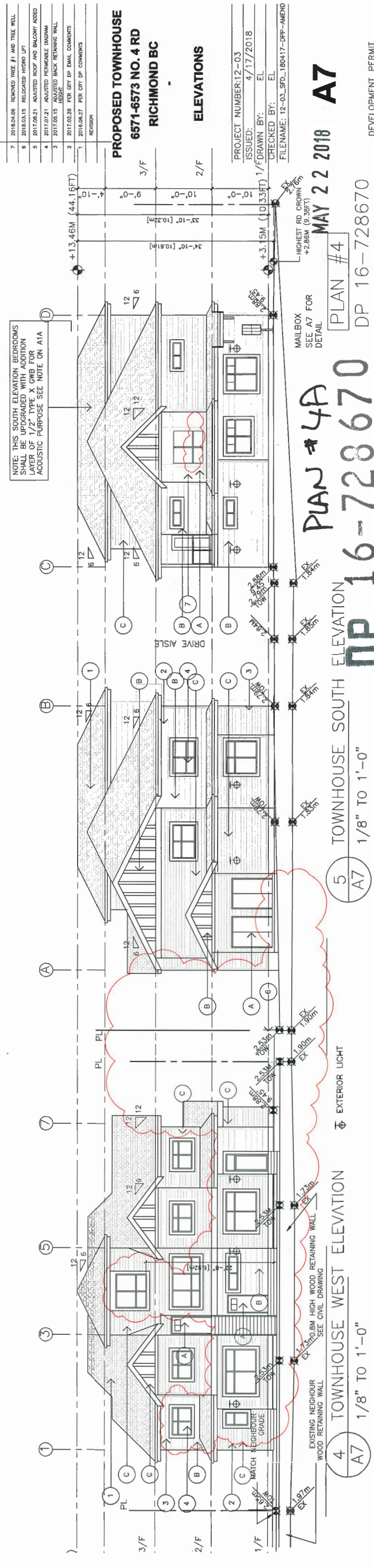
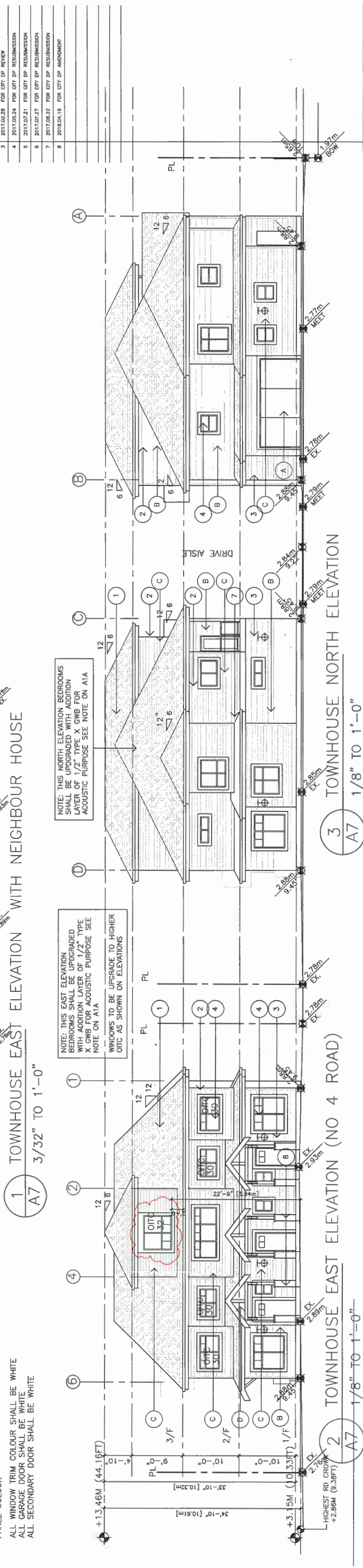
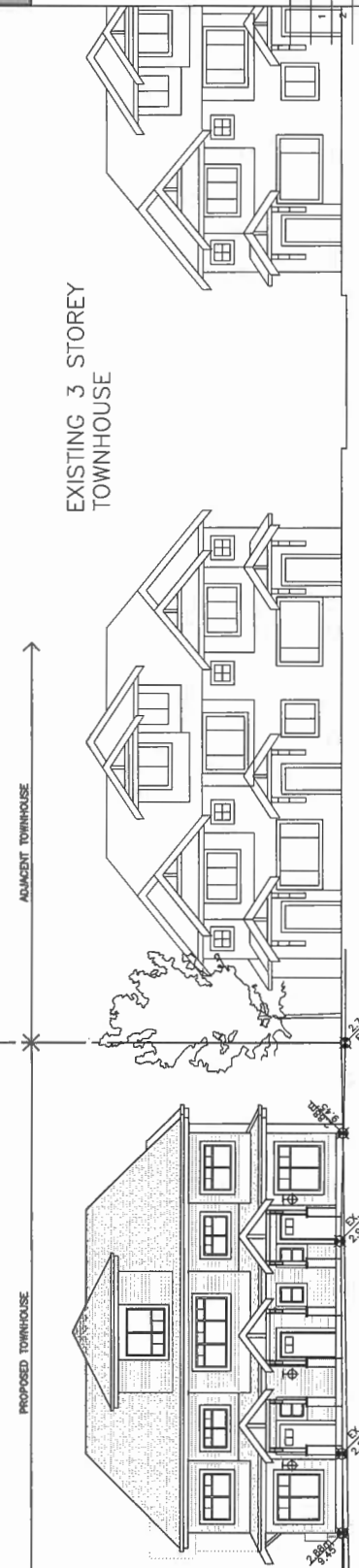
- EXTERIOR FINISH LEGEND**
- 1 → ASPHALT SHINGLE ROOFING
 - 2 → HARDI SIDING (COLOUR 1)
 - 3 → HARDI SIDING WITH WOOD TRIM (COLOUR 2)
 - 4 → WHITE VINYL WINDOW WITH TRIM
 - 5 → GARAGE DOOR
 - 6 → WOOD FENCE ON CONCRETE RETAINING WALL
 - 7 → HARDI PANEL WITH TRIM
 - 8 → WOOD PANEL COLUMN BASE
- EXTERIOR COLOUR**
- A → WHITE COLOUR
 - B → SHERWIN-WILLIAMS SW 6135 - ECRU
 - C → SHERWIN-WILLIAMS SW 6013 - BITTER CHOCOLATE
 - D → (ACCENT) SHERWIN-WILLIAMS SW 7061 - NIGHT OWL
 - E → (ACCENT) SHERWIN-WILLIAMS SW 6027 - CORDOVAN
- ALL HARDIE TRIM OR CORNER TRIM SHALL MATCH THE ADACENT HARDI PANEL COLOUR
- ALL WINDOW TRIM COLOUR SHALL BE WHITE
 ALL GARAGE DOOR SHALL BE WHITE
 ALL SECONDARY DOOR SHALL BE WHITE

