



City of  
Richmond

## Report to Development Permit Panel

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**To:** Development Permit Panel

**Date:** November 14, 2019

**From:** Wayne Craig  
Director, Development

**File:** DP 17-791045

**Re:** **Application by BOLD Properties (Cooney) Limited Partnership for a Development Permit at 6333 Cooney Road**

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### Staff Recommendation

That a Development Permit be issued which would permit the construction of a high-rise building containing approximately 83 dwelling units at 6333 Cooney Road on a site zoned "High Rise Apartment (ZHR8) Brighthouse Village".

  
Wayne Craig  
Director, Development  
(604-247-4625)

WC:sb  
Att. 5

## Staff Report

### Origin

BOLD Properties (Cooney) Limited Partnership has applied to the City of Richmond for permission to develop a high-rise residential development at 6333 Cooney Road on a site zoned “High Rise Apartment (ZHR8) Brighthouse Village”. The developer’s proposal includes a total of 6,559 m<sup>2</sup> (70,597 ft<sup>2</sup>) floor area in a 14-storey tower development with approximately 83 dwelling units. The site is currently vacant.

The site is zoned “High Rise Apartment (ZHR8) – Brighthouse Village (City Centre)”. Zoning Bylaw 8500, Amendment Bylaw 8738 (RZ 09-506908) and an associated Development Permit (DP 09-506909) were approved by Council on April 10, 2012 and Building Permits issued in 2013. In 2014, the Development Permit and Building Permits expired and the Servicing Agreement (SA 11-583906) was closed. The applicant is required to enter into a new Servicing Agreement and provide a new Letter of Credit security.

Like the original Development Permit, the subject Development Permit application proposes a tower and podium, although with a lower three-storey podium, increased separation of the tower from the west property line, more contemporary architectural design, and more generous residential lobby courtyard and lane sidewalk.

### Development Information

Please refer to the attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

### Background

Development surrounding the subject site is as follows:

- To the north: A 14-storey residential tower that is designated under the City Centre Area Plan (CCAP) for high density high-rise mixed-use development (Urban Core T6 (45m)).
- To the east: Across Cooney Road, a three-storey townhouse development that is designated under the CCAP for low density low-rise mixed-use development (General Urban T4 (15m)).
- To the south: An older split-level house on an orphan lot designated under the CCAP for medium density mid-rise mixed use development (Urban Centre T5 (25m)). The City is reviewing a rezoning application (RZ 19-861646) from GUD GROUP to rezone 6371 Cooney Road from Low Density Townhouse (RTL1) to a Site Specific zone as per the CCAP in order to develop 14 apartment units.
- To the west: Two older four-storey wood frame apartment buildings fronting Buswell Street in an area designated under the CCAP for medium density mid-rise mixed use development (Urban Centre T5 (25m)).

## Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is in compliance with the “High Rise Apartment (ZHR8) Brighthouse Village” zone.

## Advisory Design Panel Comments

On February 21, 2019, the Advisory Design Panel (ADP) supported the subject Development Permit application moving forward to the Development Permit Panel, subject to the applicant giving consideration to the ADP’s comments. A copy of the relevant excerpt from the Advisory Design Panel Minutes is attached for reference (Attachment 2), together with the applicant’s design response in ‘*bold italics*’.

## Analysis

### *Conditions of Adjacency*

- The Cooney Road streetscape is enhanced with two residential unit entries, the residential tower lobby and entry courtyard. The residential tower and three-storey podium massing are provided along this frontage.
- The subject development will be accessed from a new interim City lane required to be constructed along the south edge of the subject site. The original rezoning secured public Rights-of-Way along the south edge of the site for a new City lane and along the Cooney Road frontage for future road widening. These Rights-of-Way areas will be designed and constructed via Servicing Agreement as secured by legal agreement registered on Title. Due to the passage of time, change in engineering requirements, change in ownership and additional lane widening for enhanced pedestrian passage, the applicant is required to enter into a new Servicing Agreement. The lane will be widened to ultimate width through the redevelopment of the site to the south.
- The development is setback along the north and west property lines, due to utility Right-of-Ways. The setback areas provide landscape buffers to the neighbouring residential developments. Shrubs, vines and low planting are proposed in front of the three-storey parking podium, and the walls treated with a relief pattern and inset panels to provide visual interest.
- The development is accommodated within a single tower, located at the southeast corner of the site facing the new lane and Cooney Road to maximize distance from existing neighbouring residential development, and minimize overlook.

### *Urban Design and Site Planning*

- The proposed form of development takes advantage of the site’s proximity to the Canada Line and provision of a new City lane to create a high-density urban environment that is consistent with CCAP objectives.
- The distinctive tower is articulated with stepped roofline resulting from inset penthouse level, and stacked balconies.

- The three-storey podium includes a pedestrian-oriented residential frontage which could accommodate home based business uses, contributing towards local liveability. The podium also accommodates four levels of parking, including a level underground.
- Resident-shared amenity space is provided on the podium roof, including outdoor amenity space and an indoor amenity room pavilion at the north-west corner of the podium roof.
- Service uses, parking, loading and waste management are screened from public view.

### ***Parking and Access***

- The proposal includes 101 parking spaces within the parkade in compliance with Zoning Bylaw 8500.
- Parking, loading and waste management are accessed from the new City lane required to be constructed along the south edge of the subject development site. The proposed development will provide additional public Rights-of-Way (0.35 m width) along the north edge of the City lane Right-of-Way (ROW) to accommodate a wider sidewalk along the lane for enhanced pedestrian passage, ultimately to the future bus mall and Brighthouse Canada Line Station when the properties to the west redevelop in the future. The interim 7.85 m lane width will be widened to ultimate 9.35 m lane width through the redevelopment of the site to the south.
- One medium (SU9) on-site loading space is provided adjacent to the new lane. The use of the loading space will be shared with the adjacent site to the south at 6371 Cooney Road and the applicant will provide a public Right-of-Way over the loading space for the shared use.
- Most of the utility Right-of-Way along the west property line is also covered by public Right-of-Way. The proposed development will provide Public Rights of Passage (PROP) over the remainder of the utility Right-of-Way along the west property line to accommodate potential future lane network construction.

### ***Architectural Form and Character***

- The proposed development contributes towards a modern architectural expression including:
  - Maximizing active transparent residential uses on the ground floor.
  - Three storey podium incorporates repeated vertical design treatment to break down the horizontal massing.
  - A distinct tower along the site's Cooney Road frontage, stepped back from the street-fronting podium and articulated with inset and projecting balconies, cladding incorporating strong graphic patterning in white, grey and black, together providing rhythm, variety and visual interest.
- Quality materials (e.g. cementitious panel, spandrel panels, aluminum frames, and glass guardrails) contribute towards a distinct identity and urban environment.
- A strong white-grey-black colour palette that, when used in combination with variations in massing and materials, helps break up the massing, reinforce the identity of the project and project a crisp, contemporary image.

### ***Landscape Design and Open Space Design***

- The CCAP encourages the provision of additional open space to enhance the urban environment. The subject development's public open space contributions are provided through public Rights-of-Way secured through the original rezoning and proposed additional public Right-of-Way to accommodate a wider sidewalk lane.

- 552 m<sup>2</sup> (5,942 ft<sup>2</sup>) of residential outdoor amenity space is provided, based on the OCP standard of 6 m<sup>2</sup> (65 ft<sup>2</sup>) per dwelling unit, comprising a consolidated, irrigated landscaped, multi-use, outdoor space at the podium roof level (co-located with required indoor residential amenity space), designed to provide for children's play, strolling, socializing, relaxing, and outdoor dining.
- Additional landscaping is provided at the residential lobby entrance, green roof on the indoor amenity pavilion, and landscape buffers along the north and west property lines.
- All landscaped areas will be irrigated and drought tolerant plants are incorporated in green roof and vegetated outdoor areas to reduce reliance on irrigation.
- Private outdoor patios and balconies are provided for all dwelling units in the tower.
- Prior to forwarding the subject application to Council, the applicant is required to provide to the City a Letter of Credit for landscaping in the amount of \$305,277.00, as estimated by the project Landscape Architect, to ensure that on-site landscape features are provided in accordance with the Development Permit.

### ***Shared Indoor Amenity Space***

- The OCP requires that multi-family development comprising 40 units or more provide at least 100 m<sup>2</sup> (1,076 ft<sup>2</sup>) of indoor amenity space. The subject development meets the OCP minimum and provides for attractive indoor amenity space located adjacent to the outdoor amenity space in the form of a 108 m<sup>2</sup> (1,161 ft<sup>2</sup>) enclosed pavilion at the podium roof level.

### ***Crime Prevention Through Environmental Design***

- CPTED measures enhance safety and personal security in and around the proposed building.

Casual surveillance is provided through minimizing blind corners, a prominent residential lobby entrance, locating visitor parking uses on the ground floor of the parkade, clear sightlines to exits within the parkade (mirrors where needed), glazed vestibules, street-oriented residential entries and lighting in all *pedestrian* areas.

- Territoriality is identified through landscape treatment.
- Target hardening security features are provided at all pedestrian and parking entrances.

### ***Accessible Housing***

- The proposed development includes 20 two-bedroom adaptable units that are designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. These single-storey units are required to comply with the BC Building Code requirements for adaptable housing.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
  - Lever-type handles for plumbing fixtures and door handles.
  - Solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

### ***Sustainability Measures***

- The project will achieve the City standard of LEED "Silver" equivalent as per the attached LEED checklist (Attachment 3).
- District Energy Utility (DEU) compatible building and mechanical system designed to facilitate a future connection to a City utility. The applicant will be required to register a

legal agreement on Title securing the owner's commitment to connect to a District Energy Utility (DEU) that provides that no Building Permit will be issued unless the building is designed with the capability to connect to and be serviced by a DEU. The developer will also be required to provide mechanical drawings and energy modeling, which shall be reviewed by the City and LIEC for compliance with DEU requirements (i.e. capable of connecting to a future DEU system) prior to Building Permit issuance.

- Energized electric vehicle (EV) charging outlets for 100% of resident vehicle parking spaces (208V – 240V) and 10% of Class 1 secure bicycle storage spaces (120V).

### ***Tree Management***

- There are six trees (tag# 86, 87, 88, 89, 90, 91) located within the lane public Right-of-Way along the south edge of the subject development site as shown on the proposed tree management plan (DP Plan 40). These trees are in fair to poor condition and are in conflict with the required City lane construction.
- There are seven trees located on neighbouring property as follows:
  - Five trees (tag# OS2, OS3, OS4, OS5, and OS7) located on the neighbouring property to the south (6371 Cooney Road) will need to be removed to facilitate the required lane construction. The City has received a rezoning application for 6371 Cooney Road (RZ 19-861646) and the applicant has received written permission from the neighbouring property owner for the removal of these trees (Attachment 4). The applicant is required to obtain a tree removal permit for these trees.
  - Two trees (tag# OS1 and OS6) located on neighbouring property will not be impacted by the proposed development and are required to be protected. Installation of appropriate tree protection fencing is required as part of the development prior to any construction activities, including building demolition, occurring on-site. The applicant is also required to enter into a contract with a Certified Arborist for supervision of any on-site works conducted within the tree protection zone of the trees, monitor the trees and submit a post-construction assessment report to the City for review.
- There are a total of 19 new trees included in the Development Permit plans.

### ***Affordable Housing***

- The ZHR8 zone does not require the provision of built affordable housing units and voluntary cash contributions were provided through previous rezoning applications regarding the subject development site. In response to the need for affordable housing in the City, the applicant will be providing a voluntary contribution in the amount of \$100,000 towards the City's Affordable Housing Strategy (i.e. \$100,000 in addition previous contributions of \$30,545.00 via RZ 03-238768 and \$251,611.00 via RZ 09-506808).

### ***City Centre Development***

- The applicant will be providing a voluntary contribution in the amount of \$2,144.77 towards future City community planning studies, as set out in the City Centre Area Plan (i.e. \$19,779.77 at 2019 rate of \$0.28 per buildable square foot, less \$17,635 previously contributed via RZ 09-506808).
- Registration of a legal agreement on Title is required, ensuring that future owners are aware that the development is subject to potential impacts due to other development that may be approved within the City Centre.

**Public Art**

- The applicant will be providing a voluntary contribution in the amount of \$17,919.95 towards the City's Public Art Program (i.e. \$60,242.95 at 2019 rate of \$0.87 per residential square foot, less \$42,323 previously contributed via RZ 09-506808).

**Servicing Agreement**

- The applicant is generally required to design and construct the new City lane, Cooney Road frontage beatification, and sanitary sewer improvements. Further details are included in the attached Development Permit considerations (Attachment 5).

**Discharges**

The following legal agreements are obsolete and will be discharged from Title:

- SRW City utilities (1961 charge 300009C), which is now obsolete as all active City engineering utilities on/near the site are contained within other subsequent SRWs.
- Aircraft noise sensitive development covenant (2005 charge BX288986), which is now obsolete as a replacement covenant with SRW is also registered on Title (2012 charges BB4039857 and BB4039858).
- Servicing Agreement covenant (2012 charge BB4039865), which is now obsolete. Prior to discharge, the new Servicing Agreement and new Letter of Credit are required.
- Building Code equivalency covenant (2013 charge CA3162692), which is now obsolete as the proposed building design has changed.

**Conclusions**

The proposed development is consistent with Richmond's objectives for the subject property and Brighthouse Village as set out in the Official Community Plan (OCP), City Centre Area Plan (CCAP), and Zoning Bylaw. The project will enhance the Brighthouse Village urban community through its articulated form, pedestrian-oriented streetscape, adaptable housing, landscaping, widened lane public Right-of-Way, and sustainable development measures, including making provision for future connection to a City District Energy Utility system. The proposed development will also enhance the community through contributions towards Affordable Housing, community planning and Public Art, together with the developer's concurrent construction of off-site improvements secured through the original rezoning and updated through the subject Development Permit and Servicing Agreement applications. The applicant has agreed to complete DP considerations (Attachment 5). On this basis, staff recommend that the Development Permit be endorsed, and issuance by Council is recommended



Sara Badyal  
Planner 2  
(604-276-4282)

SB:blg

Attachment 1: Development Application Data Sheet  
Attachment 2: Advisory Design Panel Meeting Minutes Annotated Excerpt (February 21, 2019)  
Attachment 3: LEED Checklist  
Attachment 4: Letter of permission for tree removal from owner of 6371 Cooney Road  
Attachment 5: Development Permit Considerations



**DP 17-791045**

**Attachment 1**

Address: 6333 Cooney Road  
 Applicant: BOLD Properties (Cooney) Limited Partnership Owner: BOLD Properties (Cooney) Nominee Inc., Inc. No. BC1120735  
 Planning Area(s): City Centre (Brighthouse Village)

	Existing	Proposed	
Site Area	2,458 m <sup>2</sup>	No Change	
Land Uses	Vacant	Multi-Family Residential	
OCP Designation	Mixed-Use	Complies	
Zoning	High Rise Apartment (ZHR8) - Brighthouse Village	Complies	
Number of Units	None	83 dwelling units, including: <ul style="list-style-type: none"> <li>• 1 studio, 15 1-bedroom, 64 2-bedroom &amp; 3 3-bedroom units</li> <li>• 81% family friendly units (2 &amp; 3 bedroom)</li> <li>• 20 adaptable units</li> </ul>	
	Bylaw Requirement	Proposed	Variance
Floor Area Ratio	Max. 2.67	2.67	None permitted
Lot Coverage	Max. 70%	70%	None
Setback – Cooney Road	Min. 3 m	3 m	None
Setback – North Side Yard	Min. 2.7 m	2.7 m	None
Setback – South Side Yard	Min. 7.5 m	8.19 m	None
Setback – Rear Yard	Min. 1.5 m	1.5 m	None
Height	Max. 41 m	41 m	None
Lot Size	N/A	61 m lot width 39.6 Min. lot depth 2,458 m <sup>2</sup> lot area	None
Parking Spaces	100 total spaces, including: 83 resident spaces 17 visitor spaces	101 total spaces, including: 84 resident spaces 17 visitor spaces	None
Parking – Accessible Spaces	2%	3.6% (3 spaces)	None
Parking – Small Car Spaces	Max. 50%	49% (49 spaces)	None
Parking – Tandem Spaces	Permitted	None	None
Off-Street Loading	1 medium truck (SU-9) space	1 medium truck (SU-9) space	None
Bicycle Storage	104 class 1 secure bike spaces 17 class 2 bike rack spaces	105 class 1 secure bike spaces 17 class 2 bike rack spaces	None
EV (Energized) Charging for Cars	100% Resident parking spaces	100% Resident parking spaces	None
Amenity Space – Indoor	Min. 100 m <sup>2</sup> (1,076 ft <sup>2</sup> )	108 m <sup>2</sup> (1,161 ft <sup>2</sup> )	None
Amenity Space – Outdoor	Min. 498 m <sup>2</sup> (5,360 ft <sup>2</sup> )	552 m <sup>2</sup> (5,942 ft <sup>2</sup> )	None



**Excerpt from the Minutes from  
Advisory Design Panel Meeting  
February 21, 2019**

**DP 17-791045 – CITY CENTRE MIXED USE DEVELOPMENT**

ARCHITECT: Norr Architects Planners.  
LANDSCAPE ARCHITECT: Connect Landscape Architecture  
PROPERTY LOCATION: 6333 Cooney Road

**Applicant's Presentation**

Simon Ho, Norr Architects Planners, and David Stoyko, Connect Landscape Architecture, presented the project and answered queries from the Panel on behalf of the applicant.

