



**City of  
Richmond**

## **Report to Development Permit Panel**

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**To:** Development Permit Panel

**Date:** May 22, 2018

**From:** Wayne Craig  
Director, Development

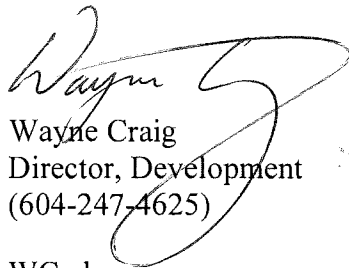
**File:** DP 16-728670

**Re:** **Application by Anwer Kamal for a Development Permit at 6571 No. 4 Road  
(formerly 6571/6573 No. 4 Road)**

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### **Staff Recommendation**

That a Development Permit be issued which would permit the construction of six townhouse units at 6571 No. 4 Road on a site zoned "Town Housing (ZT60) – North McLennan (City Centre)".



Wayne Craig  
Director, Development  
(604-247-4625)

WC:el  
Att. 4

## Staff Report

### Origin

Anwer Kamal has applied to the City of Richmond for permission to develop six townhouse units at 6571 No. 4 Road (formerly 6571/6573 No. 4 Road). The site is being rezoned from "Single Detached (RS1/F)" zone to "Town Housing (ZT-60) – North McLennan (City Centre)" for this project under Bylaw 9491 (RZ 11-578758), which received Third Reading following the Public Hearing on December 15, 2015. The site is currently vacant. A Servicing Agreement for frontage upgrades and service connections is required prior to Building Permit issuance.

### Background

This project was given favourable consideration by the Development Permit Panel at its meeting held on September 13, 2017. A copy of the original report to Development Permit Panel with the associated Development Permit drawings, dated August 22, 2017, is attached to this report (Attachment A).

The Development Permit endorsed by Development Permit Panel on September 13, 2017 includes the protection and retention of a 42 cm calliper Western Red Cedar tree located at the southwest corner of the site. However, during the site preparation stage, prior to final adoption of the rezoning bylaw and issuance of the Development Permit, Tree Group staff noticed that the tree protection fencing had been pushed up against the tree and that the protected Western Red Cedar tree is damaged due to preload lock-blocks located approximately 0.3 m from the tree. Both the City's Tree Preservation Coordinator and the project arborist agreed that the Western Red Cedar tree is dying as a result of preloading within the required tree protection zone; and that this tree should be removed. A report submitted by the project arborist can be found in Attachment B.

The Tree Group has issued two Municipal Ticket Information Notices to the property owner totalling \$1,750 and two Municipal Ticket Information Notices to the pre-load contractor totalling \$1,750. The total fine is \$3,500. In addition, as compensation to the damages made to the protected tree, the applicant is proposing to:

- plant a new 40 cm calliper Western Red Cedar tree at the northeast corner of the site;
- upsize the proposed Austrian Black Pine trees from 3.5 m to 4.5 m high;
- increase the pot sizes of shrubs and perennials; and
- upsize the height of the proposed Emerald Green Cedar along the side and rear property lines from 5 ft. to 6 ft.

A new Tree Management Plan and Landscape Plan are attached to the revised Development Permit Drawings.

## Findings of Fact

In addition to the replacement of the Western Red Cedar tree and upsizing of proposed planting materials, the following changes to the Development Permit application are proposed:

- Change of site grade at the southwest corner of the site (i.e., where the tree well required to protect the 42 cm calliper Western Red Cedar tree was located) to match the proposed site grade of the adjacent yard areas, and integrate this space into the adjacent private yard space and the adjacent common area.
- Removal of one surface parking stall adjacent to the northwest corner of the internal drive aisle to allow the relocation of the hydro kiosk, as per BC Hydro's request. The proposed numbers of residential and visitor parking spaces are still in compliance with the bylaw. Please refer to the attached Development Application Data Sheet (Attachment C) for a comparison of the proposed development data with the relevant bylaw requirements.
- Planting of one additional tree at the original hydro kiosk location along the south property line.
- Minor amendments to the window openings to meet Building Code requirements.

All proposed changes to the Development Permit application are highlighted with red clouds on the attached Development Permit drawings.

## Staff Comment

The applicant is proposing to replace the dying 42 cm calliper Western Red Cedar tree located at the southwest corner of the site with a new 40 cm calliper Western Red Cedar tree at the northeast corner of the site. This proposal has been reviewed and accepted by the City's Tree Preservation Coordinator. As fines have been issued to the owner and the pre-load contractor already, no additional compensation is requested.

In order to ensure the landscaping works are undertaken, the applicant is required to provide a landscape security of \$123,828.00 with the Development Permit. Since large specimen trees, in general, have a lower survival rate, a Tree Survival Security will be required as part of the Landscape Letter of Credit, as a condition to Development Permit issuance to ensure that the new trees to be planted on site will be protected. The City will release 80% of the security after construction and landscaping on the proposed townhouse complex are completed and inspections are approved. The remaining 20% of the security would be released two years later, subject to inspection.

It is also noted that, due to the elimination of a surface parking space and the tree well with associated stairs, the lot coverage of landscaping with live plant materials will be increased from 25.5% to 26.4%.

**Conclusions**

The applicant had presented a development that meets applicable policies and Development Permit Guidelines, and this development proposal was given favourable consideration by the Development Permit Panel at its meeting held on September 13, 2017. To rectify a tree preservation issue, the applicant has proposed minor changes to the development, and has agreed to the list of Development Permit Considerations (signed concurrence on file) outlined in Attachment D. Staff have no objection to the proposed revisions. On this basis, staff recommend support of this Development Permit application.



Edwin Lee  
Planner I  
(604-276-4121)

EL:blg

Attachment A: Report to Development Permit Panel (August 22, 2017)

Attachment B: Arborist Letter

Attachment C: Development Application Data Sheet

Attachment D: Development Permit Considerations



City of  
Richmond

**Report to Development Permit Panel**

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**To:** Development Permit Panel

**Date:** August 22, 2017

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Director, Development

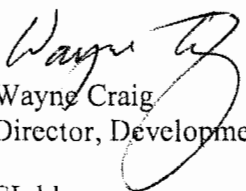
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**Staff Recommendation**

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Wayne Craig  
Director, Development

EL:blg  
Att. 2

## Staff Report

### Origin

Anwer Kamal has applied to the City of Richmond for permission to develop six townhouse units at 6571/6573 No. 4 Road. The site is being rezoned from “Single Detached (RS1/F)” zone to “Town Housing (ZT-60) – North McLennan (City Centre)” for this project under Bylaw 9491 (RZ 11-578758), which received third reading following the Public Hearing on December 15, 2015. The site is currently vacant. A Servicing Agreement for frontage upgrades and service connections is required prior to Building Permit issuance.

### Development Information

Please refer to the attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant bylaw requirements.

### Background

Development surrounding the subject site is as follows:

- To the north, a 12-unit townhouse complex at 6551 No. 4 Road with access from No. 4 Road. A Cross-Access Easement is registered on Title of 6551 No. 4 Road to provide vehicle access to the subject site.
- To the south, right-in only driveway to A. R. MacNeill Secondary School and parking lots for the school. The school site is zoned “School & Institutional Use (SI)”.
- To the east, across No. 4 Road, large single-family lots zoned “Agriculture (AG1)” located within the Agriculture Land Reserve (ALR).
- To the west, a landscaped area and internal drive aisle within the A. R. MacNeill Secondary School property.

### Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on December 15, 2015. No concerns regarding the rezoning application was expressed at the Public Hearing.

### Staff Comments

The Official Community Plan (OCP) designates the subject property as “Neighbourhood Residential” (i.e., areas where the principal uses are single-family, two-family and multiple-family housing). The City Centre Area, McLennan North Sub-Area Plan (Schedule 2.10C), designates the property as “Residential Area 3” for two-family dwelling and two-storey & three-storey townhouses with 0.65 base floor area ratio (FAR). The proposed two-storey and three-storey townhouse development will comply with both the OCP and the McLennan North Sub-Area Plan land use designations.

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the OCP and is generally in compliance with the “Town Housing (ZT-60) – North McLennan (City Centre)” zone.

### **Advisory Design Panel Comments**

The subject application was not presented to the Advisory Design Panel on the basis that this small project generally meets all the applicable Development Permit Guidelines, and the overall design and site plan have adequately addressed staff comments.

### **Analysis**

#### *Conditions of Adjacency*

- Both the form and massing of the proposed development are consistent with the existing surrounding townhouse developments which are comprised of two-storey and three-storey townhouses.
- Two-storey end units would be in keeping with the character of adjacent townhouse development to the north.
- An ALR buffer is proposed along the No. 4 Road frontage (see details in the *Landscape Design and Open Space Design* section below).
- A 1.8 m tall wood fence and four new trees are proposed along the north property lines to provide some privacy screening between the proposed development and the existing townhouse development to the north.
- No tree planting is permitted along the west property line on existing statutory right-of-way (SRW) for sanitary sewer.
- A 1.8 m tall wood fence is proposed to be installed on top of an approximately 1.2 m tall retaining wall along the west property line between the parking lot of A. R. MacNeill Secondary School and the subject site. This interface with the A.R. MacNeill Secondary School is consistent with the interface provided between the adjacent development to the north (at 6551 No. 4 Road) and the school.
- A 0.9 m tall metal picket fence is proposed to be installed on top of an approximately 1.0 m tall retaining wall along the south property line between the entry driveway and walkway of A. R. MacNeill Secondary School and the subject site. A 2.4 m tall trellis with 1.5 m tall solid fence is also proposed at the end of the drive aisle to screen the headlight glare from the townhouse development onto the school driveway.
- Landscaping is also proposed on the A. R. MacNeill Secondary School, along the west and south property line of the subject site, to screen the view of the proposed retaining walls on the townhouse site from the school. A landscape plan prepared by a registered landscape architect will be required prior to Development Permit issuance to the satisfaction of the Richmond School District.

- Perimeter drainage will be secured through the Building Permit to ensure storm water is managed and addressed through the development and will not impact the neighbouring properties.

### ***Urban Design and Site Planning***

- The proposal consists of six units provided in two townhouse clusters. Three units will have direct access from the street and three units will have access from the internal drive aisle.
- The proposal provides for a pedestrian-oriented streetscape fronting No. 4 Road with a landscaped edge treatment, low metal fencing, and metal gates to the street fronting units. A separate pedestrian entrance from No. 4 Road to the development site is proposed along the south property line.
- Vehicle access will be through the existing access easement registered on the neighbouring townhouse development to the north at 6551 No. 4 Road. No direct vehicle access to No. 4 Road is permitted for the subject site.
- The number of residential parking spaces proposed for this townhouse development exceeds the minimum parking requirement within the City Centre area, and all units will have two vehicle parking spaces.
- Tandem parking is permitted under the ZT60 zone, and two out of six townhouse units will have tandem garages (four tandem stalls in total). A Restrictive Covenant prohibiting the conversion of tandem parking area into habitable area will be secured as a condition of rezoning approval.
- Two visitor parking spaces are proposed, which meet the minimum bylaw requirement.
- Both residential and visitor bicycle parking are provided in compliance with the zoning bylaw minimum requirements.
- The provision of private outdoor spaces complies with the Development Permit Guidelines (30 m<sup>2</sup> per unit) of the OCP. All units have private outdoor spaces consisting of front or rear yard and balconies on the second floors.
- Outdoor amenity space is proposed at the southeast corner of the site for maximum casual surveillance opportunity and sun exposure. The size and location of the outdoor amenity space is appropriate in providing open landscape and amenity space convenient to all units.
- Additional outdoor amenity space (10% of the site area) as per the City Centre Amenity Space Provisions in the City Centre Area Plan is provided as a walkway and landscaped areas throughout the site.
- The required garbage, recycling and organic waste storage enclosures have been incorporated into the design of the west (rear) building to minimize the visual impact of these enclosures.

### ***Architectural Form and Character***

- The proposed building design is compatible to the adjacent townhouse development to the north. The architectural language proposed for the development is similar to conventional single-family homes with slope roofs.



- A pedestrian scale is generally achieved along the public streets and internal drive aisle through the inclusion of variation in building projections, recesses, entry porches, varying material/colour combinations, landscape features, and the use of individual unit entrances.
- The overall appearance of the proposal conforms to the design guidelines of the North McLennan area and should fit in well with the character of the surrounding area.
- The proposed building materials (asphalt roof shingles, hardi-siding/panel with trim) are generally consistent with the Official Community Plan (OCP) Guidelines and compatible with the character of the surrounding neighbourhood.

### ***Landscape Design and Open Space Design***

- Tree preservation was reviewed at rezoning stage: one 42 cm calliper Western Red Cedar tree located at the southwest corner of the site will be protected and retained on-site. To ensure that this tree will be protected, no landscape security for the proposed development will be returned until the post-construction assessment report confirming the protected tree survived the construction, prepared by the Arborist, is reviewed and approved by staff.
- Based on the 2:1 tree replacement ratio goal stated in the OCP, two replacement trees are required for the removal of one tree. The applicant is proposing to plant eight new trees on-site, including three conifers and five deciduous trees.
- An agricultural landscape buffer is required within the subject site, along the eastern edge of the No. 4 Road frontage. The buffer is intended to mitigate land use conflicts between the residential uses on the subject site and any agricultural land uses east of No. 4 Road. The landscape proposal was referred to the Agricultural Advisory Committee (AAC) on September 24, 2015 for their review and comments. Overall, the AAC was supportive of the proposal, but requests that the proposed Heavenly Bamboo be replaced as it is considered an invasive species. The landscape architect has replaced this plant species with Rhododendron on the final landscape plan.
- Along No. 4 Road, several types of low hedges, small trees and some small ornamental grasses are proposed to create layered landscape with rich texture and colour contrast and year round visual interest.
- Adjacent to the school driveway, low metal picket fencing is proposed along the south property line and a trellis is proposed at the terminus of the internal driveway to provide strong spatial definition
- Each unit will have a private yard with landscaping, a small lawn area and/or a small patio. Various hedges, shrubs and ground covers, as well as perennials and grasses have been selected to ensure the landscape treatment remains interesting throughout the year.
- A children's play area designed for children aged two to five years old is proposed for the outdoor amenity area. The play equipment includes a playhouse and two spring toys which were chosen to fit into the provided space and to allow multiple children to play at the same time. The equipment provides different play opportunities for the development of social, imagination, balance, and motor skills. Two benches are provided within the outdoor amenity space for caregivers.

- Surface parking stalls and pedestrian walkways will be treated with permeable pavers for better water infiltration and variety in paving surfaces. Pavers proposed for the internal drive aisle and visitor parking stalls match the colour scheme used on the adjacent townhouse site for consistency. Salmon colored pavers are proposed on the surface residential parking stalls to differentiate the residential parking stalls from the visitor parking stalls.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$100,049.00 in association with the Development Permit.
- Indoor amenity space is not proposed on-site. A \$6,000 cash-in-lieu contribution has been secured as a condition of rezoning approval, consistent with the OCP.

### ***Crime Prevention Through Environmental Design***

- Site lighting and clear sight lines provide unobstructed views of surrounding area.
- Plantings near residential entries are low to maximize views and casual surveillance opportunities of common areas.
- All entrances are visible and overlooked by pedestrians or by neighbour's windows.

### ***Sustainability***


- The applicant has committed to achieving an EnerGuide rating of 82 for the proposed townhouses and to pre-ducting all units for solar hot water heating.
- A Certified Energy Advisor has confirmed that the proposed townhouse units will be designed to achieve an EnerGuide rating of 82. The report prepared by the Energy Advisor is on file and will be utilized through the Building Permit review process to ensure these measures are incorporated in the Permit drawings.

### ***Accessible Housing***

- The proposed development includes one convertible unit that is designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The potential conversion of this unit will require installation of a vertical lift in the stacked storage space (which has been dimensioned to allow for this in Unit A1A of the street fronting building (east building)) in the future, if desired.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
  - Stairwell hand rails.
  - Lever-type handles for plumbing fixtures and door handles.
  - Solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

**Conclusion**

The applicant has satisfactorily addressed staff's comments regarding conditions of adjacency, site planning and urban design, architectural form and character, and landscape design. The applicant has presented a development that meet applicable policies and Development Permit Guidelines, and fits into the existing context. The applicant has agreed to the list of Development Permit Considerations (signed concurrence on file) outlined in Attachment 2. On this basis, staff recommend support of this Development Permit application.

  
Edwin Lee  
Planner 1  
(604-276-4121)

EL:blg

Attachment 1: Development Application Data Sheet  
Attachment 2: Development Permit Considerations



**DP 16-728670**

**Attachment 1**

Address: 6571 and 6573 No. 4 Road

Applicant: Anwer Kamal

Owner: Anwer Kamal

Planning Area(s): North McLennan Sub-Area (City Centre)

Floor Area Gross: 956.5 m<sup>2</sup>

Floor Area Net: 690.4 m<sup>2</sup>

	<b>Existing</b>	<b>Proposed</b>
<b>Site Area:</b>	1,115 m <sup>2</sup>	1,091m <sup>2</sup> (net after road dedication)
<b>Land Uses:</b>	Single-Family Residential	Multiple-Family Residential
<b>OCP Designation:</b>	Neighbourhood Residential	No Change
<b>Area Plan Designation:</b>	CCAP: General Urban T4 North McLennan Sub-Area Plan: "Residential Area 3" - two-family dwelling and 2 & 3-storey townhouses with 0.65 base FAR	No Change
<b>Zoning:</b>	Single Detached (RS1/F)	Town Housing (ZT60) – North McLennan (City Centre)
<b>Number of Units:</b>	2	6

	<b>Bylaw Requirement</b>	<b>Proposed</b>	<b>Variance</b>
Floor Area Ratio:	Max. 0.65	0.64	none permitted
Lot Coverage – Building:	Max. 40%	40%	none
Setback – Front Yard (m):	Min. 6.0 m	6.2 m	none
Setback – North Side Yard (m):	Min. 3.0 m	3.1 m	none
Setback – South Side Yard (m):	Min. 3.0 m	3.0 m	none
Setback – Rear Yard (m):	Min. 3.0 m	3.0 m	none
Height (m):	Max. 12.0 m (3 storeys)	10.61 m (3 storeys)	none
Lot Area:	Min. 1,010 m <sup>2</sup>	1,091 m <sup>2</sup>	none
Off-street Parking Spaces – Regular (R) / Visitor (V):	1.4 (R) and 0.2 (V) per unit	2 (R) and 0.2 (V) per unit	none
Off-street Parking Spaces – Total:	9 (R) and 2 (V)	12 (R) and 2 (V)	none
Tandem Parking Spaces:	Permitted	4 spaces	none
Small Car Parking Spaces	None when fewer than 31 spaces are provided on site	2 (surplus spaces)	none

Handicap Parking Spaces:	None when fewer than 3 visitor parking spaces are required	0	none
Amenity Space – Indoor:	Min. 70 m <sup>2</sup> or Cash-in-lieu	Cash-in-lieu	none
Amenity Space – Outdoor:	Min. 6 m <sup>2</sup> x 6 units = 36 m <sup>2</sup>	36.7 m <sup>2</sup>	none



Development Permit Considerations

Development Applications Department
6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 6571/6573 No. 4 Road

File No.: DP 16-728670

Prior to approval of the Development Permit, the developer is required to complete the following:

- 1. Final adoption of the Zoning Amendment Bylaw 9491.
2. Submission of a landscape plan prepared by a registered landscape architect identifying landscaping to be planted on the A. R. MacNeill Secondary School, along the west and south property line of the subject site, to screen the view of the proposed retaining walls on the townhouse development from the school.
3. Receipt of a Letter-of-Credit for landscaping and tree survival in the amount of \$100,049.00. No landscaping and tree survival security will be released until:
a) a Letter of Assurance from the Landscape Architect, confirming that all on site and off site landscaping are installed in accordance with the landscape plans, has been submitted;
b) an Arborist Post Construction Impact Assessment Report, confirming survival of the protected tree, has been submitted; and
c) physical inspection has been undertaken by staff.

Prior to Building Permit Issuance, the developer must complete the following requirements:

- 1. Enter into a Servicing Agreement\* for the design and construction of engineering infrastructure improvements:
a) Water Works:
i. Using the OCP Model, there is 65 l L/s of water available at a 20 psi residual at the hydrant at 6620 No 4 Road. Based on your proposed development, your site requires a minimum fire flow of 220 L/s.
ii. The Developer is required to:
• Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm the development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage and Building designs.
• Install a fire hydrant at No 4 Road frontage to service the proposed townhouse development. Coordination with the City's Fire department to confirm the location of the proposed hydrant is also required.
iii. At the Developer's cost, the City will:
• Cut and cap at main the existing water service connection at No. 4 Road frontage.
• Install new water connection to service the proposed site. Details of the new water service shall be finalized via the servicing agreement design review.
b) Storm Sewer Works:
i. At the Developer's cost, the City will:
• Cut and cap at main the existing storm sewer service connections at No. 4 Road frontage. Remove existing IC.
• Install new storm sewer connection to service the proposed site. Details of the new storm service shall be finalized via the servicing agreement design review.
c) Sanitary Sewer Works:
i. The Developer is required to:
• Provide a 3 meter wide utility SRW along the entire west property line of the proposed site.

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- Install a new sanitary sewer connection to service the proposed site. Details of the new storm service shall be finalized via the servicing agreement design review.
- d) Frontage Improvements:
- i. The Developer is required to:
    - Removing existing sidewalk and create a 1.5m grass & treed boulevard behind the existing curb (trees to be Littleleaf Linden), with a 1.5 m sidewalk behind that which will abut the new property line. All works are at the client's sole cost; i.e. no credits apply. The works are an extension of SA06-326784 from the north at 6551 No 4 Road. Improvements shall be built to the ultimate condition wherever possible.
    - Provide street lighting along No. 4 Road frontage.
    - Locate all above ground utility cabinets and kiosks required to service the proposed development within the developments site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be included in the Rezoning staff report and the development process design review. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the right of ways dimensions and the locations for the aboveground structures. If a private utility company does not require an aboveground structure, that company shall confirm this via a letter to be submitted to the City. The following are examples of SRWs that shall be shown in the functional plan and registered prior to SA design approval:
      - 1) BC Hydro PMT – 4mW X 5m (deep)
      - 2) BC Hydro LPT – 3.5mW X 3.5m (deep)
      - 3) Street light kiosk – 1.5mW X 1.5m (deep)
      - 4) Traffic signal kiosk – 1mW X 1m (deep)
      - 5) Traffic signal UPS – 2mW X 1.5m (deep)
      - 6) Shaw cable kiosk – 1mW X 1m (deep) – show possible location in functional plan
      - 7) Telus FDH cabinet - 1.1mW X 1m (deep) – show possible location in functional plan
- e) General Items:
- i. The Developer is required to:
    - Provide if pre-load is required, prior to pre-load installation, a geotechnical assessment of preload and soil preparation impacts on the existing sanitary sewer along the proposed site's west property line, proposed utility installations, and provide mitigation recommendations. The mitigation recommendations shall be incorporated into the first SA design submission or if necessary to be implemented prior to pre-load.
    - Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
  - 2. Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities, including building demolition, occurring on-site.
  - 3. Incorporation of accessibility, CPTED, and sustainability features/measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
  - 4. Submission of DCC's (City & GVS&DD), School site acquisition charges, Address Assignment Fee, and servicing charges, etc.
  - 5. If applicable, payment of latecomer agreement charges associated with eligible latecomer works.
  - 6. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.

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7. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

**Note:**

- \* This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.  
All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.  
The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.
- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

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Signed

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Date





No. DP 16-728670

To the Holder: ANWER KAMAL  
Property Address: 6571 AND 6573 NO. 4 ROAD  
Address: C/O ERIC LAW  
ERIC LAW ARCHITECT INC.  
#216 – 288 WEST 8<sup>TH</sup> AVENUE  
VANCOUVER, BC V5Y 1N5

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #4 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$100,049.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

**Development Permit**  
**No. DP 16-728670**

To the Holder: ANWER KAMAL  
Property Address: 6571 AND 6573 NO. 4 ROAD  
Address: C/O ERIC LAW  
ERIC LAW ARCHITECT INC.  
#216 – 288 WEST 8<sup>TH</sup> AVENUE  
VANCOUVER, BC V5Y 1N5

---

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.  
This Permit is not a Building Permit.

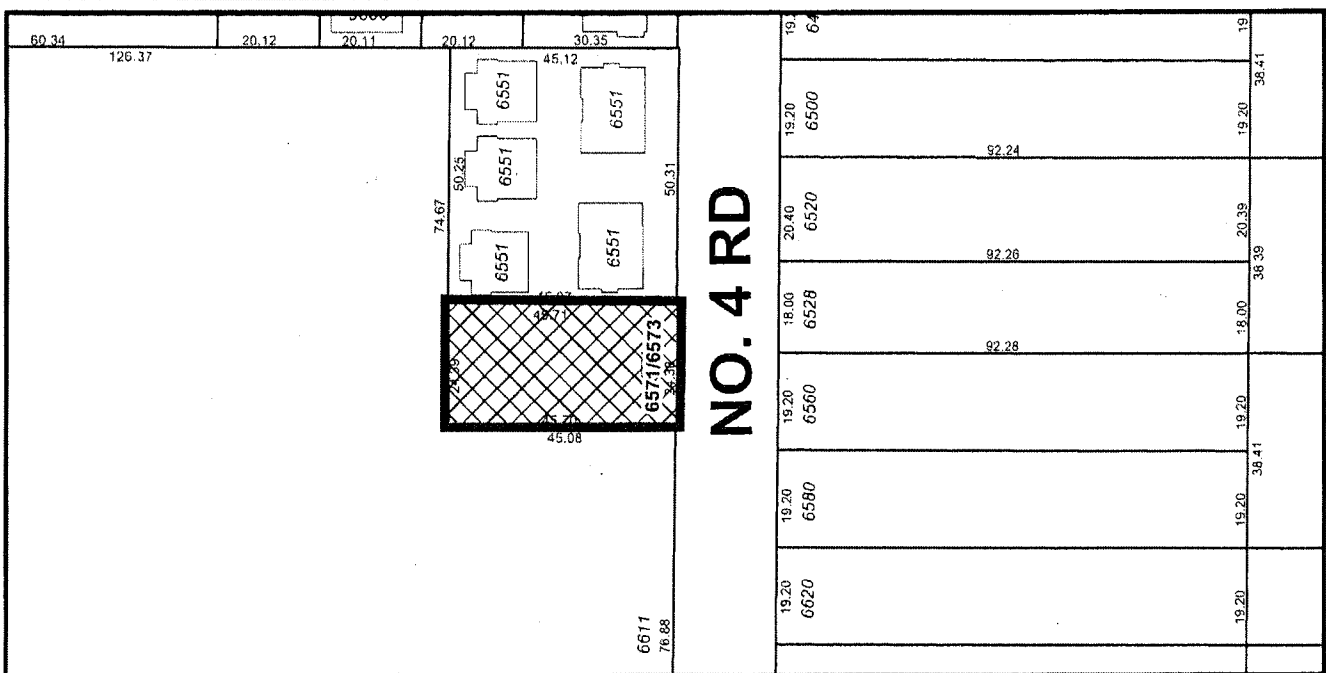
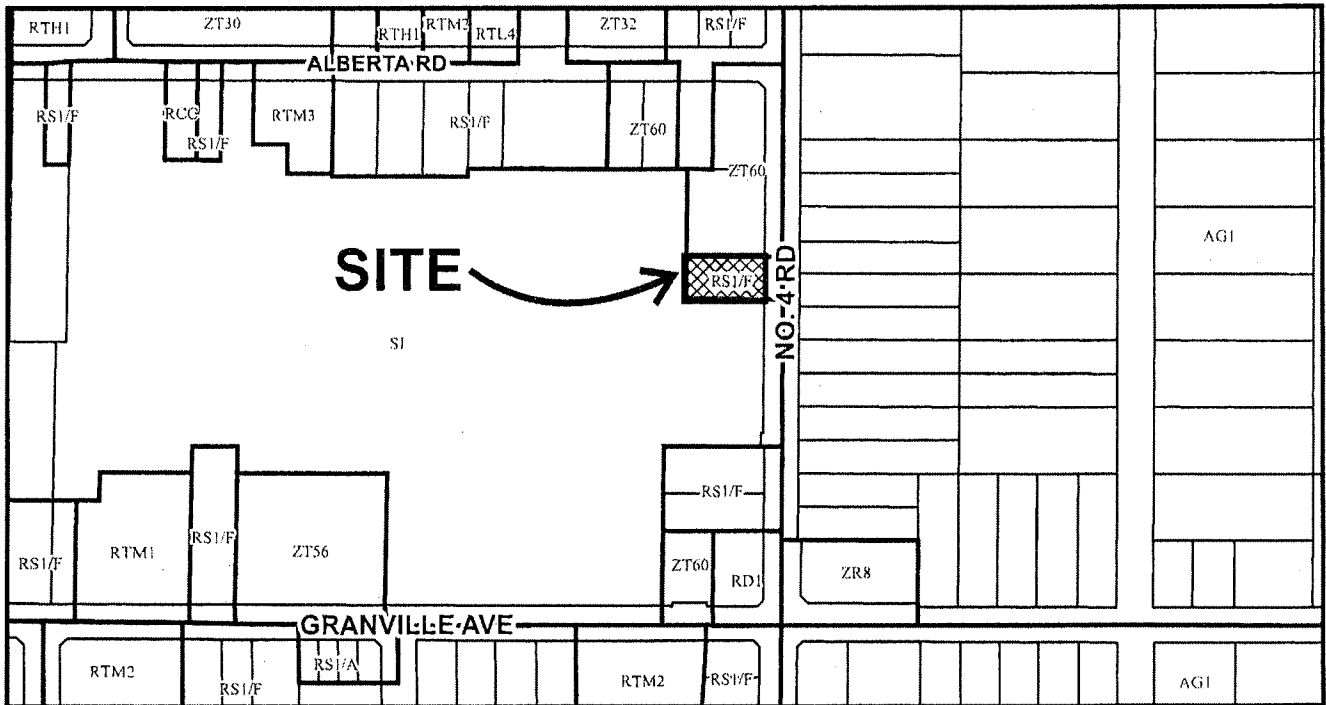
AUTHORIZING RESOLUTION NO. ISSUED BY THE COUNCIL THE  
DAY OF