ERIC LAW ARCHITECT

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EXISTING 3 STOREY TOWNHOUSE



PROPOSED TOWNHOUSE
6571-6573 NO. 4 RD
RICHMOND BC

ELEVATIONS

PROJECT NUMBER: 12-03
 ISSUED: 4/17/2018
 1/F DRAWN BY: EL
 CHECKED BY: EL
 FILENAME: 12-03_SFD_180417-DPP-AMEND

PLAN # 4A

DP 16-728670

PLAN # 4

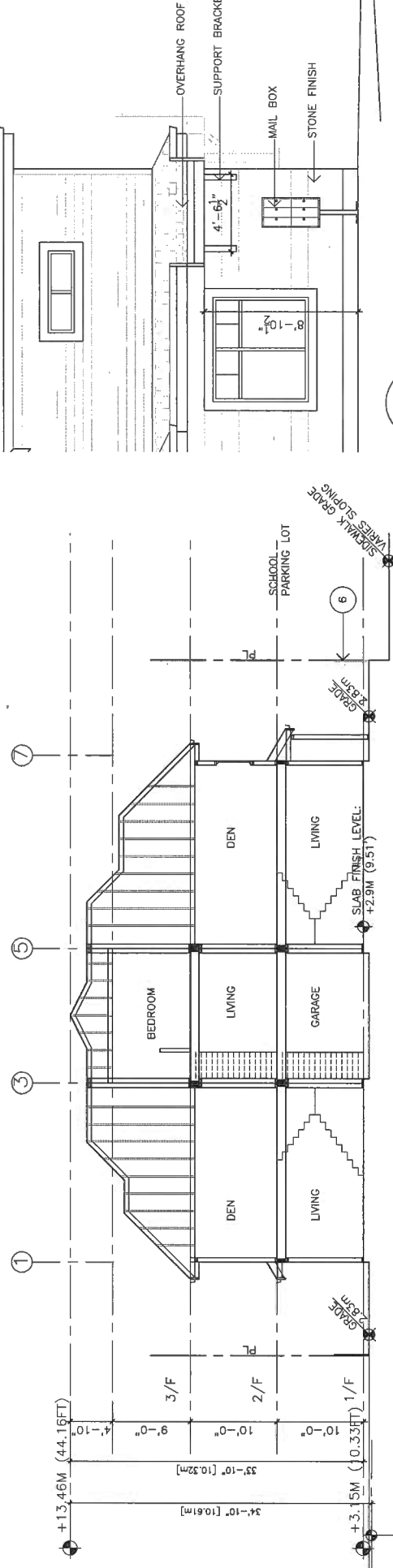
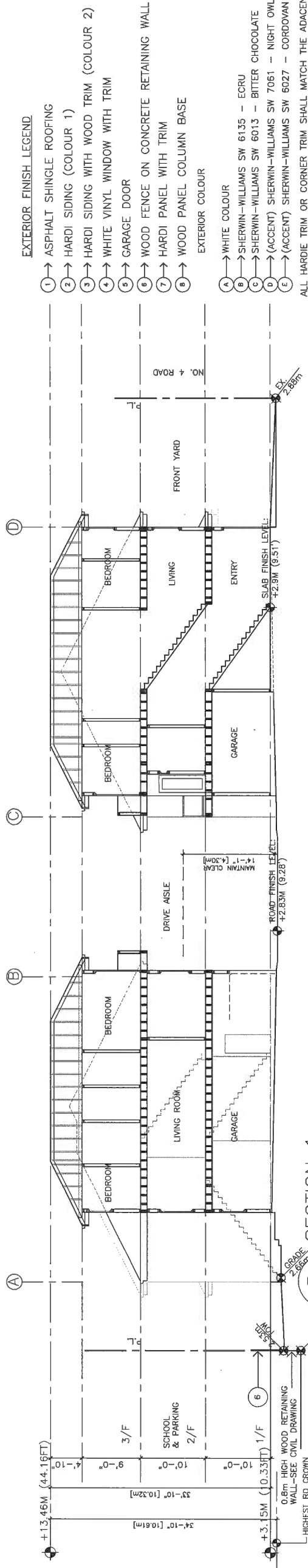
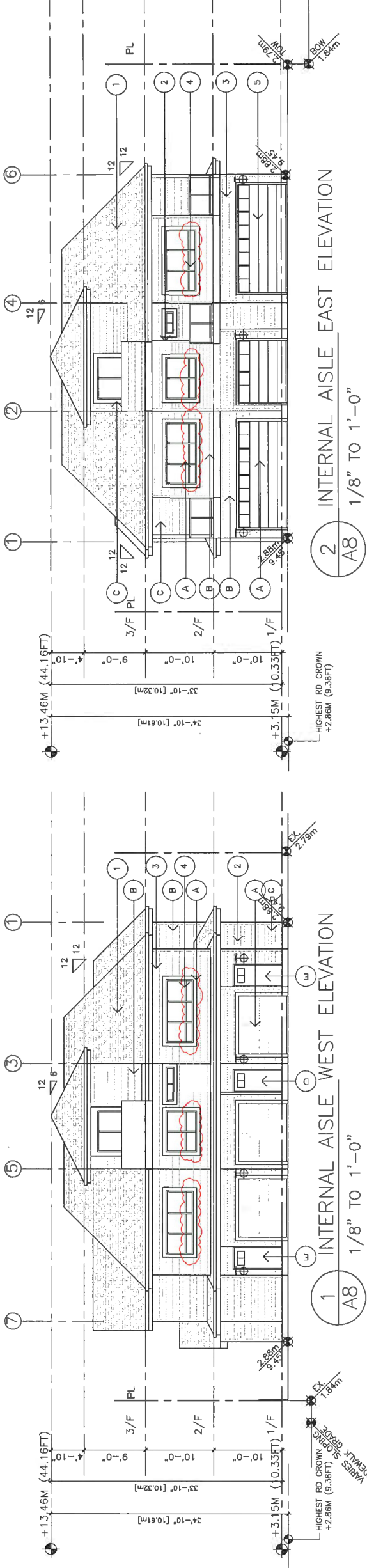
DP 16-728670

MAY 22 2018

A7

DEVELOPMENT PERMIT

ISSUED	DESCRIPTION
1	2016.04.04 FOR DP APPLICATION
2	2016.10.25 FOR DP RESUBMISSION
3	2017.02.28 FOR CITY DP REVIEW
4	2017.03.24 FOR CITY DP RESUBMISSION
5	2017.07.21 FOR CITY DP RESUBMISSION
6	2017.07.27 FOR CITY DP RESUBMISSION
7	2017.08.22 FOR CITY DP RESUBMISSION
8	2018.04.16 FOR CITY DP AMENDMENT