**Panel Discussion**

Comments from Panel members were as follows:

- extending the live-work units across the blank façade would be positive to energize the streetscape – ***Improved. Additional dwelling unit added, increasing unit street frontage and reducing blank façade.***
- the tower design concept is strong; the podium is not as conceptually strong; language of the live-work units and the podium blank façade along Cooney Road need to be either unified or set these apart more from the rest of the development to provide a clear relationship; the roof form is an important component to achieve this – ***Improved as noted above and design further refined, including podium and roof forms.***
- consider installing extensive green roof treatments for the lower roofs to improve views from the upper levels of the development and surrounding existing and future developments – ***Improved. Extensive green roof treatment added to indoor amenity roof.***
- appreciate the proposed tower roofline treatment; support the angling of the roofline; however, the applicant could introduce a bolder approach subject to the height restrictions – ***Improved and incorporated on all four elevations.***
- consider locating three-bedroom units close to the outdoor amenity area on Level 4 to provide a more direct adjacency for families with children to the amenity area – ***Considered. Access for all units is provided through interior corridor from the elevator and stair lobby.***
- appreciate the proposed canopies on the indoor amenity space; consider providing weather protection from the indoor amenity space to the tower – ***Considered. Maintaining an open outdoor amenity area is sought instead of visually splitting the amenity area into two separate areas.***
- appreciate the design of the bicycle racks – ***Noted.***
- consider increasing the depth and area of balconies which have limited depths and sizes – ***Considered.***
- appreciate the project's proposed mechanical systems and sustainability features – ***Noted.***
- note that a vestibule is not provided at the main pedestrian entrance to the building – ***Incorporated.***
- review the size of water entry room, which appears too small and may need to be increased – ***Size of mechanical rooms on 1<sup>st</sup> and 2<sup>nd</sup> floors reviewed and confirmed by project Engineer.***
- the proposed location of the air cooled chiller plant at the southwest corner of the podium roof may not be appropriate due to potential noise issues to adjacent residential units in the subject development and neighbouring properties – ***Reviewed by project Engineer, air-cooled chiller plant located on central spine area of tower roof, and equipment will be located on vibration isolators to mitigate any vibration and noise that could be produced.***
- a gas meter enclosure is not provided in the plans; location should be determined at this stage of the project as it affects the planning and design of other service rooms – ***Incorporated.***
- review the location of the proposed generator room as it is under residential floor area and has potential noise, vibration and ceiling space plumbing issues; also look at the spacing requirement for louvers – ***Reviewed. All***

*adjacent residential units will incorporate acoustical enhancements to floor, wall and ceiling assemblies. Louvers spacing meets requirements.*

- applicant needs to address parking ventilation at this stage of the project as there are no louvers provided in the plans; provision of shafts in the parkade may only be possible if one parking stall is removed – ***Incorporated.***
- consider installing a canopy over the recessed entrances to the live-work unit along Cooney Road; will enhance the character and improve the weather protection for the live-work unit entries – ***Incorporated.***
- appreciate the shift in the geometry of the paving near the tower entrance; also appreciate the lantern expression at the southeast corner of the building; all tower faces have a nice proportion to the articulation of the balconies except for the one corner at the tower entry; consider design development of the entry canopy to the tower, which could relate to the skewed geometry of the paving to provide a more dynamic character to the tower expression – ***Incorporated. Entry canopy geometry mimics landscape paving geometry and corner glazing pattern improved to emphasize corner and entry expression.***
- appreciate the model which expresses well the design intent of the building – ***Noted.***
- appreciate the articulation on the podium – ***Noted.***
- difficult to comment as the package provided by the applicant is incomplete – ***Noted.***
- consider punctuating the landscaping on the north side of the building with higher shrubs or small trees – ***Considered. The area is a PROP and utility SRW area, in which tree planting is not permitted.***
- consider adding more soft landscaping on the outdoor amenity area on Level 4; the applicant could install planters on the edge with trailing plants to meet the vines that will be growing up from the ground level; additional shrub planting is also needed to better define and provide separation between various areas on the outdoor amenity area – ***Improved. Design intent and functionality of the outdoor amenity area was reviewed and planting area was intensified adjacent to play lawn.***
- appreciate the applicant contributing to the City’s Public Art Fund; however, the applicant is encouraged to incorporate public art into the project as it improves the public realm – ***Considered.***
- setbacks along the building façade on Cooney Road help break down the massing; however, consider pushing it more – ***Considered.***
- consider using an intentional pattern for the accents on the residential podium façade along Cooney Road – ***Improved. Design further refined.***
- consider using different materials for the base and upper levels of the residential podium to provide a more pedestrian-oriented scale and character; will help articulate the base as a more public area due to the location of the live-work unit – ***Considered. Design further refined, but additional materials were not incorporated as façade design and materiality is currently fairly complex.***
- consider opening up the area near the entrance to the live-work unit to emphasize that it is a work area; consider introducing a different paving to differentiate the space as a work area rather than a sidewalk/pedestrian area – ***Considered.***
- consider using a different language for the architecture of the live-work unit through the use of different materials on the front facade – ***Improved. Design further refined, additional glazing and canopy provided.***
- ensure that an appropriate space will be provided for installation of signage for the live-work unit – ***Incorporated.***
- consider integrating more the District Energy Utility (DEU) room into the building façade; a different colour could be used to make these elements more of a feature – ***Improved. Panel configuration and grille pattern revised for further integration.***
- appreciate the random pattern on the north and west façades as it helps visually break down the massing and provides an appropriate interface with adjacent residential developments – ***Noted.***
- consider a more prominent tower entry on the ground floor to emphasize it as an entrance – ***Incorporated. Entry glazing expanded and canopy enlarged.***
- appreciate the provision for bicycle storage; consider allocating a storage space for a hand bicycle – ***Considered.***

- accessible parking spaces are proposed adjacent to the ramp; consider relocating or installing safety features – *Improved by relocating spaces.*
- appreciate the provision of two-bedroom and three-bedroom accessible units; also consider providing one-bedroom accessible units – *Considered. The one-bedroom unit compact size does not accommodate the required clearances.*
- appreciate the open kitchen concept; would be useful to a person using a mobility device – *Noted.*
- clarify whether steps are proposed in the children’s play area which could pose accessibility issues – *Improved. A ramp provides access to the children’s play structure area.*

**Panel Decision**

It was moved and seconded

*That DP 17-791045 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.*

**CARRIED**

Opposed: Charan Sethi



**Sustainability v4 for Building Design and Construction: Multifamily Midrise**

Project Checklist

Project Name: 6333 Cooney Road

Date: Feb 19th, 2019



**KANE CONSULTING**

Y	?	N	Credit	Integrative Process	2
2	0	0	0		
<b>14 0 1 Location and Transportation 15 Required</b>					
Y				Floodplain Avoidance	
<b>PERFORMANCE PATH</b>					
0	0	15	Credit	LEED for Neighborhood Development Location	15
<b>PRESCRIPTIVE PATH</b>					
7	0	1	Credit	Site Selection	8
3	0	0	Credit	Compact Development	3
2	0	0	Credit	Community Resources	2
2	0	0	Credit	Access to Transit	2
<b>0 2 5 Sustainable Sites 7 Required</b>					
Y				Construction Activity Pollution Prevention	Required
Y				No Invasive Plants	Required
0	1	1	Credit	Heat Island Reduction	2
0	0	3	Credit	Rainwater Management	3
0	1	1	Credit	Non-Toxic Pest Control	2
<b>6 3 3 Water Efficiency 12 Required</b>					
Y				Water Metering	Required
<b>PERFORMANCE PATH</b>					
0	0	2	Credit	Total Water Use	12
<b>PRESCRIPTIVE PATH</b>					
3	2	1	Credit	Indoor Water Use	6
3	1	0	Credit	Outdoor Water Use	4
<b>16 9 12 Energy and Atmosphere 37 Required</b>					
Y				Minimum Energy Performance	Required
Y				Energy Metering	Required
Y				Education of the Homeowner, Tenant or Building Manager	Required
16	9	5	Credit	Annual Energy Use	30
0	0	5	Credit	Efficient Hot Water Distribution	5
0	0	2	Credit	Advanced Utility Tracking	2
<b>4 1 4 Materials and Resources 9 Required</b>					
Y				Certified Tropical Wood	Required
Y				Durability Management	Required
1	0	0	Credit	Durability Verification	1
1	0.5	3.5	Credit	Environmentally Preferable Products	5
2	0.5	0.5	Credit	Construction Waste Management	3

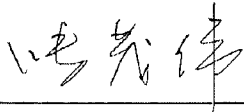
  

6.5	7.5	4	Indoor Environmental Quality	18
Y			Ventilation	Required
Y			Combustion Venting	Required
Y			Garage Pollutant Protection	Required
Y			Radon-Resistant Construction	Required
Y			Air Filling	Required
Y			Environmental Tobacco Smoke	Required
Y			Compartmentalization	Required
1	2	0	Enhanced Ventilation	3
0.5	0	1.5	Contaminant Control	2
1	2	0	Balancing of Heating and Cooling Distribution Systems	3
0	3	0	Enhanced Compartmentalization	3
2	0	0	Enhanced Combustion Venting	2
1	0	0	Enhanced Garage Pollutant Protection	1
1	0.5	1.5	Low Emitting Products	3
0	0	1	No Environmental Tobacco Smoke	1
<b>4 1 1 Innovation 6 Required</b>				
Y			Preliminary Railing	Required
3	1	1	Innovation	5
1	0	0	LEED AP Homes	1
<b>4 0 0 Regional Priority 4</b>				
1	0	0	Credit	Regional Priority: Community Resources
1	0	0	Credit	Regional Priority: Compact Development
1	0	0	Credit	Regional Priority: Annual Energy Usage
1	0	0	Credit	Regional Priority: Durability management verification
<b>56.5 23.5 30 TOTALS Possible Points: 110</b>				
Certified: 40 to 49 points, Silver: 50 to 59 points, Gold: 60 to 79 points, Platinum: 80 to 110				

Dear City of Richmond,

My name is Mao Wei Zhang and I am a director of the company (1111407 B.C. LTD.) that owns 6371 Cooney Road in Richmond. Following a conversation with Bold Properties in regards to their development at 6333 Cooney Road, I give permission for Bold Properties to remove the trees on 6371 Cooney Road at the time of construction as per the City's Staff Comments Letter dated November 9, 2018 stating "5 trees (tag# OS2, OS3, OS4, OS5, and OS7) located on neighbouring property will be severely impacted by the construction of the proposed access driveway on the development site. These trees are in poor condition but require written approval from the neighbouring property owner prior to removal."

Thanks for your cooperation and please contact me if you have more questions.



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Mao Wei Zhang

1111407 B.C. LTD.

[ycgjmw@gmail.com](mailto:ycgjmw@gmail.com)

778 999 9516



## Development Permit Considerations

Development Applications Department  
6911 No. 3 Road, Richmond, BC V6Y 2C1

**Address:** 6333 Cooney Road

**File:** DP 17-791045

**Prior to forwarding this Development Permit application to Council for approval, the owner must complete the following requirements:**

1. (***Voluntary Contributions***) City acceptance of the Owner's voluntarily contributions in the following amounts:
  - a) \$2,144.77 towards future City community planning studies, as set out in the City Centre Area Plan (i.e. \$19,779.77 at 2019 rate of \$0.28 per buildable square foot, less \$17,635 previously contributed via RZ 09-506808).
  - b) \$17,919.95 towards the City's Public Art Program (i.e. \$60,242.95 at 2019 rate of \$0.87 per residential square foot, less \$42,323 previously contributed via RZ 09-506808).
  - c) \$100,000 towards the City's Affordable Housing Strategy (Owner's offer in addition previous contributions of \$30,545.00 via RZ 03-238768 and \$251,611.00 via RZ 09-506808).
2. (***Landscape Security***) Submission of a Letter of Credit for landscaping in the amount of \$305,277 as specified on the landscape cost estimate provided and sealed by the project Landscape Architect (including materials, installation and 10% contingency).
3. (***Side Lane Enhanced Sidewalk Statutory Right of Way***) Granting approximately 15.4 m<sup>2</sup> (165.8 ft<sup>2</sup>) 0.35m wide statutory Right-of-Way for the purposes of Public Rights of Passage and utilities to accommodate an enhanced 1.85m wide sidewalk in the new lane along the south edge of the site and 2m x 2m corner cut at the southwest corner of the site. The works are to be built by the owner and maintained by the owner with the exception of City infrastructure, which is to be maintained by the City. Any works essential for public access within the required statutory Right-of-Way (SRW) are to be included in the Servicing Agreement (SA) and the maintenance & liability responsibility is to be clearly noted. The design must be prepared in accordance with City specifications and good engineering practice with the objective to optimize public safety.
4. (***Future Rear Lane Statutory Right of Way***) Granting approximately 17.5 m<sup>2</sup> (188.4 ft<sup>2</sup>) 1.5m wide statutory Right-of-Way for the purposes of Public Rights of Passage and utilities to accommodate future potential rear lane extension from north boundary of existing SRW plan BCP50328 to south boundary of existing SRW plan BCP20901 along the south edge of the site. The works are to be built by the owner and maintained by the owner with the exception of City infrastructure, which is to be maintained by the City. Any works essential for public access within the required statutory Right-of-Way (SRW) are to be included in the Servicing Agreement (SA) and the maintenance & liability responsibility is to be clearly noted. The design must be prepared in accordance with City specifications and good engineering practice with the objective to optimize public safety.
5. (***Shared Loading Bay Statutory Right of Way***) Granting of an approximately 56.1 m<sup>2</sup> (603.9 ft<sup>2</sup>) statutory Right-of-Way for the purposes of Public Rights of Passage for the shared use at all times of the loading bay with the proposed development and future development on the neighbouring property at 6371 Cooney Road. Any gates are to remain open from 7am to 7pm 7 days a week, and may only be secured if means are provided for the neighbouring property at 6371 Cooney Road to access the loading bay at all other times. The works are to be built by the owner and are to be maintained by the owner. Any works essential for public access within the required statutory Right-of-Way (SRW) are to be included in the Servicing Agreement (SA) and the maintenance & liability responsibility is to be clearly noted. The design must be prepared in accordance with good engineering practice with the objective to optimize public safety and after completion of the works, the owner is required to provide a certificate of inspection for the works, prepared and sealed by the owner's Engineer in a form and content acceptable to the City, certifying that the works have been constructed and completed in accordance with the accepted design.

6. (**Discharges**) Discharge the following obsolete charges from title:
  - a) SRW City utilities (1961 charge 300009C), which is now obsolete as all active City engineering utilities on/near the site are contained within other subsequent SRWs.
  - b) Aircraft noise sensitive development covenant (2005 charge BX288986), which is now obsolete as a replacement covenant with SRW is also registered on title (2012 charges BB4039857 and BB4039858).
  - c) Servicing agreement covenant (2012 charge BB4039865), which is now obsolete due to the passage of time. Prior to discharge, as noted below, a new servicing agreement and new letter of credit are required.
  - d) Building code equivalency covenant (2013 charge CA3162692), which is now obsolete as the proposed building design has changed.
7. (**City Centre Impacts**) Registration of a legal agreement on title stipulating that the development is subject to potential impacts due to other development that may be approved within the City Centre including without limitation, loss of views in any direction, increased shading, increased overlook and reduced privacy, increased ambient noise and increased levels of night-time ambient light, and requiring that the owner provide written notification of this through the disclosure statement to all initial purchasers, and erect signage in the initial sales centre advising purchasers of the potential for these impacts.
8. (**District Energy Utility**) Registration of a restrictive covenant and/or alternative legal agreement(s), to the satisfaction of the City, securing the owner's commitment to connect to District Energy Utility (DEU), which covenant and/or legal agreement(s) will include, at minimum, the following terms and conditions:
  - a) No building permit will be issued for a building on the subject site unless the building is designed with the capability to connect to and be serviced by a DEU and the owner has provided an energy modelling report satisfactory to the Director of Engineering;
  - b) If a DEU is available for connection, no final building inspection permitting occupancy of a building will be granted until:
    - i. the building is connected to the DEU, which may include the owner's supplied and installed central energy plant to provide heating and cooling to the building, at no cost to the City, or the City's DEU service provider, Lulu Island Energy Company, on the subject site satisfactory to the City;
    - ii. if the City so elects, the owner transfers ownership of the central energy plant on the site, if any, at no cost to the City, or City's DEU service provider, Lulu Island Energy Company, to the City and/or the City's DEU service provider, Lulu Island Energy Company, on terms and conditions satisfactory to the City;
    - iii. the owner enters into a Service Provider Agreement with the City and/or the City's DEU service provider, Lulu Island Energy Company, on terms and conditions satisfactory to the City; and
    - iv. the owner grants or acquires the Statutory Right-of-Way(s) and/or easements necessary for supplying the DEU services to the building and the operation of the central energy plant, if any, by the City and/or the City's DEU service provider, Lulu Island Energy Company.
  - c) If a DEU is not available for connection, no final building inspection permitting occupancy of a building will be granted until:
    - i. the City receives a professional engineer's certificate stating that the building has the capability to connect to and be serviced by a DEU;
    - ii. the owner enters into a covenant and/or other legal agreement to require that the building connect to a DEU when a DEU is in operation ;
    - iii. the owner grants or acquires the Statutory Right-of-Way(s) and/or easements necessary for supplying DEU services to the building; and
    - iv. the owner provides to the City a letter of credit, in an amount satisfactory to the City, for costs associated with acquiring any further Statutory Right of Way(s) and/or easement(s) and preparing and registering legal agreements and other documents required to facilitate the building connecting to a DEU when it is in operation.

9. (**Existing Tree Management**) The owner shall protect adjacent neighbouring trees, including:
- a) (**Arborist Supervision**) Submission of a Contract entered into between the applicant and a Certified Arborist for supervision of any on-site works conducted within the tree protection zone of all trees to be protected. The Contract should include the scope of work to be undertaken, including: the proposed number of site monitoring inspections, and a provision for the Arborist to submit a post-construction assessment report to the City for review.
  - b) (**Tree Removal Permit**) 5 trees (tag# OS2, OS3, OS4, OS5, and OS7) located on neighbouring property will be severely impacted by the construction of the proposed access driveway on the development site. These trees are in poor condition. The neighbouring property owner has provided written approval and a tree removal permit is required to be obtained prior to removal.
  - c) (**Tree Protection**) 2 trees (tag# OS1 and OS6) located on neighbouring property to be protected require installation of appropriate tree protection fencing as part of the development prior to any construction activities, including building demolition, occurring on-site.
10. (**Servicing Agreement**) Enter into a Servicing Agreement\* for the design and construction of Engineering and Transportation works in accordance with Transportation Association of Canada (TAC) Specifications, City Engineering Design Specifications and applicable Bylaws to the satisfaction of the City. A Letter of Credit or cash security for the value of the Service Agreement works, as determined by the City, will be required as part of entering into the Servicing Agreement. Works include, but may not be limited to, the following:
- 10.I Road works:
- a) Road Functional Design Works: Submission of a functional design (road works, interim and ultimate lane works), prepared to the satisfaction of the City, is required. Design to accommodate: Cooney Road frontage improvements and new lane. Works also include street lighting, traffic signage, boulevard landscaping, and street trees. The functional design is to indicate clearly all existing and proposed SRW PROPS, and include the frontage improvements listed below. Unless otherwise specified, all road works are to be designed as per bylaw, TAC Standards and the City's Engineering Design Specifications.
  - b) Cooney Road Frontage Improvements: Works to include, from east to west behind existing curb and gutter, grass boulevard (Min. 1.5 m) with street trees and new 2 m wide concrete sidewalk. The new sidewalk and boulevard are to transition to meet the existing frontage treatments to the north and south of the subject site. Sidewalk alignment with smooth transitions to north and south to be detailed on required road functional plan for City review in order to confirm interim frontage cross section. All existing driveways along the Cooney Road frontage are to be closed permanently. The Owner is responsible for the removal of the existing driveway let-downs and the replacement with sidewalk, boulevard and barrier curb and gutter to match frontage improvements. There are existing utility poles and junction boxes that will need to be relocated at the owner's cost.
  - c) New Lane: Interim lane to City Centre standard with additional sidewalk width. Works to include, from north to south, 1.85 m wide concrete sidewalk with street lighting located to maintain a 1.5 m width of sidewalk free and clear of obstruction, roll-over curb and remaining 6 m to be roadway driving surface approved by the City. Through the Servicing Agreement, decorative pavement treatment may be required to create a more pedestrian friendly environment in the lane.
- 10.II Water Works:
- a) Using the OCP Model, there is 659.0 L/s of water available at a 20 psi residual at Cooney Road. Based on the proposed development, site requires a minimum fire flow of 220 L/s.
  - b) At the Owner's cost, the Owner is required to:
    - i. Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage building designs.
    - ii. Review hydrant spacing on all road frontages and install new fire hydrants as required to meet City spacing requirements for commercial land use.
    - iii. Obtain approval from Richmond Fire Rescue for all fire hydrant locations, relocations, and removals, as required.