DELIVERED THIS DAY OF

\_\_\_\_\_  
MAYOR



# City of Richmond



DP 16-728670  
SCHEDULE "A"

Original Date: 04/15/16

Revision Date: 08/17/17

Note: Dimensions are in METRES

# PROPOSED TOWNHOUSE DEVELOPMENT AT 6571-6573 NO. 4 ROAD, RICHMOND, BC

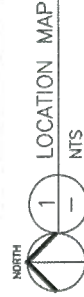
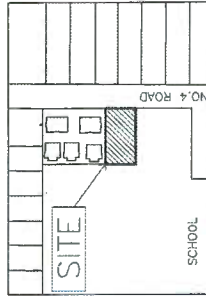
## DEVELOPMENT DATA

- (A) OMC ADDRESS: 6571-6573 NO. 4 ROAD, RICHMOND, BC
- (B) LEGAL DESCRIPTION: LOT 65 SECTION 10 BLOCK 4 NORTH RANGE 6 WEST NEW WESTMINSTER DISTRICT PLAN 46723
- (C) LOT AREA: 1,114 SM (11,991 SF) (BEFORE ROAD DEDICATION)  
1,091 SM (11,743 SF) (AFTER ROAD DEDICATION)
- (D) ZONING USE: CURRENT: RS1/F, PROPOSED: ZT60

CURRENT ZONING (UNDER RS1/F ZONING)  
PROPOSED REZONING (ZT60)

- (E) FLOOR AREA RATIO: 0.55 TO 454.5 SM  
D.3 TO REST OF SITE AREA TOTAL GROSS FLOOR AREA (7,633 SF)
- (F) NUMBER OF UNIT: 1 PER LOT  
MAX - 45X  
MAX HEIGHT - 9M  
FRONTYARD - 6M  
SIDEYARD - 2M  
REARYARD - 6M
- (G) BUILDING COVERAGE: MAX - 40X  
MAX MAIN BUILDING HEIGHT - 12M  
FRONTYARD FACING NO. 4 RD - 6M  
NORTH AND SOUTH SIDEYARD - 3M  
REAR YARD - 3M
- (H) SETBACK: NA

- (I) PARKING: 2 PER DWELLING UNIT  
1.4 PER DWELLING UNITS X6 = 9  
0.2 VISITOR PARKING / UNIT X6 = 2  
TOTAL = 11 REQUIRED  
ZT60 ZONING ALLOW TANDEM PARKING
- VISITOR BICYCLE  
0.2 PER DWELLING UNIT X6= 2  
RESIDENTIAL BICYCLE STORAGE  
1.25 PER DWELLING UNIT X6=8
- OUTDOOR AMENITY SPACE  
6SM PER UNIT X6= 36 SM (38BSF)



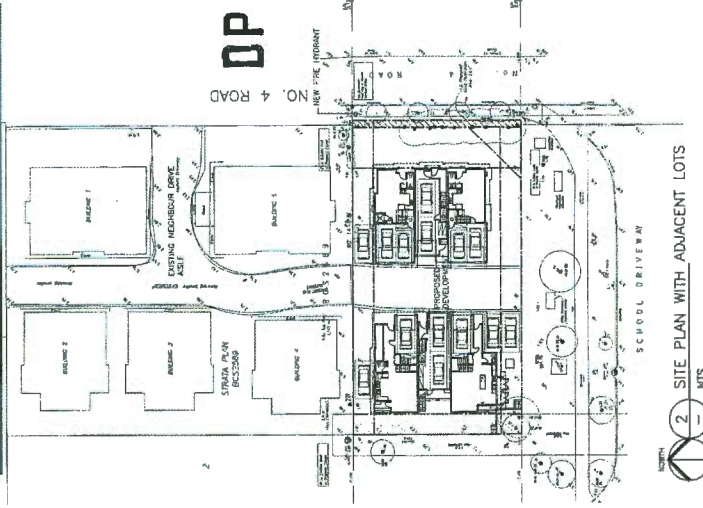
## DRAWING LIST

- A1- DEVELOPMENT SUMMARY
- A1A-UPGRADE NOTE
- A2- SITE PLAN (1/F)
- A3- SITE PLAN ENVELOPE
- A4- PARKING PLAN
- A5- SITE PLAN (2/F & 3/F)
- A6- UNIT PLANS
- A7- ELEVATIONS
- A8- ELEVATIONS & SECTIONS
- A9- ELEVATIONS COLOR
- A10- OPEN SPACE AREA
- A11-FAR DIAGRAM



**ERIC LAW ARCHITECT**  
 1000 WEST 10TH AVENUE, SUITE 200  
 VANCOUVER, BC V6H 2E6  
 TEL: (604) 681-8887  
 WWW.ERICLAWARCHITECT.COM

NO.	REVISION
1	ISSUED FOR PERMIT
2	ISSUED FOR PERMIT
3	ISSUED FOR PERMIT
4	ISSUED FOR PERMIT
5	ISSUED FOR PERMIT
6	ISSUED FOR PERMIT
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PLAN #1  
**DP 16-728670**  
 AUG 22 2017

PROPOSED TOWNHOUSE  
 6571-6573 NO. 4 RD  
 RICHMOND BC

## DEVELOPMENT SUMMARY

PROJECT NUMBER: 16-03  
 ISSUED: 8/22/2017  
 CHECKED BY: EL  
 FILENAME: 16-03\_DP\_1\_TOWNHOUSE\_DP.DWG

**A1**

2 SITE PLAN WITH ADJACENT LOTS  
 NTS

DP 16-728670 DEVELOPMENT PERMIT

SUMMARY OF ENERGY 82 REPORT: REFER DETAIL TO ENERGY RATING REPORT PREPARED BY E3 ECO GROUP INC DATED JULY 10, 2017

Proposed Policy Compliance Construction Specifications Review: Row Houses (middle & end units)

All construction specifications are compliant with BCBC Code Sections 9.36 and 9.32 and all upgrades below the Base Case are listed below in BOLD:

Slab on grade	R12 full under slab insulation and R12 slab edge insulation
Above Grade Wall Construction	2x6 @ 16" o.c. R22 insulation
Door Specification	Fiberglass or metal-in polyurethane core doors. Glazing in doors: Double glazed, soft coat low E, insulated spacer, argon gas fill, picture windows; minimum U=1.70
Ventilation Specification	Heat Recovery Ventilator (55% SRE @ 70°C/45% SRE @ 25°C) distribution and ventilation rates as per BCBC Section 9.32
Air Tightness	5.5 ACH@50Pa; an estimate based on typical local construction. Refer to Note 3 below
Space Heating System	Air source heat pump (7.1 HSPF and 14.5 SEER minimum) with electric resistance heater in fan coil as back up
Energy Credits:	
Low energy lighting	50% of lighting is EnergyStar rated; 100kWh/year credit
Energy Star appliances	EnergyStar fridge, dishwasher and clothes washer; 95kWh/year credit
Solar Hot Water Ready	All units must comply with the BC Solar Hot Water Ready Regulation (refer to Guide to the Province of BC Solar Hot Water Ready Regulation 2013 for details)

SUMMARY OF THERMAL REPORT: REFER DETAIL TO THERMAL COMFORT REPORT PREPARED BY ENERSOLV DATED SEPTEMBER 9, 2016

CONCLUSION

From the results obtained in this energy model the PMV is 0.06 which is between the -0.5 and +0.5 PMV acceptable bandwidth for thermal comfort conditions under ISO-7730 and ASHRAE standard 55. Therefore, air conditioning is required for this building design to adequately satisfy the cooling requirements and maintain human comfort levels in accordance with ASHRAE-55 standards and International Standards Organization (ISO) 7730.

SUMMARY OF ACOUSTIC UPGRADE. REFER DETAILS TO ACOUSTICAL REPORT PREPARED BY BKL CONSULTANTS DATED JULY 22, 2016

1. Roof Assembly

The proposed roof construction assumed to be:

- asphalt shingles
- 1/2" plywood sheathing
- pre-engineered wood truss
- 100 batt insulation
- 1 layer 3/8" gypsum wall board

will provide adequate noise isolation to all interior spaces.

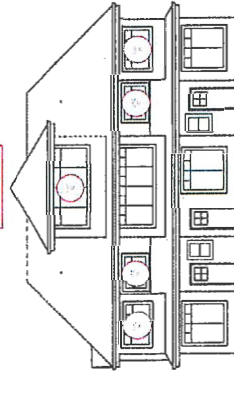
2. Exterior Wall

The proposed exterior wall construction assumed to be:

- location, Level 1
  - 1/2" plywood sheathing
  - 1/2" plywood sheathing
  - 1/2" plywood sheathing @ 24" o/c
  - 800 batt insulation
  - 1/2" Type X gypsum wall board
- Location, Levels 2 and 3
  - 1/2" vinyl siding
  - 1/2" plywood sheathing
  - 1/2" plywood sheathing @ 24" o/c
  - 800 batt insulation
  - 1/2" Type X gypsum wall board

1st AUG 2016

Figure 4.1.1 End Elevation showing location of bedrooms upgrade



**ERIC LAW ARCHITECT**  
 1150 WEST 10TH AVENUE SUITE 1000  
 VANCOUVER, BC V6H 1T1  
 TEL: (604) 981-1199  
 FAX: (604) 981-1198  
 www.ericlawarchitect.com

1	REVISION	
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PLAN # 1A  
 DP 16-728670  
 AUG 22 2017

1	PROJECT NUMBER	12-03
2	PROJECT NAME	6871-6573 NO. 4 RD
3	PROJECT ADDRESS	RICHMOND BC
4	PROJECT DATE	8/22/2017
5	PROJECT TYPE	UPGRADE
6	PROJECT BY	EL
7	CHECKED BY	EL
8	FILE NAME	12-03-1701-110223-00.DWG

PROPOSED TOWNHOUSE  
 6871-6573 NO. 4 RD  
 RICHMOND BC

UPGRADE NOTES

PROJECT NUMBER	12-03
PROJECT NAME	6871-6573 NO. 4 RD
PROJECT ADDRESS	RICHMOND BC
PROJECT DATE	8/22/2017
PROJECT TYPE	UPGRADE
PROJECT BY	EL
CHECKED BY	EL
FILE NAME	12-03-1701-110223-00.DWG

A1A

DP 16-728670 DEVELOPMENT PERMIT



ERIC LAW ARCHITECT  
 12345 MAIN STREET, VANCOUVER BC  
 TEL: (604) 233-1234  
 FAX: (604) 233-5678  
 WWW.ERICLAWARCHITECT.COM

NO.	DESCRIPTION
1	PREPARED FOR PERMIT
2	2018.05.01 FOR PERMIT
3	2018.05.01 FOR PERMIT
4	2018.05.01 FOR PERMIT
5	2018.05.01 FOR PERMIT
6	2018.05.01 FOR PERMIT
7	2018.05.01 FOR PERMIT
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10	2018.05.01 FOR PERMIT

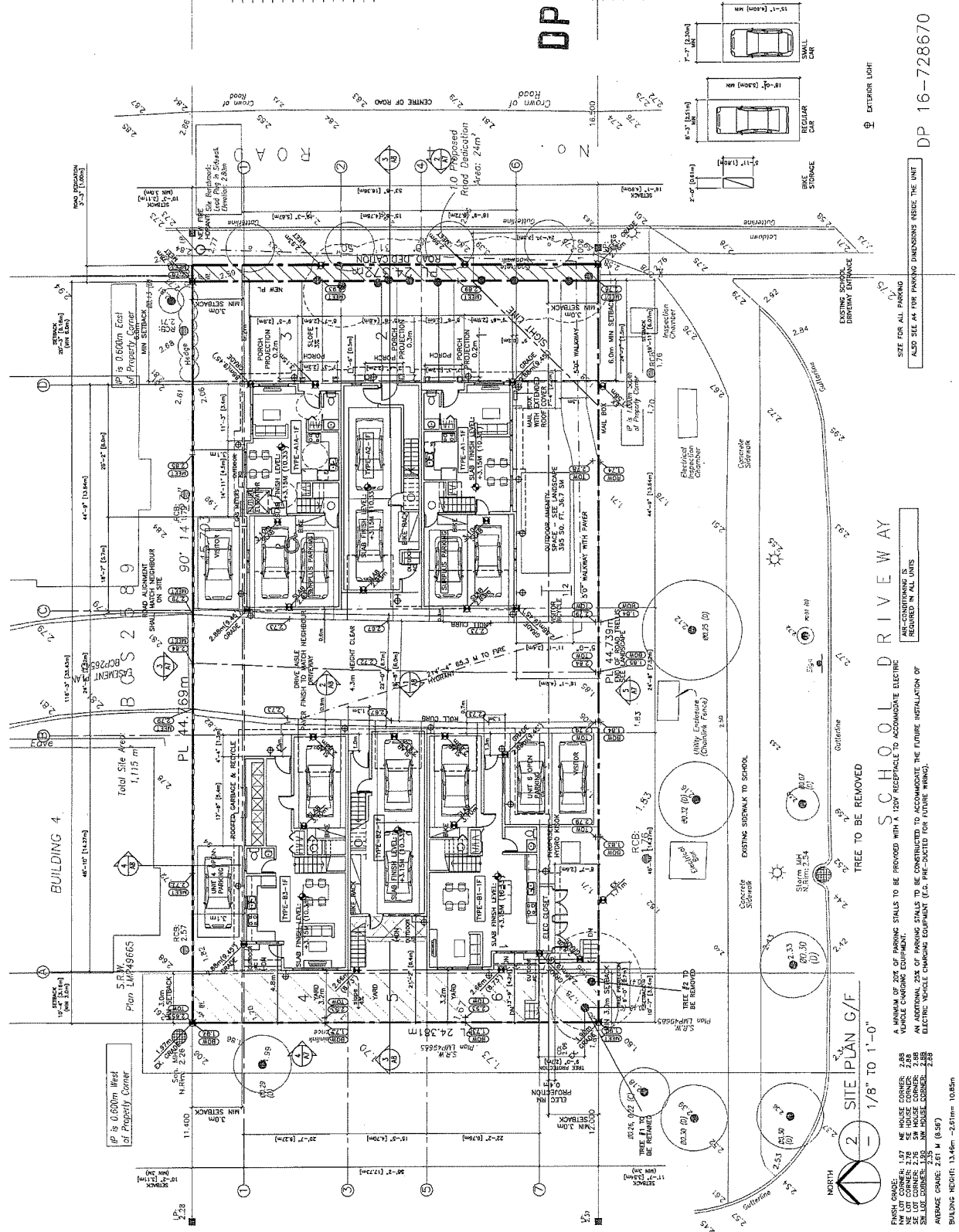
PLAN # 18  
 DP 16-728670  
 AUG 2-2-2017

PROPOSED TOWNHOUSE  
 6574-6573 NO. 4 RD  
 RICHMOND BC  
 SITE PLAN (1/F)

PROJECT NUMBER: 17-03
ISSUED: 07/27/2017
CHECKED BY: EL
FILE NAME: 17-03_DP_170820A-10P.DWG

A2

DEVELOPMENT PERMIT



SEE FOR ALL PARKING  
 ALSO SEE ALL FOR PARKING DIMENSIONS INSIDE THE LINES

SCHOOL DRIVEWAY  
 AIR-CONDITIONING IS  
 REQUIRED IN ALL UNITS

NUMBER OF SETS OF PARKING STALLS TO BE PROVIDED WITH A 120V RECEPTACLE TO ACCOMMODATE ELECTRIC VEHICLE CHARGING EQUIPMENT  
 AN ADDITIONAL ONE OF PARKING STALLS TO BE CONSTRUCTED TO ACCOMMODATE THE FUTURE INSTALLATION OF ELECTRIC VEHICLE CHARGING EQUIPMENT (E.G. PRE-DICTATED FOR FUTURE WIRING).

BUILDING HEIGHT: 13.46m ~2.61m (8.85')

DP 16-728670



ERIC LAW ARCHITECT  
 1250 WEST 10TH AVENUE, SUITE 200  
 VANCOUVER, BC V6H 2E6  
 TEL: (604) 681-8888  
 FAX: (604) 681-8889  
 WWW.ERICLAWARCHITECT.COM

- 1. DATE: 10/10/2017
- 2. DRAWING: PLAN G/F
- 3. PROJECT: PROPOSED TOWNHOUSE
- 4. SITE: 6574-6575 NO. 4 RD
- 5. CHECKED BY: EL
- 6. DATE: 10/10/2017
- 7. PROJECT: PROPOSED TOWNHOUSE
- 8. SITE: 6574-6575 NO. 4 RD
- 9. CHECKED BY: EL
- 10. DATE: 10/10/2017

PLAN #11  
 DP 16-728670  
 AUG 2 2 2017

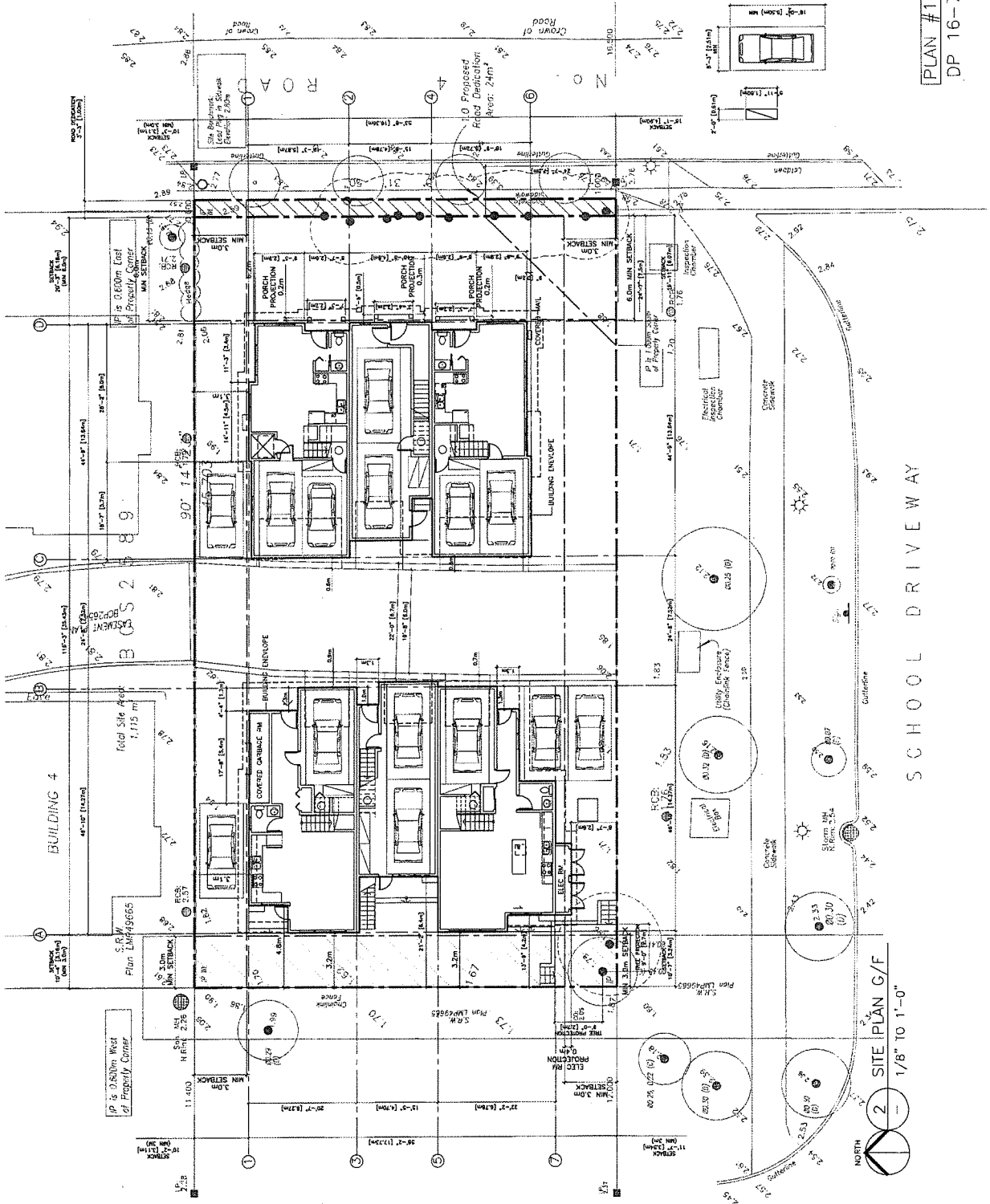
PROPOSED TOWNHOUSE  
 6574-6575 NO. 4 RD  
 RICHMOND BC

SITE PLAN ENVELOPE

PROJECT NUMBER: 12-03  
 ISSUE: 01  
 DATE: 8/22/2017  
 CHECKED BY: EL  
 FILE NAME: 12-03\_DP\_170927A-20.DWG

A2A

DEVELOPMENT PERMIT



PLAN #11

DP 16-728670

2 SITE PLAN G/F  
 1/8" TO 1'-0"







ERIC LAW ARCHITECT  
 1000 W. 10TH AVENUE, SUITE 100  
 DENVER, CO 80202  
 TEL: 303.733.1111  
 FAX: 303.733.1112  
 WWW.ERICLAWARCHITECT.COM

NO.	DESCRIPTION
1	FOUNDATION PLAN OF APPOINTMENT
2	FOUNDATION PLAN OF RETAIL/RENTAL
3	FOUNDATION PLAN OF OFFICE
4	FOUNDATION PLAN OF GARAGE
5	FOUNDATION PLAN OF GARAGE
6	FOUNDATION PLAN OF GARAGE
7	FOUNDATION PLAN OF GARAGE

PLAN # 2  
 DP 16-728670  
 AUG 2-2-2017

- 1. SITE PLAN
- 2. FOUNDATION PLAN
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- 50. FOUNDATION PLAN

PROPOSED TOWNHOUSE  
 6571-6573 NO. 4 RD  
 RICHMOND BC

PARKING-PLAN

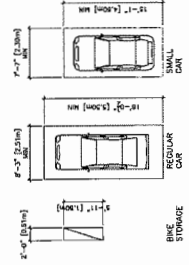
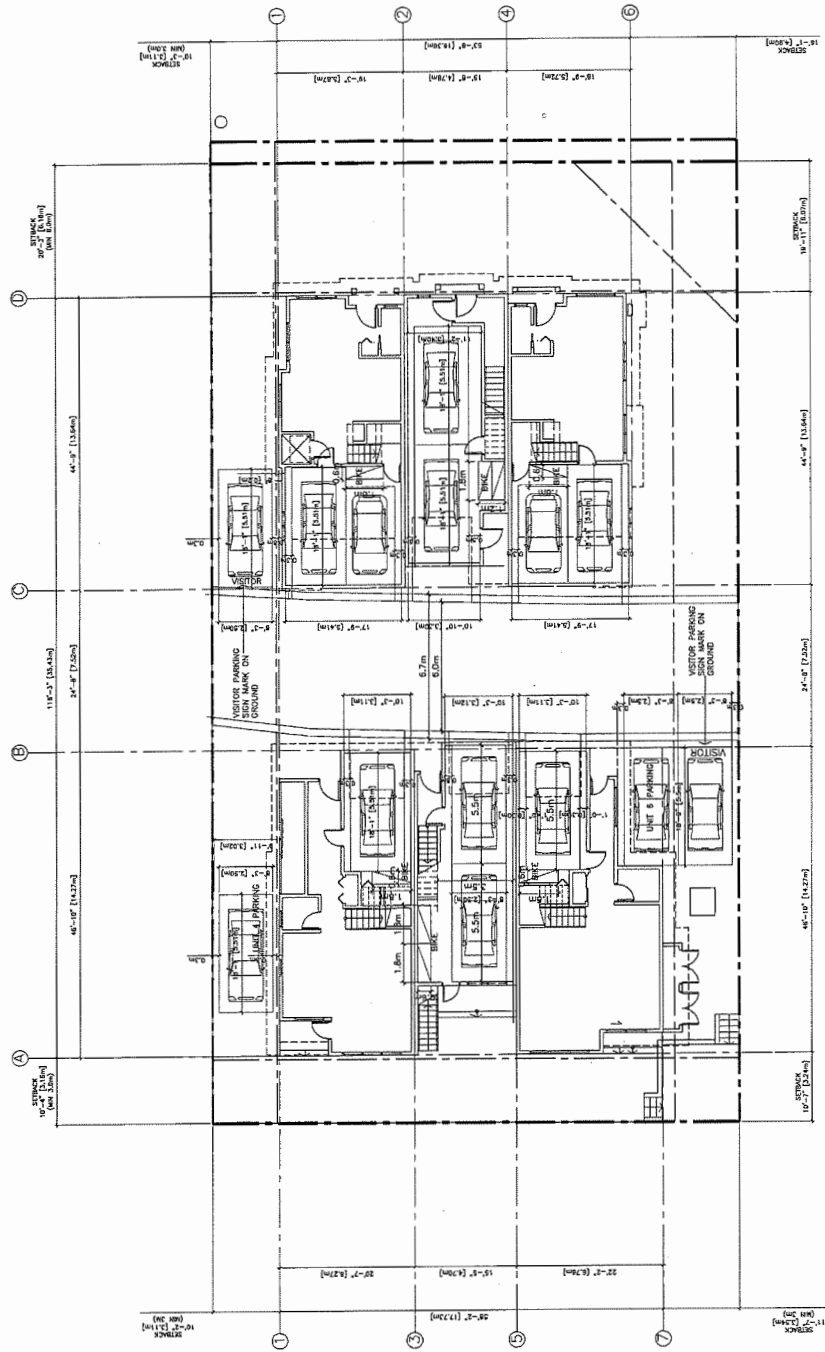
PROJECT NUMBER:	12-03
ISSUED:	8/22/2017
DESIGNED BY:	EL
CHECKED BY:	EL
FILENAME:	12-03_120322A-PR.DWG

A3

DEVELOPMENT PERMIT

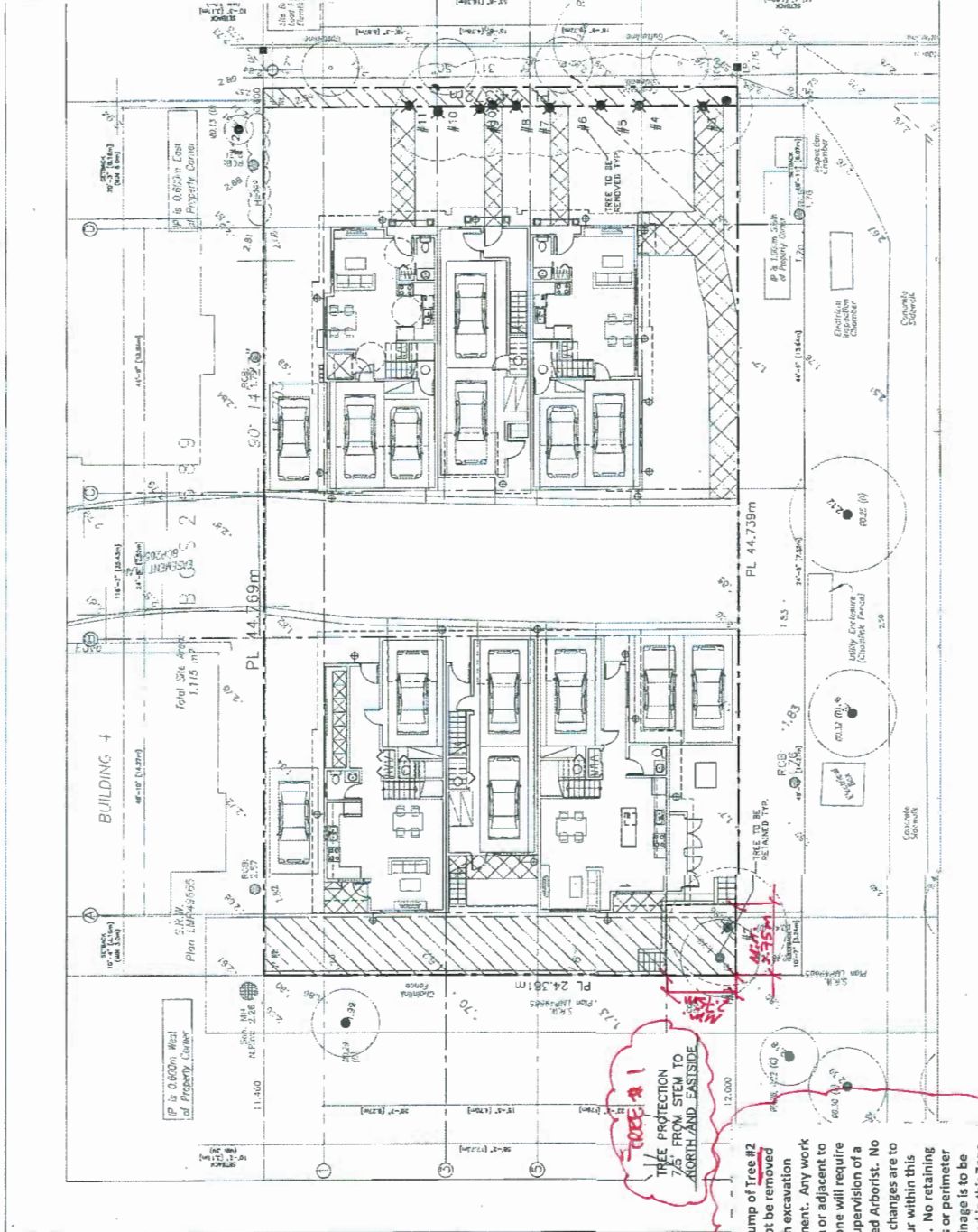
PLAN #2

DP 16-728670



PROPOSED	PROPOSED
1.4 PER CARLING UNITS X5 = 9	RESIDENTIAL PARKING: 6 REGULAR PARKING
0.2 VISITOR PARKING / UNIT X5 = 2	2 VISITOR PARKING (4 REGULAR)
TOTAL = 11 RESIDENTIAL	2 SMALL PARKING (2X10PLUS)
2X5 VISITOR PARKING	2 REGULAR
VISITOR BICYCLE	2
RESIDENTIAL BICYCLE STORAGE	8 (INSIDE GARAGE)
RESIDENTIAL BICYCLE STORAGE	
1.25 PER DWELLING UNIT X5=4	

TREE #	TREE SPECIES (on site) (Botanical name)	DBH (cm)	SPREAD (m) Radius
1	Cedar ( <i>Thuja plicata</i> )	44	4
2	Birch ( <i>Betula</i> sp.)	45	4.5
3	Cedar ( <i>Thuja plicata</i> )	27	4
4	Cedar ( <i>Thuja plicata</i> )	31	3.5
5	Cedar ( <i>Thuja plicata</i> )	41	3.5
6	Cedar ( <i>Thuja plicata</i> )	46	3.5
7	Cedar ( <i>Thuja plicata</i> )	29	3.5
8	Cedar ( <i>Thuja plicata</i> )	24	3.5
9	Cedar ( <i>Thuja plicata</i> )	30	3.5
10	Cedar ( <i>Thuja plicata</i> )	34	3.5
11	Cedar ( <i>Thuja plicata</i> )	38	4



PLAN # 3  
**OP 16-728670**  
 AUG 22 2017

NOTE:  
 FOR DETAILED INFO ON TREE REMOVAL AND  
 RETENTION, SEE ARBORIST'S REPORT.