5 MAIL BOX ELEVATION
A8 1/4" TO 1'-0"

PLAN # 4B
DP 16-728670

MAY 22 2018

PLAN #5

DP 16-728670

A8

DEVELOPMENT PERMIT

REVISION	DESCRIPTION
1	2016.06.27 PER CITY DP COMMENTS
2	2017.02.28 PER CITY DP EMAIL COMMENTS
3	2017.02.15 ADJUSTED BACK RETAINING WALL
4	2017.02.21 ADJUSTED PERMEABLE DIAGRAM
5	2017.08.21 ADJUSTED ROOF AND BALCONY AREAS
6	2018.03.15 RELOCATED HYDRO LPT
7	2018.04.06 REMOVED TREE #1 AND TREE WELL

PROPOSED TOWNHOUSE
6571-6573 NO. 4 RD
RICHMOND BC

ELEVATIONS & SECTIONS

PROJECT NUMBER: 12-03
ISSUED: 4/17/2018
DRAWN BY: EL
CHECKED BY: EL
FILENAME: 12-03_SFD_180417-DPP-AMEND

ERIC LAW ARCHITECT

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ISSUED	FOR
1	2016.04.04 FOR DP APPLICATION
2	2016.10.25 FOR DP RESUBMISSION
3	2017.02.28 FOR CITY DP REVIEW
4	2017.05.24 FOR CITY DP RESUBMISSION
5	2017.07.21 FOR CITY DP RESUBMISSION
6	2017.07.27 FOR CITY DP RESUBMISSION
7	2017.08.22 FOR CITY DP RESUBMISSION
8	2018.04.16 FOR CITY DP AMENDMENT

REVISION	DATE	DESCRIPTION
1	2018.04.06	REMOVED TREE #1 AND TREE WELL
2	2018.03.15	RELOCATED METRO LIFT
3	2017.08.21	ADJUSTED ROOF AND BALCONY ADDED
4	2017.07.21	ADJUSTED PERMEABLE DIAGRAM
5	2017.05.15	ADJUSTED BACK RETAINING WALL
6	2017.02.28	PER CITY DP EMAIL COMMENTS
7	2016.08.27	PER CITY DP COMMENTS