Initial:



iv. Provide a Right-of-Way for water meter. Exact Right-of-Way dimensions to be finalized during the servicing agreement process.

c) At Owner's cost, the City is to:

- i. Cut, cap, and remove the existing water service connections servicing 6333 Cooney Road.
- ii. Install a new water service connection, complete with meter and meter box, to serve the proposed development.

#### 10.III Storm Sewer Works:

a) At the Owner's cost, the Owner is required to:

- i. Provide an erosion and sediment control plan for all on-site and off-site works, to be reviewed as part of the servicing agreement design.
- ii. Ensure trees are not placed on top of the storm sewer main and, follow offset and alignment similar to the existing trees at the Cooney frontage of the property to the north.

b) At Owner's cost, the City is to:

- i. Cut, cap, and remove the existing storm service connections and inspection chambers servicing the subject site.
- ii. Install a new storm service connection and type III inspection chamber. If required, the Owner shall provide a statutory Right-of-Way for the inspection chamber at their cost.
- iii. Complete all tie-ins for the potential works to existing City infrastructure, to be determined by the pipe sizing calculations at the servicing agreement stage.

#### 10.IV Sanitary Sewer Works:

a) At the Owner's cost, the Owner is required to:

- i. Install new sanitary sewer along Cook Road from existing manhole SMH58685 at the intersection of Cook Road and Buswell Street to a new manhole at the intersection of Cook Road and Cooney Road (approximately 165 m of 300 mm PVC sanitary sewer).
- ii. Remove, or abandon and cut and cap, as per MMCD existing sanitary sewer between SMH57073 and SMH57072 in the SRW located along the south property line of 6333 Cooney Road (approximately 52 m of 300 mm PVC sanitary sewer).
- iii. Remove existing and install new sanitary sewer from manhole SMH57091 to SMH57073 along the west property line of 6333 Cooney Road (approximately 53 m of 200 mm PVC sanitary sewer).
- iv. Remove manhole SMH57093 located just south of the northwest corner of 6333 Cooney Road.
- v. Ensure that the existing sanitary sewer along the west property line remains operational during any preload and/or construction phase. If the existing sanitary line is impacted during site preparation or construction of the proposed development then the owner shall be responsible to make the damaged sanitary system operational during the duration of the onsite works (i.e., temporary bypass via pumping, etc.). The damaged sanitary system shall be replaced at the same alignment through the servicing agreement, at the owner's costs, after completion of the site preparation and/or building construction works.
- vi. Ensure no soil fill or building encroaches into the existing sanitary right of way along the west property line.
- vii. Owner/Developer of the subject site has agreed to provide an engineering solution certified by a structural engineer stipulating that the footing and foundation design of the parkade will permit excavation to the bottom of the adjacent sanitary line without undermining the parkade structure. The purpose is to facilitate the removal of the existing sanitary sewer along west side and the installation of the new sanitary sewer.

b) Subject to available funding through the Development Coordinated Works budget, the city will provide funding for the construction of the following works. The owner is required to:

- i. Install new sanitary sewer along Cooney Road from existing manhole SMH57072 to the new manhole (as noted above) at the intersection of Cook Road and Cooney Road (approximately 160 m of 300 mm PVC sanitary sewer). The developer is required to include the design of City funded sanitary main into the servicing agreement design.

- ii. Prior to commencing City funded sanitary main work on the Cooney Road frontage the developer must provide the City with a minimum 1 year notice of their intended start date, along with a cost estimate for the works to be reviewed by and approved by City staff.
- c) At Owner's cost, the City is to:
  - i. Complete all tie-ins for the proposed works to existing City infrastructure.
  - ii. Cut, cap, and remove the existing sanitary service connection and inspection chamber servicing the subject site.
  - iii. Install a new service connection off of the existing 300mm PVC sanitary sewer on Cooney Road, complete with inspection chamber. If required, the Owner shall provide a statutory Right-of-Way for the inspection chamber at their cost.

10.V Frontage Improvement Works:

- a) At the Owner's cost, the Owner is required to:
  - i. Coordinate with BC Hydro, Telus and other private communication service providers:
    - 1. To pre-duct for future hydro, telephone and cable utilities along all road frontages.
    - 2. Before relocating/modifying any of the existing power poles and/or guy wires within the property frontages.
    - 3. To underground overhead service lines.
    - 4. To locate/relocate all above ground utility cabinets and kiosks required to service the proposed development, and all above ground utility cabinets and kiosks located along the development's frontages, within the developments site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be included in the development design review process. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the requirements (e.g., statutory Right-of-Way dimensions) and the locations for the aboveground structures. If a private utility company does not require an aboveground structure, that company shall confirm this via a letter to be submitted to the City. The following are examples of statutory Right-of-Ways that shall be shown on the architectural plans/functional plan, the servicing agreement drawings, and registered prior to SA design approval:

BC Hydro PMT	4.0 x 5.0 m
BC Hydro LPT	3.5 x 3.5 m
Street light kiosk	1.5 x 1.5 m
Traffic signal kiosk	2.0 x 1.5 m
Traffic signal UPS	1.0 x 1.0 m
Shaw cable kiosk	1.0 x 1.0 m
Telus FDH cabinet	1.1 x 1.0 m

- ii. Review street lighting levels along all road and lane frontages, and upgrade as required. Refer to drawings L12.3, complete with banner and without pedestrian light, flowerpot holder, and receptacle. The street light pole shall be painted RAL 5007 with a gloss, smooth-finish.

10.VI General Items:

- a) At the Owner's cost, the Owner is required to:
  - i. Provide, prior to start of site preparation works or within the first servicing agreement submission, whichever comes first, a preload plan and geotechnical assessment of preload, dewatering, and soil preparation impacts on the existing utilities fronting the entire development site and provide mitigation recommendations.
  - ii. Provide a video inspection report of the existing rear-yard sanitary sewers and storm sewer along the Cooney Road frontages prior to start of site preparation works or within the first servicing agreement submission, whichever comes first. A follow-up video inspection after site preparation works are complete (i.e. pre-load removal, completion of dewatering, etc.) to assess the condition of the existing utilities is required. Any utilities damaged by the pre-load, de-watering, or other ground preparation shall be replaced at the owner's cost.

Initial:

- iii. Monitor the settlement at the adjacent utilities and structures during pre-loading, dewatering, and soil preparation works per a geotechnical engineer's recommendations, and report the settlement amounts to the City for review.
- iv. Submit a proposed strategy at the building permit stage for managing excavation de-watering. Note that the City's preference is to manage construction water onsite or by removing and disposing at an appropriate facility. If this is not feasible due to volume of de-watering, the owner will be required to apply to Metro Vancouver for a permit to discharge into the sanitary sewer system. If the sanitary sewer does not have adequate capacity to receive the volume of construction water, the owner will be required to enter into a de-watering agreement with the City to discharge treated construction water to the storm sewer system.
- v. Not encroach into City Rights-of-Way with any proposed trees, retaining walls, or other non-removable structures.
- vi. Coordinate the servicing agreement design for this development with the servicing agreement(s) for the adjacent development(s), both existing and in-stream. The owner's civil engineer shall submit a signed and sealed letter with each servicing agreement submission confirming that they have coordinated with civil engineer(s) of the adjacent project(s) and that the servicing agreement designs are consistent. The City will not accept the 1st submission if it is not coordinated with the adjacent developments. The coordination letter should cover, but not be limited to, the following:
  1. Corridors for City utilities (existing and proposed water, storm sewer, sanitary and DEU) and private utilities.
  2. Pipe sizes, material and slopes.
  3. Location of manholes and fire hydrants.
  4. Road grades, high points and low points.
  5. Alignment of ultimate and interim curbs.
  6. Proposed street lights design.
- vii. Enter into, if required, additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

**Prior to Building Permit\* Issuance, the owner must complete the following requirements:**

1. (**Legal Agreements**) Confirmation of compliance with existing and Development Permit legal agreements.
2. (**Accessibility and Sustainability**) Incorporation of special features in Building Permit (BP) plans as determined via the Development Permit process.
3. (**Aircraft Noise Sensitive Development**) Confirmation that the proposed development is designed in a manner that mitigates potential aircraft noise to the proposed dwelling units, including submission of:
  - a. Acoustic report prepared by a registered professional confirming design achieves the following CMHC interior noise level guidelines:

Portions of Dwelling Units	Noise Levels (decibels)
Bedrooms	35 decibels
Living, dining, recreation rooms	40 decibels
Kitchen, bathrooms, hallways, and utility rooms	45 decibels

- b. Mechanical report prepared by a registered professional confirming design achieves the ASHRAE 55-2004 "Thermal Environmental Conditions for Human Occupancy" standard for interior living spaces.

Initial:

4. (**Construction Parking and Traffic Management Plan**) Submission of a Construction Parking and Traffic Management Plan\* to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570. (<http://www.richmond.ca/services/ttp/special.htm>).
5. (**Latecomer works**) If applicable, payment of latecomer agreement charges, plus applicable interest associated with eligible latecomer works.
6. (**Construction Hoarding**) Obtain a Building Permit\* (BP) for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact the Building Approvals Department at 604-276-4285.*

Note:

- \* This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.  
All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.  
The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.
- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial Wildlife Act and Federal Migratory Birds Convention Act, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

[signed copy on file]

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Signed

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Date

Initial:



No. DP 17-791045

To the Holder: BOLD PROPERTIES (COONEY) LIMITED PARTNERSHIP  
Property Address: 6333 COONEY ROAD  
Address: C/O TOMMY HE, BOLD PROPERTIES  
668 WEST HASTINGS STREET, UNIT 600  
VANCOUVER, BC V6B 1P1

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #40 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$305,277.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

**Development Permit**  
**No. DP 17-791045**

To the Holder: BOLD PROPERTIES (COONEY) LIMITED PARTNERSHIP  
Property Address: 6333 COONEY ROAD  
Address: C/O TOMMY HE, BOLD PROPERTIES  
668 WEST HASTINGS STREET, UNIT 600  
VANCOUVER, BC V6B 1P1

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7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.  
DAY OF , .

ISSUED BY THE COUNCIL THE

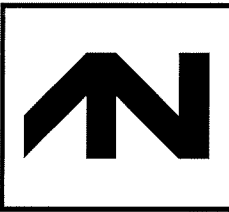
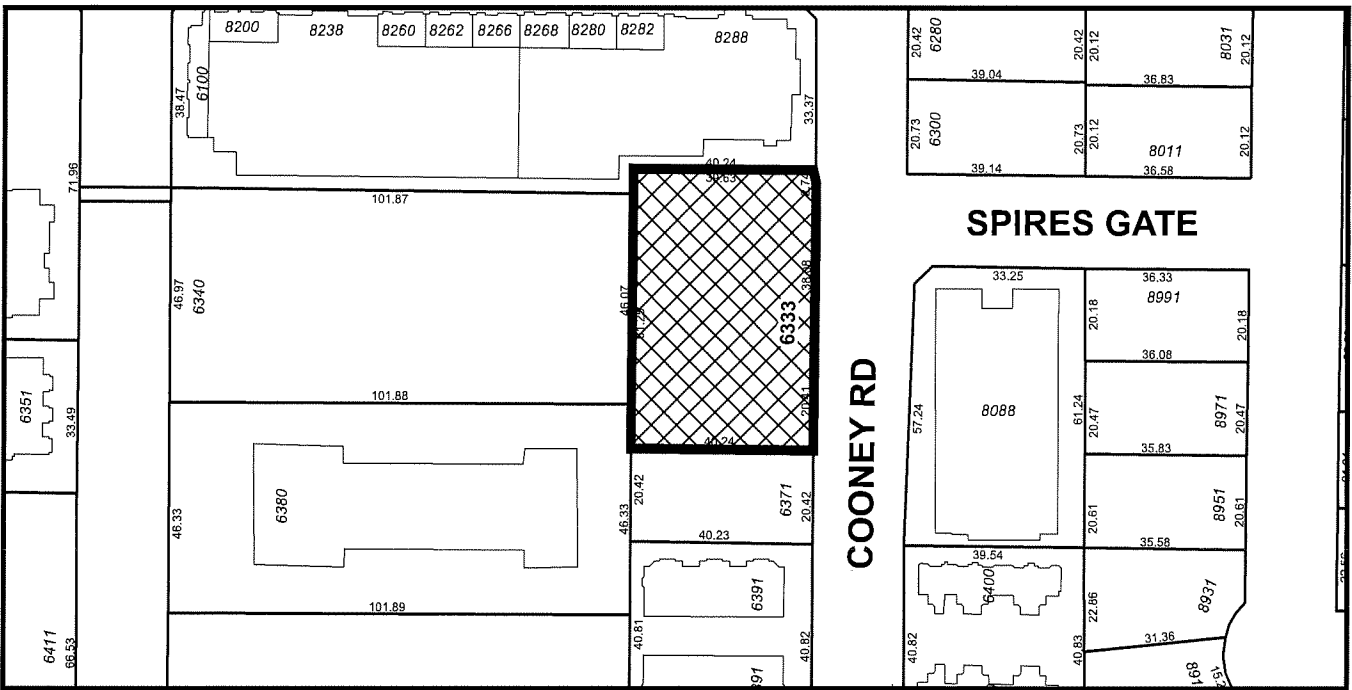
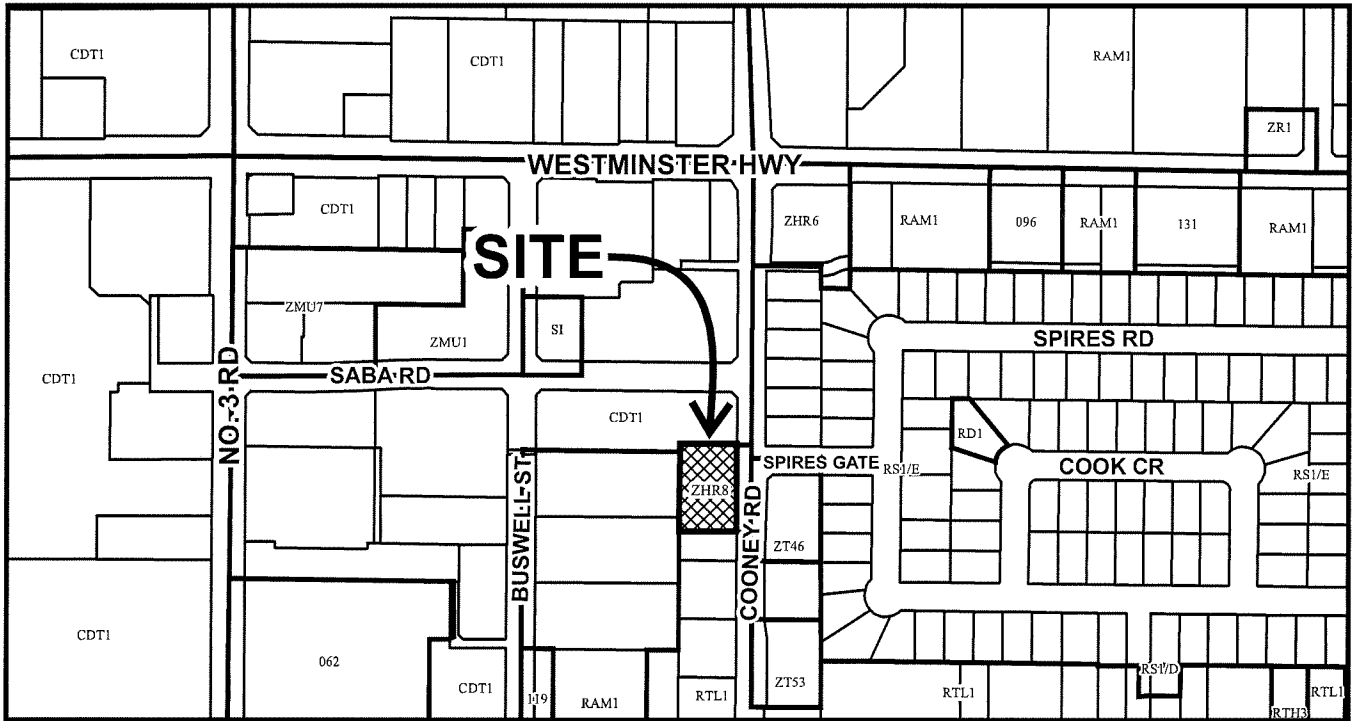
DELIVERED THIS DAY OF , .