L-1

PROJECT TITLE  
**TOWNHOUSE DEVELOPMENT**  
 607-4573 RD. # ROAD, RICHMOND, BC

DATE: 08-17-17  
 1st: Aug. 17  
 2nd: [blank]  
 3rd: [blank]

DATE: 08-17-17  
 1st: 08-17-17  
 2nd: 08-17-17  
 3rd: 08-17-17

JHL Design Group Inc.  
 Landscape Architecture + Urban Design

Scale: 1:500  
 Date: 08-17-17  
 1st: 08-17-17  
 2nd: 08-17-17  
 3rd: 08-17-17



© Design Group Inc. This drawing and design is and  
 all other lines remain the exclusive property of JHL  
 Design Group Inc. and cannot be used without the  
 landscape architect's written consent.

**TREE #1**  
 TREE PROTECTION  
 7.5' FROM STEM TO  
 NORTH AND EASTSIDE

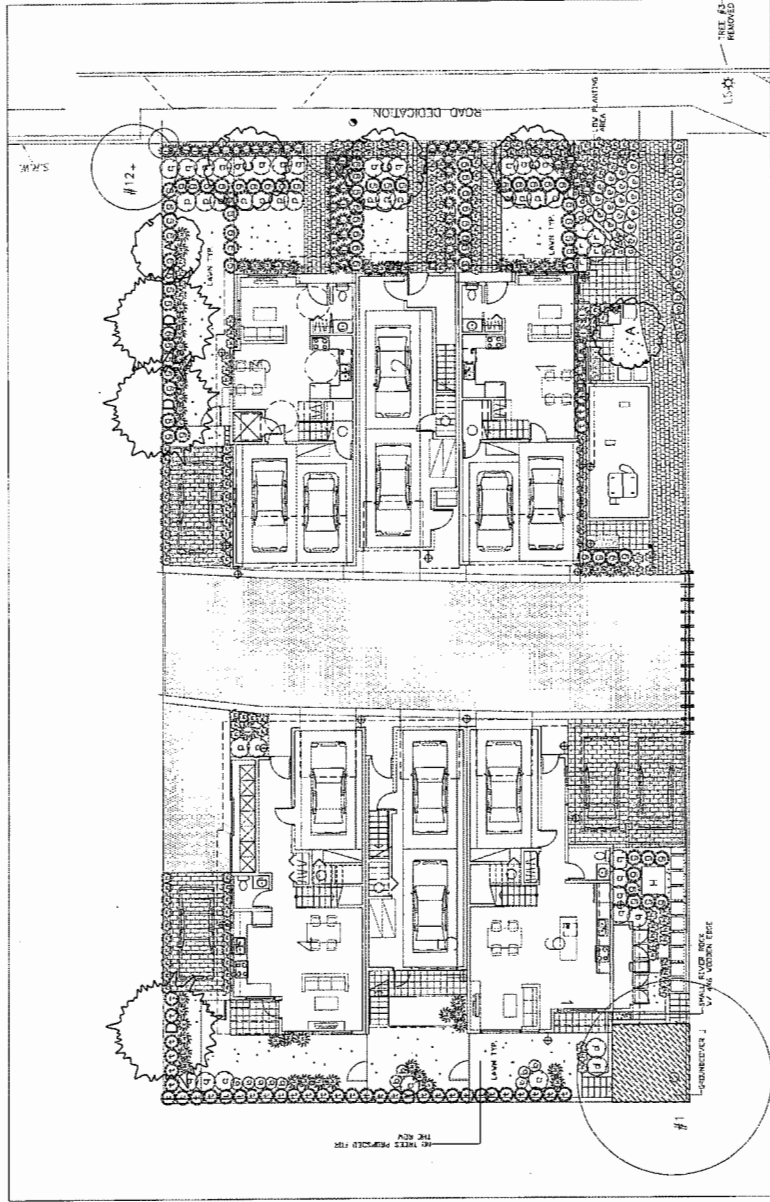
The stump of Tree #2  
 cannot be removed  
 with excavation  
 equipment. Any work  
 within or adjacent to  
 this zone will require  
 the supervision of a  
 Certified Arborist. No  
 grade changes are to  
 occur within this  
 zone. No retaining  
 walls or perimeter  
 drainage is to be  
 installed in this zone.



PLANT LIST	Botanical Name	Common Name	Size	Spacing
1	Common Oak	Common Oak	10' x 10'	10' x 10'
2	Common Cherry	Common Cherry	10' x 10'	10' x 10'
3	Common Maple	Common Maple	10' x 10'	10' x 10'
4	Common Birch	Common Birch	10' x 10'	10' x 10'
5	Common Elm	Common Elm	10' x 10'	10' x 10'
6	Common Dogwood	Common Dogwood	10' x 10'	10' x 10'
7	Common Magnolia	Common Magnolia	10' x 10'	10' x 10'
8	Common Hydrangea	Common Hydrangea	10' x 10'	10' x 10'
9	Common Rose	Common Rose	10' x 10'	10' x 10'
10	Common Lavender	Common Lavender	10' x 10'	10' x 10'
11	Common Salvia	Common Salvia	10' x 10'	10' x 10'
12	Common Verbena	Common Verbena	10' x 10'	10' x 10'
13	Common Penstemon	Common Penstemon	10' x 10'	10' x 10'
14	Common Rudbeckia	Common Rudbeckia	10' x 10'	10' x 10'
15	Common Aster	Common Aster	10' x 10'	10' x 10'
16	Common Coneflower	Common Coneflower	10' x 10'	10' x 10'
17	Common Black-eyed Susan	Common Black-eyed Susan	10' x 10'	10' x 10'
18	Common Coreopsis	Common Coreopsis	10' x 10'	10' x 10'
19	Common Gaillardia	Common Gaillardia	10' x 10'	10' x 10'
20	Common Echinacea	Common Echinacea	10' x 10'	10' x 10'
21	Common Monarda	Common Monarda	10' x 10'	10' x 10'
22	Common Salix	Common Salix	10' x 10'	10' x 10'
23	Common Juniper	Common Juniper	10' x 10'	10' x 10'
24	Common Yew	Common Yew	10' x 10'	10' x 10'
25	Common Cedar	Common Cedar	10' x 10'	10' x 10'
26	Common Redwood	Common Redwood	10' x 10'	10' x 10'
27	Common Fir	Common Fir	10' x 10'	10' x 10'
28	Common Spruce	Common Spruce	10' x 10'	10' x 10'
29	Common Pine	Common Pine	10' x 10'	10' x 10'
30	Common Palm	Common Palm	10' x 10'	10' x 10'
31	Common Bamboo	Common Bamboo	10' x 10'	10' x 10'
32	Common Grass	Common Grass	10' x 10'	10' x 10'
33	Common Flower	Common Flower	10' x 10'	10' x 10'
34	Common Shrub	Common Shrub	10' x 10'	10' x 10'
35	Common Tree	Common Tree	10' x 10'	10' x 10'
36	Common Vine	Common Vine	10' x 10'	10' x 10'
37	Common Climber	Common Climber	10' x 10'	10' x 10'
38	Common Groundcover	Common Groundcover	10' x 10'	10' x 10'
39	Common Mulch	Common Mulch	10' x 10'	10' x 10'
40	Common Rock	Common Rock	10' x 10'	10' x 10'

**NOTES:**

- Maintain min. 2% slope away from building.
- All plants and landscape installation to conform to BCSLA Landscape Standards Latest Edition.
- All planting medium to be tested by (P&A) (ISA 675 803) and amended accordingly if necessary, and to be tested again at Substantial Completion.
- Minimum planting medium depth:
  - 1. 18" on slab
  - 2. 12" on sub
  - 3. 12" on sub
  - 4. 12" on sub
  - 5. 12" on sub
  - 6. 12" on sub
  - 7. 12" on sub
  - 8. 12" on sub
  - 9. 12" on sub
  - 10. 12" on sub
  - 11. 12" on sub
  - 12. 12" on sub
  - 13. 12" on sub
  - 14. 12" on sub
  - 15. 12" on sub
  - 16. 12" on sub
  - 17. 12" on sub
  - 18. 12" on sub
  - 19. 12" on sub
  - 20. 12" on sub
  - 21. 12" on sub
  - 22. 12" on sub
  - 23. 12" on sub
  - 24. 12" on sub
  - 25. 12" on sub
  - 26. 12" on sub
  - 27. 12" on sub
  - 28. 12" on sub
  - 29. 12" on sub
  - 30. 12" on sub
  - 31. 12" on sub
  - 32. 12" on sub
  - 33. 12" on sub
  - 34. 12" on sub
  - 35. 12" on sub
  - 36. 12" on sub
  - 37. 12" on sub
  - 38. 12" on sub
  - 39. 12" on sub
  - 40. 12" on sub
- All plant material shall meet minimum size requirements as indicated in plant list.
- Trees planted in lawn areas to have 1 m dia. mulched ring.
- Make sure better around footpaths to be cut and removed to prevent gridding.
- All proposed trees should be planted min. 3 m away from building foundation or face of buildings or retaining walls.
- Install min. 1" of compacted bank mulch on all shrub beds after planting and only screened compacted bank mulch.
- Contractor to ensure all plant material delivered to site is from nurseries certified to be free from Phytophthora ramorum virus (Sudden Oak Death).
- Contractor to report any discrepancies to plant numbers immediately to Landscape Architect.
- All on-site landscape to be irrigated with an automatic irrigation system.
- Provide one hose bib for every unit to cover all landscaped areas.



PLAN # 38  
 DP 16-728670  
 AUG 2 2 2017

L-3

LANDSCAPE PLAN  
 PLANT LIST/DETAIL

TOWNHOUSE DEVELOPMENT  
 887-4873 NO. 4 ROAD, RICHMOND, BC

DATE: 17  
 DESIGNED BY: 17  
 CHECKED BY: 17

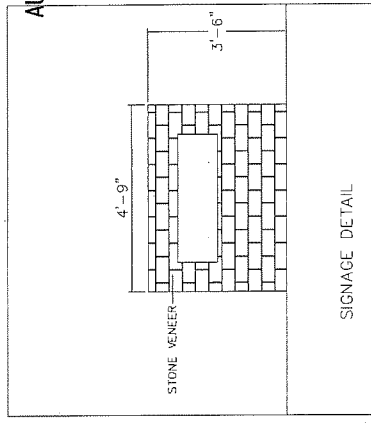
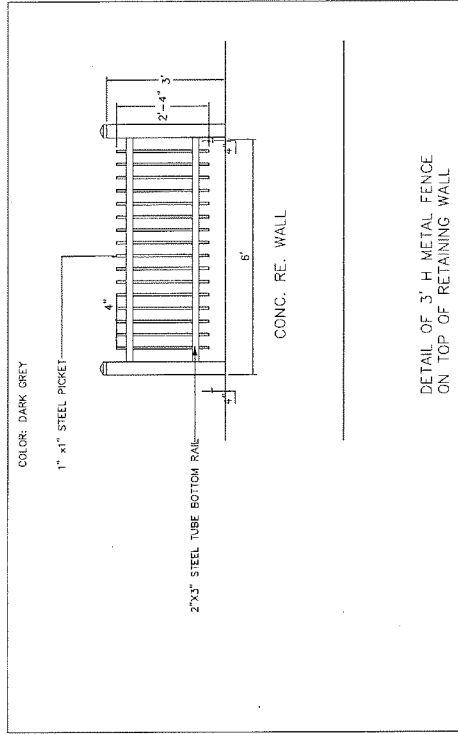
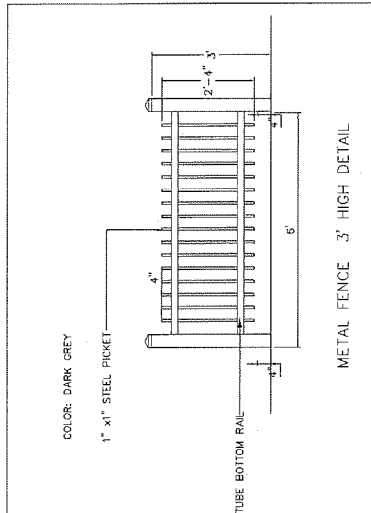
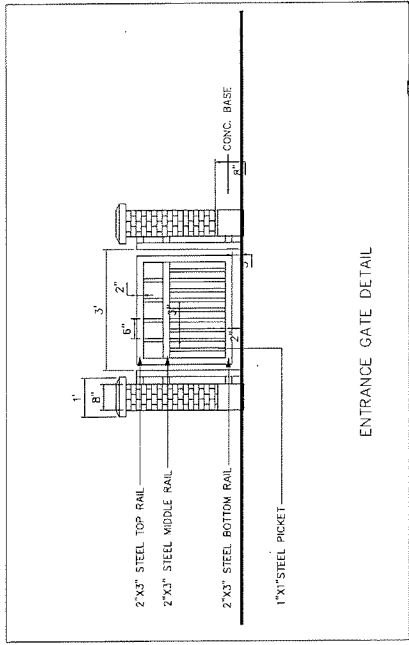
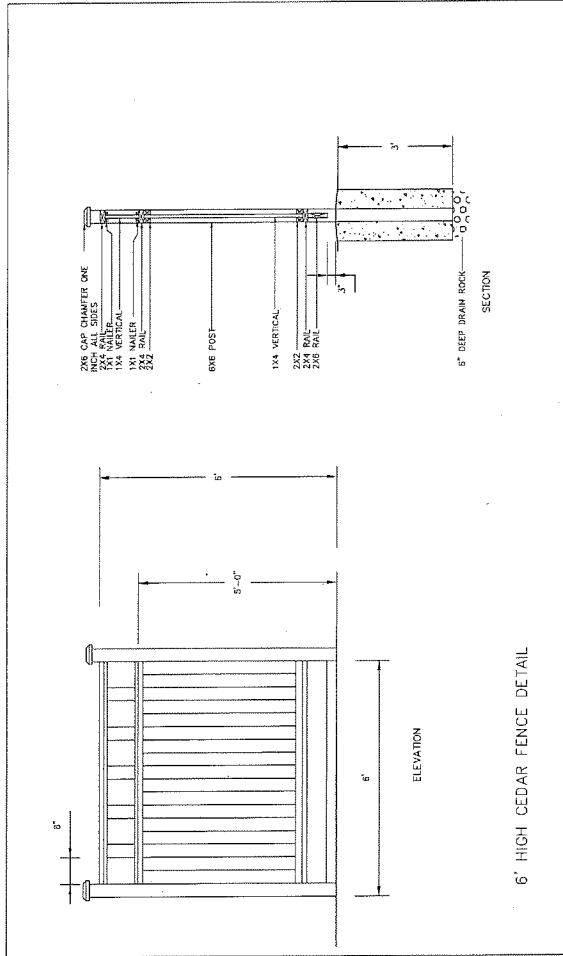
JHL Design Group Inc.  
 Landscape Architecture + Urban Design

418 West Park Avenue, #5  
 Vancouver, BC V6P 2K4  
 Tel: 604-271-8811  
 Fax: 604-271-8812  
 Email: info@jhl.ca

DATE: 17  
 DESIGNED BY: 17  
 CHECKED BY: 17  
 DATE: 17  
 DESIGNED BY: 17  
 CHECKED BY: 17



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PLAN # 3C  
DP 16-728670

AUG 2 2 2017

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DATE	REVISION
Oct. 18, 15	DP Revision Submission
Feb. 17, 16	DP Revision Submission
March 17, 16	DP Revision Submission
Aug. 17, 16	Final Submission

**JHL Design Group Inc.**  
Landscape Architecture + Urban Design

4700 West 24th Avenue, #E  
Edmonton, Alberta T6B 1S1  
Tel: 780-443-7234  
Fax: 780-443-7234  
Web: jhl.ca

DATE: Aug. 17, 2017  
DRAWN: JHL  
CHECKED: JHL

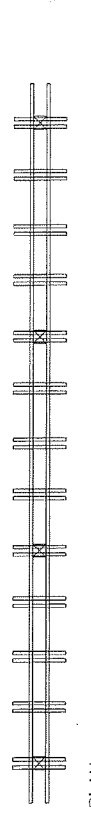
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6874-6873 NO. 4 ROAD, RICHMOND, BC

DETAILS

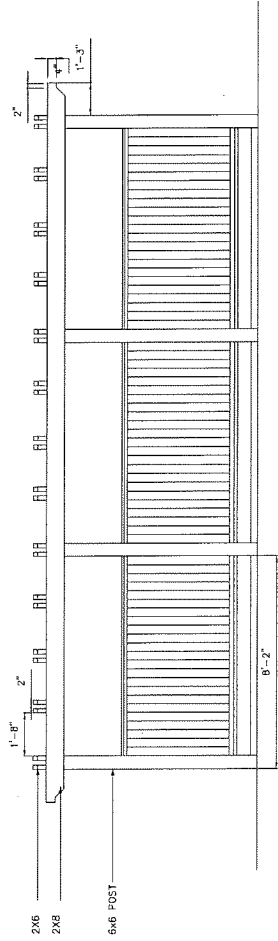
L-4

PLAN # 3D  
 DP 16-728670

AUG 2 2 2017



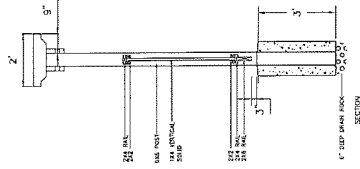
PLAN



ELEVATION

FRONT ELEVATION

ROAD END TRELLIS DETAIL



SECTION

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DATE: 08/02/17  
 DRAWN BY: JHL  
 CHECKED BY: JHL  
 PROJECT NO.: 16-728670

JHL Design Group Inc.  
 Landscape Architecture • Urban Design

4370 West 24th Street, Victoria, BC  
 V8L 2C2  
 Tel: 250-383-8833  
 Fax: 250-383-8834  
 Email: info@jhl.ca

SCALE: 1/4" = 1'-0"  
 DATE: 08/02/17  
 DRAWN BY: JHL  
 CHECKED BY: JHL  
 PROJECT NO.: 16-728670

PROJECT NAME  
 TOWNHOUSE DEVELOPMENT  
 6571-6573 NO. 4 ROAD, RICHMOND, BC

DRAWING TYPE  
 DETAILS

L-5

PLAN # 3E

DP 16-728670

AUG 2 2 2017

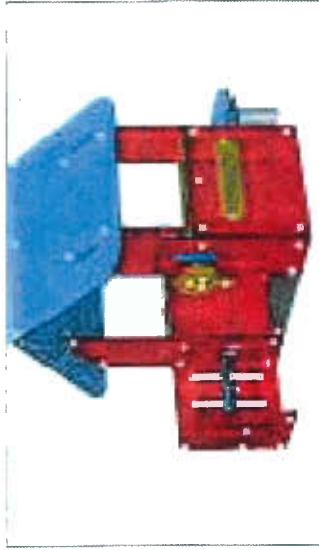


IMAGE OF PLAYHOUSE BY KOMPAN  
(RED HOUSE, #1000)



IMAGE OF SPRING TOY BY KOMPAN



IMAGE OF SPRING TOY BY KOMPAN



IMAGE OF BENCH  
BY HANSON, COMPANY LTD OF CAN



IMAGE OF BIKE RACK  
BY COM. COMPANY



IMAGE OF COLLARD LIGHTING  
BY HANSON, COMPANY LTD OF CAN

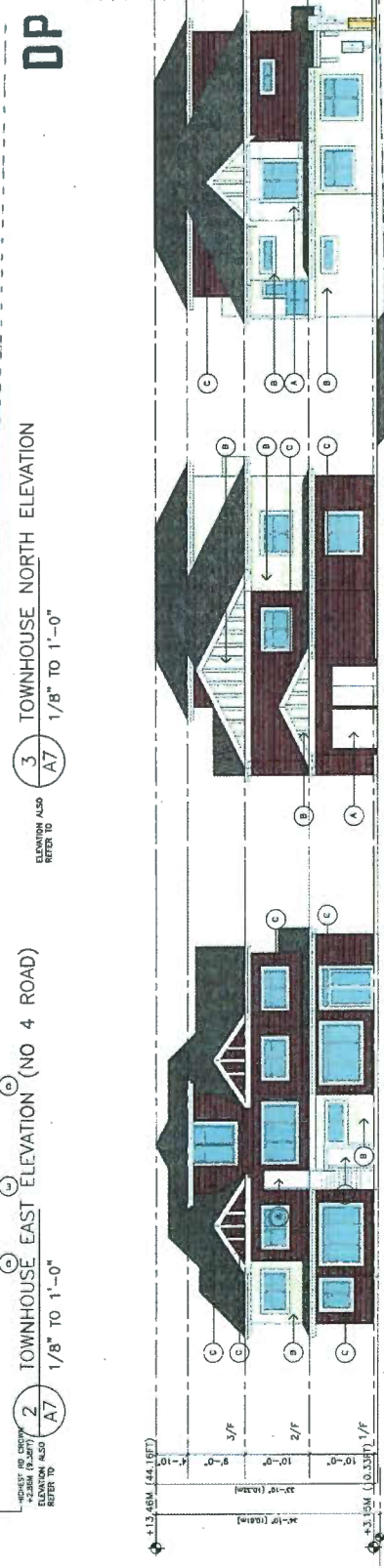
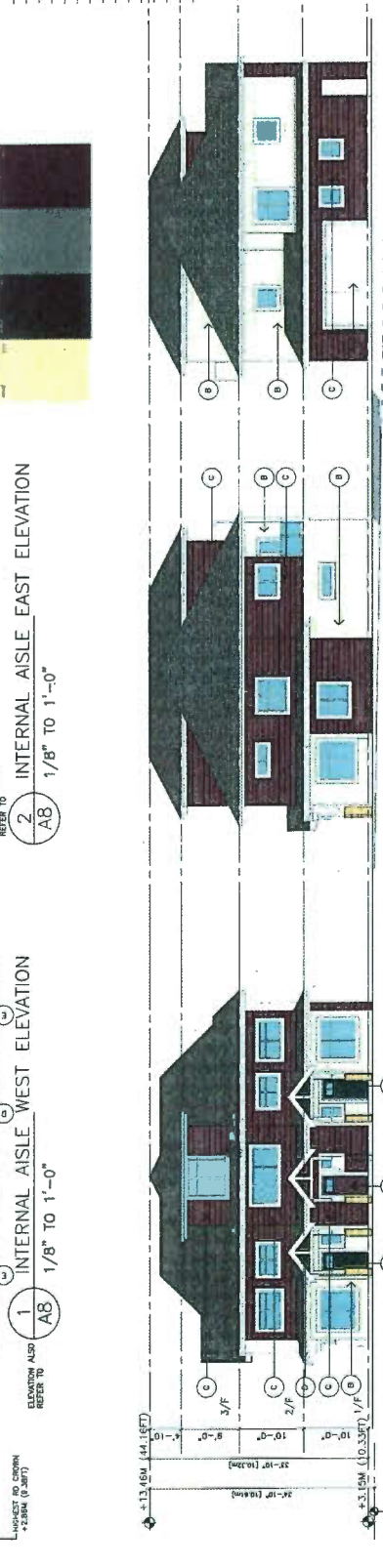
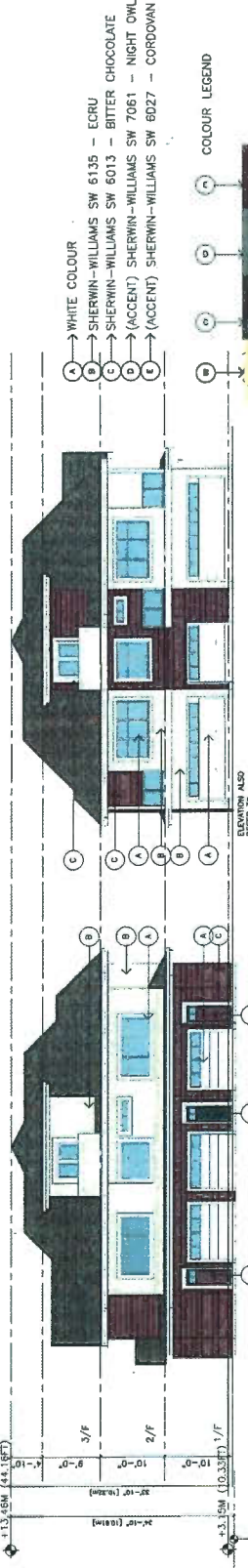
<p>DATE RECEIVED          April, 16<sup>th</sup> for Submission          Dec, 16<sup>th</sup> for Revision Submission          March, 1<sup>st</sup> for Revision Submission          Aug, 17<sup>th</sup> for Revision Submission</p>		<p><b>JHL Design Group Inc.</b>          Landscape Architecture + Urban Design</p>	<p>DATE MADE AVAILABLE TO THE PUBLIC          100-100-1000          100-100-1000          100-100-1000</p>	<p>PROJECT FILE          TOWNHOUSE DEVELOPMENT          8071-4673 NO. 4 ROAD, RICHMOND, BC</p>	<p>DRAWING TITLE          IMAGES</p>	<p>L-6</p>
<p>SCALE: 1/4" = 1'-0"          DATE: Aug. 17          DRAWN BY: [Name]          CHECK BY: [Name]</p>						

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**REVISIONS**

1	2017.01.15	ISSUE FOR PERMIT
2	2017.01.15	ISSUE FOR PERMIT
3	2017.01.15	ISSUE FOR PERMIT
4	2017.01.15	ISSUE FOR PERMIT
5	2017.01.15	ISSUE FOR PERMIT
6	2017.01.15	ISSUE FOR PERMIT
7	2017.01.15	ISSUE FOR PERMIT



PLAN # 4  
 16-728670  
 AUG 22 2017

PROPOSED TOWNHOUSE  
 6574-6573 NO. 4 RD  
 RICHMOND BC

ELEVATIONS - COLOR

PROJECT NUMBER: 12-03  
 DRAWN BY: EL  
 CHECKED BY: EL  
 TITLE NAME: 12-03-D.P.L. TOWNHOUSE-CP-006

A9

DEVELOPMENT PERMIT

DP 16-728670

ELEVATION ALSO REFER TO A7

ELEVATION ALSO REFER TO A7

ELEVATION ALSO REFER TO A7





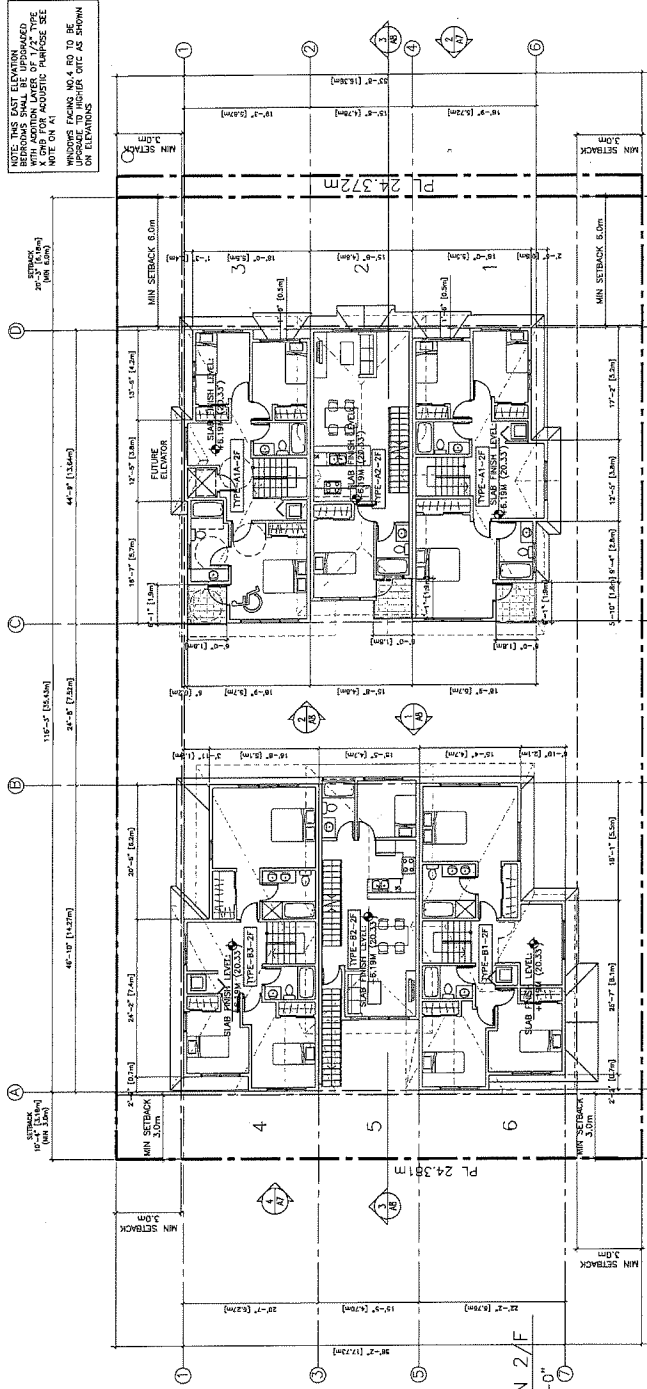




ERIC LEAW ARCHITECT  
 1050 WEST 10TH AVENUE  
 VANCOUVER, BC V6H 2G6  
 TEL: (604) 278-2999  
 FAX: (604) 278-2998  
 WWW.ERICLEAWARCHITECT.COM