PROPOSED TOWNHOUSE
6571-6573 NO. 4 RD
RICHMOND BC

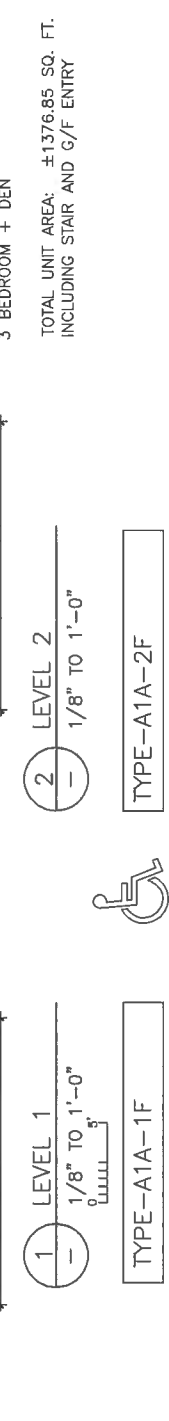
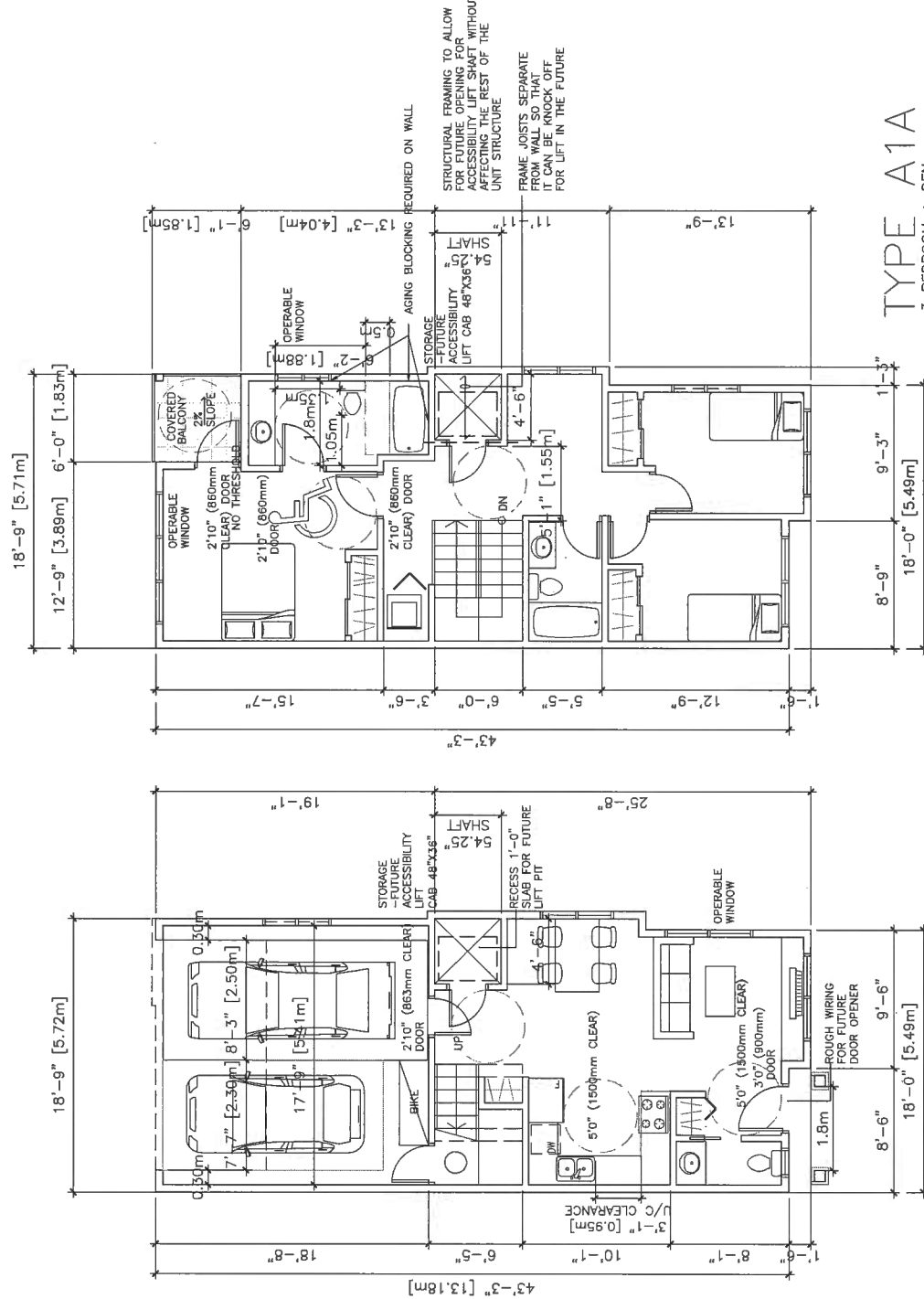
UNIT PLANS