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MAYOR



# City of Richmond



**DP 17-791045**  
**SCHEDULE "A"**

Original Date: 11/16/17  
Revision Date: 06/28/18  
Note: Dimensions are in METRES

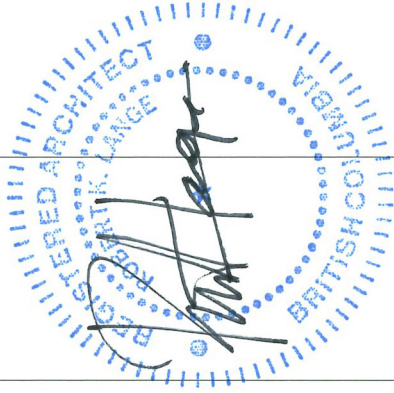






CONSULTANT INFORMATION  
 D&A CONSULTANTS ARCHITECTURE  
 100-1100 Columbia Street  
 Vancouver, BC V6E 1A1  
 TEL: 604.681.1100  
 WWW.D&ACONSULTANTS.COM

NOT FOR CONSTRUCTION  
 PROJECT INFORMATION  
 COONEY ROAD TOWER  
 6333 COONEY ROAD  
 RICHMOND, BC



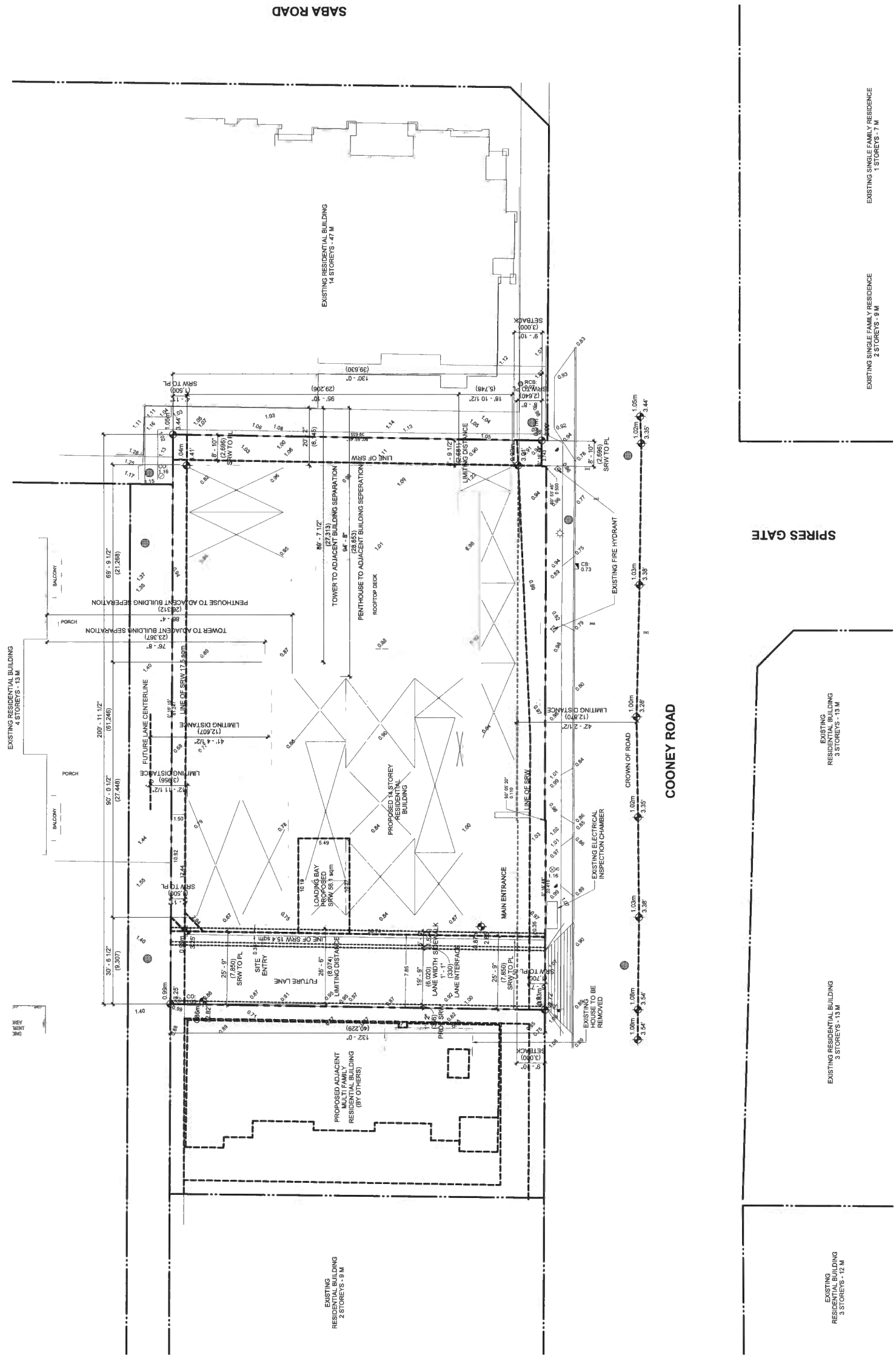
This drawing represents preliminary design. Do not scale from this drawing.  
 The design is preliminary and subject to change without notice. The design is based on the information provided to the architect. The architect is not responsible for the accuracy of the information provided to the architect.  
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ISSUED	DATE
DEVELOPMENT PERMIT	2017-11-03
DP APPLICATION	2018-09-28
RE-SUBMISSION	2018-02-01
DP RESUBMISSION	2018-02-01
DP RESUBMISSION	2018-11-01
DP RESUBMISSION	2019-11-08

SCALE: 1/8" = 1'-0"  
 DATE: 11/08/2019 4:27:50 PM  
 DRAWN BY: JH  
 CHECKED BY: SH  
 PROJECT NO: 219171  
 DRAWING TITLE: SITE PLAN

DP10-01-00  
 DRAWING NO

DP 17-791045  
 Nov 20, 2019  
 Plan 2



1 SITE PLAN  
 DP10-01-00 SCALE: 1/8" = 1'-0"



CONSULTANT INFORMATION  
THE CONSULTANT:  
CONSTRUCT LANSBOROUGH ARCHITECTURE  
2100 EAST 17TH AVENUE  
SUITE 200  
VANCOUVER, BC V6L 1A1  
TEL: 604.271.7200  
WWW.CONSTRUCTLANSBOROUGH.COM

PROJECT INFORMATION  
COONEY ROAD  
TOWER

6333 COONEY ROAD  
RICHMOND, BC

NOT FOR CONSTRUCTION

DATE: 2017-11-20  
DRAWN BY: [Signature]

CHECKED BY: [Signature]

PROJECT NO.: 218771

SCALE: As Indicated

DATE: 11/20/2019 4:52:59 PM

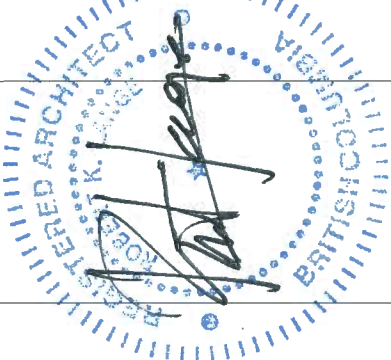
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PROJECT NO.: 218771

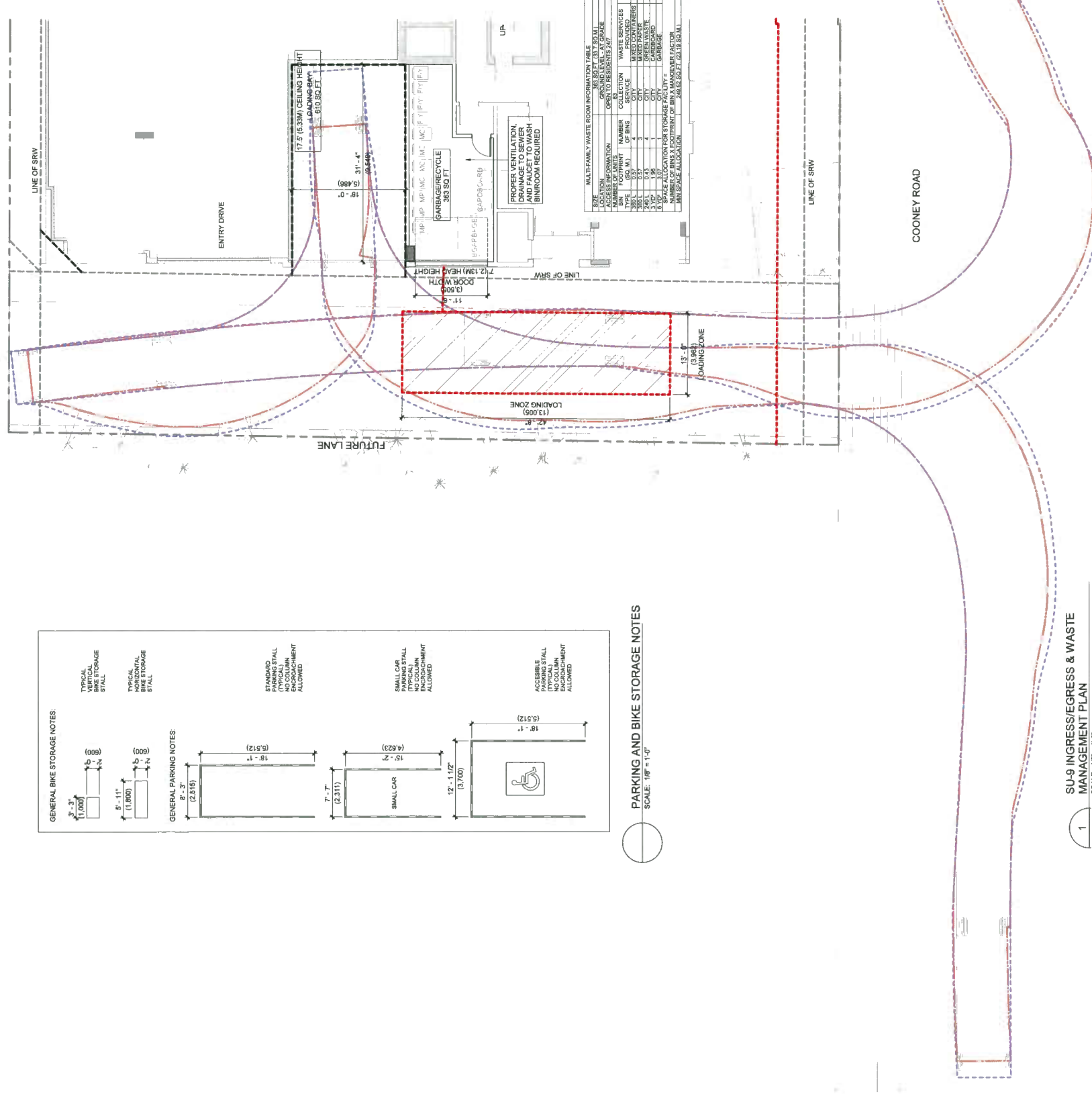
DRAWING TITLE

TRUCK ACCESS, BIKE STORAGE NOTES & PARKING NOTES

DRAWING NO. DP10-02-00



This drawing represents preliminary plans. Do not build from this drawing.  
While all dimensions, elevations and details, and materials are shown, they are subject to change without notice. The client's responsibility is to ensure that all materials and finishes are in accordance with the approved plans.  
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ISSUED: 2017-11-20  
DEVELOPMENT PERMIT: 2017-11-20  
APPLICATION: 2016-09-29  
RE-SUBMISSION: 2019-02-26  
ADP SUBMISSION: 2019-02-26  
DP RESUBMISSION: 2019-10-31  
DP RESUBMISSION: 2019-11-08



**GENERAL BIKE STORAGE NOTES**

- 1. TYPICAL VERTICAL BIKE STORAGE STALL
- 2. TYPICAL HORIZONTAL BIKE STORAGE STALL
- 3. STANDARD STALL (TYPICAL) NO COLUMN ENCROACHMENT ALLOWED
- 4. SMALL CAR PARKING STALL (TYPICAL) NO COLUMN ENCROACHMENT ALLOWED
- 5. ACCESSIBLE STALL (TYPICAL) NO COLUMN ENCROACHMENT ALLOWED

**GENERAL PARKING NOTES**

- 1. 5'-11" (1,800)
- 2. 7'-7" (2,311)
- 3. 12'-1 1/2" (3,700)
- 4. 18'-1" (5,512)
- 5. 18'-1" (5,512)
- 6. 15'-2" (4,623)

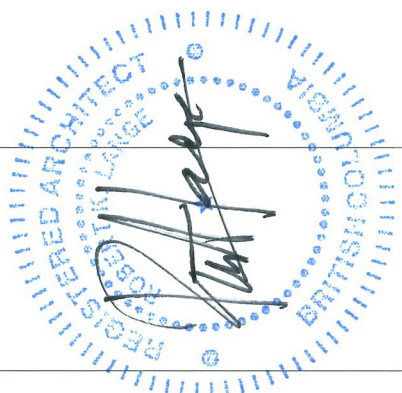
**PARKING AND BIKE STORAGE NOTES**  
SCALE: 1/8" = 1'-0"

**SU-9 INGRESS/EGRESS & WASTE MANAGEMENT PLAN**  
SCALE: 1/8" = 1'-0"



CONSULTANT INFORMATION  
 CONSULTANT: S2 ARCHITECTURE  
 ADDRESS: 2211 EAST 15TH AVENUE, SUITE 100  
 VANCOUVER, BC V6M 2K3  
 TEL: 604-271-1111  
 WWW.S2ARCHITECTURE.COM

PROJECT INFORMATION  
**NOT FOR CONSTRUCTION**  
**COONEY ROAD TOWER**  
 6333 COONEY ROAD  
 RICHMOND, BC



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ISSUED: 2018-05-16  
 DATE: 2018-05-16  
 FIRST ACP RESPONSE: 2018-10-31  
 DP RESUBMISSION: 2018-10-31  
 DP RESUBMISSION: 2018-11-08

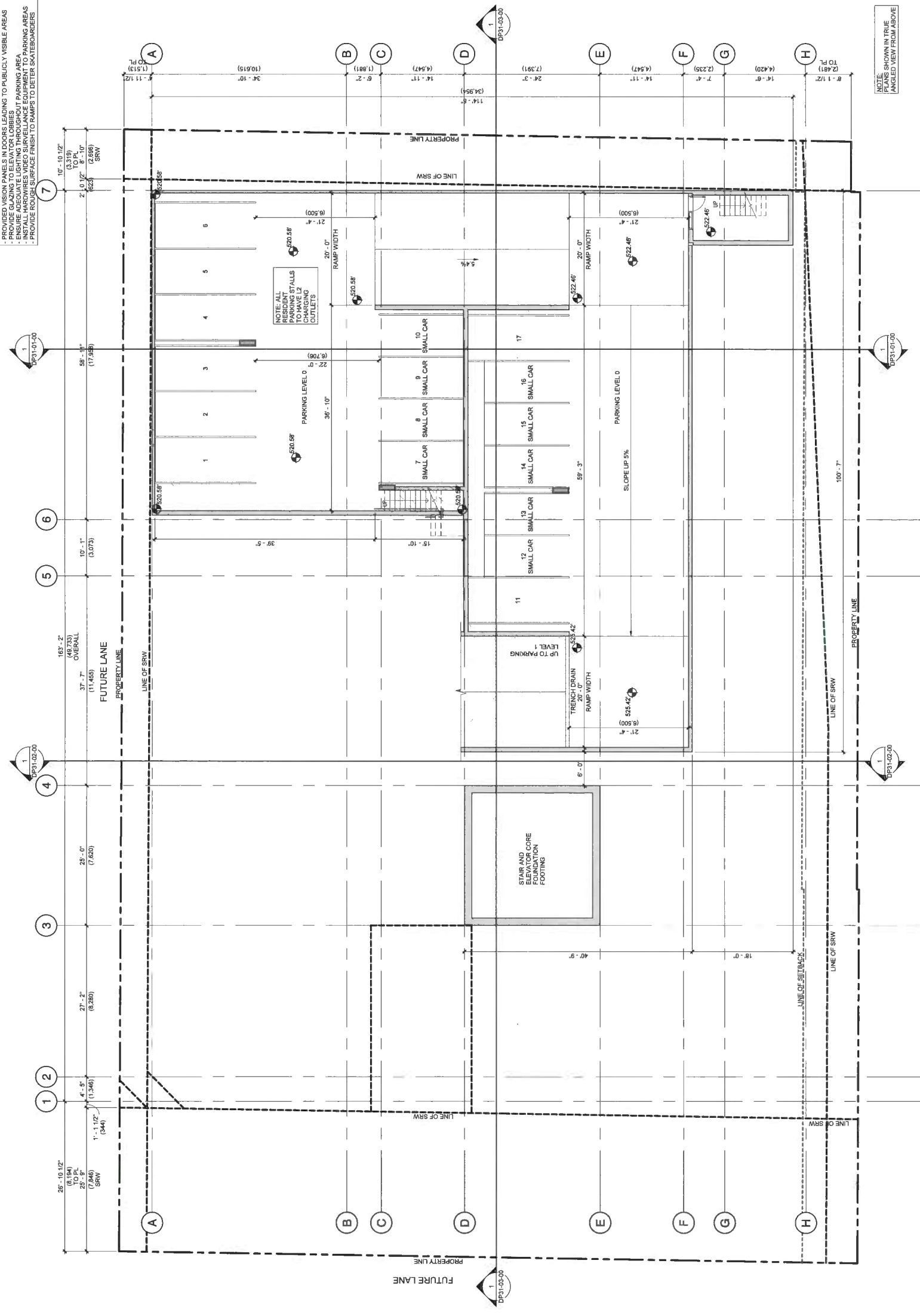
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 DRAWN BY: S2 ARCHITECTURE  
 PROJECT NO.: 210771  
 DRAWING TITLE: LEVEL P1 FLOOR PLAN

DWGN NO.: DP20-00-00

DP 17-791045  
 Nov 20, 2019  
 Plan 4

- OPTED PRINCIPLES**
- LIGHT COLOURED PAINTED FINISH TO WALLS, COLUMNS
  - AVOID HIDDEN CORNERS AND INSTALL CONVEX MIRRORS AS NEEDED
  - PROVIDED VISION PANELS IN DOORS LEADING TO PUBLICLY VISIBLE AREAS
  - PROVIDE VISION PANELS IN DOORS LEADING TO PUBLICLY VISIBLE AREAS
  - ENSURE ADEQUATE LIGHTING THROUGHOUT PARKING AREA
  - INSTALL HARDBWARE VIDEO SURVEILLANCE EQUIPMENT TO PARKING AREAS
  - PROVIDE ROUGH SURFACE FINISH TO RAMPS TO DETER SKATEBOARDERS