NO.	DESCRIPTION
1	FOUNDATION FOR THE APPLICATION
2	FOUNDATION FOR THE APPLICATION
3	FOUNDATION FOR THE APPLICATION
4	FOUNDATION FOR THE APPLICATION
5	FOUNDATION FOR THE APPLICATION
6	FOUNDATION FOR THE APPLICATION
7	FOUNDATION FOR THE APPLICATION

NOTE: THIS EAST ELEVATION  
 IS TO BE CONSIDERED  
 WITH AN ADDITIONAL LAYER OF 1/2" TYPE  
 NOTE ON AT ACUSTIC PURPOSES SEE  
 WINDOW SCHED NO. 4 RD TO BE  
 UPGRADED TO HIGHER QTC AS SHOWN  
 ON ELEVATIONS



1 SITE PLAN 2/F  
 1/8" TO 1'-0"

AIR-CONDITIONING IS  
 REQUIRED IN THESE UNITS

REFERENCE PLAN

DP 16-728670

AUG 2 2017

NO.	DESCRIPTION
1	FOUNDATION FOR THE APPLICATION
2	FOUNDATION FOR THE APPLICATION
3	FOUNDATION FOR THE APPLICATION
4	FOUNDATION FOR THE APPLICATION
5	FOUNDATION FOR THE APPLICATION
6	FOUNDATION FOR THE APPLICATION
7	FOUNDATION FOR THE APPLICATION

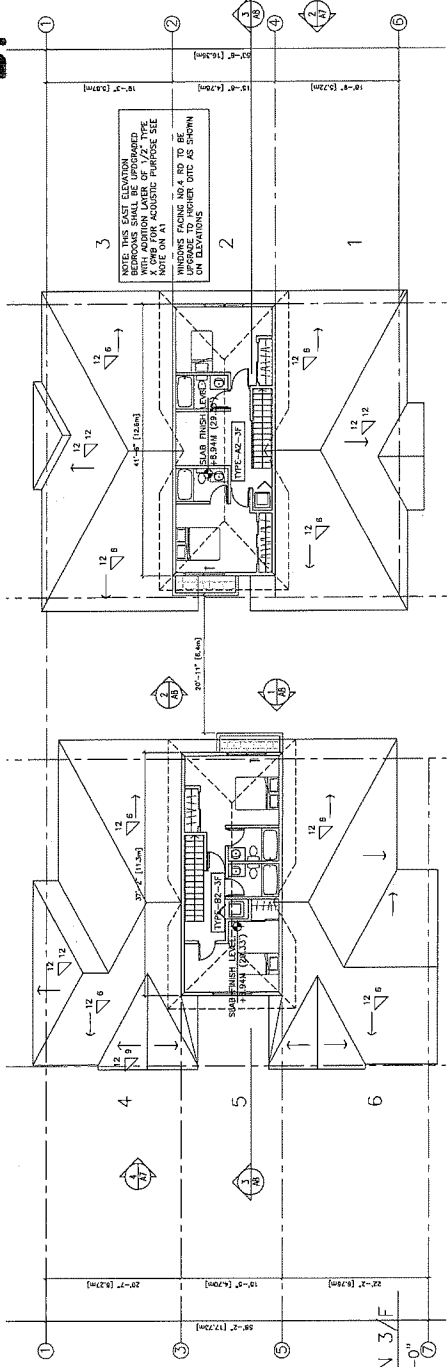
PROPOSED TOWNHOUSE  
 6874-6573 NO. 4 RD  
 RICHMOND BC

SITE PLAN (2/F & 3/F)

PROJECT NUMBER: 12-03
ISSUED: 07/22/2017
DRAWN BY: EL
CHECKED BY: EL
FILE NAME: 12-03-01-01-100224-00.DWG

A4

DEVELOPMENT PERMIT



2 SITE PLAN 3/F  
 1/8" TO 1'-0"

AIR-CONDITIONING IS  
 REQUIRED IN THESE UNITS

DP 16-728670



ERIGLEW ARCHITECT  
 1145 WEST 10TH AVENUE, SUITE 100  
 VANCOUVER, BC V6H 2G6  
 TEL: 604-271-1111  
 FAX: 604-271-1112  
 WWW.ERIGLEWARCHITECT.COM

NO.	DESCRIPTION
1	PREPARED FOR PERMIT
2	REVISED FOR PERMIT
3	REVISED FOR CITY OF VANCOUVER
4	REVISED FOR CITY OF VANCOUVER
5	REVISED FOR CITY OF VANCOUVER
6	REVISED FOR CITY OF VANCOUVER
7	REVISED FOR CITY OF VANCOUVER

REFERENCE PLAN

DP 16-728670

AUG 22 2017

NO.	DESCRIPTION
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2	REVISED FOR PERMIT
3	REVISED FOR CITY OF VANCOUVER
4	REVISED FOR CITY OF VANCOUVER
5	REVISED FOR CITY OF VANCOUVER
6	REVISED FOR CITY OF VANCOUVER
7	REVISED FOR CITY OF VANCOUVER

PROPOSED TOWNHOUSE  
 6574-6573 NO. 4 RD  
 RICHMOND BC

UNIT PLANS

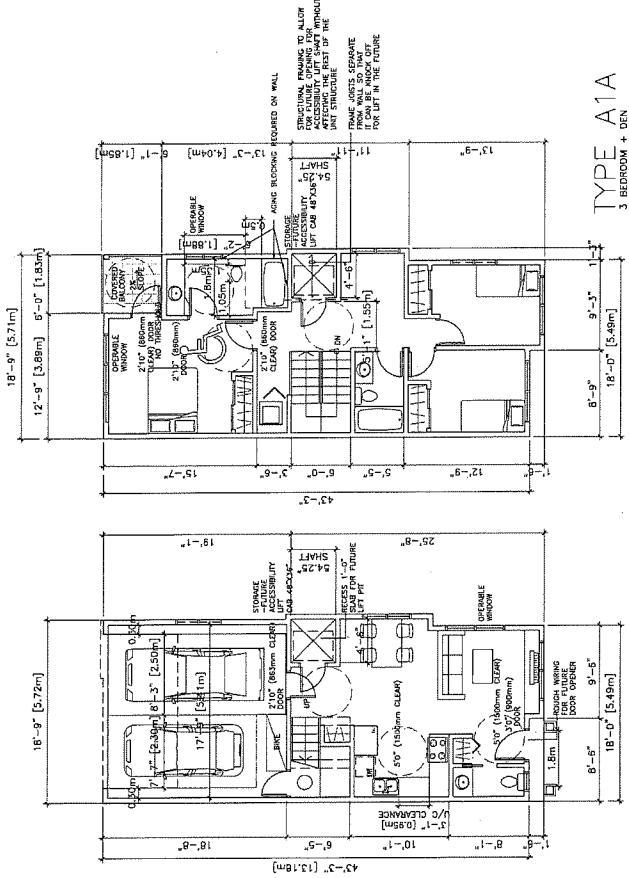
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A6

DEVELOPMENT PERMIT

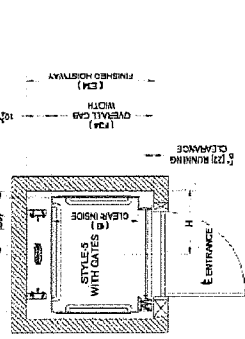
DP 16-728670

DOORS & DOORWAYS	VERTICAL CIRCULATION	HALLWAYS	GARAGE	BATHROOM (MIN. 1)	KITCHEN	WINDOWS	OUTLETS & SWITCHES
<ul style="list-style-type: none"> <li>ENTRY DOORS ARE A MINIMUM 803 MM BUILT IDEALLY 914 MM AND HAVE CLEAR ACCESS.</li> <li>ENTRY DOOR CLEAR EXTERIOR FLOOR SPACE MIN. 1500 MM DEPTH BY DOOR WITH PLUS 800 MM ON EITHER SIDE.</li> <li>INTERIOR DOORS TO MAIN LIVING AREAS, 1 BATHROOM AND 1 BEDROOM, MIN. 800 MM CLEAR OPENING AND 1500 MM CLEAR EXTERIOR FLOOR SPACE.</li> <li>DOOR AND ARCH HALLWAYS AND/OR CORRIDORS IF NECESSARY TO SECURE ACCESS TO THE HALLWAY AND BALCONY/CLUBHOUSE, MIN. 800 MM CLEAR OPENING. NOTE HOW ACCESSIBLE. - ALL INTERIOR THRESHOLDS ARE LEVER-TYPE HANDLES FOR ALL DOORS.</li> </ul>	<ul style="list-style-type: none"> <li>SHAR LIFT, STAIRCASE WITH FRAMING SUPPORT AND LANDING, AS NOTED ON FLOOR PLANS IN CONFORMANCE WITH THE BC BUILDING ACT AND REGULATIONS.</li> <li>STAIRCASES SHALL BE DESIGNED AS NOTED ON FLOOR PLANS IN CONFORMANCE WITH MANUFACTURER'S SPECIFICATIONS, FRAMING TO ACCOMMODATE SHAFT CONSTRUCTION WITHOUT IMPACT TO THE STRUCTURE.</li> <li>AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2" X 12" SOLID LUMBER AT 914 MM TO CENTRE.</li> </ul>	<ul style="list-style-type: none"> <li>MIN. 900 MM WIDTH.</li> </ul>	<ul style="list-style-type: none"> <li>MIN. 1 ACCESSIBLE PARKING SPACE WITH MIN. 4 M GARAGE WIDTH.</li> <li>ACCESS FROM GARAGE TO LIVING AREA MIN. 800 MM CLEAR OPENING.</li> </ul>	<ul style="list-style-type: none"> <li>WALL CLEARANCE MIN. 1500 MM AT THE WARD IN FRONT.</li> <li>WALL BROOMING FOR FUTURE CHAB BAR INSTALLATION AT TOILET, TUB AND SHOWER, REINFORCED WITH 2" X 12" SOLID LUMBER FOR 15 MINIMUM BROOMING.</li> <li>PRESSURE AND TEMPERATURE CONTROLS, VALVES ARE INSTALLED ON ALL SHOWER FAUCETS AND WATER HEATERS.</li> <li>ACCESSIBLE (W/OUT OR FUTURE PLACEMENT).</li> </ul>	<ul style="list-style-type: none"> <li>CLEAR AREA NEEDED UNDER FUTURE WORK SPACE.</li> <li>PLACEMENT LOCATIONS OF ELECTRICAL OUTLETS, BESSE WOODS WITHIN 1500 MM OF THE UNIT'S PERIMETER.</li> <li>1500 MM LIVING CLEARANCE TO THE UNIT'S PERIMETER.</li> <li>1500 MM LIVING CLEARANCE TO THE UNIT'S PERIMETER.</li> <li>EXHAUSTIVE FAN/EXHAUST FAN TURNING PATH DIAGRAM.</li> </ul>	<ul style="list-style-type: none"> <li>MIN. 1 WINDOW THAT CAN BE OPENED WITH A SINGLE HAND (BATHROOM, KITCHEN, LIVING ROOM).</li> <li>PLACEMENT LOCATIONS OF ELECTRICAL OUTLETS, BESSE WOODS WITHIN 1500 MM OF THE UNIT'S PERIMETER.</li> <li>CONTROL CENTRE FOR SMART HOME OPTIONS.</li> <li>SPACE TO FOUR-HOLE OUTLETS IN MASTER BEDROOM, HOME OFFICE, GARAGE, AND RECREATION ROOM.</li> </ul>	<ul style="list-style-type: none"> <li>PROVIDE PRE-WIRING TO ACCOMMODATE FIBRE OPTIC HOT WATER HEATING.</li> <li>ADDS IN PLACE FEATURES SHALL BE FORWARDED TO ALL UNITS.</li> <li>STAIRWELL HANDRAILS FOR FUTURE AND DOOR HANDLES.</li> <li>SOLID BLOCKING IN BATHROOM WALLS TO FACILITATE FUTURE DRAG BAR INSTALLATION BESSE TOILETS, BATHROOMS AND SHOWERS.</li> <li>CONDUIT SHALL BE INSTALLED AND ACCORDING TO THE ACOUSTIC RECOMMENDATIONS BY BNL.</li> <li>CONSIDERING TO BE PROVIDED IN THE TRANSFER AND SHALL MEET AND INCORPORATE THE THERMAL CHAMBER RECOMMENDATIONS BY ENERSEVO DESIGN DATED SEPTEMBER 9, 2016.</li> <li>TOWNHOUSES SHALL MEET AND INCORPORATE THE ENERGY EFFICIENCY REQUIREMENTS BY ENERSEVO DESIGN DATED SEPTEMBER 9, 2016.</li> </ul>



TYPE A1A  
 3 BEDROOM + DEN  
 TOTAL UNIT AREA: ±1378.85 SQ. FT.  
 INCLUDING STAIR AND 6/7 ENTRY

On / Off Same Side  
 Front Configuration  
 Style 5:



Unit	Width	Depth	Area
A5	54 1/4"	48"	2610 sq ft
B	48"	48"	2304 sq ft
C5	49"	48"	2352 sq ft
D5	27 1/4"	53 1/4"	1458 sq ft
E34	42 1/4"	42 1/4"	1788 sq ft
F34	36"	27 1/4"	984 sq ft
G	36"	27 1/4"	984 sq ft
H	27 1/4"	27 1/4"	742 sq ft

MOUNTAIN MAPLE GARDEN & TREE SERVICE LTD.  
PHONE: 604 - 499- 6568  
MOUNTAIN.MAPLE@HOTMAIL.COM

January 24, 2018

**RE: Arborist Report - For property located at 6571 No 4 Rd., Richmond, BC**

Further to the Revised Arborist Report dated September 12, 2017, this serves to discuss the condition of Tree #1. This site was attended on December 11, 2017 and January 15, 2018. Ten photographs have been included as part of this report.

On December 11, 2017, the Tree Protection Zone fencing for Tree #1 was not installed to capacity; concrete lock blocks were installed less than 2ft from the base of the stem on the east side, and the area was filled with 5ft of pre-load (sand). The south side of the canopy was mostly brown; however, the north side still had a significant amount of green, and the east side was in between. Some of the chlorotic foliage was still pliable. The property owner asked if the tree could be saved; it was advised that it is unlikely that the tree will survive the compaction that has occurred to the Critical Root Zone, but we could try. It was advised that the lock blocks and preload must be removed from a 12ft radius of the stem, and native grade restored; it was indicated that this work must be supervised by a Certified Arborist. Upon removal of the fill and lock blocks, the entire Critical Root Zone would require deep root fertilization, in an effort to alleviate the compacted soil.

On January 3, 2018, we were advised that the lock blocks and preload had been removed; this was not supervised by this firm. The site was visited again on January 15, 2018. Tree Protection Zone fencing has been reinstalled at 9ft from the base of the stem on the east side, 11ft from the base of the stem on the northeast side, and 15ft from the base of the stem on the north side. About six inches of new soil had been installed within the TPZ. Further examination revealed that a 3" diameter root was severed 5ft from the base of the stem on the east side; it is assumed that this was caused during the removal of the preload, and that other structural roots have likely sustained damage.

It is very unlikely that this tree would have survived the compaction to its root system resulting from the lock blocks and preload. Compaction removes pore/air space from the soil, which smothers the roots, and impedes or prevents water flow. This species of tree has a rather low tolerance to root disturbance; the weight of the pre-load and lock blocks may have also caused damage/compaction to root tissue. This tree should be removed, and a new 4-5m tall Western Red Cedar (*Thuja plicata*) should be planted on the property upon completion of site development.

Limitations: Monitoring any portion of the development or construction process provides no undertakings regarding the future condition or behaviour of the tree(s). Recommendations and actions are to serve for the retention and protection of the tree(s), and are made according to commonly accepted arboricultural practises, and do not guarantee the survival and/or safety of the specimen(s). Tree conditions do change overtime, and the evaluation period is valid for the day on which it was performed only. No responsibility is assumed for any legal matters as a result of the retention of the tree(s). The consultant shall not be required to give testimony or attend court by any reason unless subsequent contractual arrangements are made, including payment of additional fees for such services. Loss or alteration of any part of this document invalidates the entire document. Possession of this document does not imply right of publication or use for any purpose by any other than the person to whom it is addressed, without verbal or written consent of the consultant. No part of this document shall be conveyed by anyone to the public by any means without prior written consent of the consultant.

Yours truly,



Kerin Matthews – sent electronically  
**ISA Certified Arborist #PN-5648**  
**ISA Certified Tree Risk Assessor #0123**  
Inter-Municipal Business License #20014651



**Dec 11/17 - Tree #1 southeast side**



**Dec 11/17 - Tree #1 northwest side**



**Dec 11/17 - Tree #1 east side**



**Dec 11/17 - Tree #1, northeast side**



**Jan 15/18 - Tree #1 southeast side**



**Jan 15/18 - Tree #1 north side**



**Jan 15/18 - Tree #1 east side**



**Jan 15/18 - New soil within TPZ**



**Jan 15/18 - Tree #1 severed root**



**Jan 15/18 - Tree #1 about 6" of new soil placed in TPZ**



**DP 16-728670**

**Attachment C**

Address: 6571 No. 4 Road (formerly 6571/6573 No. 4 Road)

Applicant: Anwer Kamal

Owner: Anwer Kamal

Planning Area(s): North McLennan Sub-Area (City Centre)

Floor Area Gross: 956.5 m<sup>2</sup>

Floor Area Net: 690.4 m<sup>2</sup>

	Existing	Proposed
<b>Site Area:</b>	1,115 m <sup>2</sup>	1,091 m <sup>2</sup> (net after road dedication)
<b>Land Uses:</b>	Single-Family Residential	Multiple-Family Residential
<b>OCP Designation:</b>	Neighbourhood Residential	No Change
<b>Zoning:</b>	CCAP: General Urban T4 North McLennan Sub-Area Plan: "Residential Area 3" - two-family dwelling and 2 & 3-storey townhouses with 0.65 base FAR	No Change
<b>Number of Units:</b>	Single Detached (RS1/F)	Town Housing (ZT60) – North McLennan (City Centre)

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.65	0.64	none permitted
Lot Coverage – Building:	Max. 40%	40%	none
Setback – Front Yard (m):	Min. 6.0 m	6.2 m	none
Setback – North Side Yard (m):	Min. 3.0 m	3.1 m	none
Setback – South Side Yard (m):	Min. 3.0 m	3.0 m	none
Setback – Rear Yard (m):	Min. 3.0 m	3.0 m	none
Height (m):	Max. 12.0 m (3 storeys)	10.61 m (3 storeys)	none
Lot Area:	Min. 1,010 m <sup>2</sup>	1,091 m <sup>2</sup>	none
Off-street Parking Spaces – Regular (R) / Visitor (V):	1.4 (R) and 0.2 (V) per unit	1.83 (R) and 0.33 (V) per unit	none
Off-street Parking Spaces – Total:	9 (R) and 2 (V)	11 (R) and 2 (V)	none
Tandem Parking Spaces:	Permitted	4 spaces	none
Small Car Parking Spaces	None when fewer than 31 spaces are provided on site	2 (surplus spaces)	none



Handicap Parking Spaces:	None when fewer than 3 visitor parking spaces are required	0	none
Amenity Space – Indoor:	Min. 70 m <sup>2</sup> or Cash-in-lieu	Cash-in-lieu	none
Amenity Space – Outdoor:	Min. 6 m <sup>2</sup> x 6 units = 36 m <sup>2</sup>	36.7 m <sup>2</sup>	none



**Development Permit Considerations**

Development Applications Department  
6911 No. 3 Road, Richmond, BC V6Y 2C1

**Address:** 6571/6573 No. 4 Road

**File No.:** DP 16-728670

**Prior to approval of the Development Permit, the developer is required to complete the following:**

1. Final adoption of the Zoning Amendment Bylaw 9491.
2. Receipt of a Letter-of-Credit for landscaping in the amount of \$123,828.00. The City will release:
  - a) 80% of the security when:
    - i. construction and landscaping on the proposed townhouse complex are completed;
    - ii. a Letter of Assurance from the Landscape Architect, confirming that all on site and off site landscaping are installed in accordance with the landscape plans, has been submitted; and
    - iii. physical inspection has been undertaken by staff.
  - b) the remaining 20% of the security when:
    - i. the construction and landscaping on the proposed townhouse complex have been completed for at least 2 years;
    - ii. an Arborist Post Construction Impact Assessment Report, confirming survival of the replacement tree, has been submitted; and
    - iii. physical inspection has been undertaken by staff.

**Prior to Building Permit Issuance, the developer must complete the following requirements:**

1. Enter into a Servicing Agreement\* for the design and construction of engineering infrastructure improvements:
  - a) Water Works:
    - i. Using the OCP Model, there is 651 L/s of water available at a 20 psi residual at the hydrant at 6620 No 4 Road. Based on your proposed development, your site requires a minimum fire flow of 220 L/s.
    - ii. The Developer is required to:
      - Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm the development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage and Building designs.
      - Install a fire hydrant at No 4 Road frontage to service the proposed townhouse development. Coordination with the City's Fire department to confirm the location of the proposed hydrant is also required.
    - iii. At the Developer's cost, the City will:
      - Cut and cap at main the existing water service connection at No. 4 Road frontage.
      - Install new water connection to service the proposed site. Details of the new water service shall be finalized via the servicing agreement design review.
  - b) Storm Sewer Works:
    - i. At the Developer's cost, the City will:
      - Cut and cap at main the existing storm sewer service connections at No. 4 Road frontage. Remove existing IC.
      - Install new storm sewer connection to service the proposed site. Details of the new storm service shall be finalized via the servicing agreement design review.

Initial: \_\_\_\_\_

c) Sanitary Sewer Works:

i. The Developer is required to:

- Provide a 3 meter wide utility SRW along the entire west property line of the proposed site.
- Install a new sanitary sewer connection to service the proposed site. Details of the new storm service shall be finalized via the servicing agreement design review.

d) Frontage Improvements:

i. The Developer is required to:

- Removing existing sidewalk and create a 1.5m grass & treed boulevard behind the existing curb (trees to be Littleleaf Linden), with a 1.5 m sidewalk behind that which will abut the new property line. All works are at the client's sole cost; i.e. no credits apply. The works are an extension of SA06-326784 from the north at 6551 No 4 Road. Improvements shall be built to the ultimate condition wherever possible.
- Provide street lighting along No. 4 Road frontage.
- Locate all above ground utility cabinets and kiosks required to service the proposed development within the developments site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be included in the Rezoning staff report and the development process design review. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the right of ways dimensions and the locations for the aboveground structures. If a private utility company does not require an aboveground structure, that company shall confirm this via a letter to be submitted to the City. The following are examples of SRWs that shall be shown in the functional plan and registered prior to SA design approval:

- 1) BC Hydro PMT – 4mW X 5m (deep)
- 2) BC Hydro LPT – 3.5mW X 3.5m (deep)
- 3) Street light kiosk – 1.5mW X 1.5m (deep)
- 4) Traffic signal kiosk – 1mW X 1m (deep)
- 5) Traffic signal UPS – 2mW X 1.5m (deep)
- 6) Shaw cable kiosk – 1mW X 1m (deep) – show possible location in functional plan
- 7) Telus FDH cabinet - 1.1mW X 1m (deep) – show possible location in functional plan

e) General Items:

i. The Developer is required to:

- Provide if pre-load is required, prior to pre-load installation, a geotechnical assessment of preload and soil preparation impacts on the existing sanitary sewer along the proposed site's west property line, proposed utility installations, and provide mitigation recommendations. The mitigation recommendations shall be incorporated into the first SA design submission or if necessary to be implemented prior to pre-load.
  - Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
2. Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities, including building demolition, occurring on-site.
  3. Incorporation of accessibility, CPTED, and sustainability features/measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
  4. Submission of DCC's (City & GVS&DD), School site acquisition charges, Address Assignment Fee, and servicing charges, etc.
  5. If applicable, payment of latecomer agreement charges associated with eligible latecomer works.

Initial: \_\_\_\_\_

6. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
7. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

**Note:**

- \* This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.  
All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.  
The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.
- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

[signed copy on file]

\_\_\_\_\_  
Signed

\_\_\_\_\_  
Date



No. DP 16-728670

To the Holder: ANWER KAMAL

Property Address: 6571 NO. 4 ROAD (FORMERLY 6571/6573 NO. 4 ROAD)

Address: C/O ERIC LAW  
ERIC LAW ARCHITECT INC.  
#216 - 288 WEST 8<sup>TH</sup> AVENUE  
VANCOUVER, BC V5Y 1N5

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #4 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$123,828.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

**Development Permit**  
**No. DP 16-728670**

To the Holder: ANWER KAMAL  
Property Address: 6571 NO. 4 ROAD (FORMERLY 6571/6573 NO. 4 ROAD)  
Address: C/O ERIC LAW  
ERIC LAW ARCHITECT INC.  
#216 - 288 WEST 8<sup>TH</sup> AVENUE  
VANCOUVER, BC V5Y 1N5

---

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.  
This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.  
DAY OF

ISSUED BY THE COUNCIL THE

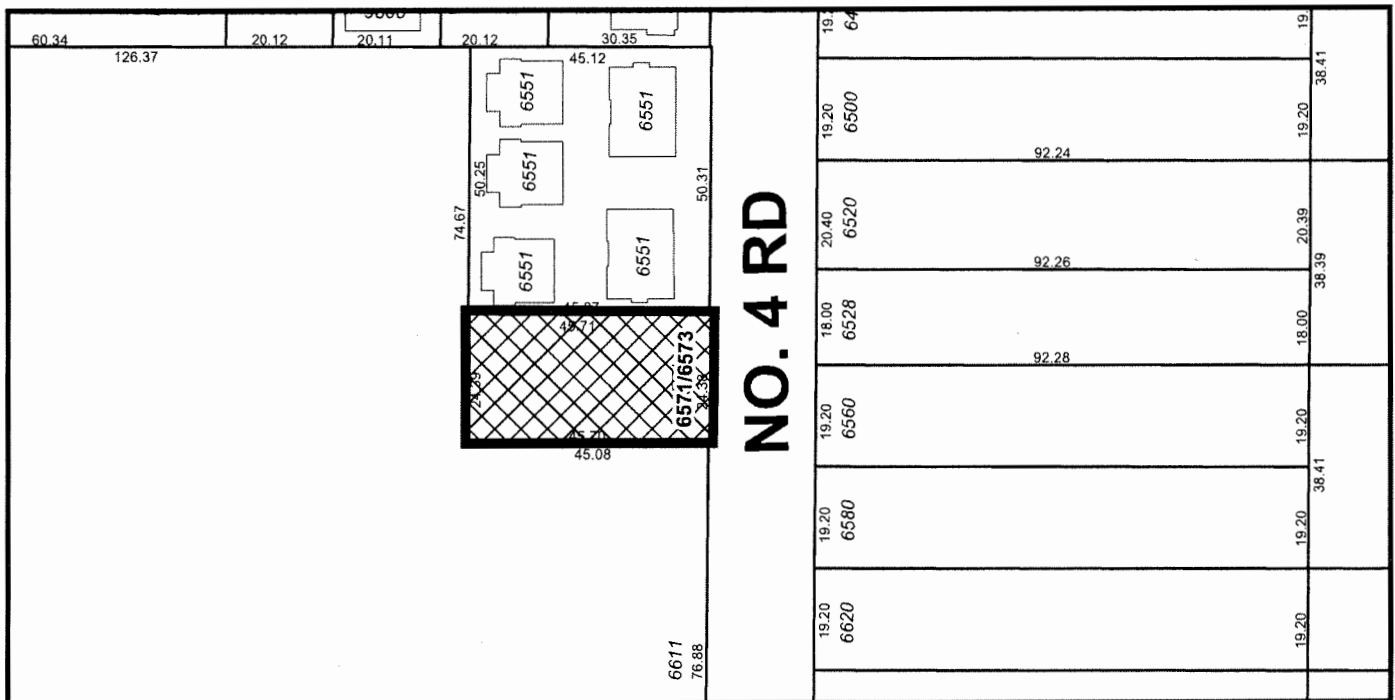
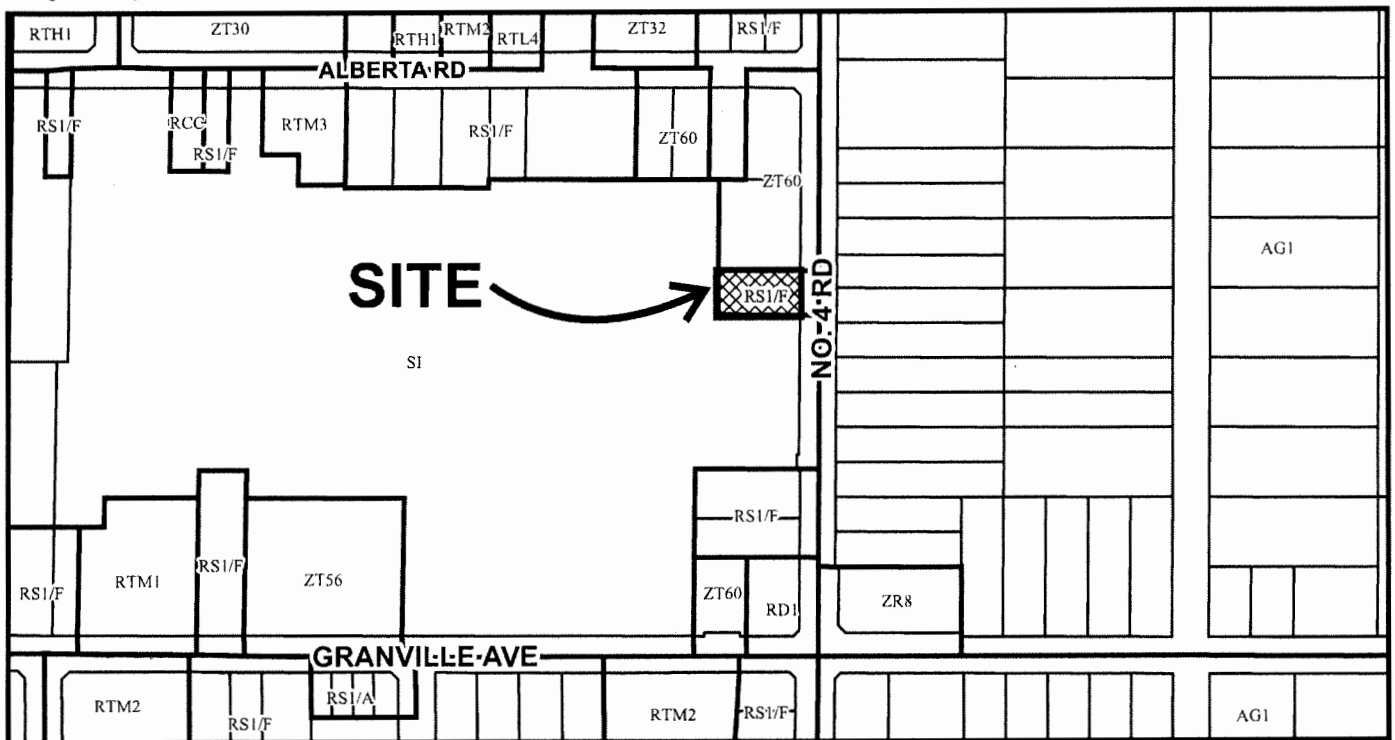
DELIVERED THIS DAY OF