PROJECT NUMBER:	12-03
ISSUED:	4/17/2018
DRAWN BY:	EL
CHECKED BY:	EL
FILENAME:	12-03_SFD_180417-DPP-AMEND

A6

DEVELOPMENT PERMIT

DOORS & DOORWAYS	VERTICAL CIRCULATION	HALLWAYS	GARAGE	BATHROOM (MIN. 1)	KITCHEN	WINDOWS	OUTLETS & SWITCHES
CONVERTIBLE UNIT GUIDELINES - ENTRY DOORS ARE A MINIMUM 863 MM BUT IDEALLY 914 MM AND HAVE CLEAR ACCESS. - ENTRY DOOR CLEAR EXTERIOR FLOOR SPACE MIN. 2200 MM DEPTH BY 914 MM WIDTH OR 600 MM ON EACH SIDE FOR WHEELCHAIR ACCESS. - ENTRY DOORS TO MAIN LIVING AREAS, BATHROOM AND 1 BEDROOM MIN. 800 MM CLEAR OPENING WITH FLUSH THRESHOLDS MAX. 13 MM HEIGHT. DEMONSTRATE WHEELCHAIR ACCESS BETWEEN THE HALLWAY AND ROOMS AND WIDEN HALLWAY AND/OR DOORWAY(S) IF NECESSARY TO SECURE ACCESS. - PATIO/BALCONY MIN. 860 MM CLEAR OPENING. NOTE HOW ACCESSED. -- ALL INTERIOR THRESHOLDS WITHIN UNITS COMPLY WITH BC BUILDING CODE. - LEVER-TYPE HANDLES FOR ALL DOORS. - STAIR LIFT, STAIRCASE WIDTH, FRAMING SUPPORT, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECIFICATIONS. - VERTICAL LIFT, DEPRESSED SLAB AREA, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECIFICATIONS. FRAMING TO ACCOMMODATE SHAFT CONSTRUCTION WITHOUT IMPACT TO SURROUNDING STRUCTURE. - AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2" X 12" SOLID LUMBER AT 914 MM TO CENTRE. - MIN. 900 MM WIDTH. - MIN. 1 ACCESSIBLE PARKING SPACE WITH MIN. 4 M GARAGE WIDTH. - ACCESS FROM GARAGE TO LIVING AREA MIN. 960 MM CLEAR OPENING. - TOILET CLEAR FLOOR SPACE MIN. 1020 MM AT SIDE AND IN FRONT. - WALL BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TOILET, TUB AND SHOWER. REINFORCED WITH 2" X 12" SOLID LUMBER IN ALL BATH-TUB, SHOWER, AND TOILET LOCATIONS. - PRESSURE-TIGHT DOOR AND WINDOW COORDINATION. COORDINATION TO BE INSTALLED ON ALL SHOWER FAUCETS, CABINETS (UNDERNEATH SINK(S) TO BE EASILY REMOVED. DEMONSTRATE BATH AND SHOWER CONTROLS ARE ACCESSIBLE (LAYOUT OR FIXTURE PLACEMENT). - CLEAR AREA NEEDED UNDER FUTURE WORK SPACE. - PLUMBING AND GAS PIPES (IN-WALL AND IN-FLOOR) LOCATED CLEAR OF UNDER COUNTER AREA OF FUTURE WORK SPACE (STOVE, SINK & MIN. 810 MM WIDE COUNTER). ALL PIPES ARE BROUGHT IN NO HIGHER THAN 304 MM TO THE CENTRE OF THE PIPE FROM FLOOR LEVEL. - CABINETS UNDERNEATH SINK ARE EASILY REMOVED. - 1500 MM TURNING DIAMETER OR TURNING PATH DIAGRAM. - LEVER-TYPE HANDLES FOR PLUMBING FIXTURES. - MIN. 1 WINDOW THAT CAN BE OPENED WITH A SINGLE HAND (BATHROOM, KITCHEN, LIVING ROOM) - PLACEMENT LOCATIONS OF ELECTRICAL OUTLETS: BESIDE WINDOW, BOTTOM OF STAIRWAYS, BESIDE TOILET, ABOVE EXTERNAL DOORS (OUTSIDE AND INSIDE), ON FRONT FACE OF KITCHEN COUNTER, WITHIN PROXIMITY OF CONTROL CENTRE FOR SMART HOME OPTIONS. - UPGRADE TO FOUR-PLEX OUTLETS IN MASTER BEDROOM, HOME OFFICE, GARAGE, AND RECREATION ROOM.	ALL THE UNITS IN THIS PROJECT SHALL INCORPORATE THE FOLLOWING FEATURES IN THE DEMILING UNITS (1) PROVIDE PRE-DUCTING TO ACCOMMODATE FUTURE SOLAR HOT WATER HEATING (2) AGING IN PLACE FEATURES SHALL BE PROVIDED TO ALL UNITS: (a) STAIRWELL HANDRAILS (b) LEVER TYPE HANDLES FOR PLUMBING FIXTURE AND DOOR HANDLES (c) SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILETS, BATH-TUBS AND SHOWERS TOWNHOUSE SHALL MEET AND INCORPORATE THE ACOUSTIC RECOMMENDATIONS BY BKL CONSULTANTS REPORT DATED JULY 22, 2016 AIR CONDITIONING TO BE PROVIDED IN THE TOWNHOUSE AND SHALL MEET AND INCORPORATE THE THERMAL COMFORT RECOMMENDATIONS BY ENERSOLV DESIGN DATED SEPTEMBER 9, 2016 TOWNHOUSE SHALL MEET AND INCORPORATE THE ENERGUIDE B2 REQUIREMENTS RECOMMENDATIONS BY E3 ECO GROUP INC. REPORT DATED JULY 10, 2017						



On / Off Same Side Front Configuration Style 5:

Cab Size	A5	B	C5	D5	E34	F34	G	H
36" x 48"	54 1/4"	48"	49"	27 1/8"	53 7/8"	42 1/4"	36"	27 1/8"

MAY 22 2018

DP 16-728670

REFERENCE PLAN

DP 16-728670