NOTE: ALL RESIDENTS WILL HAVE UP TO HAVE UP CHARGING OUTLETS



NOTE: PLANS SHOWN IN TRUE ANGLED VIEW FROM ABOVE

1 LEVEL P1 PARKING  
 DP30-01-00 SCALE: 1/8" = 1'-0"

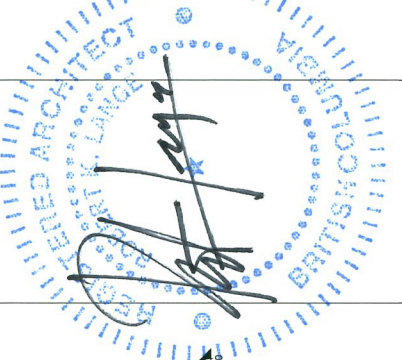
COONEY ROAD

NOT FOR CONSTRUCTION

PROJECT INFORMATION

COONEY ROAD TOWER

6333 COONEY ROAD RICHMOND, BC



CONSULTANT INFORMATION

CALL: CHMELIANSKI ARCHITECTURE

ARCHITECTURE 20 ARCHITECTURE

ARCHITECTURE GROUP OF COMPANIES

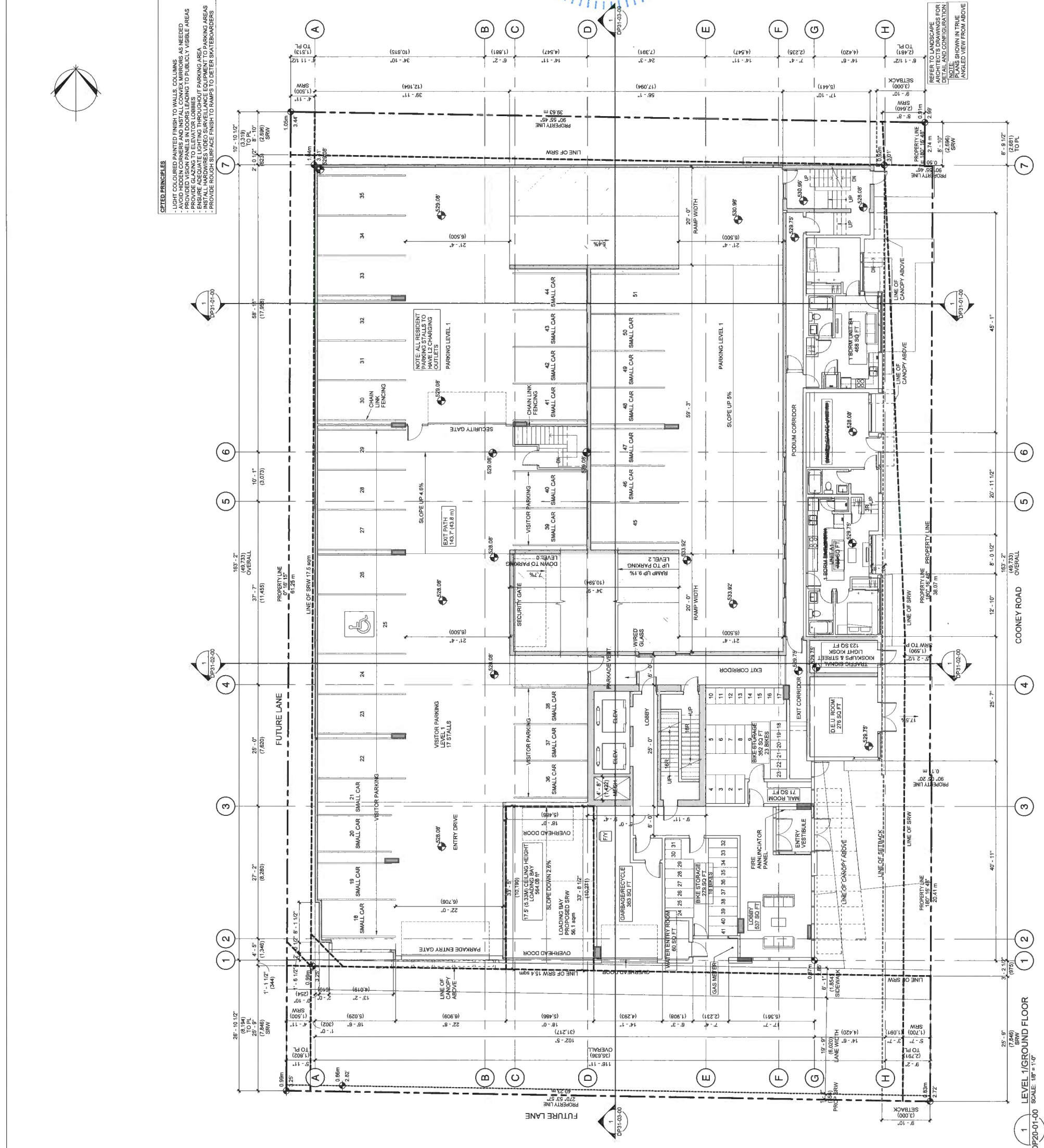
ARCHITECTURE ARCHITECTURE

ARCHITECTURE ARCHITECTURE

ARCHITECTURE ARCHITECTURE

- CEPT PRINCIPLES**
- LIGHT COLOURED PAINTED FINISH TO WALLS, COLUMNS
  - AVOID HIDDEN CORNERS AND METALLIC CONVEY MIRRORS AS NEEDED
  - PROVIDE VISION PANELS IN DOORS LEADING TO PUBLICLY VISIBLE AREAS
  - PROVIDE GLAZING TO ELEVATOR LOBBIES
  - INSTALL HARDWIRED VIDEO SURVEILLANCE EQUIPMENT TO PARKING AREAS
  - PROVIDE ROUGH SURFACE FINISH TO RAMPS TO DETER SKATEBOARDERS

REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR DETAIL AND CONFIGURATION. DETAILS SHOWN IN TRUE ANGLED VIEW FROM ABOVE.



1 LEVEL 1/GROUND FLOOR SCALE: 1/8" = 1'-0"



CONSULTANT INFORMATION  
S2 ARCHITECTURE  
222, 224 W. Columbia Street  
Vancouver, BC V6C 3K2  
Tel: 604.681.1111  
www.s2architecture.com

PROJECT INFORMATION  
**NOT FOR CONSTRUCTION**  
COONEY ROAD TOWER  
6333 COONEY ROAD  
RICHMOND, BC

DATE: 2017-11-03  
2018-09-28  
2018-09-28  
2018-09-28  
2018-10-31  
2018-11-08

SCALE: As Indicated  
DATE: 11/15/2018 8:58:40 AM  
DRAWN BY: JH  
CHECKED BY: SH  
PROJECT NO.: 218171

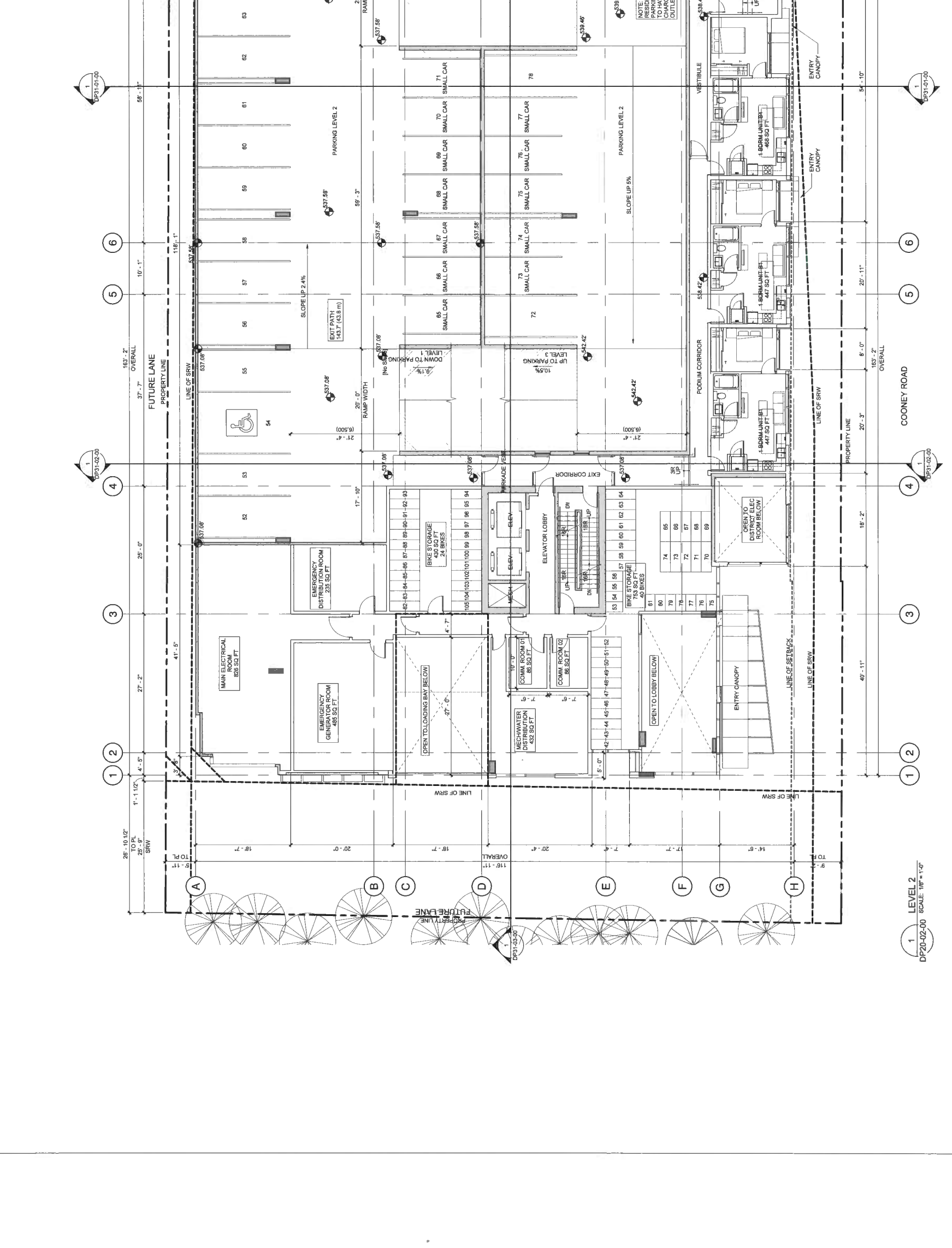
DRAWING TITLE: LEVEL 2 FLOOR PLAN

DRAWING NO.: DP20-02-00

Nov 20, 2019  
DP 17-791045  
Plan 6

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- OPTED PRINCIPLES**
- LIGHT COLOURED PAINTED FINISH TO WALLS, COLUMNS
  - AVOID HIDDEN CORNERS AND INSTALL CONVEX MIRRORS AS NEEDED
  - PROVIDED VISION PANELS IN DOORS LEADING TO PUBLICLY VISIBLE AREAS
  - PROVIDED VISION PANELS IN DOORS LEADING TO PUBLICLY VISIBLE AREAS
  - ENSURE ACCURATE LIGHTING THROUGHOUT PARKING AREA
  - INSTALL HARDWARES VIDEO SURVEILLANCE EQUIPMENT TO PARKING AREAS
  - PROVIDE ROUGH SURFACE FINISH TO RAMPS TO DIETER SKATEBOARDERS

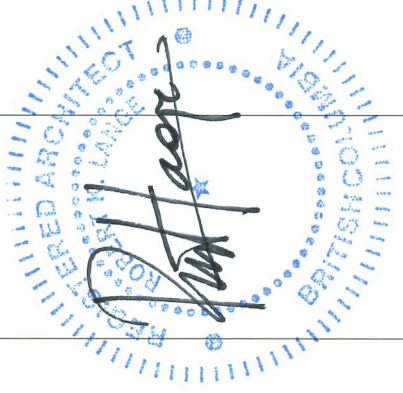


LEVEL 2  
SCALE: 1/8" = 1'-0"

NOTES:  
PLANS SHOWN IN TRUE  
ANGLED VIEW FROM ABOVE

SEE PLAN 6





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**COONEY ROAD TOWER**

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RICHMOND, BC

CONSULTANT INFORMATION  
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CORRECT LANDSCAPE ARCHITECTURE  
LANDSCAPE ARCHITECTURE  
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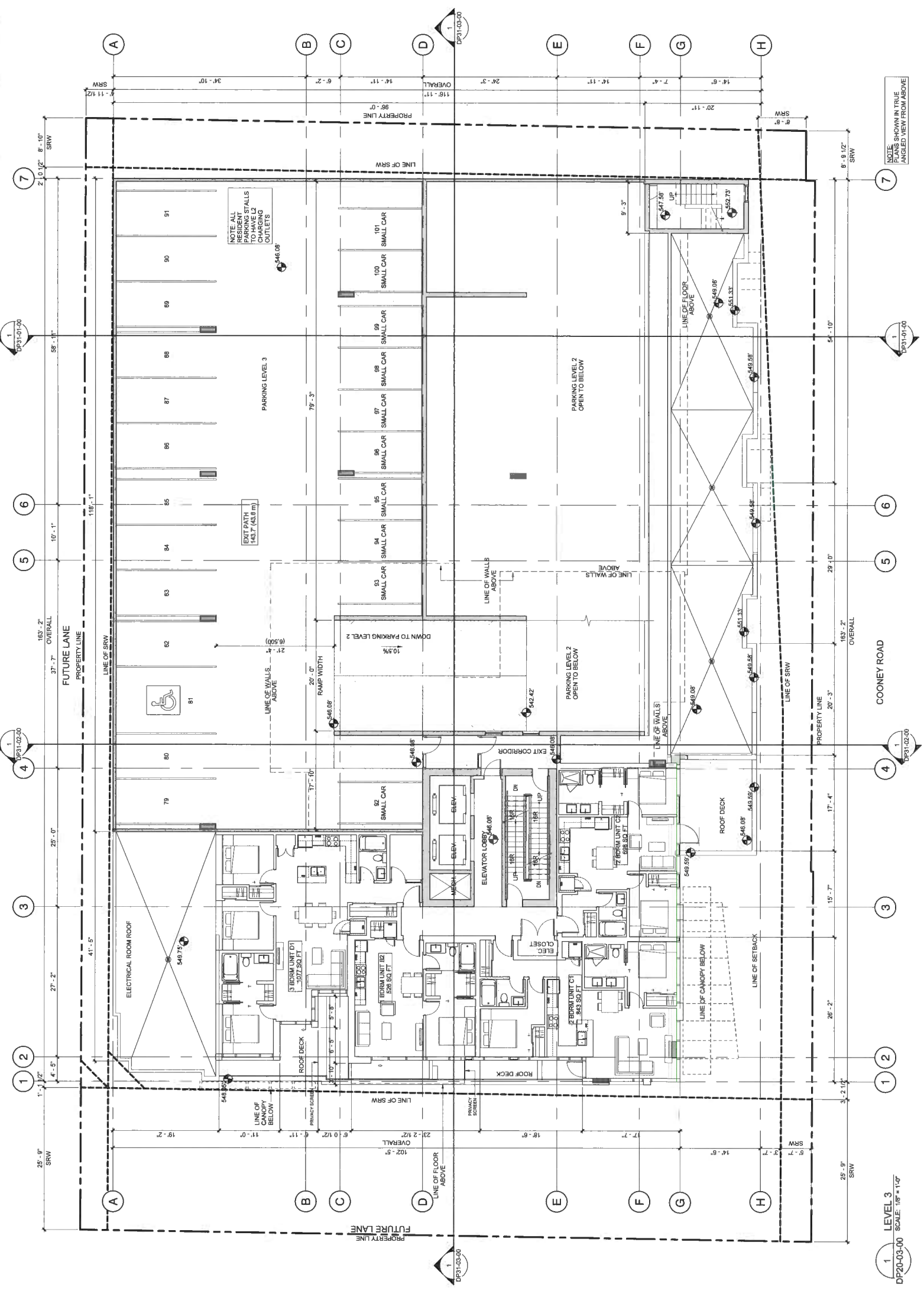
ISSUED	DATE
DEVELOPMENT PERMIT	2017-11-03
APPLICATION	2018-05-28
RE-SUBMISSION	2018-02-01
ASP SUBMISSION	2018-05-18
POST ASP RESPONSE	2018-05-18
RE-SUBMISSION	2018-05-18
DP RESUBMISSION	2019-11-08

SCALE: As indicated  
DRAWN BY: SH  
CHECKED BY: SH  
PROJECT NO.: 219771

DRAWING TITLE: LEVEL 3 FLOOR PLAN

DP20-03-00

- SELECTED PRINCIPLES**
- LIGHT COLOURED PAINTED FINISH TO WALLS, COLUMNS AND CEILING
  - PROVIDE VISION PANELS IN DOORS LEADING TO PUBLICLY VISIBLE AREAS
  - PROVIDE GLAZING TO ELEVATOR LOBBIES
  - PROVIDE VISUAL CONNECTION TO PARKING AREA
  - INSTALL ALL HARDWARES VIDEO SURVEILLANCE EQUIPMENT TO PARKING AREAS
  - PROVIDE ROUGH SURFACE FINISH TO RAMPS TO DETER SKATEBOARDERS



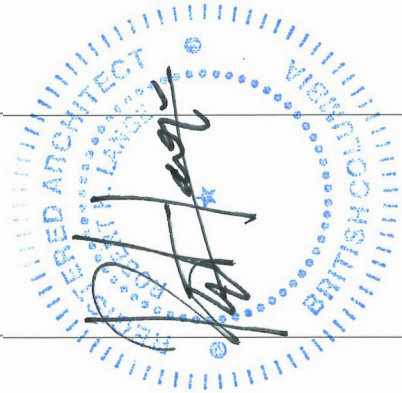
NOTE: PLANS SHOWN IN TRUE ANGLE VIEW FROM ABOVE

LEVEL 3  
SCALE: 1/8" = 1'-0"



CONSULTANT INFORMATION  
 S2 ARCHITECTURE  
 1100 WEST 10TH AVENUE  
 VANCOUVER, BC CANADA V6H 2E6  
 TEL: 604-681-8888  
 WWW.S2ARCHITECTURE.COM

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 PROJECT INFORMATION  
 COONEY ROAD TOWER  
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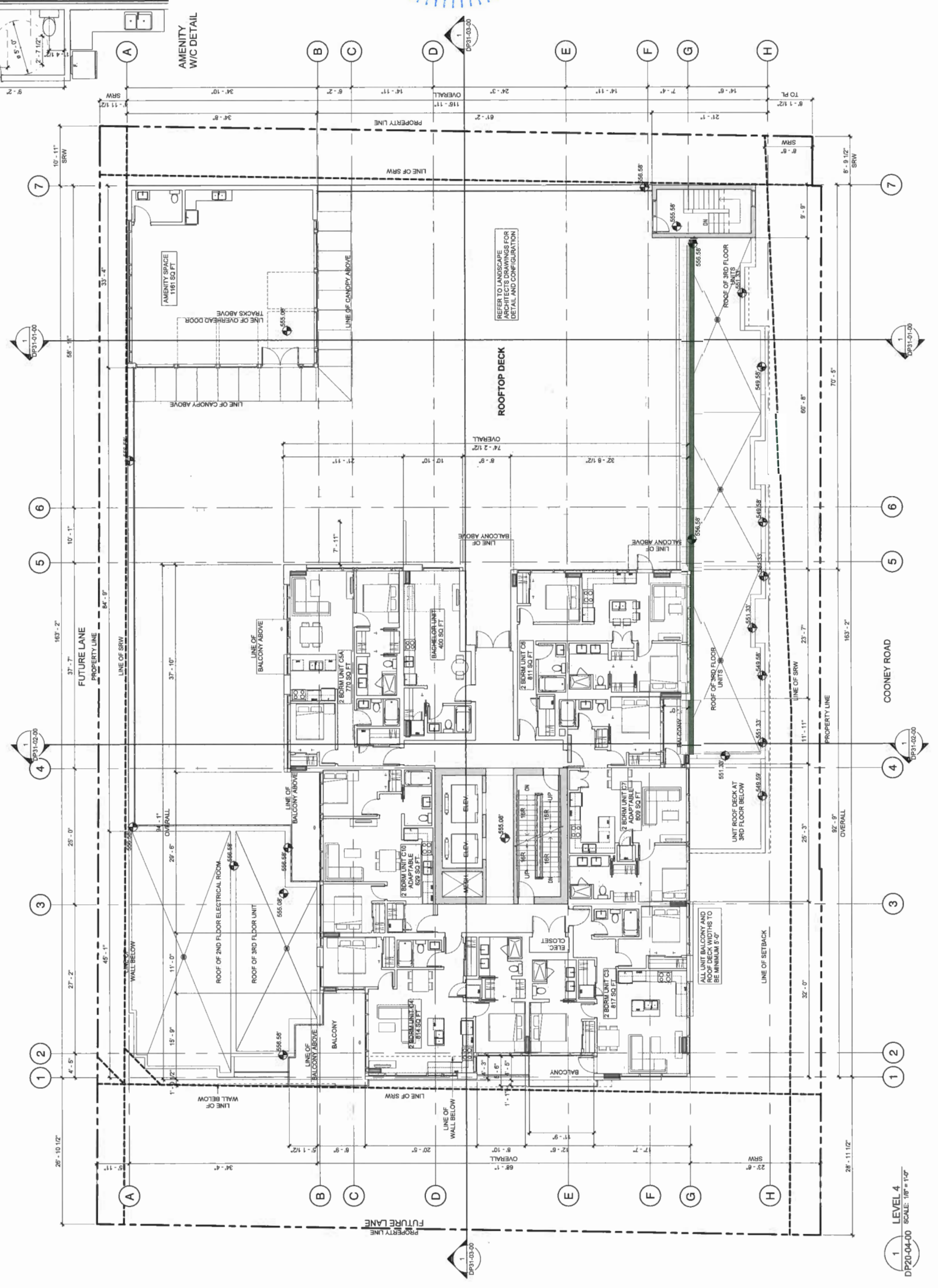
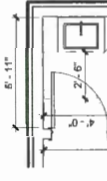
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REVISION	DATE
DEVELOPMENT PERMIT APPLICATION	2017-11-03
PERMIT	2018-09-28
POST ACP RESPONSE	2019-02-01
DP PRE-REVISION	2019-06-16
DP PRE-REVISION	2019-10-31
DP PRE-REVISION	2019-11-08