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MAYOR



# City of Richmond



## DP 16-728670 SCHEDULE "A"

Original Date: 04/15/16

Revision Date: 08/17/17

Note: Dimensions are in METRES

# PROPOSED TOWNHOUSE DEVELOPMENT AT 6571-6573 NO. 4 ROAD, RICHMOND, BC

## DEVELOPMENT DATA

- (A) CIVIC ADDRESS: 6571-6573 NO. 4 ROAD, RICHMOND, BC
- (B) LEGAL DESCRIPTION: LOT 65 SECTION 10 BLOCK 4 NORTH RANGE 6 WEST NEW WESTMINSTER DISTRICT PLAN 46723
- (C) LOT AREA: 1,114 SM (11,991 SF) (BEFORE ROAD DEDICATION)  
1,091 SM (11,743 SF) (AFTER ROAD DEDICATION)
- (D) ZONING USE CURRENT: RS1/F, PROPOSED: ZT60

CURRENT ZONING (UNDER RS1/F ZONING)  
PROPOSED REZONING (ZT60)

- (E) FLOOR AREA RATIO 0.55 TO 454.5 SM  
0.3 TO REST OF SITE AREA TOTAL GROSS FLOOR AREA (7,633 SF)  
0.65  
0.65 X 1,091 SM = 709.15 SM
- (F) NUMBER OF UNIT: 1 PER LOT
- (G) BUILDING COVERAGE: MAX - 45%
- (H) BUILDING HEIGHT: MAX HEIGHT - 9M
- (H) SETBACK: FRONTYARD - 6M  
SIDEYARD - 2M  
REARYARD - 6M

## PROPOSED

- 0.633  
7432 SF NET GROSS FLOOR AREA
- 6 UNITS
- 40.0% (4702 SQ. FT.)
- BUILDING HEIGHT - 10.85M (35'7")
- FRONTYARD FACING NO 4 - 6.07M (19'11") (TO NEW PROPERTY LINE)
- NORTH SIDEYARD - 3.11M (10'2")
- SOUTH SIDEYARD - 3.54M (11'7")
- REAR YARD - 3.16M (10'4")

- RESIDENTIAL PARKING: 5 REGULAR PARKING  
2 TANDEM PARKING (4 REGULAR)
- VISITOR PARKING: 2 SMALL PARKING (SURPLUS)  
2 REGULAR

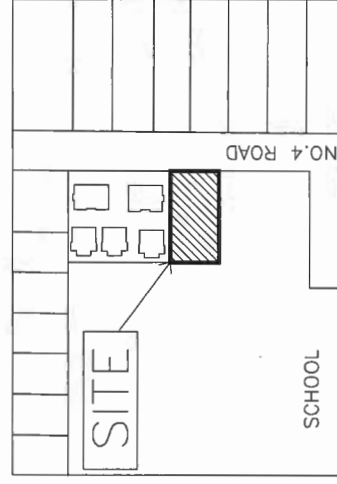
- BICYCLE VISITOR BIKE RACK 2
- TOWNHOUSE 8 (INSIDE GARAGE)

- OUTDOOR AMENITY SPACE PROVIDED: 36.7 SM 395 SQ. FT.
- CHILDREN PLAYGROUND: 36.7 SM 395 SQ. FT.
- TOTAL LIVE PLANT / LAWN AREA: 3110 SQ. FT. / 11743 SQ. FT = 26.4%
- TOTAL NON POROUS AREA: 6899 SQ. FT. / 11743 SQ. FT = 58.7%

- (I) PARKING: 1.4 PER DWELLING UNITS X6 = 9  
0.2 VISITOR PARKING / UNIT X6 = 2  
TOTAL = 11 REQUIRED  
ZT60 ZONING ALLOW TANDEM PARKING

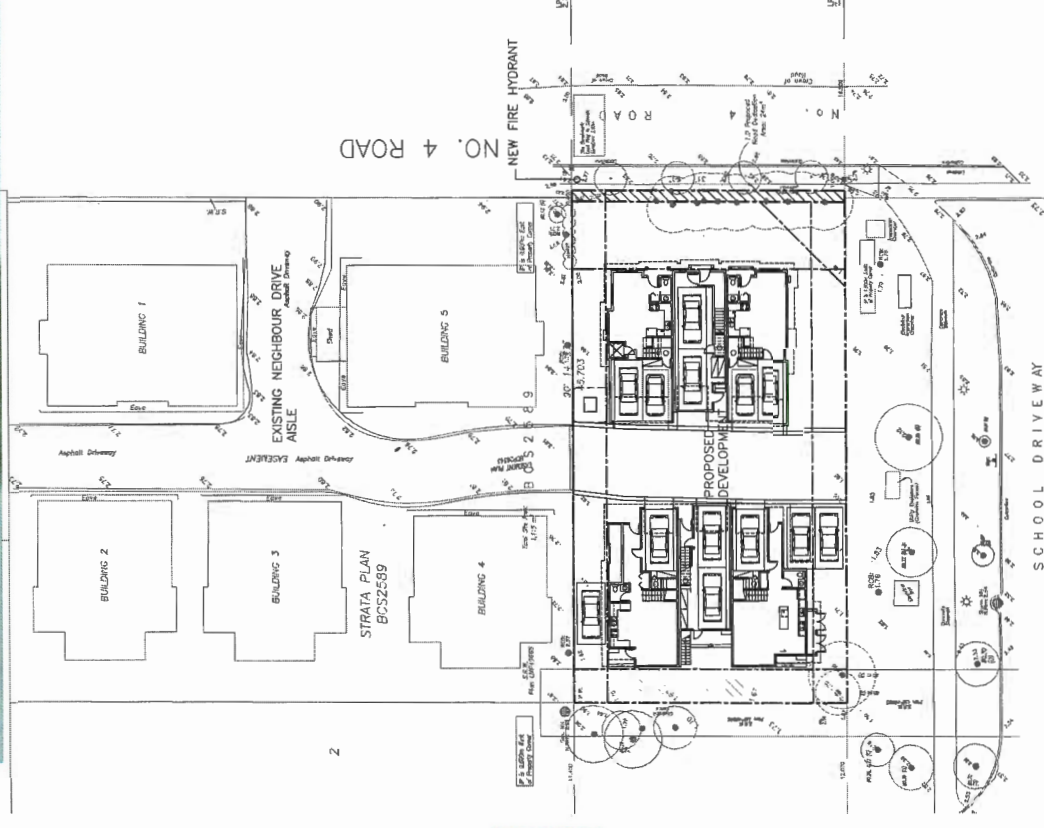
- VISITOR BICYCLE 0.2 PER DWELLING UNIT X6= 2
- RESIDENTIAL BICYCLE STORAGE 1.25 PER DWELLING UNIT X6=8

- OUTDOOR AMENITY SPACE 6SM PER UNIT X6= 36 SM (368SF)



## DRAWING LIST

- A1- DEVELOPMENT SUMMARY
- A1A-UPGRADE NOTE
- A2- SITE PLAN (1/1F)
- A2A- SITE PLAN ENVELOPE
- A3- PARKING PLAN
- A4- SITE PLAN (2/F & 3/F)
- A5- UNIT PLANS
- A6- UNIT PLANS
- A7- ELEVATIONS
- A8- ELEVATIONS & SECTIONS
- A9- ELEVATIONS COLOR
- A10- OPEN SPACE AREA
- A11-FAR DIAGRAM



2 SITE PLAN WITH ADJACENT LOTS

NTS

DP 16-728670 PLAN # 1

MAY 22 2018

A1

DEVELOPMENT PERMIT

ERIC LAW  
ARCHITECT

eric.law@ericlawarchitect.com  
1100 WEST 10TH AVENUE VANCOUVER, BC  
V6H 2T6  
TEL: (604) 505-3099  
FAX: (604) 909-2897  
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ISSUED	REVISION
1	2018.04.04 FOR DP APPLICATION
2	2018.10.25 FOR DP RESUBMISSION
3	2017.02.28 FOR CITY DP REVIEW
4	2017.05.24 FOR CITY DP RESUBMISSION
5	2017.07.21 FOR CITY DP RESUBMISSION
6	2017.07.27 FOR CITY DP RESUBMISSION
7	2017.09.22 FOR CITY DP RESUBMISSION
8	2018.04.16 FOR CITY DP AMENDMENT

REVISION	REVISION
7	2018.04.08 REMOVED TREE #1 AND TREE WELL
8	2018.03.15 RELOCATED HYDRANT LPT
5	2017.09.21 ADJUSTED ROOF AND BALCONY ADDED
4	2017.07.21 ADJUSTED PERMEABLE DIAGRAM
3	2017.05.15 ADJUSTED BACK RETAINING WALL HEIGHT
2	2017.02.28 FOR CITY DP EMAIL COMMENTS
1	2016.09.27 FOR CITY DP COMMENTS

PROPOSED TOWNHOUSE  
6571-6573 NO. 4 RD  
RICHMOND BC

## DEVELOPMENT SUMMARY

PROJECT NUMBER: 12-03  
ISSUED: 4/17/2018  
DRAWN BY: EL  
CHECKED BY: EL  
FILENAME: 12-03\_SFD\_180417-DPP-AMEND



**Proposed Policy Compliance Construction Specifications Review: Row Houses (middle & end units)**

All construction specifications are compliant with BCBC Code Sections 9.36 and 9.32 and all upgrades beyond the Base Case are listed below in **BOLD**:

<b>Slab on grade</b>	<b>R12 full under slab insulation and R12 slab edge insulation</b>
<b>Above Grade Wall Construction</b>	2x6 @ 16" o.c. R22 insulation
<b>Door Specification</b>	<b>Fiberglass or metal-skin polyurethane core doors. Glazing in doors: Double glazed, soft coat low E, insulated spacer, argon gas fill, picture windows; maximum USI 1.70</b>
<b>Ventilation Specification</b>	<b>Heat Recovery Ventilator (55% SRE@OC/45%SRE@-25C); distribution and ventilation rates as per BCBC Section 9.32</b>
<b>Air Tightness</b>	<b>5.5 ACH@50Pa: an estimate based on typical local construction. Refer to Note 3 below</b>
<b>Space Heating System</b>	<b>Air source heat pump (7.1 HSPF and 14.5 SEER minimum) with electric resistance heater in fan coil as back up</b>
<b>Energy Credits:</b>	
<b>Low energy lighting</b>	50% of lighting is EnergyStar rated; 190kWh/year credit
<b>Energy Star appliances</b>	EnergyStar fridge, dishwasher and clothes washer: 95kWh/year credit
<b>Solar Hot Water Ready</b>	<b>All units must comply with the BC Solar Hot Water Ready Regulation (refer to Guide to the Province of BC Solar Hot Water Ready Regulation 2013 for details)</b>

**CONCLUSION**

From the results obtained in this energy model the PMV is 0.06 which is between the -0.5 and +0.5 PMV acceptable bandwidth for thermal comfort conditions under ISO-7730 and ASHRAE standard 55. Therefore, air conditioning is required for this building design to adequately satisfy the cooling requirements and maintain human comfort levels in accordance with ASHRAE-55 standards and international Standards Organization (ISO) 7730.

**1. Roof Assembly**

The proposed roof construction assumed to be:

- asphalt shingles
- 1/2" plywood sheathing
- pre-engineered wood truss
- R40 batt insulation
- 1 layer 5/8" gypsum wall board

will provide adequate noise isolation to all interior spaces.

**2. Exterior Wall**

The proposed exterior wall construction assumed to be:

Location: Level 1

- Hardi-panel siding
- 1/2" plywood sheathing
- 2 x 6 wood studs @ 16" o/c
- R20 batt insulation
- 1/2" Type X gypsum wall board

Location: Levels 2 and 3

- Vinyl siding
- 1/2" plywood sheathing
- 2 x 6 wood studs @ 16" o/c
- R20 batt insulation
- 1/2" Type X gypsum wall board

will provide adequate noise isolation to all interior spaces except for all east-facing bedrooms in the East townhouse with direct exposure to No. 4 Road. These bedrooms require an additional layer of 1/2" type X gypsum wall board on all north, south, and east walls.

**3. Exterior Windows and Balcony/Patio Doors**

Windows with a standard glazing detail, assumed to be two layers of 3 mm glass separated by a 13 mm airspace (OITC 24), and sliding glass doors with a standard glazing detail, assumed to be one layer of 5 mm glass and one layer of 3 mm glass separated by a 13 mm airspace (OITC 26), will provide adequate noise isolation to all interior spaces with the exception of bedroom windows on the east facade of the building. The following table summarizes the required minimum Outdoor Indoor Transmission Class (OITC) ratings, including example window glazing, for all locations which require upgrading:

Minimum OITC Rating	Example Window Glazing	Location of Window
30	6Lam-16-6 two layers of 6mm glass (one layer laminated) separated by one 16mm airspace	All second floor bedrooms in east townhouse with direct exposure to No. 4 Road
32	6-10-4-10-8 one pane of 6mm glass and one pane of 4mm glass and one pane of 8mm glass separated by 10 mm air spaces	All third floor bedrooms in east townhouse with direct exposure to No. 4 Road

The locations of required window upgrades have been indicated on the architectural elevation/plan as shown in Figure 4.

All of the windows should be specified to meet the A3 performance rating for Air Tightness found in the CSA standard CAN/CSA-A440-08, or latest revision. Any other windows meeting the required OITC ratings are acceptable. Where a single laminated pane is specified and if there are no overriding considerations, the laminated pane should be installed on the interior side of the building since its acoustic performance will be somewhat temperature dependant. Note that the OITC rating varies with panel dimensions. As such, any test data or predicted OITC performance must reasonably reflect the panel dimensions adopted for this project. Any increase in window pane thickness or separating airspace thickness beyond that shown above is also acceptable. Effective weatherstripping should be installed on the exterior doors.

**4. Certification of Installation**

There is also a requirement in Richmond's Restrictive Covenant that the building can not be occupied until a Registered Professional approved by Richmond's Planning and Development Manager certifies that the building has been constructed in accordance with the design reviewed and the recommendations of the approved acoustic report. As stated in our proposal dated February 17, 2016,

EAST TOWNHOUSE

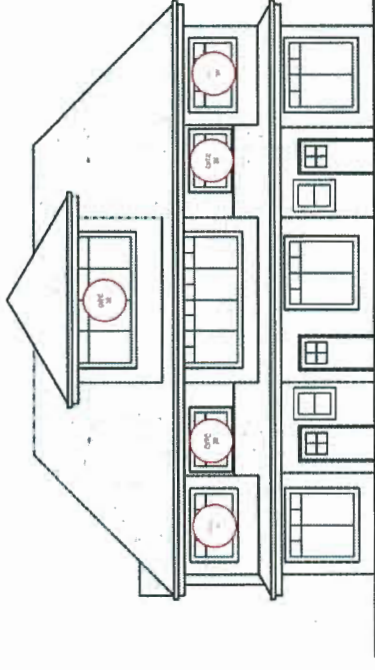


Figure 4: East Elevation Showing Required Window Upgrades

Date: July 2016

**ERIC LAW ARCHITECT**  
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ISSUED	FOR
1 2016.04.04	FOR DP APPLICATION
2 2016.10.25	FOR DP RESUBMISSION
3 2017.02.28	FOR CITY DP REVIEW
4 2017.05.24	FOR CITY DP RESUBMISSION
5 2017.07.21	FOR CITY DP RESUBMISSION
6 2017.07.27	FOR CITY DP RESUBMISSION
7 2017.08.22	FOR CITY DP RESUBMISSION
8 2018.04.16	FOR CITY DP AMENDMENT

7 2018.04.06	REMOVED TREE #1 AND TREE WELL
8 2018.03.15	RELOCATED HOMO LIT
9 2017.08.21	ADJUSTED ROOF AND BALCONY ASKED
4 2017.07.21	ADJUSTED PERMEABLE DIAGRAM
3 2017.05.15	ADJUSTED BACK RETAINING WALL HEIGHT
2 2017.02.28	FOR CITY DP EMAIL COMMENTS
1 2016.08.27	FOR CITY DP COMMENTS
	REVISION

**PROPOSED TOWNHOUSE**  
**6571-6573 NO. 4 RD**  
**RICHMOND BC**

**UPGRADE NOTES**

PROJECT NUMBER: 12-03
ISSUED: 4/17/2018
DRAWN BY: EL
CHECKED BY: EL
FILENAME: 12-03_SFD_180417-DPP-AMEND

MAY 22 2018

DP 16-728670 A1A

PLAN # 1A

DP 16-728670

DEVELOPMENT PERMIT

**ERIC LAW ARCHITECT**

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ISSUED	DESCRIPTION
1	2016.04.04 FOR DP APPLICATION
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7	2017.08.22 FOR CITY DP RESUBMISSION
8	2018.04.16 FOR CITY DP AMENDMENT

REVISION	DESCRIPTION
1	2017.02.28 PER CITY DP COMMENTS
2	2017.02.28 PER CITY DP COMMENTS
3	2017.05.15 ADJUSTED BACK RETAINING WALL HEIGHT
4	2017.07.21 ADJUSTED ROOF AND BALCONY ADDED
5	2018.03.15 RELOCATED HYDRO LIFT
6	2018.04.08 REMOVED TREE #1 AND TREE WELL

**PROPOSED TOWNHOUSE**  
**6571-6573 NO. 4 RD**  
**RICHMOND BC**

**SITE PLAN (1/F)**

PROJECT NUMBER: 12-03  
 ISSUED: 4/17/2018  
 DRAWN BY: EL  
 CHECKED BY: EL  
 FILENAME: 12-03\_SFD\_180417-DPP-AMEND

MAY 22 2018

**DP 16-728670**

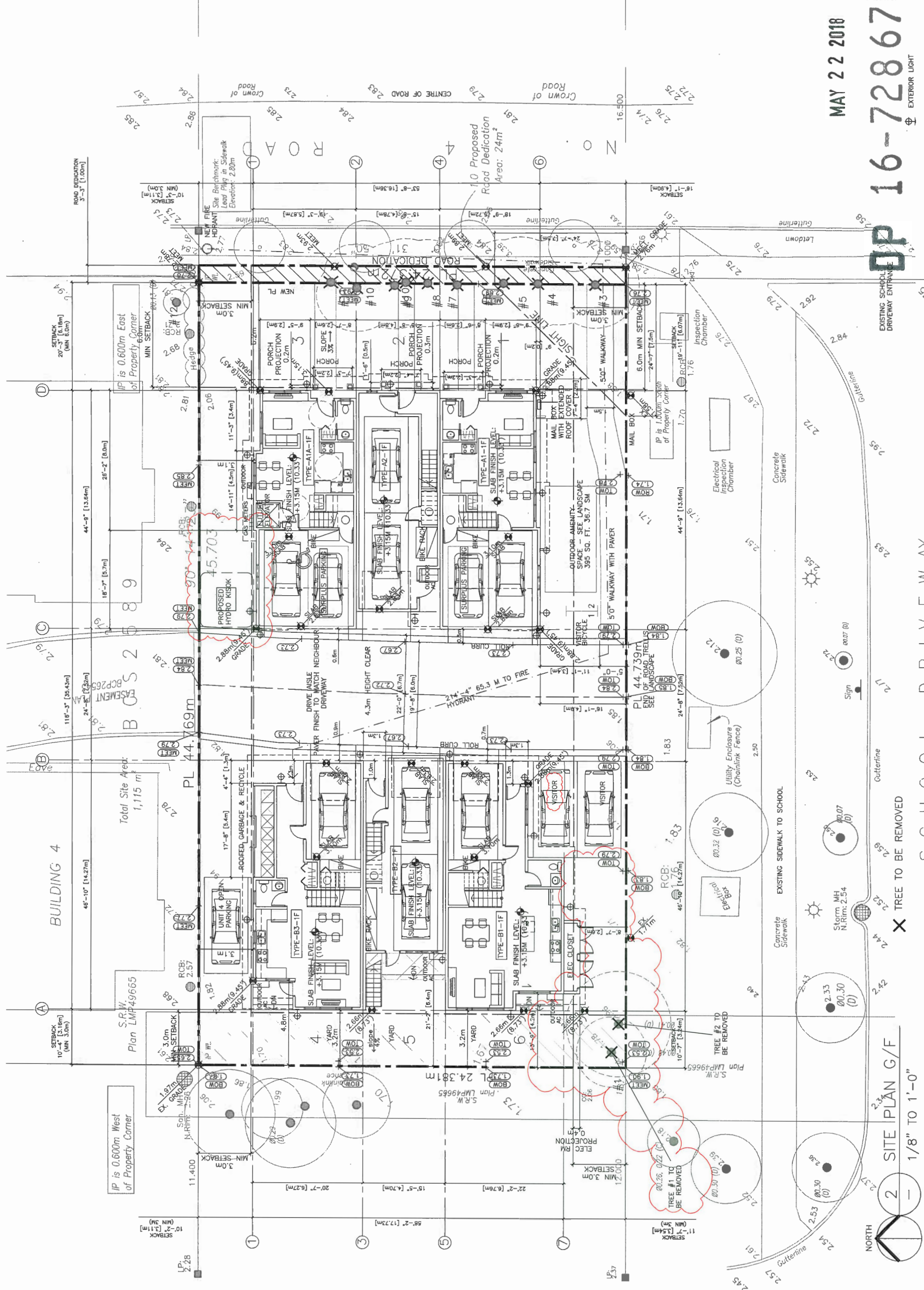
EXTERIOR LIGHT

**PLAN 218**

DP 16-728670

**A2**

DEVELOPMENT PERMIT



BUILDING 4

IP is 0.600m West of Property Corner

Total Site Area: 1,115 m<sup>2</sup>

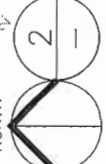
Plan LMP49665

IP is 0.600m East of Property Corner

MIN SETBACK 3.0m

ROAD DEDICATION 3'-3" [1.00m]

**2 SITE PLAN G/F**  
 1/8" TO 1'-0"



SCHOOL DRIVEWAY

EXISTING SCHOOL DRIVEWAY ENTRANCE

EXISTING SCHOOL DRIVEWAY ENTRANCE

ALSO SEE A4 FOR PARKING DIMENSIONS INSIDE THE UNIT

AIR-CONDITIONING IS REQUIRED IN ALL UNITS

A MINIMUM OF 20% OF PARKING STALLS TO BE PROVIDED WITH A 120V RECEPTACLE TO ACCOMMODATE ELECTRIC VEHICLE CHARGING EQUIPMENT.

AN ADDITIONAL 25% OF PARKING STALLS TO BE CONSTRUCTED TO ACCOMMODATE THE FUTURE INSTALLATION OF ELECTRIC VEHICLE CHARGING EQUIPMENT (E.G. PRE-DUCTED FOR FUTURE WIRING).

FINISH GRADE: 1.97 NE HOUSE CORNER: 2.88  
 NW LOT CORNER: 2.78 SE HOUSE CORNER: 2.88  
 NE LOT CORNER: 2.76 SW HOUSE CORNER: 2.88  
 SW LOT CORNER: 1.90 NW HOUSE CORNER: 2.88  
 AVERAGE GRADE: 2.61 M (8.56')

BUILDING HEIGHT: 13.45m -2.61m= 10.85m

eric.law@ericlawarchitect.com  
 10118 BIRCH WITH AVENUE VANCOUVER BC  
 TEL: (604) 905-3299  
 FAX: (604) 909-2897

COMPASSIONATE. RESPECTFUL. THIS PLAN AND DESIGN ARE AT ALL TIMES TO REMAIN THE PROPERTY OF ERIC LAW ARCHITECT INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION. THIS DRAWING IS FOR USE IN THIS PROJECT ONLY. ANY OTHER USE WITHOUT WRITTEN PERMISSION IS STRICTLY PROHIBITED.

ISSUED	DESCRIPTION
1 2016.04.04	FOR DP APPLICATION
2 2016.10.25	FOR DP RESUBMISSION
3 2017.02.26	FOR CITY DP REVIEW
4 2017.05.24	FOR CITY DP RESUBMISSION
5 2017.07.21	FOR CITY DP RESUBMISSION
6 2017.08.22	FOR CITY DP RESUBMISSION
7 2017.08.22	FOR CITY DP RESUBMISSION
8 2018.04.16	FOR CITY DP AMENDMENT

REVISION	DESCRIPTION
1 2018.08.27	PER CITY DP COMMENTS
2 2017.02.26	PER CITY DP EMAIL COMMENTS
3 2017.05.15	ADJUSTED BACK REPAIRING WALL ABOVE
4 2017.07.21	ADJUSTED PERMISSIBLE DIAPHRAM
5 2017.08.21	ADJUSTED ROOF AND BALCONY LFT
6 2018.03.15	RELOCATED HRRG LFT
7 2018.04.06	REMOVED TREE #1 AND TREE WELL

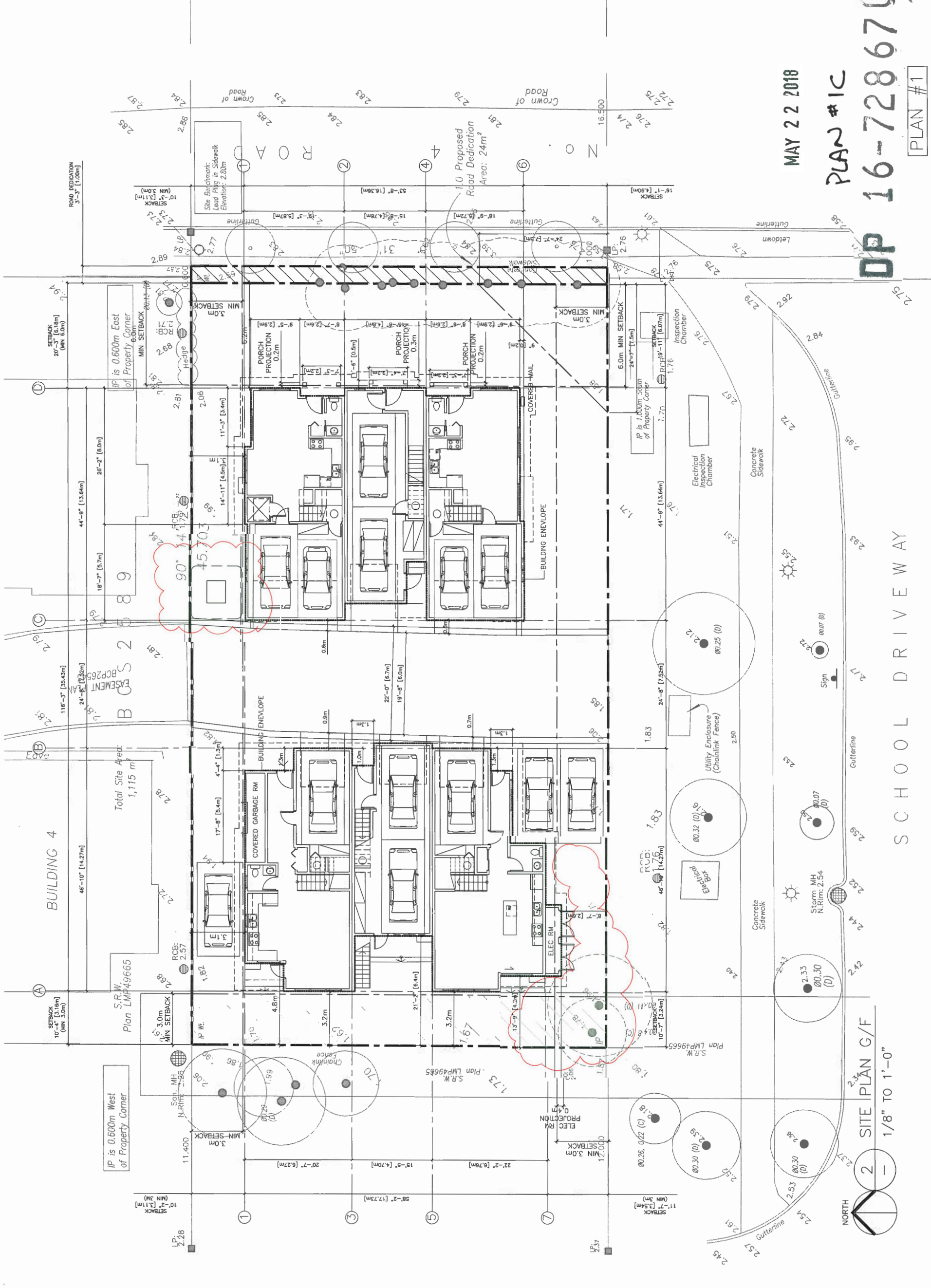
**PROPOSED TOWNHOUSE**  
**6571-6573 NO. 4 RD**  
**RICHMOND BC**

**SITE PLAN ENVELOPE**

PROJECT NUMBER: 12-03  
 ISSUED: 4/17/2018  
 DRAWN BY: EL  
 CHECKED BY: EL  
 FILENAME: 12-03\_SFD\_180417-DPP-AMEND

**A2A**

DEVELOPMENT PERMIT



MAY 22 2018

PLAN # IC

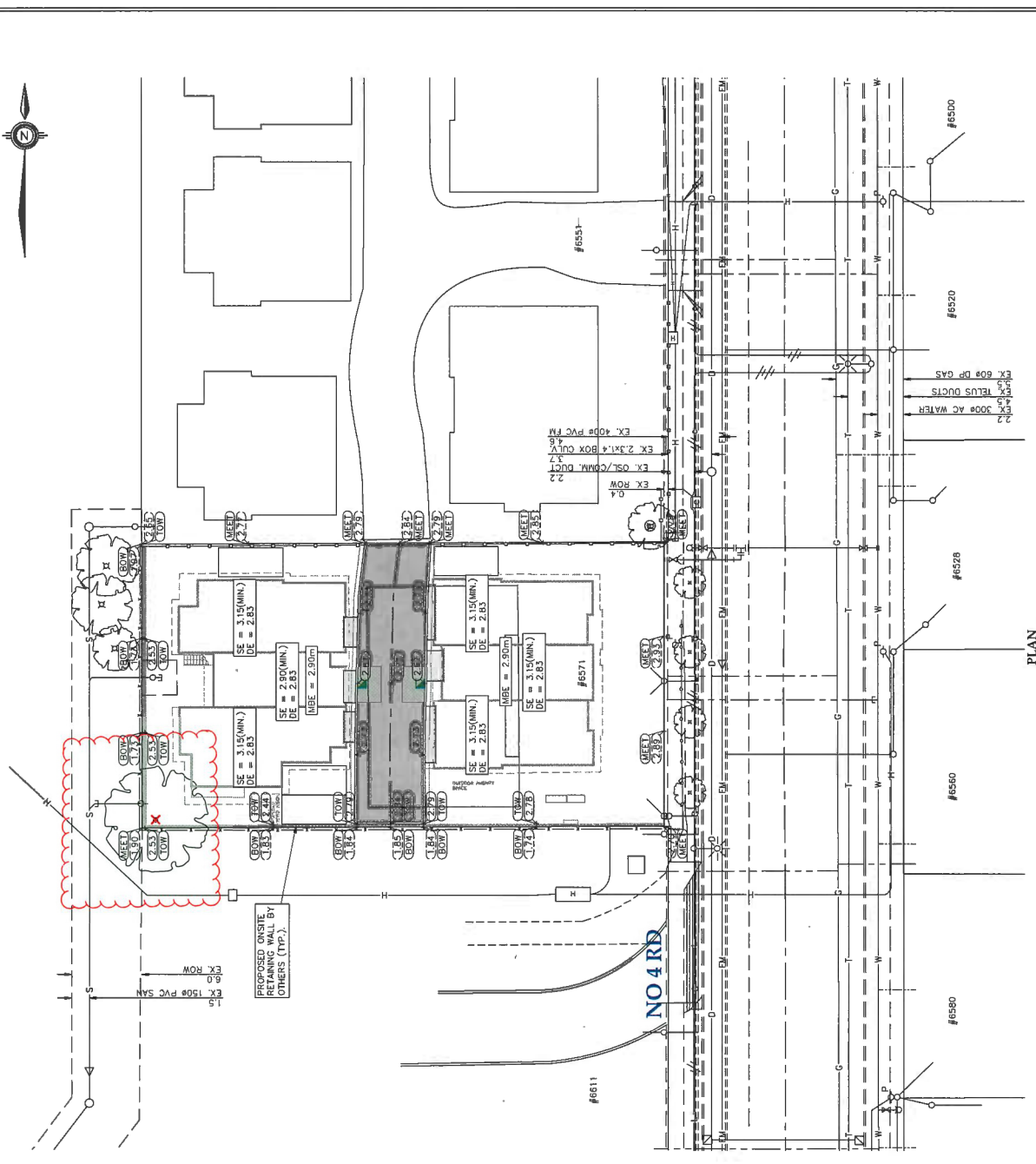
**DP 16-728670**

PLAN #1

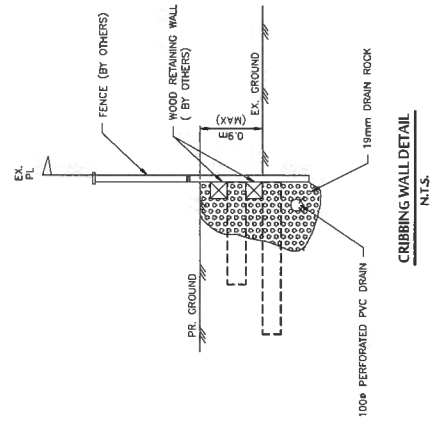
DP 16-728670

SCHOOL DRIVEWAY

SITE PLAN G/F  
 1/8" TO 1'-0"

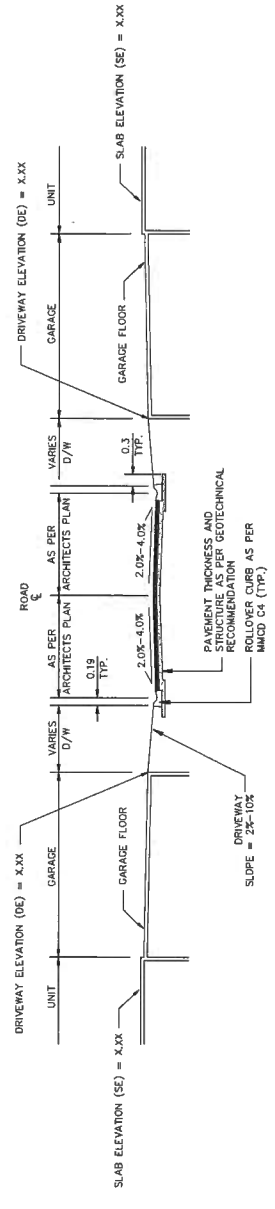


PLAN  
SCALE: 1:250

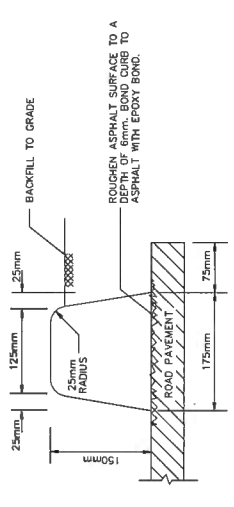


CRIBBING WALL DETAIL  
N.T.S.

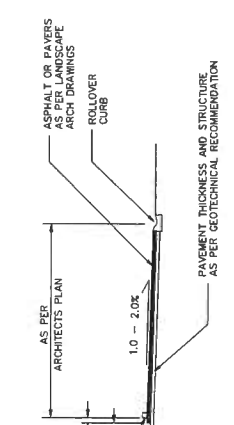
- ROADWORKS NOTES:**
- ROADWORKS TO BE CONSTRUCTED IN ACCORDANCE WITH RICHMOND ENGINEERING DEPARTMENT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
  - ASPHALT AND ROAD STRUCTURE TO BE CONSTRUCTED IN ACCORDANCE WITH GEOTECHNICAL REPORT.
  - SUBGRADE TO BE APPROVED BY GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF SUBBASE MATERIAL.
  - ALL SUBBASE AND BASE COURSE MATERIALS TO BE COMPACTED TO 95% MODIFIED PROCTOR DENSITY (MIN.) OR AS SPECIFIED BY THE GEOTECHNICAL ENGINEER.
  - ALL ROAD ELEVATIONS ARE PAVEMENT AND GUTTER ELEVATIONS.
  - ALL ROADWAY CURBS ARE ROLLED CURBS AS PER MASTER MUNICIPAL CONSTRUCTION DRAWING NO. C4.
  - ALL PARKING CURBS ARE AS PER DETAIL THIS SHEET. WHERE PARKING CURBS CONNECT TO ROADWAY CURBS THE PARKING CURB SHALL BE ADJUSTED TO PROVIDE A SMOOTH TRANSITION.
  - CURBS MUST BE INSTALLED WITHIN A VERTICAL TOLERANCE OF 5mm OR ARE SUBJECT TO REPLACEMENT AT THE CONTRACTOR'S COST.
  - GEOMETRIC CURB DATA REFERS TO THE BACK OF CURB.
  - FOR CONCRETE PAVING AND ROAD PAVERS LOCATIONS AND DETAILS REFER TO LANDSCAPE ARCHITECT'S DRAWINGS.
  - ELEVATIONS SHOWN AS THUS (SEE) ARE EXISTING ELEVATIONS.
  - ELEVATIONS SHOWN AS THUS (SEE) ARE PROPOSED FINISHED SURFACE ELEVATIONS.
  - ELEVATIONS SHOWN AS THUS (SEE) ARE PROPOSED FINISHED TOP OF RETAINING WALL ELEVATIONS.
  - COORDINATES (IF SHOWN ON THIS PLAN) MAY NOT MATCH THOSE SHOWN ON PLANS PREPARED BY OTHERS.



TYPICAL ROADWAY / UNIT CROSS-SECTION  
SCALE: 1:100 HOR., N.T.S. VERT.



CONCRETE PARKING CURB DETAIL  
SCALE=N.T.S.



PARKING STALL DETAIL  
SCALE: 1:100 HOR., N.T.S. VERT.

**FORIS E.C. SERVICES**  
THE SUBMITTER OF THIS DRAWING SHALL BE RESPONSIBLE FOR DETERMINING THE LOCATION OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR OBTAINING PERMITS FOR THEIR RELOCATION IN ORDER TO FACILITATE INSTALLATION LOCATIONS MAY BE OBTAINED FROM:  
BC ONE CALL SERVICE RECORDS DEPARTMENT  
TELEPHONE: (604) 257-1900

FORIS REQUIRES 10 DAYS NOTICE PRIOR TO THE COMMENCEMENT OF ANY WORK.

**NOTES:**  
ALL ELEVATIONS ARE TO GEOMETRIC DATA AND REFER TO RICHMOND BENCHMARK NUMBER.  
HPN #190, CONTROL MONUMENT 94H1524  
LOCATED IN E. SIDE NO. 5 ROAD OPP. CL. GRANVILLE AVE.  
ELEVATION = 2.353 meters

ALL MATERIALS AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE CURRENTLY APPLICABLE SPECIFICATIONS OF THE CITY OF RICHMOND SUPPLEMENTARY SPECIFICATIONS AND DETAIL DRAWINGS, UNLESS OTHERWISE NOTED.

**CoreConcept CONSULTING LTD.**  
#220-2639 Viking Way, Richmond, BC, V6V 3B7  
www.coreconceptconsulting.com

**ANWER KAMAL**  
Core Concept Consulting Project No. 10052  
DWG. 3 OF 4

REV#	DATE	BY	CH.	DESCRIPTION	REVISIONS
0.	10 APR 2018	SL	RF	ISSUED FOR COORDINATION	

**NOT FOR CONSTRUCTION**

**ROADWORKS**  
6571 NO. 4 ROAD  
CITY FILE: ---

DESIGN: CA  
DRAWN: CC  
CHECKED: BCD  
ENGINEER: RF

DATE: NOV 2018  
SCALE: 1:1,250  
SEC. No.: 10-4-6  
SHT No.: 1 OF 1

PLAN # 1D  
MAY 22 2018  
DP 16-728670

**City of Richmond**  
8811 NE 3 ROAD RICHMOND B.C. V6Y 2C1

eric.law.architect@gmail.com  
 219 288 WEST AVENUE VANCOUVER BC  
 V6J 1Y1  
 TEL (604) 505-2089  
 FAX (604) 505-2097  
 ARCHITECTURE, INTERIOR DESIGN, LANDSCAPE ARCHITECTURE, ENVIRONMENTAL DESIGN. WE TAKE ALL THINGS TO REMAIN THE EXCLUSIVE PROPERTY OF ERIC LAW ARCHITECT. THIS DRAWING IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ERIC LAW ARCHITECT. THIS DRAWING IS FOR USE IN THIS SPECIFIC PROJECT ONLY AND SHALL NOT BE REUSED FOR ANY OTHER PROJECT WITHOUT WRITTEN PERMISSION.

ISSUED	DESCRIPTION
1 2016.04.04	FOR DP APPLICATION
2 2016.10.25	FOR DP RESUBMISSION
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4 2017.05.24	FOR CITY DP RESUBMISSION
5 2017.07.21	FOR CITY DP RESUBMISSION
6 2017.07.27	FOR CITY DP RESUBMISSION
7 2017.08.22	FOR CITY DP RESUBMISSION
8 2018.04.16	FOR CITY DP AMENDMENT
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**PROPOSED TOWNHOUSE  
 6571-6573 NO. 4 RD  
 RICHMOND BC**

**PARKING-PLAN**

MAY 22 2018

PLAN #2  
 DP 16-728670

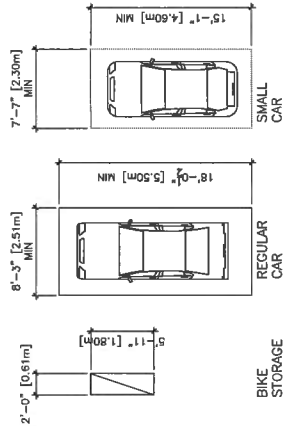
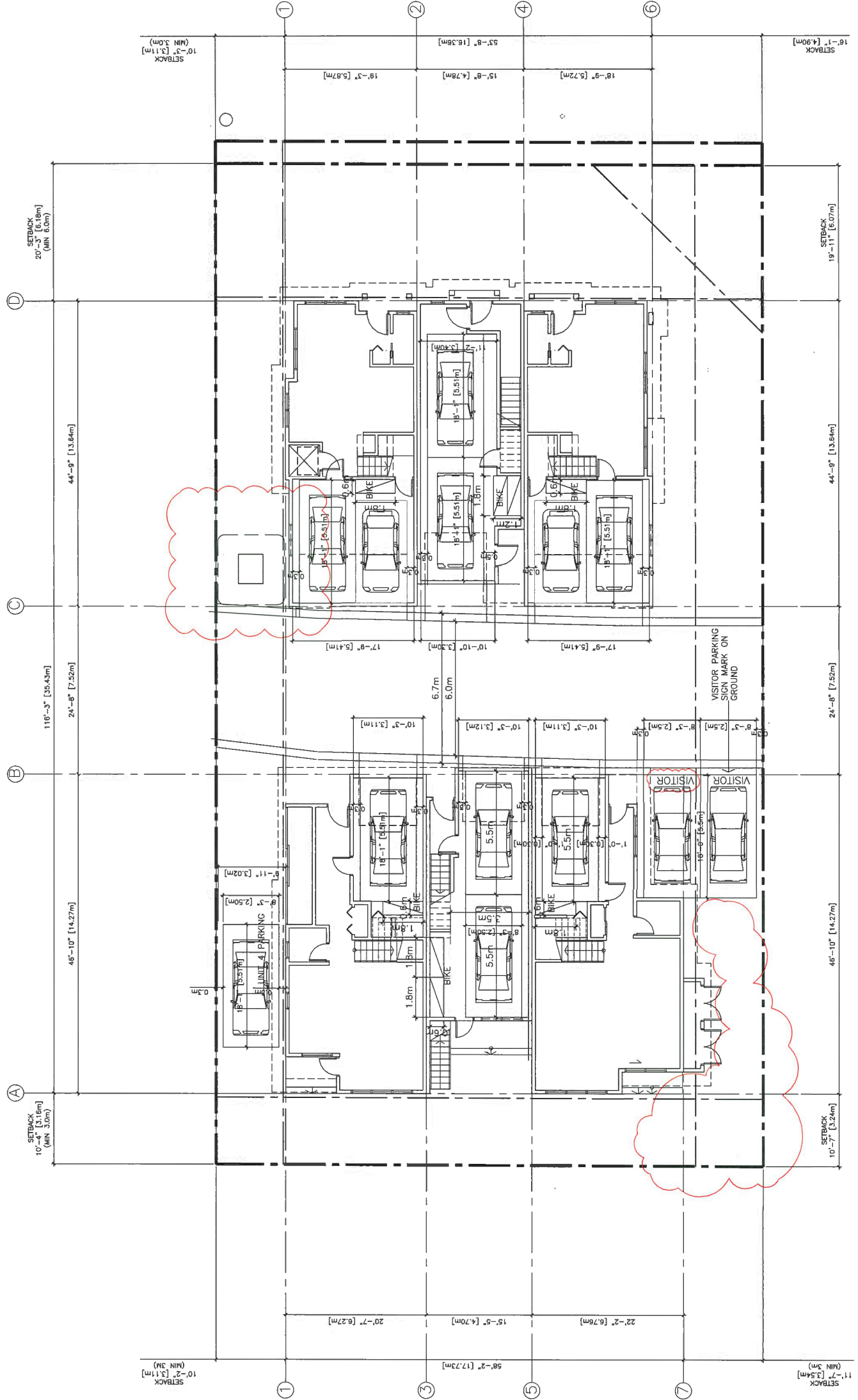
PLAN #2

DP 16-728670

A3

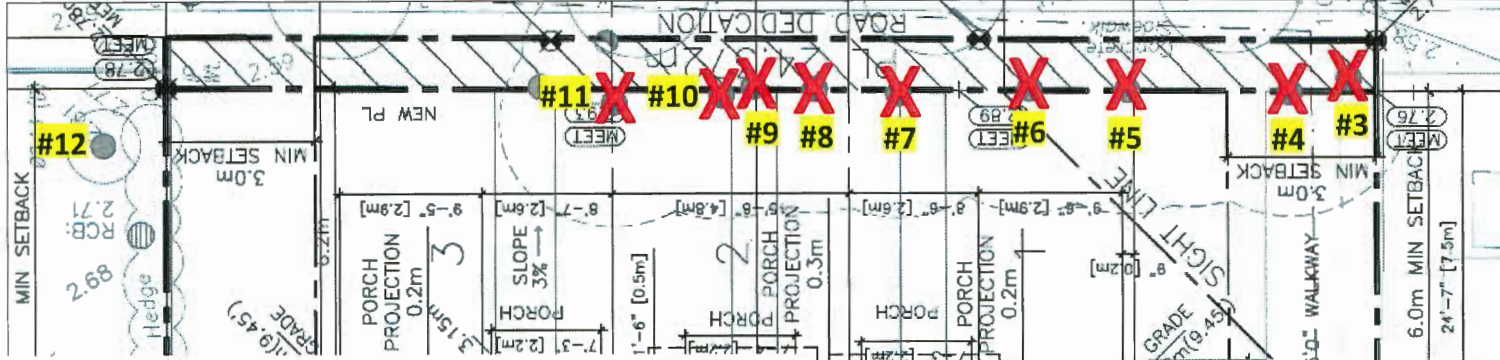
DEVELOPMENT PERMIT

PROJECT NUMBER: 12-03  
 ISSUED: 4/17/2018  
 DRAWN BY: EL  
 CHECKED BY: EL  
 FILENAME: 12-03\_SFD\_180417-DPP-AMEND



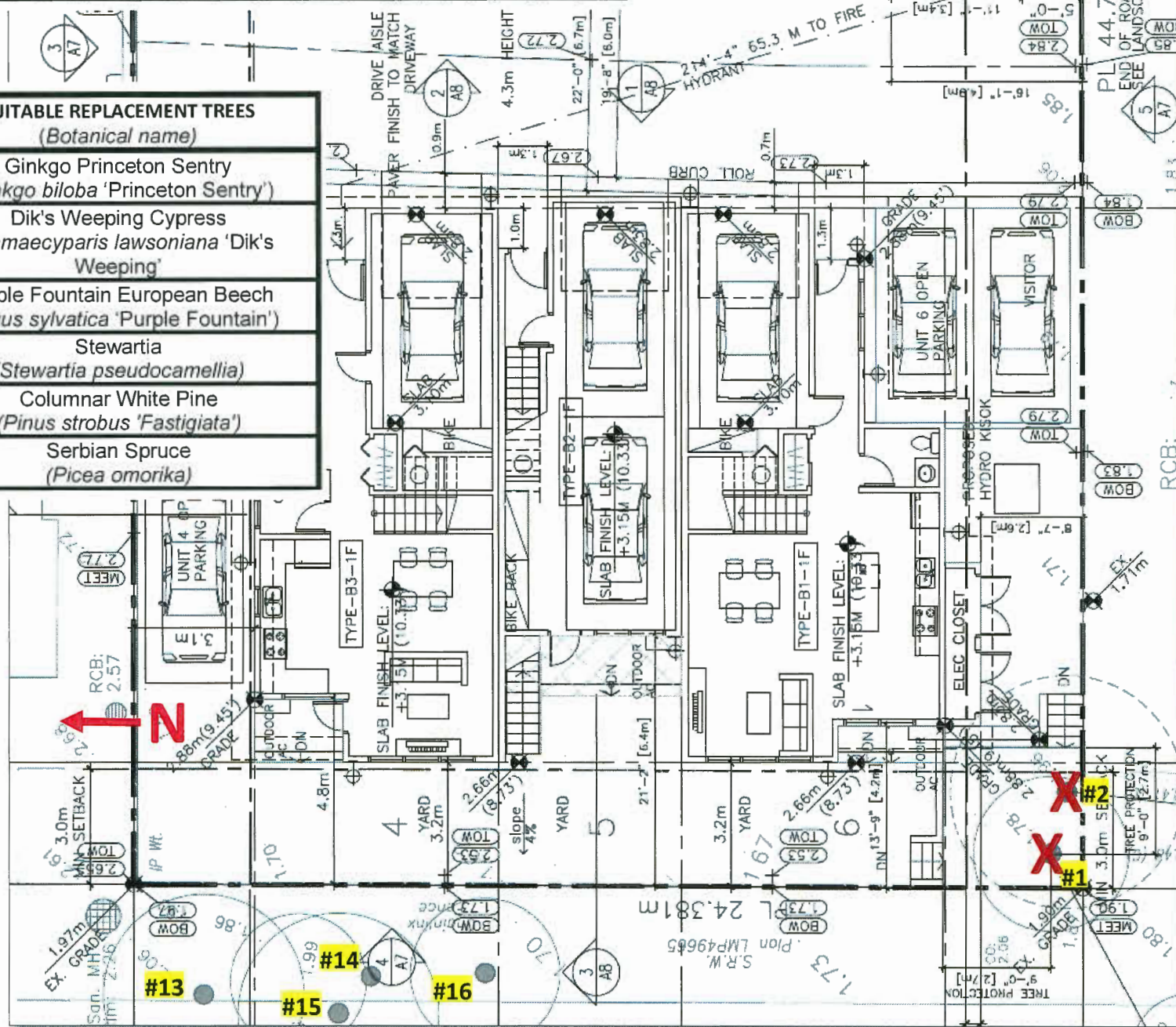
PROPOSED	
1.4 PER DWELLING UNIT X6 = 9	RESIDENTIAL PARKING 5 REGULAR PARKING
0.2 VISITOR PARKING / UNIT X6 = 2	2 TANDEM PARKING (4 REGULAR)
TOTAL = 11 REQUIRED	2 SMALL PARKING (SURPLUS)
ZT60 ZONING ALLOW TANDEM PARKING	VISITOR PARKING: 2 REGULAR
VISITOR BICYCLE	BICYCLE
0.2 PER DWELLING UNIT X6 = 2	VISITOR BIKE RACK 2 (INSIDE GARAGE)
RESIDENTIAL BICYCLE STORAGE	TOWNHOUSE 8
1.25 PER DWELLING UNIT X6 = 6	

Tree Removal & Retention Plan, Scale 1/16 = 1'



TREE #	TREE SPECIES (on site) (Botanical name)	DBH (cm)	SPREAD (m) Radius
1	Cedar ( <i>Thuja plicata</i> .)	44	4
2	Birch ( <i>Betula sp.</i> )	45	4.5
3	Cedar ( <i>Thuja plicata</i> .)	27	4
4	Cedar ( <i>Thuja plicata</i> .)	31	3.5
5	Cedar ( <i>Thuja plicata</i> .)	41	3.5
6	Cedar ( <i>Thuja plicata</i> .)	46	3.5
7	Cedar ( <i>Thuja plicata</i> .)	29	3.5
8	Cedar ( <i>Thuja plicata</i> .)	24	3.5
9	Cedar ( <i>Thuja plicata</i> .)	30	3.5
10	Cedar ( <i>Thuja plicata</i> .)	34	3.5
11	Cedar ( <i>Thuja plicata</i> .)	39	4

SUITABLE REPLACEMENT TREES (Botanical name)
Ginkgo Princeton Sentry ( <i>Ginkgo biloba</i> 'Princeton Sentry')
Dik's Weeping Cypress <i>Chamaecyparis lawsoniana</i> 'Dik's Weeping'
Purple Fountain European Beech ( <i>Fagus sylvatica</i> 'Purple Fountain')
Stewartia ( <i>Stewartia pseudocamellia</i> )
Columnar White Pine ( <i>Pinus strobus</i> 'Fastigiata')
Serbian Spruce ( <i>Picea omorika</i> )



DP 16-728670

PLAN # 3

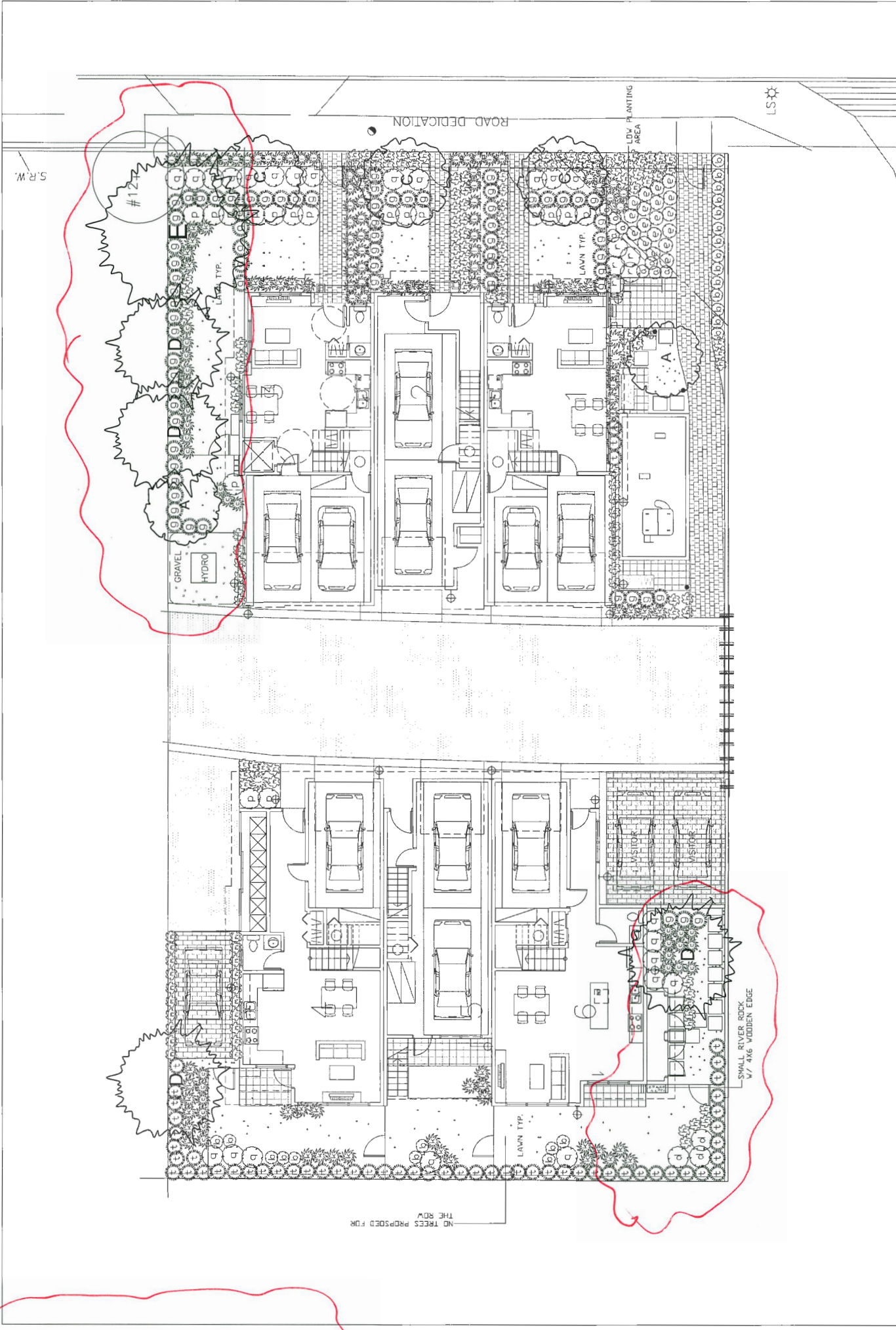
MAY 22 2018



PLANT LIST	Symbol	Botanical Name	Common Name	Size	Spacing
	Trees				
2	A	Cornus mas	Cornelian Cherry Dogwood	9cm cal B&B	as shown
0	B	Magnolia kobus	Kobus Magnolia	8cm cal B&B	as shown
3	C	Styrax japonica	Japanese Strobil	9cm cal B&B	as shown
4	D	Pinus nigra	Austrian Black pine	4.5m High, B&B	as shown
1	E	Thuja plicata	Western Red Cedar	46cm cal, B&B	as shown
	Shrubs, Perennials & Grasses				
8	a	Azalea japonica Wardii Ruby	Evergreen Azalea	# 3 pot	as shown
24	b	Azalea japonica Diamond Red	Evergreen Azalea	# 3 pot	as shown
29	c	Polystichum muratum	Western Sword Fern	# 2 pot	as shown
3	d	Polystichum muratum	Western Sword Fern	# 2 pot	as shown
18	e	Erica x darleyensis 'Siberianmize'	Dwarf Oregon Grape	# 2 pot	as shown
0	f	Erica x darleyensis 'Siberianmize'	Winter White Heather	# 2 pot	as shown
72	g	Teucrium x media 'Hicks'	Mediterranean Pink Heather	B&B 4' High	as shown
89	h	Carex nemoralis 'Aureo-ovata'	Hicks' Yew	# 2 pot	as shown
56	i	Helictotrichon sempervirens	Variagated Sedge	# 2 pot	as shown
0	j	Arctostaphylos uva-ursi 'Vancouver Jade'	Blue Oak Grass	# 2 pot	as shown
48	k	Arctostaphylos uva-ursi 'Vancouver Jade'	Kimblinick	# 2 pot, 18" O.C.	as shown
3	l	Miscanthus 'Gracillimus'	Siberian Iris	# 3 pot	as shown
56	m	Festuca ovina glauca 'Elijah Blue'	Medfin Grass	# 3 pot	as shown
0	n	Nandina domestica	Eight Blue Ficus	# 3 pot	as shown
17	o	Rhododendron 'Unique'	Heavenly Bamboo	# 3 pot	as shown
23	p	Rhododendron 'Mary Fleming'	Rhododendron	# 3 pot	as shown
5	q	Rhododendron 'Purple Splendor'	Rhododendron	# 3 pot	as shown
0	r	Rosa mediland 'La Straliera'	Rose	# 3 pot	as shown
0	s	Rhododendron 'Christmas Cheer'	Rhododendron	# 3 pot	as shown
56	t	Thuja occidentalis 'Smaragd'	Emerald Green Cedar	6' High, B & B, trim top	as shown

NOTES:

- Maintain min. 2% slope away from building.
- All plants and landscape installation to conform to BCSLA Landscape Standards Latest Edition.
- All growing medium to be tested by PSAI (604-273-8226) and amended accordingly if necessary, and to be tested again at Substantial Completion.
- Minimum planting medium depths:  
lawn-67150mm, 9" on slab  
groundcover &  
shrubs-187450mm, min 18" on slab  
trees-127300mm, all around the rootball, 24" small trees on slab, 30" medium sized trees on slab  
For detailed info see specifications
- All plant material shall meet minimum size requirements as indicated in plant list.
- Trees planted in lawn areas to have 1 m dia. mulched ring.
- Make sure wire around rootballs to be cut and removed to prevent gridding.
- All proposed trees should be planted min. 3 m away from building foundation or face of buildings or retaining walls.
- Install min. 2" of composted bark mulch on all shrub beds after planting and rake smooth. Mulch to be 9.5mm screened composted bark mulch.
- Contractor to ensure all plant material delivered to site is from nurseries certified to be free from the Phytophthora ramorum virus (Sudden Oak Death).
- Contractor to report any discrepancies in plant numbers immediately to Landscape Architect.
- All on-site landscape to be irrigated with an automatic irrigation system.
- Provide one hose bib for every unit to cover all landscaped areas.