SCALE: As Indicated  
 DATE: 11/14/2019 4:28:56 PM  
 DRAWN BY: JH  
 CHECKED BY: JH  
 PROJECT NO.: 191711  
 DRAWING TITLE: LEVEL 4 FLOOR PLAN

DRAWING NO. DP20-04-00

DP 17-791045  
 Nov 20, 2019  
 Plan 8



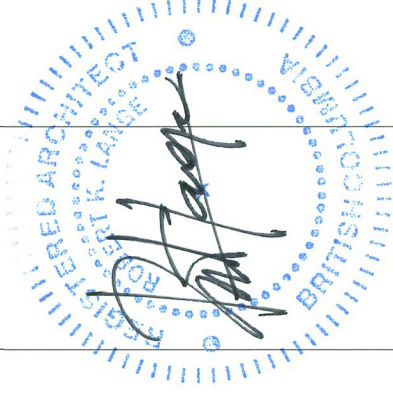
1 LEVEL 4  
 DP20-04-00 SCALE: 1/8" = 1'-0"



CONSULTANT INFORMATION  
 C/O: CONNECT LAMARCA ARCHITECTURE  
 1000 WEST 10TH AVENUE, SUITE 100  
 VANCOUVER, BC V6H 2E6  
 TEL: 604-681-1111  
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 RICHMOND, BC



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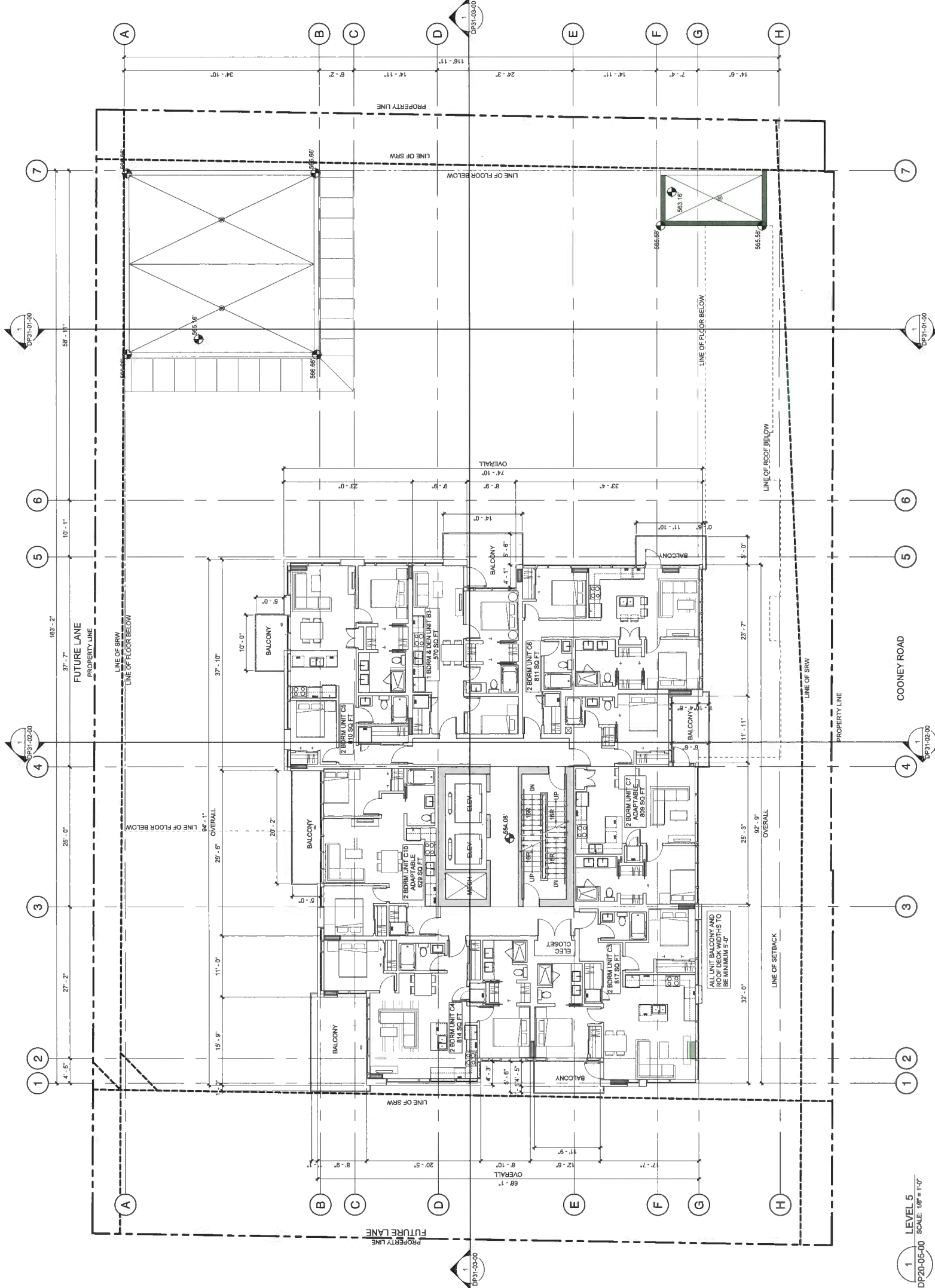
ISSUED	DATE
DEVELOPMENT PERMIT	2017-11-03
DP APPLICATION	2018-09-28
ADP SUBMISSION	2018-02-01
POST ADP RESPONSE	2018-05-16
DP RESUBMISSION	2018-10-31
DP RESUBMISSION	2018-11-08

SCALE: 1/8" = 1'-0"  
 DATE: 11/14/2019 4:28:07 PM  
 DRAWN BY: JH  
 CHECKED BY: JH  
 PROJECT NO.: 218771

DRAWING TITLE  
**LEVEL 5 FLOOR PLAN**

DRAWING NO.  
**DP20-05-00**

Plan 9  
 DP 17-791045  
 Nov 20, 2019

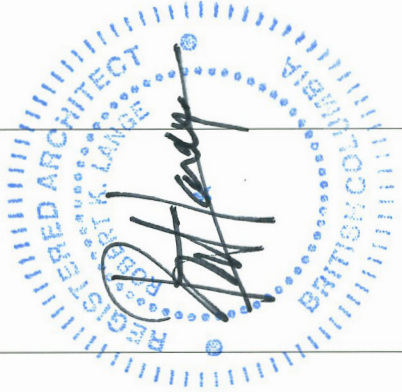


1 LEVEL 5  
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ISSUED	DATE
DEVELOPMENT PERMIT APPLICATION	2017-11-03
DP APPLICATION	2018-08-28
ADP SUBMISSION	2019-02-01
POST ADP RESPONSE	2019-05-16
DP RESUBMISSION	2019-10-31
DP RESUBMISSION	2019-11-08

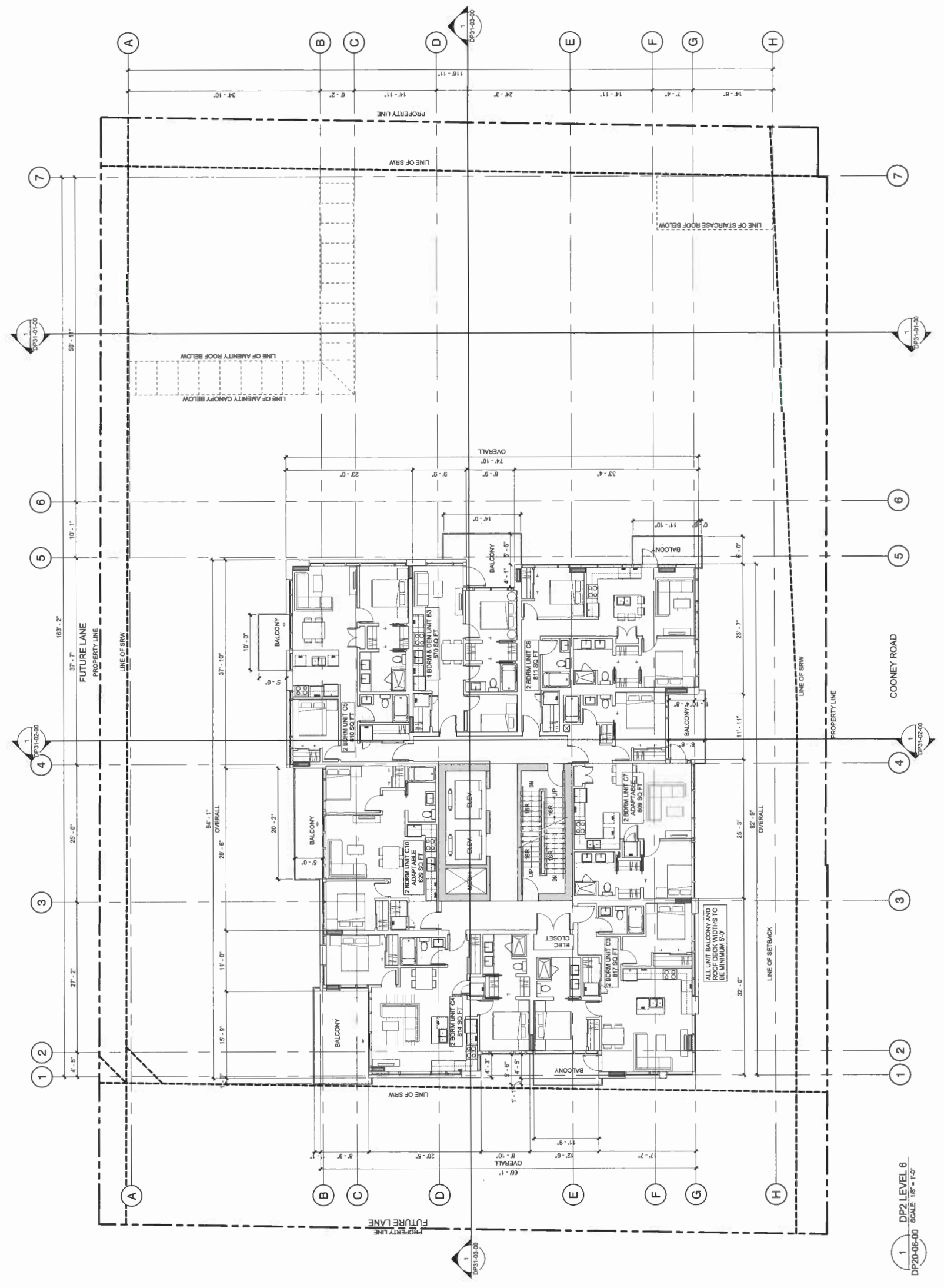
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PROJECT INFORMATION  
**COONEY ROAD TOWER**  
 6333 COONEY ROAD  
 RICHMOND, BC

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CONSULTANT INFORMATION  
 S2 architecture  
 2200 EASTERN AVENUE, SUITE 100  
 VANCOUVER, BC V6L 1A1  
 TEL: 604.271.1111  
 WWW.S2ARCHITECTURE.COM

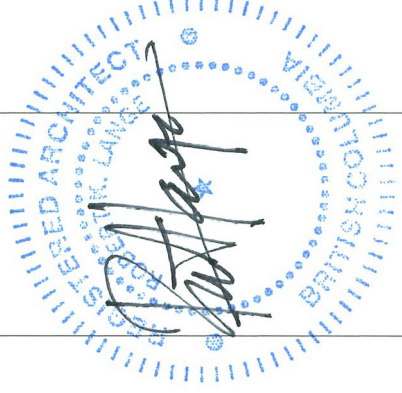


1 DP2 LEVEL 6  
 DP20-06-00 SCALE: 1/8" = 1'-0"



ISSUED	DATE
DEVELOPMENT PERMIT	2017-11-03
DP APPLICATION	2018-09-29
ADP SUBMISSION	2019-02-01
PROF ADP RESPONSE	2019-05-16
DP RESUBMISSION	2019-10-31
DP RESUBMISSION	2019-11-08

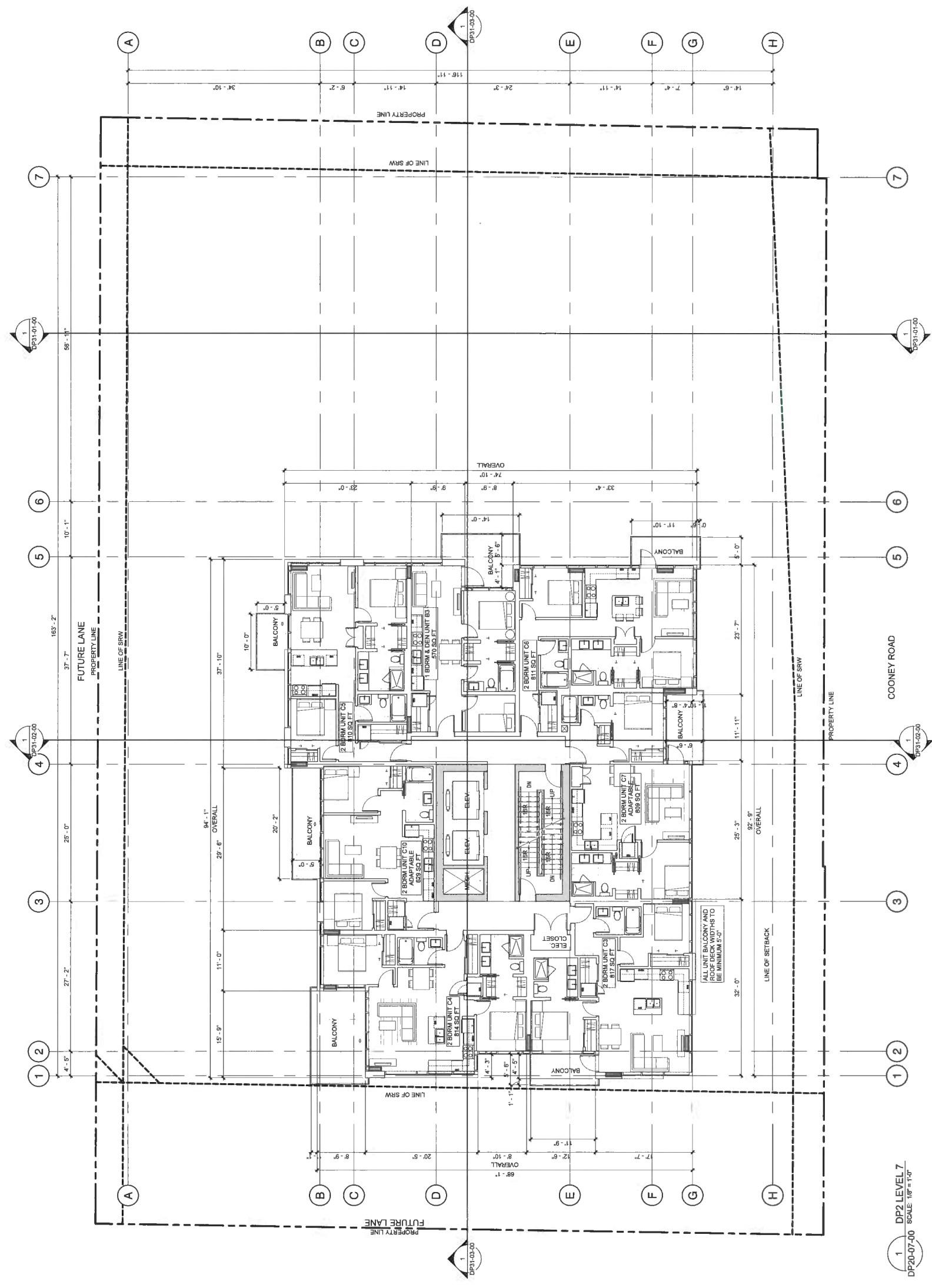
The following supplementary technical notes apply to this drawing. They are to be read in conjunction with the drawings, specifications and contract documents. They shall be given precedence over any other notes, specifications or contract documents. The Consultant's drawings and specifications are preliminary and subject to change without notice. The Consultant's drawings and specifications are not to be used for construction without the written consent of the Consultant. The Consultant's drawings and specifications are not to be used for construction without the written consent of the Consultant.