PLAN #3B

MAY 22 2018

OP 16-729670

L-3

LANDSCAPE PLAN/  
PLANT LIST/DETAIL

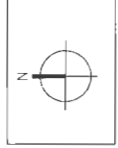
TOWNHOUSE DEVELOPMENT  
6571-6573 NO. 4 ROAD, RICHMOND, BC

SCALE 1/8"=1'-0"  
DATE MAY, 18  
DRAWN  
JOB NO.

4370, Maple Street, Vancouver, BC  
Tel: 604-683-8513  
Fax: 1-866-277-9554  
Email: [info@jhl.com](mailto:info@jhl.com)

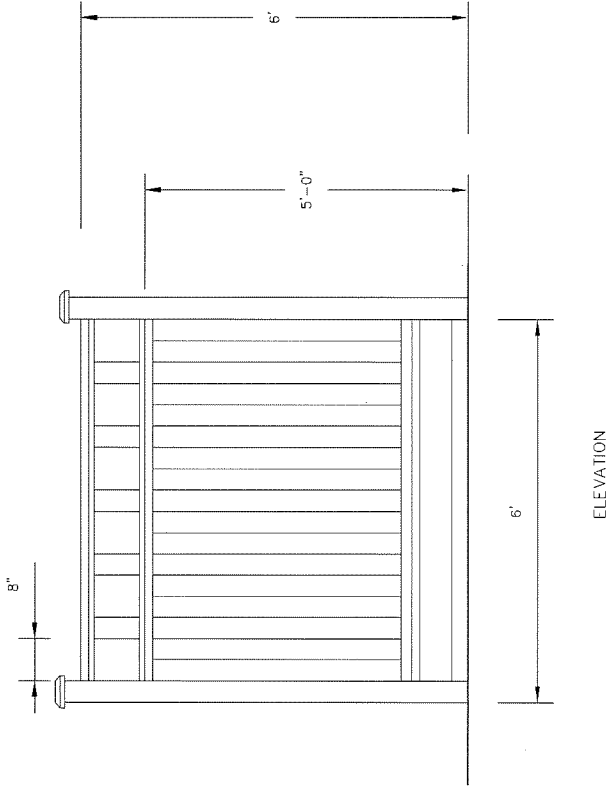
JHL Design Group Inc.  
Landscape Architecture + Urban Design

DATE	REVISIONS
Oct., 16	1st Revision Submission
Feb., 17	2nd Revision Submission
March, 17	3rd Revision Submission
Aug., 17	4th Revision Submission
March, 18	5th Revision Submission

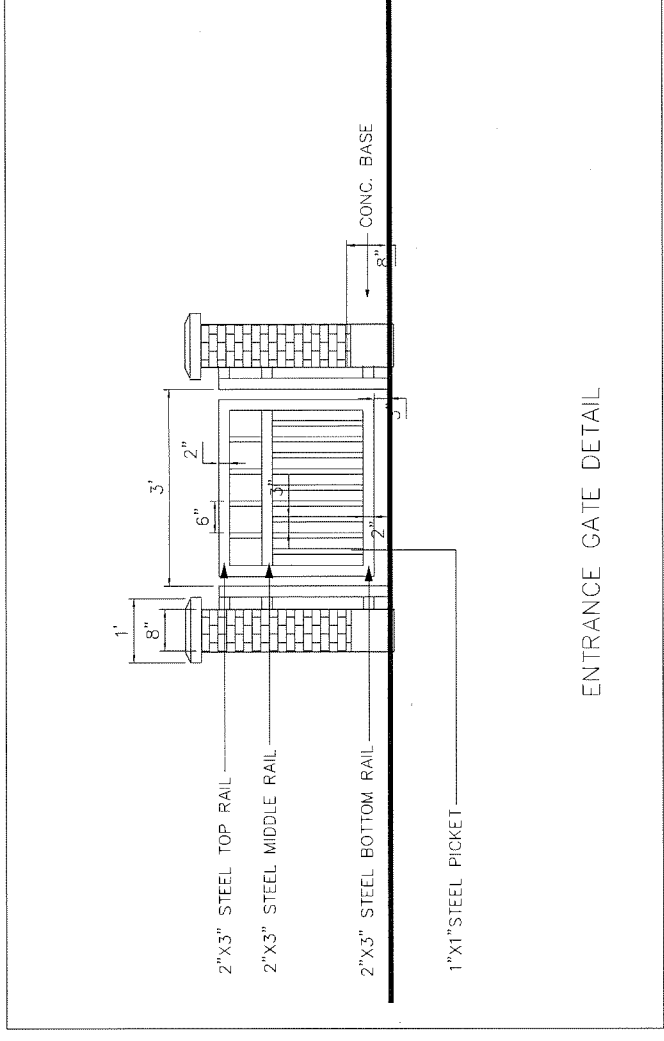
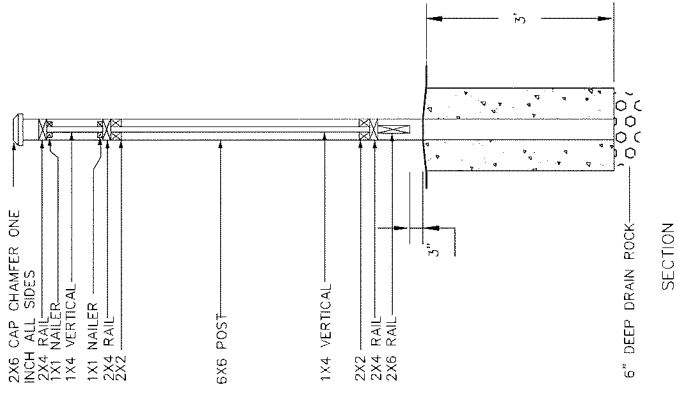


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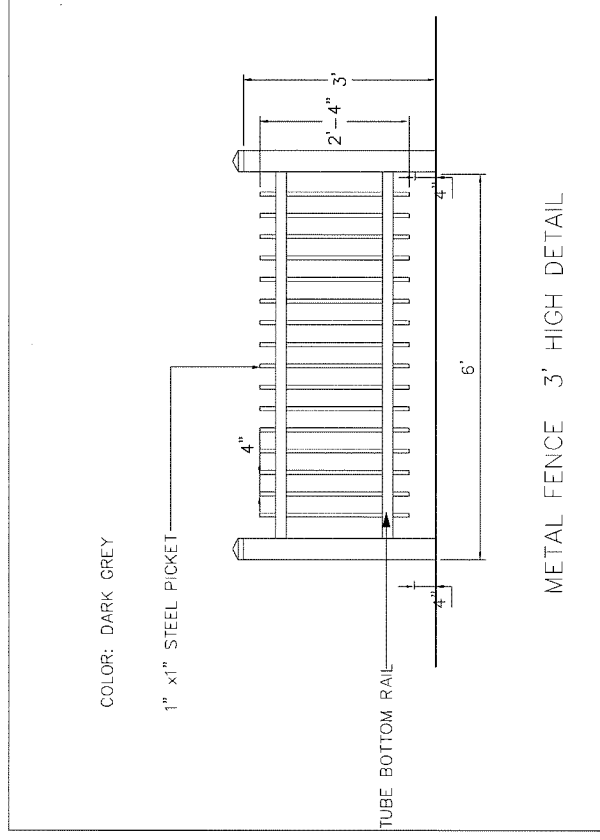




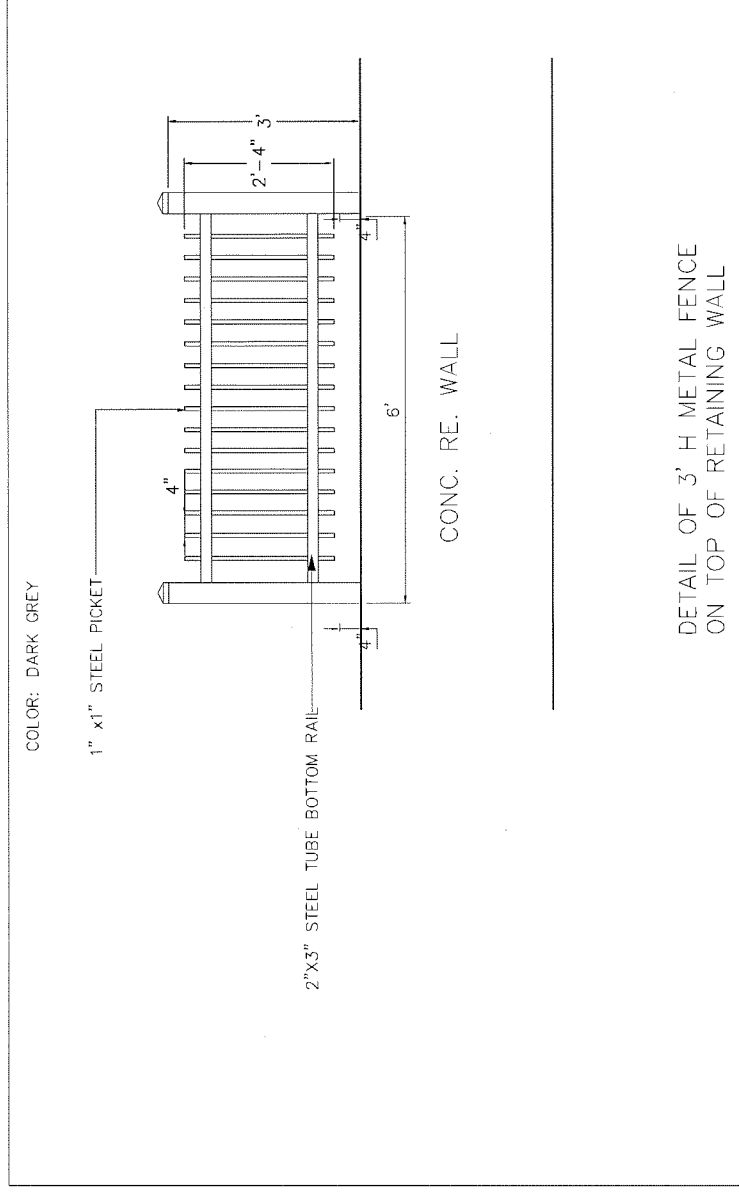
6' HIGH CEDAR FENCE DETAIL



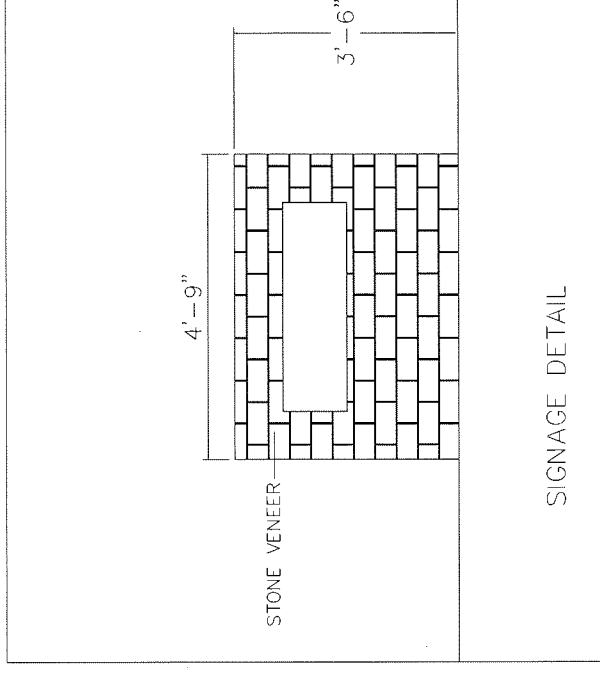
ENTRANCE GATE DETAIL



METAL FENCE 3' HIGH DETAIL



DETAIL OF 3' H METAL FENCE ON TOP OF RETAINING WALL



SIGNAGE DETAIL

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DATE	REVISIONS
April, 16	DP Submission
Oct., 16	DP Revision Submission
Feb., 17	DP Revision Submission
March, 17	DP Revision Submission
Aug., 17	DP Revision Submission

**JHL Design Group Inc.**  
Landscape Architecture + Urban Design

4370, Maple Street, Vancouver, BC  
Tel: 604-283-8613  
Fax: 1-866-277-9554  
Email: [phdesign@jhl.com](mailto:phdesign@jhl.com)

SCALE	DATE	JOB NO.
3/4" = 1'-0"	AUG., 17	
	DRAWN	
	JOB NO.	

PROJECT TITLE  
TOWNHOUSE DEVELOPMENT  
6571-6573 NO. 4 ROAD, RICHMOND, BC

DETAILS

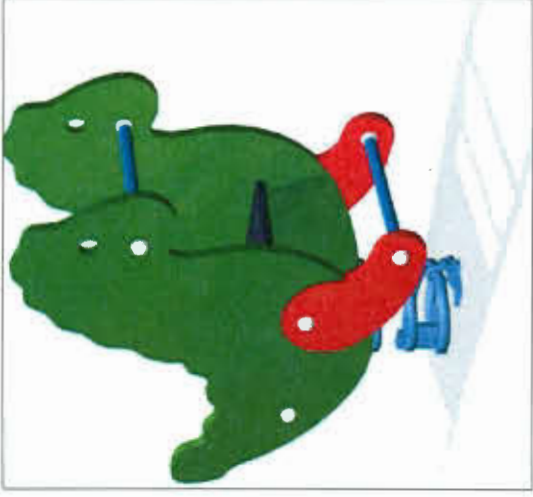
L-4

PLAN #3C MAY 22 2018

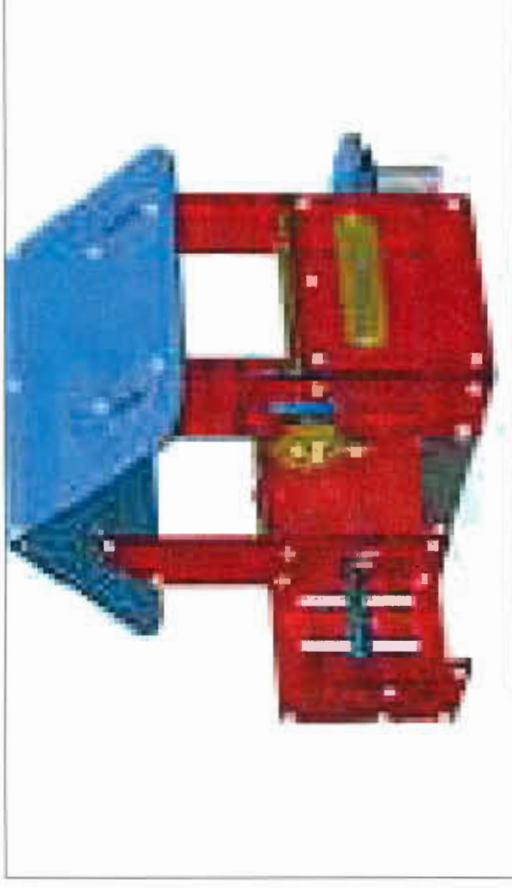
DP 16-728670



IMAGEOF SPRING TOY BY KOMPAN



IMAGEOF SPRING TOY BY KOMPAN



IMAGEOF PLAY HOUSE BY KOMPAN  
(RED HOUSE, M7000)



IMAGEOF BOLLARD LIGHTING  
(BY FAIRWEATHER, DOWNLIGHTLED 3P' H8G)



IMAGEOF BENCH  
MODEL: M.B. 720W



IMAGEOF BIKE RACK  
(BY CORA CANADA)

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DATE	REVISIONS
April, 16	DP Submission
Oct., 16	DP Revision Submission
Feb., 17	DP Revision Submission
March, 17	DP Revision Submission
Aug., 17	DP Revision Submission

**JHL Design Group Inc.**  
Landscape Architecture + Urban Design

4370, Maple Street, Vancouver, BC  
Tel: 604-283-8813  
Fax: 1-866-277-9254  
Email: [info@jhl-design.com](mailto:info@jhl-design.com)

SCALE	1/2" = 1'-0"
DATE	Aug., 17
DRWNR	
JOB NO.	

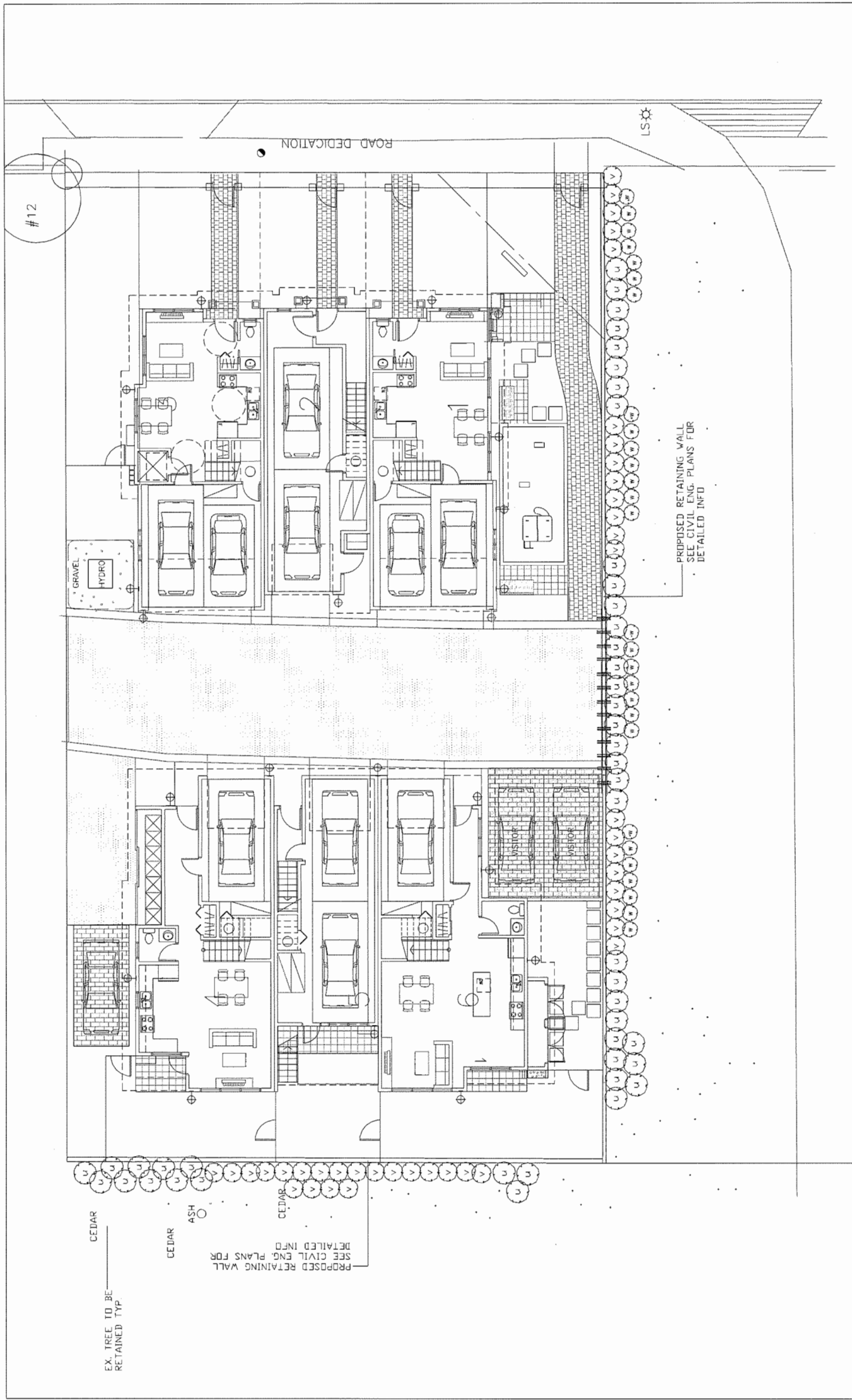
PROJECT TITLE  
TOWNHOUSE DEVELOPMENT  
6571-6573 NO. 4 ROAD, RICHMOND, BC

DRAWING TITLE  
IMAGES

L-6

PLAN #3E MAY 22 2018

DP 16-728670



#12

EX. TREE TO BE  
RETAINED TYP.

CEADAR

CEADAR

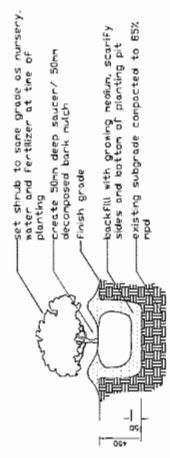
ASH

CEADAR

PROPOSED RETAINING WALL  
SEE CIVIL ENG. PLANS FOR  
DETAILED INFO

PROPOSED RETAINING WALL  
SEE CIVIL ENG. PLANS FOR  
DETAILED INFO

NOTE:  
Off-site landscape installation will be commenced at the  
same time of the on-site landscape installation.



SHRUB PLANTING DETAIL

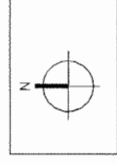
PLANT LIST	OFF-SITE	Common Name	Size	Spacing
Symbol	Botanical Name			
Trees				
Shrubs, Perennials & Grasses				
45	Mahonia aquifolium	Oregon Grape	# 2 pot	as shown
41	Rosa rugosa 'Alba'	York Rose	# 2 pot	as shown
28	Erica x Darleyensis 'Arthur Johnson'	Pink Winter Heather	# 1 pot	as shown

PLAN # 3F

MAY 22 2018

DP 16-728670

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landscape architect's written consent.



DATE	REVISIONS

JHL Design Group Inc.  
Landscape Architecture + Urban Design

4370, Megie Street, Vancouver, BC  
Tel: 604-263-8513  
Fax: 604-271-9554  
Email: jhl@jhlgroup.com

SCALE: 1/8" = 1'-0"  
DATE: May, 18  
DRAWN:  
JOB NO.

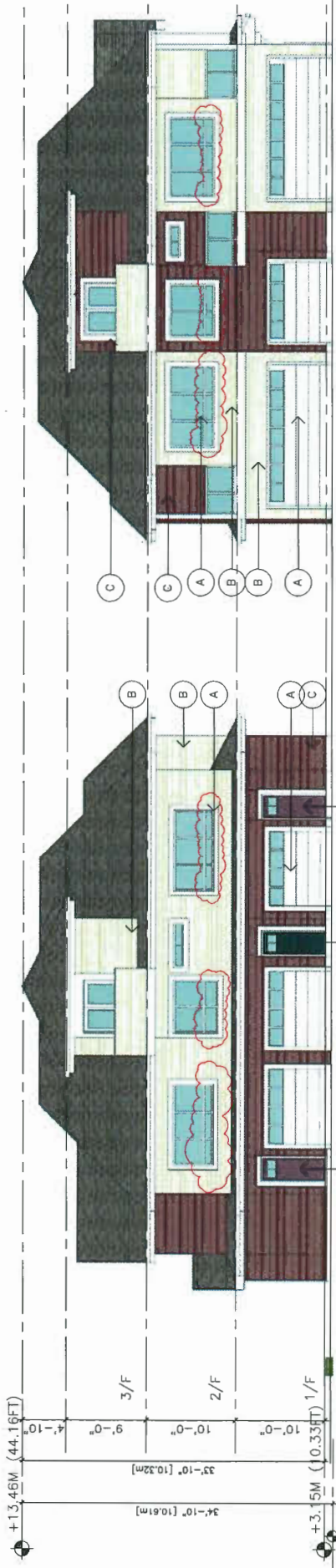
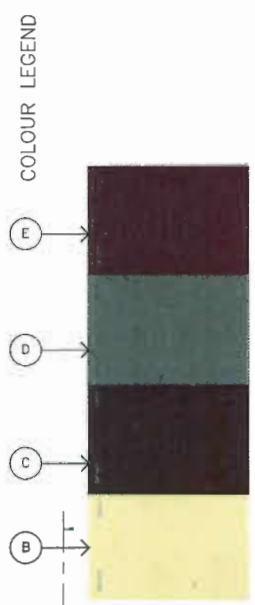
PROJECT TITLE  
TOWNHOUSE DEVELOPMENT  
6571-8573 NO. 4 ROAD, RICHMOND, BC

DRAWING TITLE  
OFF SITE LANDSCAPE PLAN  
PLANT LIST/ DETAIL

L-7

ISSUED	DESCRIPTION
1	2016.04.04 FOR DP APPLICATION
2	2016.10.25 FOR DP RESUBMISSION
3	2017.02.28 FOR CITY DP REVIEW
4	2017.03.24 FOR CITY DP RESUBMISSION
5	2017.07.21 FOR CITY DP RESUBMISSION
6	2017.07.27 FOR CITY DP RESUBMISSION
7	2017.08.22 FOR CITY DP RESUBMISSION
8	2018.04.19 FOR CITY DP AMENDMENT

- A → WHITE COLOUR
- B → SHERWIN-WILLIAMS SW 6135 -- ECRU
- C → SHERWIN-WILLIAMS SW 6013 -- BITTER CHOCOLATE
- D → (ACCENT) SHERWIN-WILLIAMS SW 7061 -- NIGHT OWL
- E → (ACCENT) SHERWIN-WILLIAMS SW 6027 -- CORDOVAN



1 INTERNAL AISLE WEST ELEVATION  
 1/8" TO 1'-0"  
 ELEVATION ALSO REFER TO A8

2 TOWNHOUSE EAST ELEVATION (NO 4 ROAD)  
 1/8" TO 1'-0"  
 ELEVATION ALSO REFER TO A7

3 TOWNHOUSE NORTH ELEVATION  
 1/8" TO 1'-0"  
 ELEVATION ALSO REFER TO A7

4 TOWNHOUSE WEST ELEVATION  
 1/8" TO 1'-0"  
 ELEVATION ALSO REFER TO A7



2 INTERNAL AISLE EAST ELEVATION  
 1/8" TO 1'-0"  
 ELEVATION ALSO REFER TO A8

3 TOWNHOUSE NORTH ELEVATION  
 1/8" TO 1'-0"  
 ELEVATION ALSO REFER TO A7

4 TOWNHOUSE WEST ELEVATION  
 1/8" TO 1'-0"  
 ELEVATION ALSO REFER TO A7



3 TOWNHOUSE SOUTH ELEVATION  
 1/8" TO 1'-0"  
 ELEVATION ALSO REFER TO A7

4 TOWNHOUSE WEST ELEVATION  
 1/8" TO 1'-0"  
 ELEVATION ALSO REFER TO A7

5 TOWNHOUSE SOUTH ELEVATION  
 1/8" TO 1'-0"  
 ELEVATION ALSO REFER TO A7

7	2018.04.09 REMOVED TREE #1 AND TREE WELL
8	2018.04.19 RELOCATED HYDRO LPT
9	2017.08.21 ADJUSTED ROOF AND BALCONY ADED
4	2017.07.21 ADJUSTED PERMEABLE DIAGRAM
3	2017.05.15 ADJUSTED BACK RETAINING WALL HEIGHT
2	2017.02.28 PER CITY DP BASE COMMENTS
1	2016.04.27 PER CITY DP COMMENTS