PROJECT INFORMATION  
**COONEY ROAD TOWER**  
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RICHMOND, BC

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CONSULTANT INFORMATION  
S2 architects  
200-1010 15th Street, Suite 1000  
Vancouver, BC V6Z 1L7  
Tel: 604-681-1111  
Fax: 604-681-1112  
www.s2architects.com



1 DP2 LEVEL 7  
SCALE 1/8" = 1'-0"



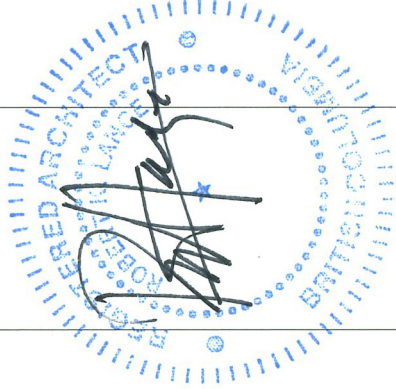
CONSULTANT INFORMATION  
 CIVIL CONSULTANTS  
 CONSULTING LANDSCAPE ARCHITECTURE  
 ARCHITECTURE  
 MECHANICAL ENGINEERING GROUP OF COMPANIES  
 ELECTRICAL ENGINEERING GROUP OF COMPANIES  
 STRUCTURAL ENGINEERING GROUP OF COMPANIES  
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COONEY ROAD TOWER

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 RICHMOND, BC



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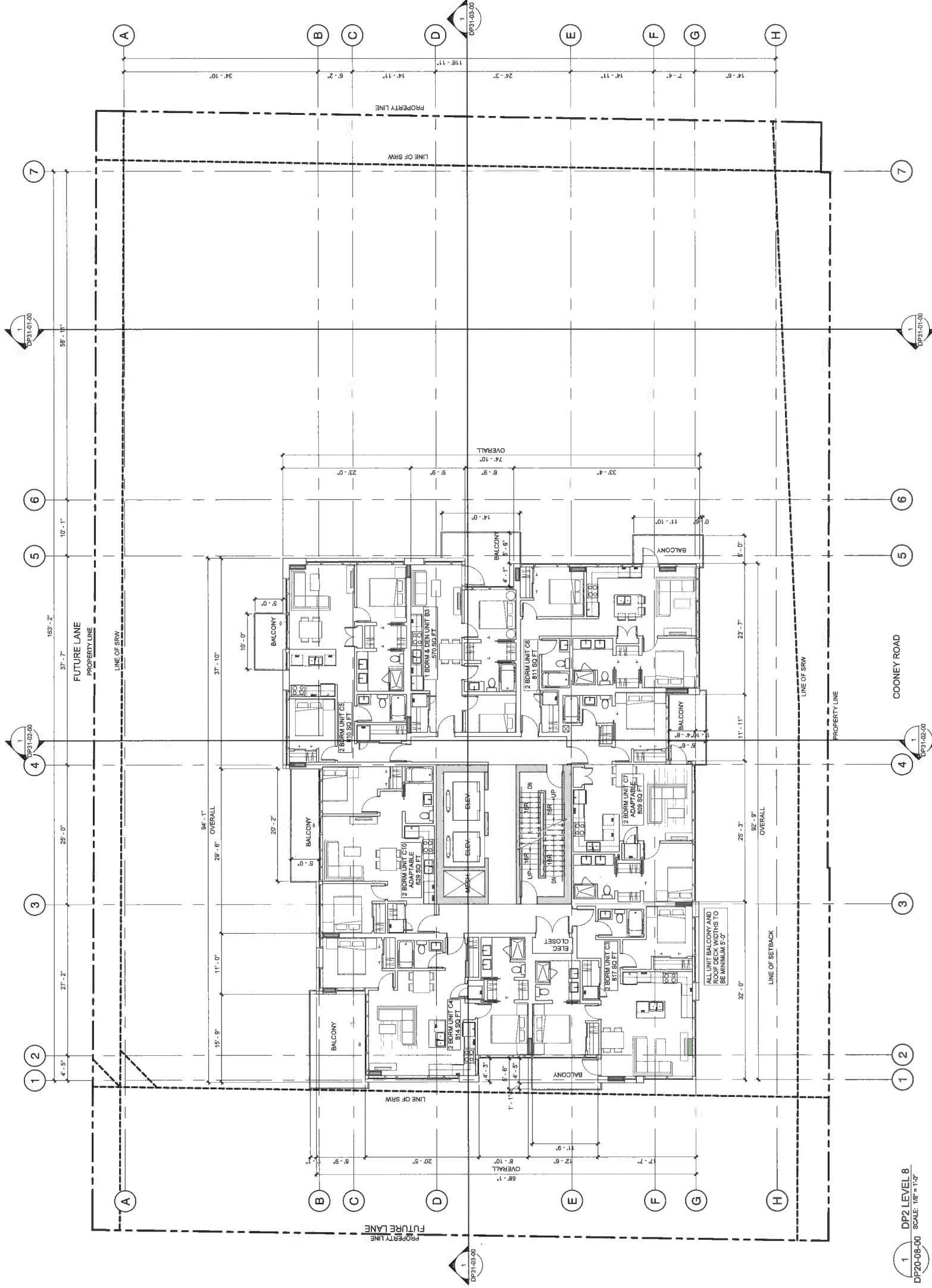
ISSUED	DATE
DEVELOPMENT PERMIT APPLICATION	2017-11-03
DP APPLICATION	2018-09-28
ADP SUBMISSION	2018-02-01
POST ADP RESPONSE	2018-05-16
DP RESUBMISSION	2018-10-31
DP RESUBMISSION	2018-11-08

SCALE: 1/8" = 1'-0"  
 DATE: 11/14/2018 4:28:12 PM  
 DRAWN BY: JH  
 CHECKED BY: JH  
 PROJECT NO.: 201711

DRAWING TITLE  
 LEVEL 8 FLOOR PLAN

DRAWING NO.  
 DP20-08-00

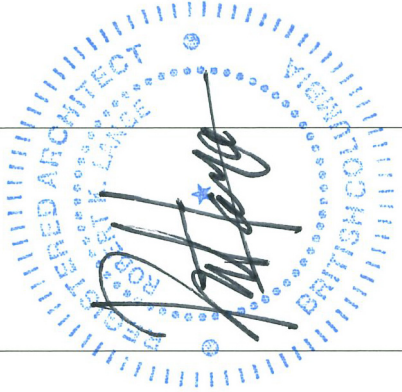
DP 17-791045  
 Nov 20, 2019  
 Plan 12



1 DP2 LEVEL 8  
 DP20-08-00 SCALE: 1/8" = 1'-0"

ISSUED	DATE
DEVELOPMENT PERMIT	2017-11-03
APPLICATION	2016-09-28
DP SUBMISSION	2016-09-28
ADP SUBMISSION	2019-02-01
POST ADP RESPONSE	2019-05-16
DP REVISION	2019-10-31
DP RESUBMISSION	2019-11-08

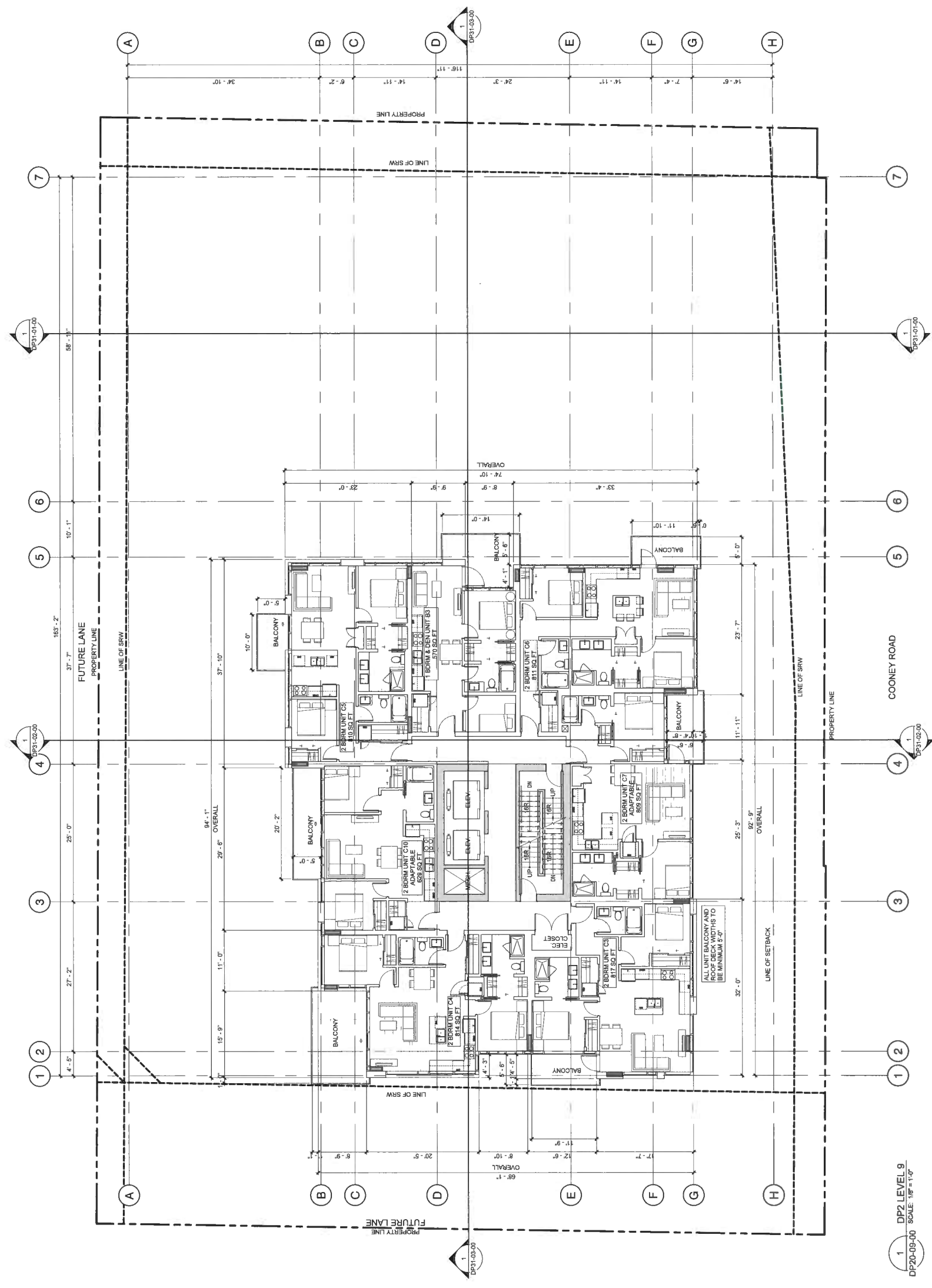
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PROJECT INFORMATION  
**COONEY ROAD TOWER**  
6333 COONEY ROAD  
RICHMOND, BC

NOT FOR CONSTRUCTION

CONSULTANT INFORMATION  
S2 architecture  
207-2071 W. 4th Avenue, Suite 100  
Vancouver, BC, Canada V6L 1G5  
Phone: 604-681-2222  
www.s2architecture.com



1 DP2 LEVEL 9  
DP20-09-00 SCALE: 1/8" = 1'-0"





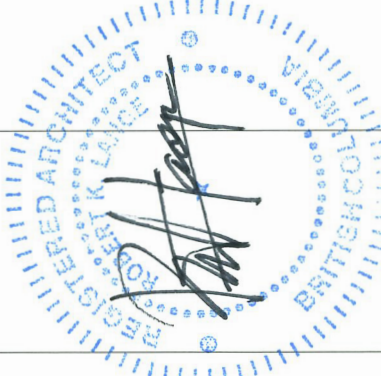
**CONSULTANT INFORMATION**  
O&A  
CONJECT LANDSCAPE ARCHITECTURE  
CONSULTANTS  
CUTRANA-HARTSON GROUP OF COMPANIES  
LANDSCAPE ARCHITECTURE  
ARCHITECTURE  
MECHANICAL & ELECTRICAL ENGINEERS  
MECHANICAL & ELECTRICAL ENGINEERS  
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**PROJECT INFORMATION**

**COONEY ROAD TOWER**

6333 COONEY ROAD  
RICHMOND, BC



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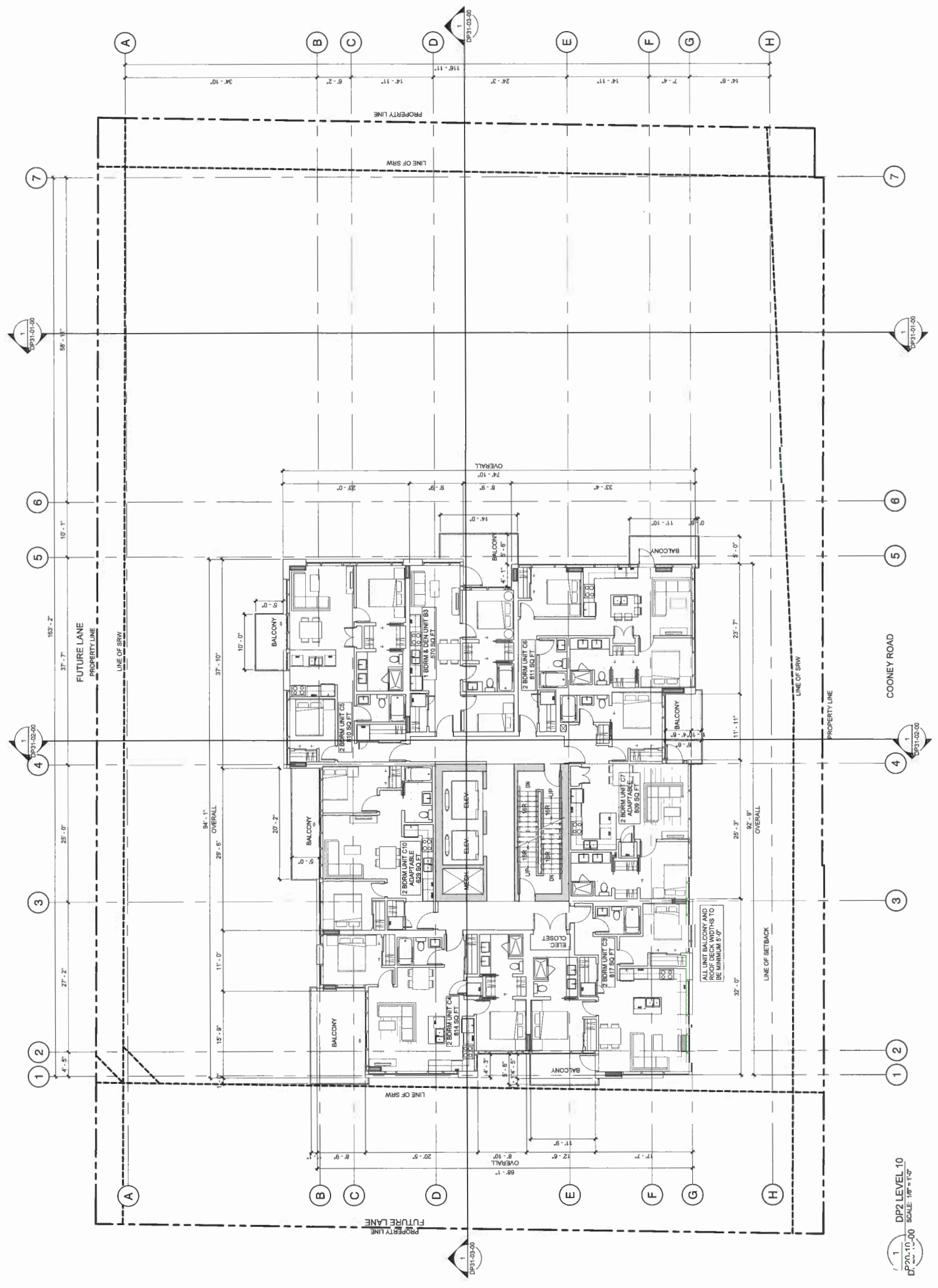
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PRELIMINARY SUBMISSION	2018-05-28
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POST ADP RESPONSE	2018-05-15
ADP SUBMISSION	2018-05-15
DP SUBMISSION	2018-05-15
DP SUBMISSION	2018-11-08

SCALE: 1/8" = 1'-0"  
DRAWN BY: AM  
CHECKED BY: BH  
PROJECT NO: 219771

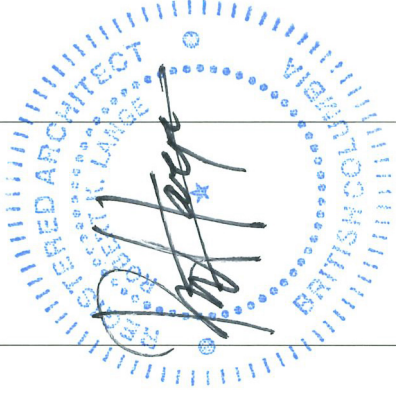
DRAWING TITLE:  
**LEVEL 10 FLOOR PLAN**

**DP20-10-00**

DP 17-791045  
Nov 20, 2019  
Plan 14



DP2 LEVEL 10  
SCALE: 1/8" = 1'-0"

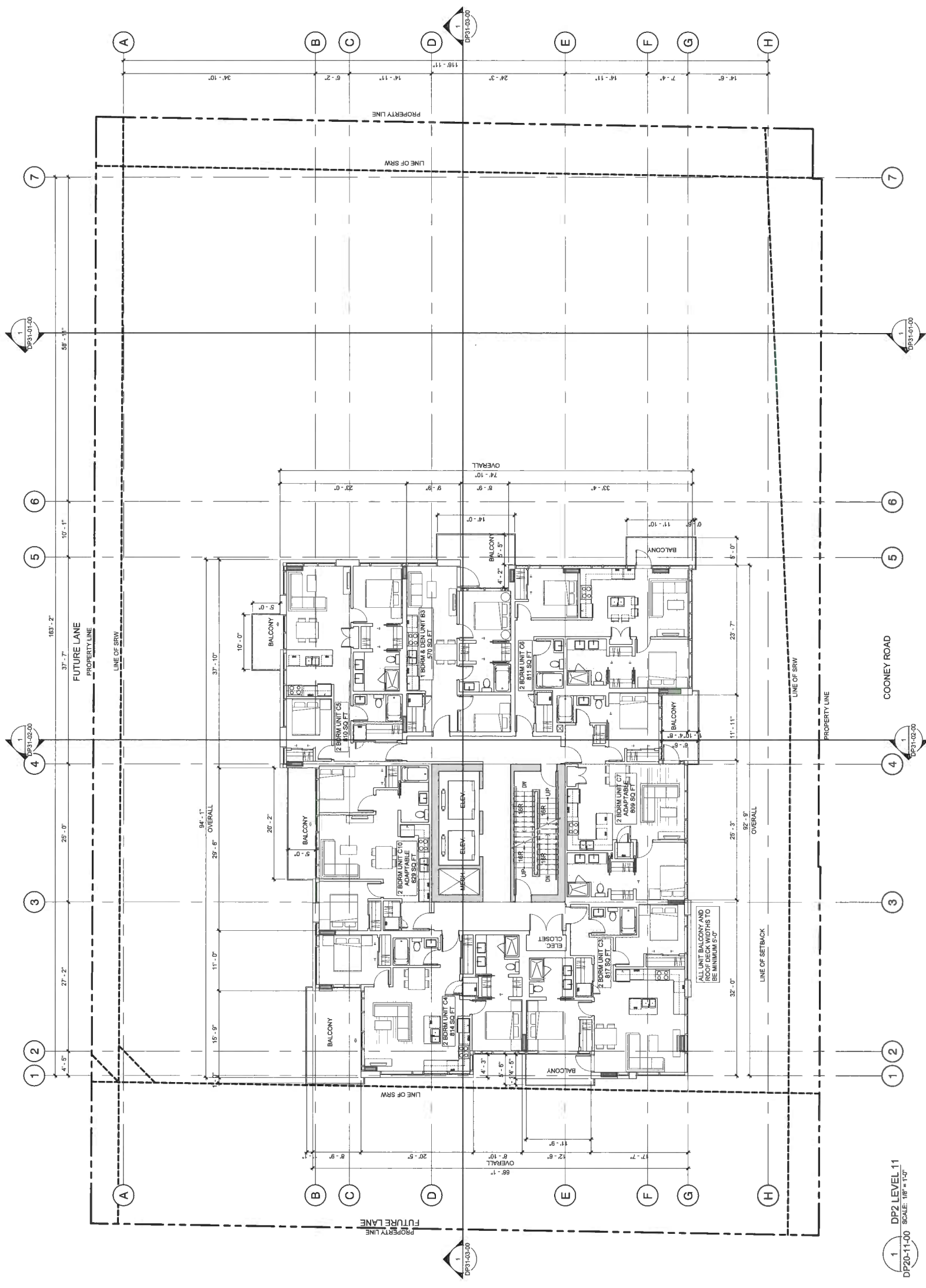


ISSUED	DATE
DEVELOPMENT PERMIT	2017-11-03
DP APPLICATION	2018-09-28
DP SUBMISSION	2018-09-28
POST ADP RESPONSE	2018-10-16
DP REVISIONS	2018-10-31
DP RESUBMISSION	2018-11-08