**PROPOSED TOWNHOUSE**  
**6571-6573 NO. 4 RD**  
**RICHMOND BC**  
**ELEVATIONS-COLOR**

PROJECT NUMBER: 12-03  
 ISSUED: 4/17/2018  
 DRAWN BY: EL  
 CHECKED BY: EL

**PLAN # 4**  
**MAY 22 2018**  
**DP 16-728670**

5 TOWNHOUSE SOUTH ELEVATION  
 1/8" TO 1'-0"  
 ELEVATION ALSO REFER TO A7

4 TOWNHOUSE WEST ELEVATION  
 1/8" TO 1'-0"  
 ELEVATION ALSO REFER TO A7

3 TOWNHOUSE NORTH ELEVATION  
 1/8" TO 1'-0"  
 ELEVATION ALSO REFER TO A7

- EXTERIOR FINISH LEGEND**
- 1 → ASPHALT SHINGLE ROOFING
  - 2 → HARDI SIDING (COLOUR 1)
  - 3 → HARDI SIDING WITH WOOD TRIM (COLOUR 2)
  - 4 → WHITE VINYL WINDOW WITH TRIM
  - 5 → GARAGE DOOR
  - 6 → WOOD FENCE ON CONCRETE RETAINING WALL
  - 7 → HARDI PANEL WITH TRIM
  - 8 → WOOD PANEL COLUMN BASE

**EXTERIOR COLOUR**

- A → WHITE COLOUR
- B → SHERWIN-WILLIAMS SW 6135 - ECRU
- C → SHERWIN-WILLIAMS SW 6013 - BITTER CHOCOLATE
- D → (ACCENT) SHERWIN-WILLIAMS SW 7061 - NIGHT OWL
- E → (ACCENT) SHERWIN-WILLIAMS SW 6027 - CORDOVAN

ALL HARDIE TRIM OR CORNER TRIM SHALL MATCH THE ADACENT HARDI PANEL COLOUR

ALL WINDOW TRIM COLOUR SHALL BE WHITE  
 ALL GARAGE DOOR SHALL BE WHITE  
 ALL SECONDARY DOOR SHALL BE WHITE

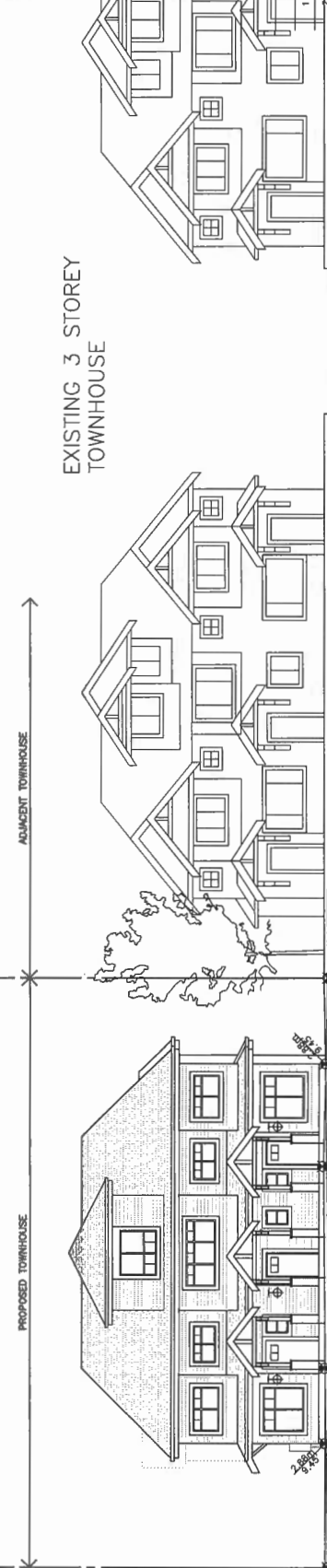
**ERIC LAW ARCHITECT**

218 208 WEST AVENUE WOODBURY BC  
 TEL: (604) 505-2098  
 FAX: (604) 509-2897

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ISSUED

- 1 2016.04.04 FOR DP APPLICATION
- 2 2016.10.20 FOR DP RESUBMISSION
- 3 2017.02.28 FOR CITY DP REVIEW
- 4 2017.05.24 FOR CITY DP RESUBMISSION
- 5 2017.07.21 FOR CITY DP RESUBMISSION
- 6 2017.09.27 FOR CITY DP RESUBMISSION
- 7 2017.08.22 FOR CITY DP RESUBMISSION
- 8 2018.04.16 FOR CITY DP AMENDMENT



EXISTING 3 STOREY TOWNHOUSE

ADJACENT TOWNHOUSE

PROPOSED TOWNHOUSE

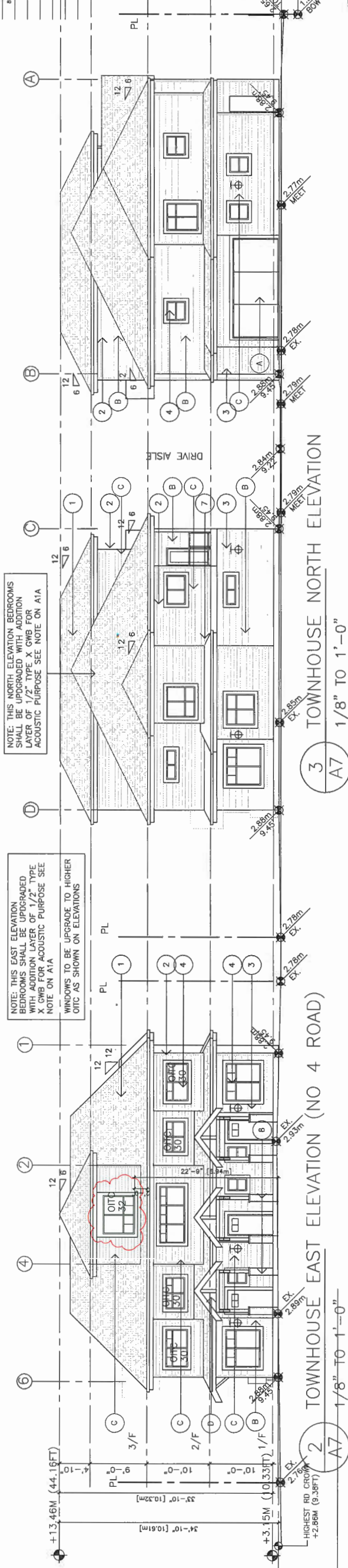
SCHOOL ENTRANCE AND PARKING LOT

SCHOOL OPEN PARKING

1 TOWNHOUSE EAST ELEVATION WITH NEIGHBOUR HOUSE  
 A7 3/32" TO 1'-0"

NOTE: THIS EAST ELEVATION BEDROOMS SHALL BE UPGRADED WITH ADDITION LAYER OF 1/2" TYPE X GWB FOR ACOUSTIC PURPOSE SEE NOTE ON A1/A  
 WINDOWS TO BE UPGRADE TO HIGHER OTC AS SHOWN ON ELEVATIONS

NOTE: THIS NORTH ELEVATION BEDROOMS SHALL BE UPGRADED WITH ADDITION LAYER OF 1/2" TYPE X GWB FOR ACOUSTIC PURPOSE SEE NOTE ON A1/A



2 TOWNHOUSE EAST ELEVATION (NO 4 ROAD)  
 A7 1/8" TO 1'-0"

3 TOWNHOUSE NORTH ELEVATION  
 A7 1/8" TO 1'-0"

4 TOWNHOUSE WEST ELEVATION  
 A7 1/8" TO 1'-0"

5 TOWNHOUSE SOUTH ELEVATION  
 A7 1/8" TO 1'-0"

NOTE: THIS SOUTH ELEVATION BEDROOMS SHALL BE UPGRADED WITH ADDITION LAYER OF 1/2" TYPE X GWB FOR ACOUSTIC PURPOSE SEE NOTE ON A1/A

- 7 2018.04.08 REMOVED TREE #1 AND TREE WELL
- 8 2018.04.13 RELOCATED HYDRO LIFT
- 9 2017.08.21 ADJUSTED ROOF AND BALCONY ADD
- 4 2017.07.21 ADJUSTED PERMEABLE DIAGRAM
- 3 2017.05.15 ADJUSTED BACK RETAINING WALL HEIGHT
- 2 2017.02.28 FOR CITY DP BALK COMMENTS
- 2018.04.27 FOR CITY DP COMMENTS

**PROPOSED TOWNHOUSE**  
**6571-6573 NO. 4 RD**  
**RICHMOND BC**

**ELEVATIONS**

PROJECT NUMBER: 12-03  
 ISSUED: 4/17/2018  
 1/F DRAWN BY: EL  
 CHECKED BY: EL  
 FILENAME: 12-03\_SFD\_180417-DPP-AMEND

MAILBOX  
 SEE A7 FOR  
 DETAIL

HIGHEST RD. CROWN  
 +2.66M (8.38FT)

MAY 22 2018

A7

PLAN #4

DP 16-728670

TOWNHOUSE SOUTH ELEVATION

PLAN #4A

DP 16-728670

TOWNHOUSE WEST ELEVATION

A7 1/8" TO 1'-0"

TOWNHOUSE SOUTH ELEVATION

A7 1/8" TO 1'-0"

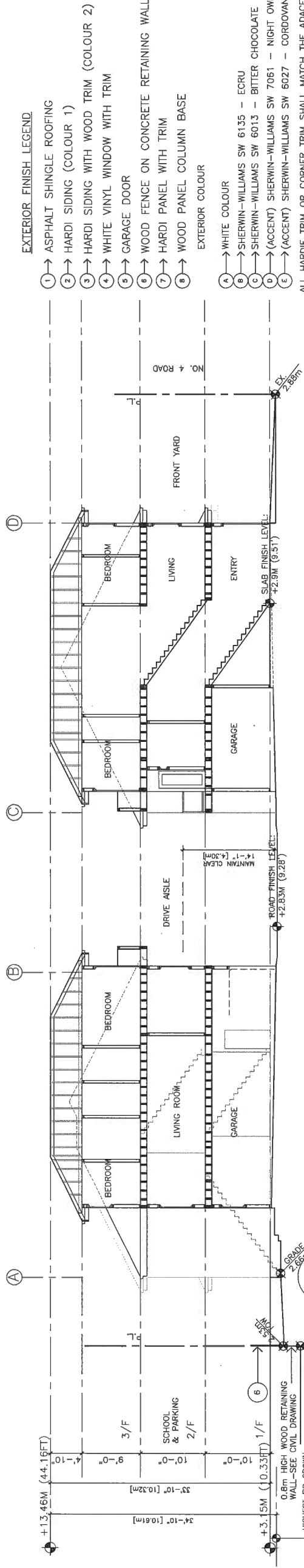
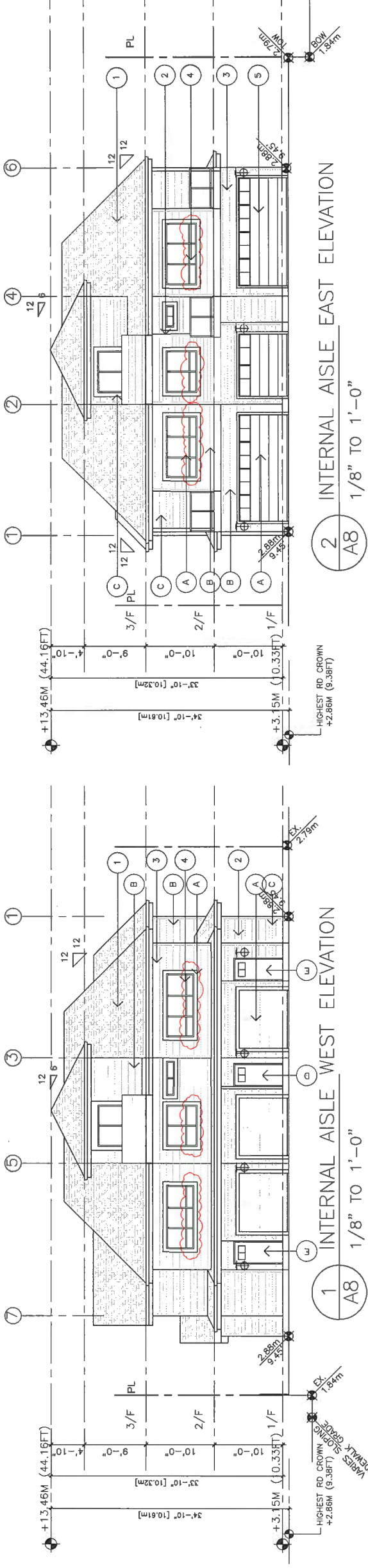
TOWNHOUSE NORTH ELEVATION

A7 1/8" TO 1'-0"

DP 16-728670

DEVELOPMENT PERMIT

ISSUED	DESCRIPTION
1	2016.04.04 FOR DP APPLICATION
2	2016.10.25 FOR DP RESUBMISSION
3	2017.02.28 FOR CITY DP REVIEW
4	2017.03.24 FOR CITY DP RESUBMISSION
5	2017.07.21 FOR CITY DP RESUBMISSION
6	2017.07.27 FOR CITY DP RESUBMISSION
7	2017.08.22 FOR CITY DP RESUBMISSION
8	2018.04.16 FOR CITY DP AMENDMENT



**EXTERIOR FINISH LEGEND**

- ① ASPHALT SHINGLE ROOFING
- ② HARDI SIDING (COLOUR 1)
- ③ HARDI SIDING WITH WOOD TRIM (COLOUR 2)
- ④ WHITE VINYL WINDOW WITH TRIM
- ⑤ GARAGE DOOR
- ⑥ WOOD FENCE ON CONCRETE RETAINING WALL
- ⑦ HARDI PANEL WITH TRIM
- ⑧ WOOD PANEL COLUMN BASE

**EXTERIOR COLOUR**

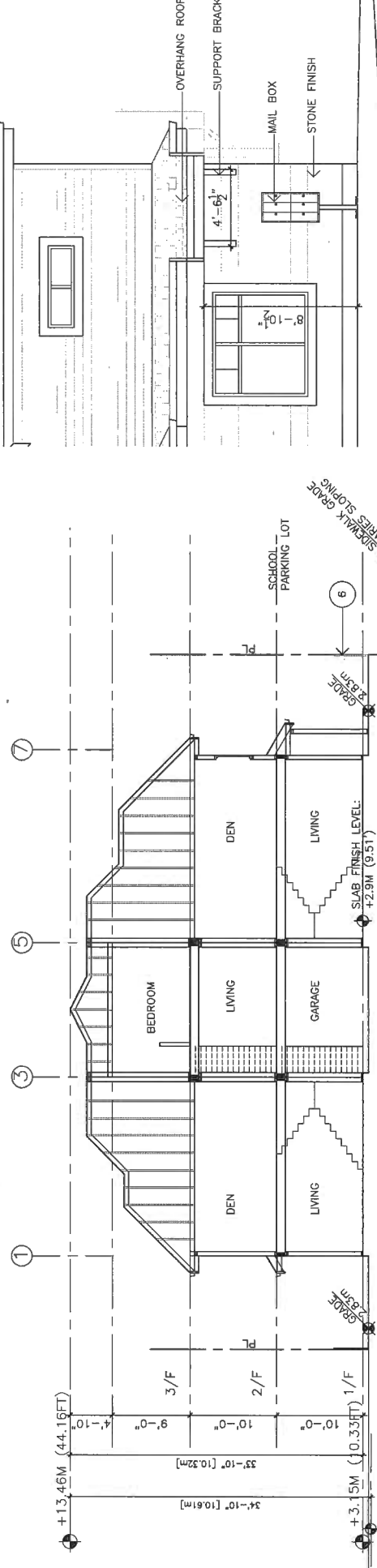
- A → WHITE COLOUR
- B → SHERWIN-WILLIAMS SW 6135 - ECRU
- C → SHERWIN-WILLIAMS SW 6013 - BITTER CHOCOLATE
- D → (ACCENT) SHERWIN-WILLIAMS SW 7051 - NIGHT OWL
- E → (ACCENT) SHERWIN-WILLIAMS SW 6027 - CORDOVAN

ALL HARDIE TRIM OR CORNER TRIM SHALL MATCH THE ADJACENT H PANEL COLOUR

ALL WINDOW TRIM COLOUR SHALL BE WHITE

ALL GARAGE DOOR SHALL BE WHITE

ALL SECONDARY DOOR SHALL BE WHITE



REVISION	DESCRIPTION
1	2016.06.27 PER CITY DP COMMENTS
2	2017.02.28 PER CITY DP EMAIL COMMENTS
3	2017.02.15 ADJUSTED BACK RETAINING WALL
4	2017.02.21 ADJUSTED PERMEABLE DIAGRAM
5	2017.08.21 ADJUSTED ROOF AND BALCONY AREAS
6	2018.03.15 RELOCATED HYDRO LPT
7	2018.04.06 REMOVED TREE #1 AND TREE WELL

**PROPOSED TOWNHOUSE**  
**6571-6573 NO. 4 RD**  
**RICHMOND BC**

**ELEVATIONS & SECTIONS**

PROJECT NUMBER: 12-03
ISSUED: 4/17/2018
DRAWN BY: EL
CHECKED BY: EL
FILENAME: 12-03_SFD_180417-DPP-AMEND

PLAN # 4B  
**DP 16-728670**

MAY 22 2018  
PLAN #5  
DP 16-728670

**A8**

**ERIC LAW ARCHITECT**

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 V5Y1S8  
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 PERMISSION.

ISSUED	FOR
1	2016.04.04 FOR DP APPLICATION
2	2016.10.25 FOR DP RESUBMISSION
3	2017.02.28 FOR CITY DP REVIEW
4	2017.05.24 FOR CITY DP RESUBMISSION
5	2017.07.21 FOR CITY DP RESUBMISSION
6	2017.07.27 FOR CITY DP RESUBMISSION
7	2017.08.22 FOR CITY DP RESUBMISSION
8	2018.04.16 FOR CITY DP AMENDMENT

REVISION	DESCRIPTION
7	2018.04.06 REMOVED TREE #1 AND TREE WELL
6	2018.03.15 RELOCATED METRO LIFT
5	2017.08.21 ADJUSTED ROOF AND BALCONY ADDED
4	2017.07.21 ADJUSTED PERMEABLE DIAGRAM
3	2017.05.15 ADJUSTED BACK RETAINING WALL
2	2017.02.28 PER CITY DP EMAIL COMMENTS
1	2016.08.27 PER CITY DP COMMENTS

**PROPOSED TOWNHOUSE**  
**6571-6573 NO. 4 RD**  
**RICHMOND BC**

**UNIT PLANS**

PROJECT NUMBER:	12-03
ISSUED:	4/17/2018
DRAWN BY:	EL
CHECKED BY:	EL
FILENAME:	12-03_SFD_180417-DPP-AMEND

**A6**

DEVELOPMENT PERMIT

DOORS & DOORWAYS	VERTICAL CIRCULATION	HALLWAYS	GARAGE	BATHROOM (MIN. 1)	KITCHEN	WINDOWS	OUTLETS & SWITCHES
<ul style="list-style-type: none"> <li>ENTRY DOORS ARE A MINIMUM 863 MM BUT IDEALLY 914 MM AND HAVE CLEAR ACCESS.</li> <li>ENTRY DOOR CLEAR EXTERIOR FLOOR SPACE MIN. 2200 MM DEPTH BY 914 MM WIDTH (OR 2000 MM DEPTH BY 914 MM WIDTH FOR WALKING SURFACES).</li> <li>INTERIOR DOORS TO MAIN LIVING AREAS, BATHROOM AND 1 BEDROOM MIN. 800 MM CLEAR. OPENING WITH FLUSH THRESHOLDS MAX. 13 MM HEIGHT. DEMONSTRATE WHEELCHAIR ACCESS BETWEEN THE HALLWAY AND ROOMS AND WIDEN HALLWAY AND/OR DOORWAY(S) IF NECESSARY TO SECURE ACCESS.</li> <li>PATIO/BALCONY MIN. 860 MM CLEAR OPENING. NOTE HOW ACCESSED. -- ALL INTERIOR THRESHOLDS WITHIN UNITS COMPLY WITH BC BUILDING CODE.</li> <li>LEVER-TYPE HANDLES FOR ALL DOORS.</li> </ul>	<ul style="list-style-type: none"> <li>STAIR LIFT, STAIRCASE WIDTH, FRAMING SUPPORT, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECIFICATIONS.</li> <li>VERTICAL LIFT, DEPRESSED SLAB AREA, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECIFICATIONS. FRAMING TO ACCOMMODATE SHAFT CONSTRUCTION WITHOUT IMPACT TO SURROUNDING STRUCTURE.</li> <li>AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2" X 12" SOLID LUMBER AT 914 MM TO CENTRE.</li> </ul>	<ul style="list-style-type: none"> <li>MIN. 900 MM WIDTH.</li> </ul>	<ul style="list-style-type: none"> <li>MIN. 1 ACCESSIBLE PARKING SPACE WITH MIN. 4 M GARAGE WIDTH.</li> <li>ACCESS FROM GARAGE TO LIVING AREA MIN. 960 MM CLEAR OPENING.</li> </ul>	<ul style="list-style-type: none"> <li>TOILET CLEAR FLOOR SPACE MIN. 1020 MM AT SIDE AND IN FRONT.</li> <li>WALL BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TOILET, TUB AND SHOWER. REINFORCED WITH 2" X 12" SOLID LUMBER IN ALL BATH-TUB, SHOWER, AND TOILET LOCATIONS.</li> <li>PRESSURE-TIGHT DOOR AND SHOWER ENCLOSURES ARE INSTALLED ON ALL SHOWER FAUCETS.</li> <li>CABINETS UNDERNEATH SINK(S) TO BE EASILY REMOVED. DEMONSTRATE BATH AND SHOWER CONTROLS ARE ACCESSIBLE (LAYOUT OR FIXTURE PLACEMENT).</li> </ul>	<ul style="list-style-type: none"> <li>CLEAR AREA NEEDED UNDER FUTURE WORK SPACE.</li> <li>PLUMBING AND GAS PIPES (IN-WALL AND IN-FLOOR) LOCATED CLEAR OF UNDER COUNTER AREA OF FUTURE WORK SPACE (STOVE, SINK &amp; MIN. 810 MM WIDE COUNTER). ALL PIPES ARE BROUGHT IN NO HIGHER THAN 304 MM TO THE CENTRE OF THE PIPE FROM FLOOR LEVEL.</li> <li>CABINETS UNDERNEATH SINK ARE EASILY REMOVED.</li> <li>1500 MM TURNING DIAMETER OR TURNING PATH DIAGRAM.</li> <li>LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.</li> </ul>	<ul style="list-style-type: none"> <li>MIN. 1 WINDOW THAT CAN BE OPENED WITH A SINGLE HAND (BATHROOM, KITCHEN, LIVING ROOM)</li> </ul>	<ul style="list-style-type: none"> <li>PLACEMENT LOCATIONS OF ELECTRICAL OUTLETS: BESIDE WINDOW, BOTTOM OF STAIRWAYS, BESIDE TOILET, ABOVE EXTERNAL DOORS (OUTSIDE AND INSIDE), ON FRONT FACE OF KITCHEN COUNTER, WITHIN PROXIMITY OF CONTROL CENTRE FOR SMART HOME OPTIONS.</li> <li>UPGRADE TO FOUR-PLEX OUTLETS IN MASTER BEDROOM, HOME OFFICE, GARAGE, AND RECREATION ROOM.</li> </ul>

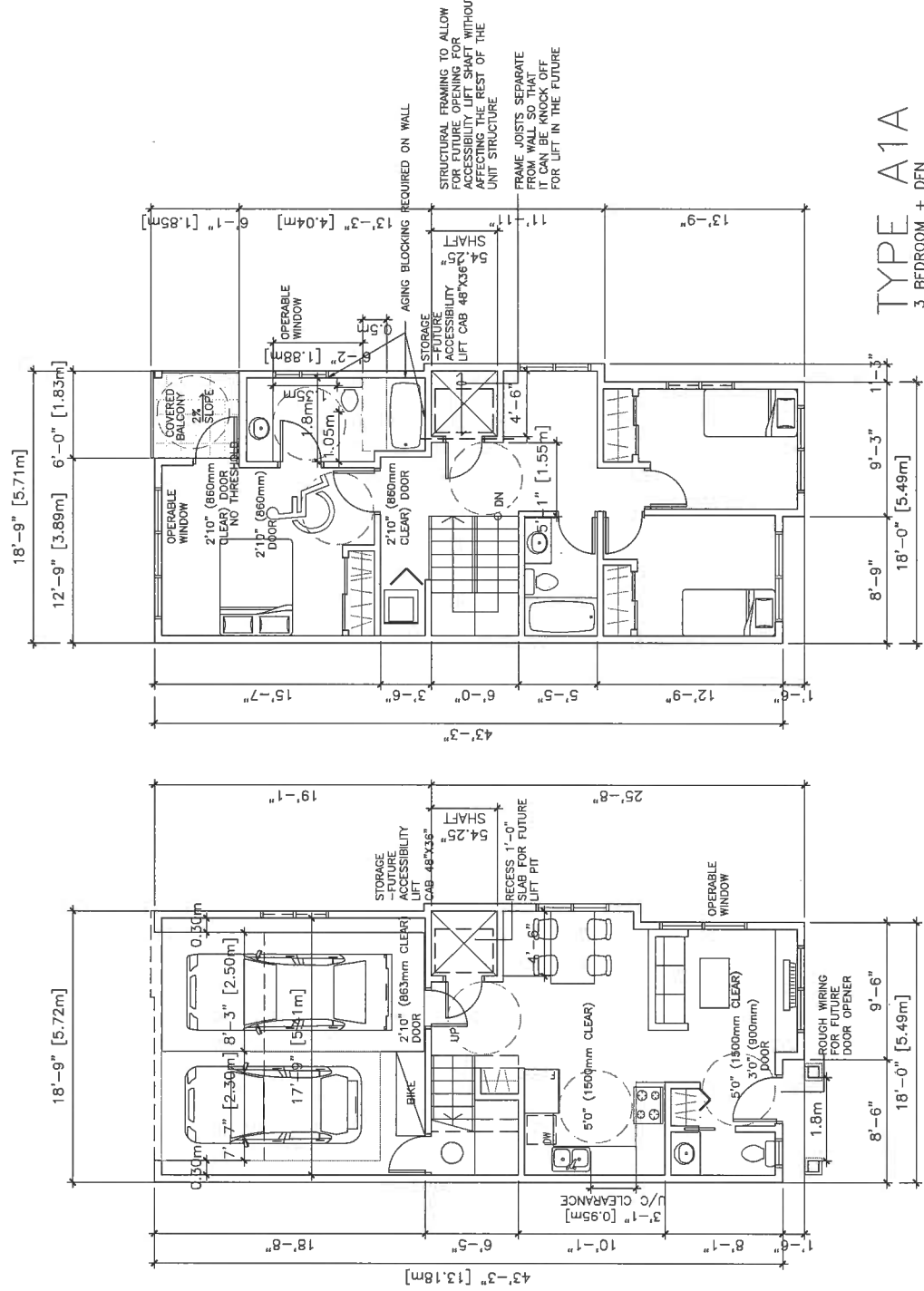
ALL THE UNITS IN THIS PROJECT SHALL INCORPORATE THE FOLLOWING FEATURES IN THE DEMING UNITS

- PROVIDE PRE-DUCTING TO ACCOMMODATE FUTURE SOLAR HOT WATER HEATING
- AGING IN PLACE FEATURES SHALL BE PROVIDED TO ALL UNITS:
  - STAIRWELL HANDRAILS
  - LEVER TYPE HANDLES FOR PLUMBING FIXTURE AND DOOR HANDLES
  - SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILETS, BATH-TUBS AND SHOWERS

TOWNHOUSE SHALL MEET AND INCORPORATE THE ACOUSTIC RECOMMENDATIONS BY BKL CONSULTANTS REPORT DATED JULY 22, 2016

AIR CONDITIONING TO BE PROVIDED IN THE TOWNHOUSE AND SHALL MEET AND INCORPORATE THE THERMAL COMFORT RECOMMENDATIONS BY ENERSOLV DESIGN DATED SEPTEMBER 9, 2016

TOWNHOUSE SHALL MEET AND INCORPORATE THE ENERGUIDE B2 REQUIREMENTS RECOMMENDATIONS BY E3 ECO GROUP INC. REPORT DATED JULY 10, 2017



**TYPE A1A**

3 BEDROOM + DEN

TOTAL UNIT AREA: ±1376.85 SQ. FT. INCLUDING STAIR AND G/F ENTRY

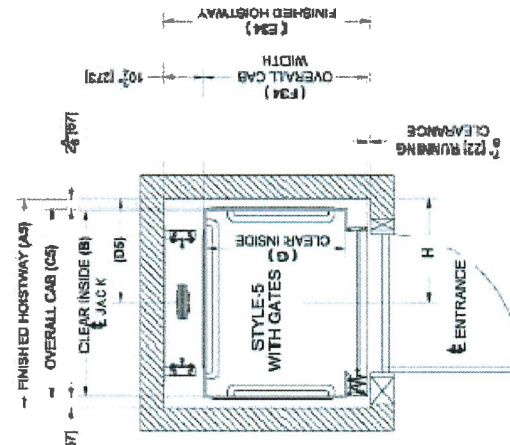
LEVEL 2  
 1/8" TO 1'-0"

TYPE-A1A-2F

LEVEL 1  
 1/8" TO 1'-0"

TYPE-A1A-1F

**On / Off Same Side Front Configuration Style 5:**



Cab Size	A5	B	C5	D5	E34	F34	G	H
36" x 48"	54 1/4"	48"	49"	27 1/8"	53 7/8"	42 1/4"	36"	27 1/8"

MAY 22 2018

**DP 16-728670**

REFERENCE PLAN

DP 16-728670