SCALE: 1/8" = 1'-0"  
 DATE: 11/11/2019 4:28:19 PM  
 DRAWN BY: JH  
 CHECKED BY: SH  
 PROJECT NO.: 219171

DRAWING TITLE  
**LEVEL 11 FLOOR PLAN**

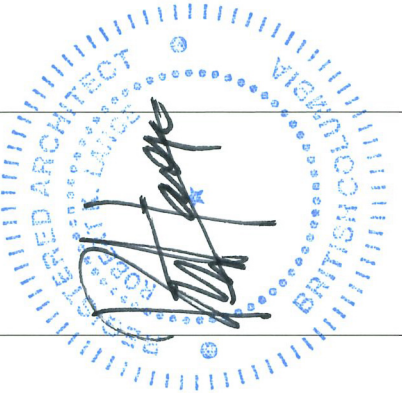
DRAWING NO.  
**DP20-11-00**



1 DP2 LEVEL 11  
 DP20-11-00 SCALE: 1/8" = 1'-0"

ISSUED	DATE
DEVELOPMENT PERMIT APPLICATION	2017-11-03
DP SUBMISSION	2018-09-28
ASP SUBMISSION	2019-02-01
POST ASP RESPONSE	2019-05-16
DP REVISION	2019-10-31
DP REVISION	2019-11-08

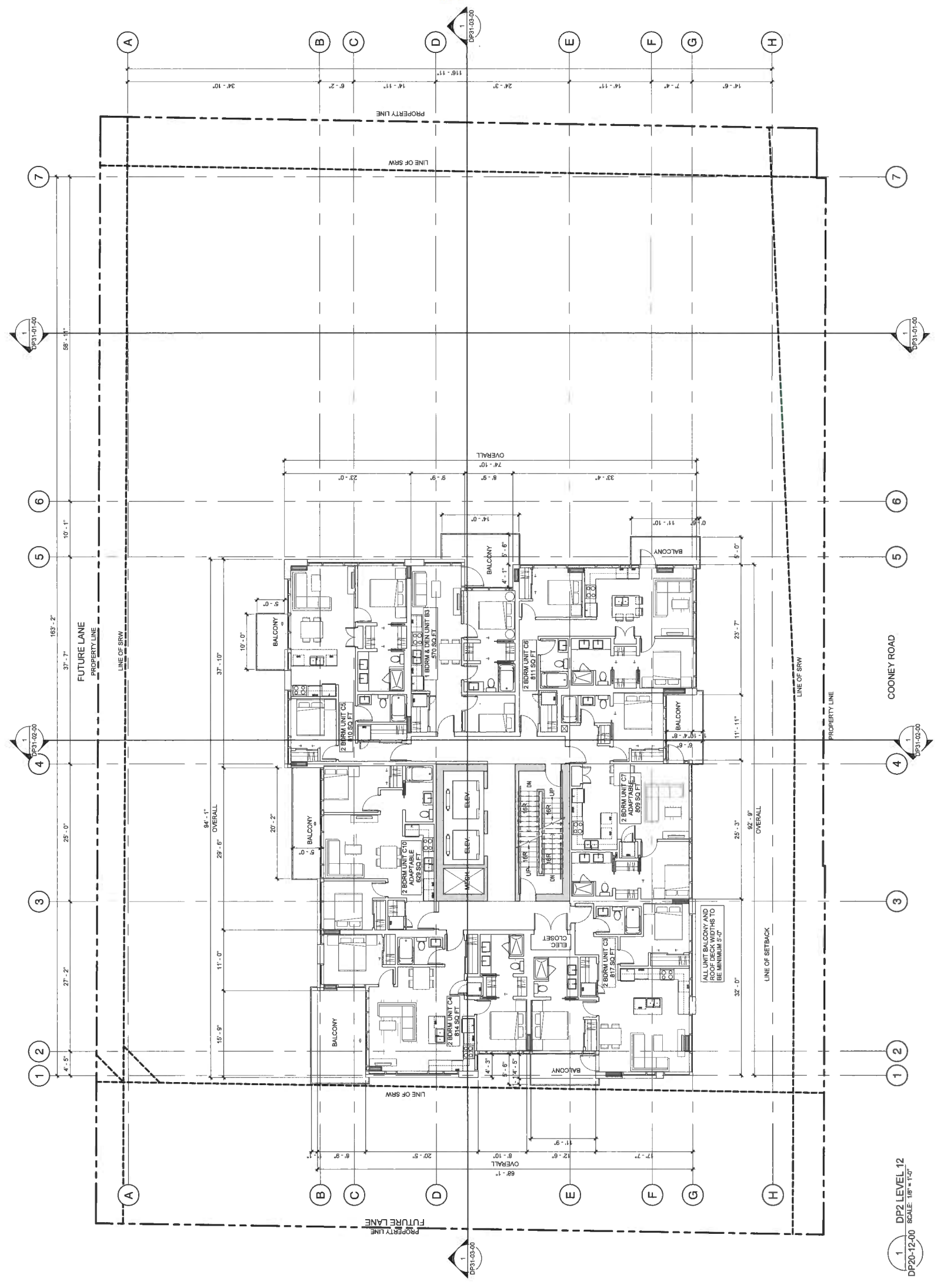
The drawings incorporate previous issues. Do not scale these drawings.  
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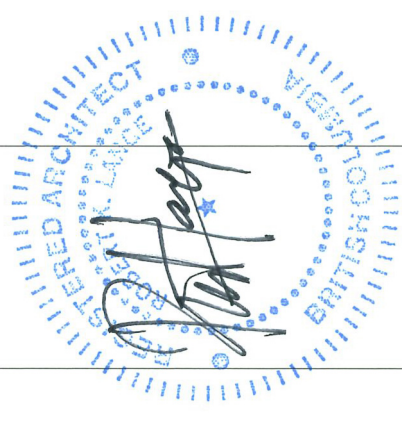
PROJECT INFORMATION  
**COONEY ROAD TOWER**  
 6333 COONEY ROAD  
 RICHMOND, BC

NOT FOR CONSTRUCTION

CONSULTANT INFORMATION  
 S2 ARCHITECTURE  
 ARCHITECTURE & INTERIOR DESIGN  
 100-1111 15th Street, Suite 100  
 Vancouver, BC V6P 4M2  
 TEL: 604.271.8888  
 WWW.S2ARCHITECTURE.COM



1 DP2 LEVEL 12  
 DP20-12-00 SCALE: 1/8" = 1'-0"



ISSUED	DATE
DEVELOPMENT PERMIT	2017-11-03
APPLICATION	2017-11-03
RE SUBMISSION	2018-05-08
ASP SUBMISSION	2018-02-01
POST ASP RESPONSE	2018-05-16
DP RESUBMISSION	2018-10-31
DP RESUBMISSION	2019-11-08

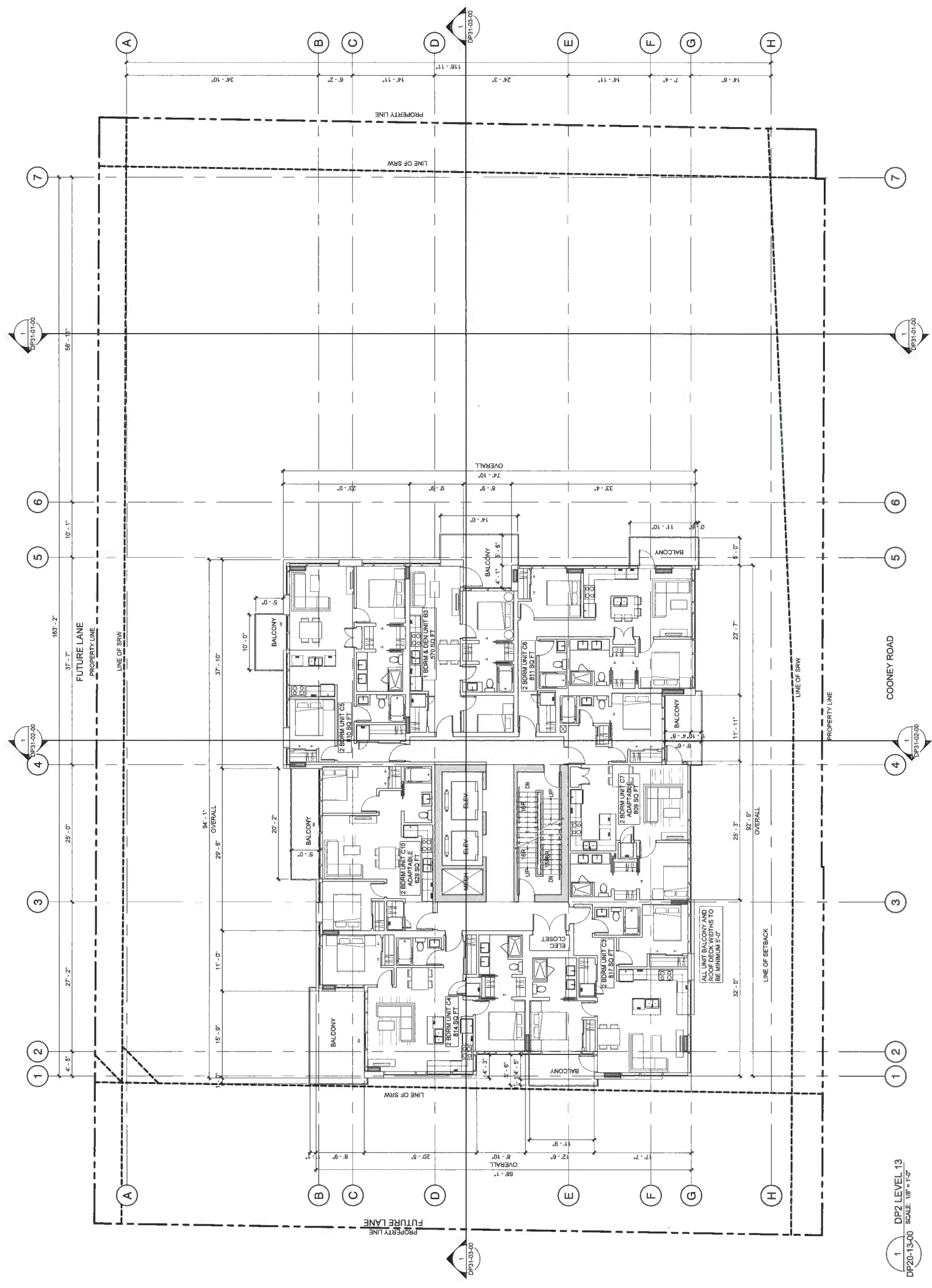
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 CHECKED BY: SH  
 PROJECT NO.: 219171

DRAWING TITLE  
 LEVEL 13 FLOOR PLAN

DRAWING NO.  
**DP20-13-00**

CONSULTANT INFORMATION  
 S2 architecture  
 1000 West 10th Avenue, Suite 100  
 Vancouver, BC V6H 1T6  
 TEL: 604-681-1111  
 WWW.S2ARCHITECTURE.COM

PROJECT INFORMATION  
**NOT FOR CONSTRUCTION**  
**COONEY ROAD TOWER**  
 6333 COONEY ROAD  
 RICHMOND, BC



1 DP2 LEVEL 13  
 DP20-13-00 SCALE: 1/8" = 1'-0"



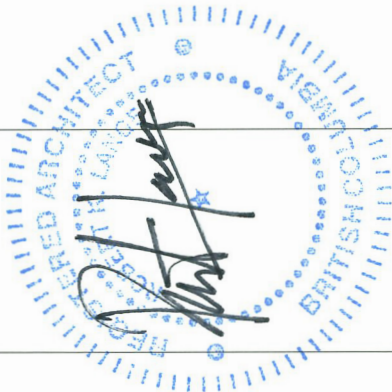


CONSULTANT INFORMATION  
1. NAME: CONNECT LANDSCAPE ARCHITECTURE  
2. ADDRESS: 2700 VICTORIA PARKWAY, SUITE 100, RICHMOND, BC V6X 4M6  
3. PHONE: (604) 271-1111  
4. FAX: (604) 271-1112  
5. EMAIL: INFO@CONNECTLANDSCAPE.COM  
6. WEBSITE: WWW.CONNECTLANDSCAPE.COM

NOT FOR CONSTRUCTION

PROJECT INFORMATION  
COONEY ROAD TOWER

6333 COONEY ROAD  
RICHMOND, BC



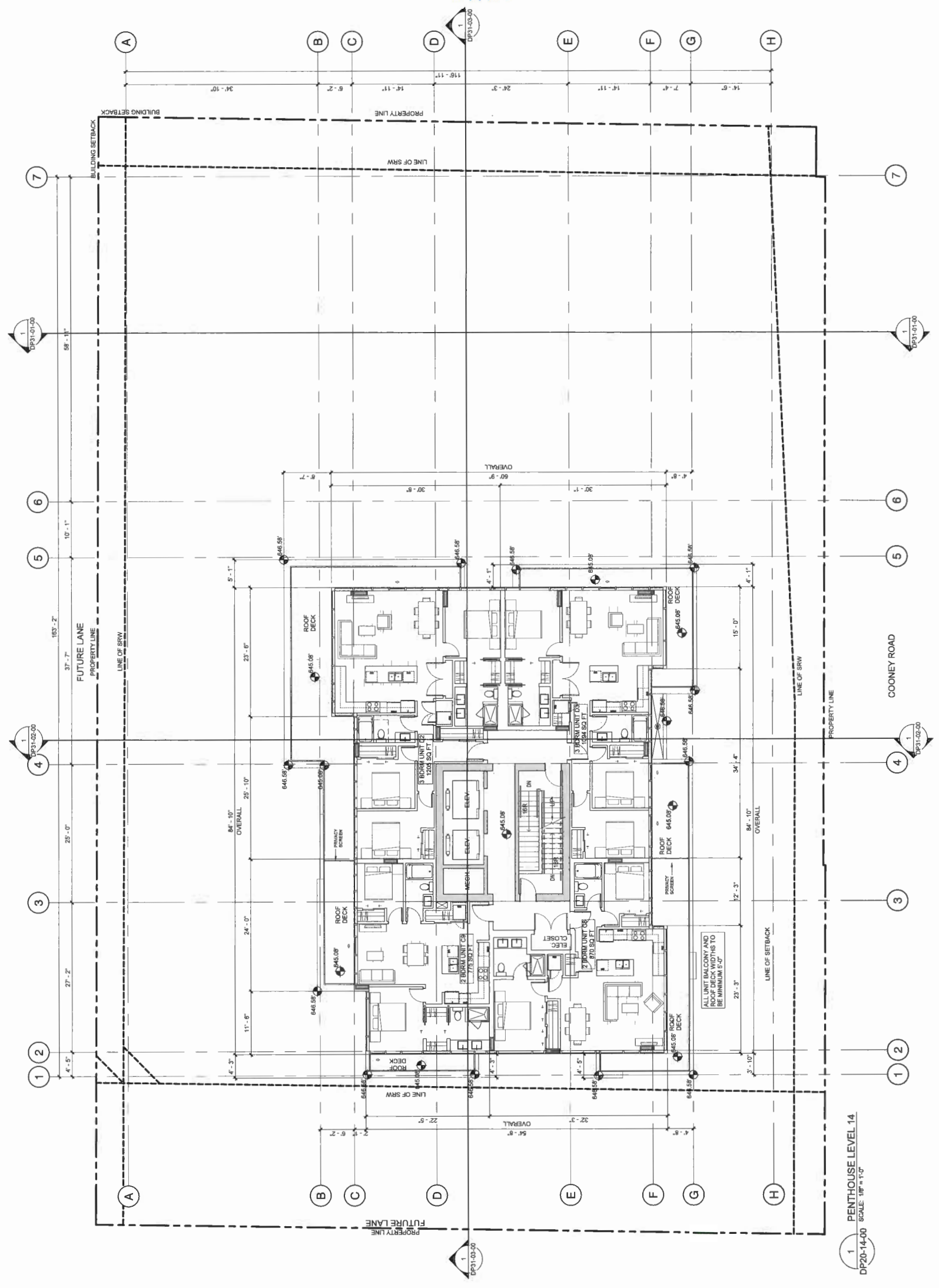
The Owner represents and warrants that the information provided herein is true and correct to the best of their knowledge and belief. The Architect shall not be responsible for the accuracy of the information provided by the Owner. The Architect shall not be responsible for the accuracy of the information provided by the Owner.

ISSUED	DATE
DEVELOPMENT PERMIT	2017-11-03
APPLICATION	2018-05-29
REVISION	2018-05-29
POST RESPONSE	2019-02-01
POST RESPONSE	2019-05-16
DP REVISION	2019-10-31
DP REVISION	2019-11-08

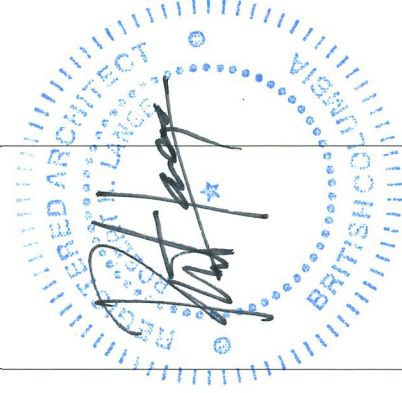
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DATE: 11/14/2019 4:28:23 PM  
DRAWN BY: JH  
CHECKED BY: JH  
PROJECT NO.: 219171

DRAWING TITLE  
PENTHOUSE L14 FLOOR  
PLAN

DRAWING NO.  
DP20-14-00



1 PENTHOUSE LEVEL 14  
DP20-14-00 SCALE: 1/8" = 1'-0"



**CONSULTANT INFORMATION**  
 S2 architecture  
 1100 West Broadway, Suite 200  
 Vancouver, BC, Canada V6E 1Y3  
 Tel: 604.681.2222  
 Fax: 604.681.2223  
 www.s2architecture.com

**NOT FOR CONSTRUCTION**

**PROJECT INFORMATION**  
**COONEY ROAD TOWER**  
 6833 COONEY ROAD  
 RICHMOND, BC

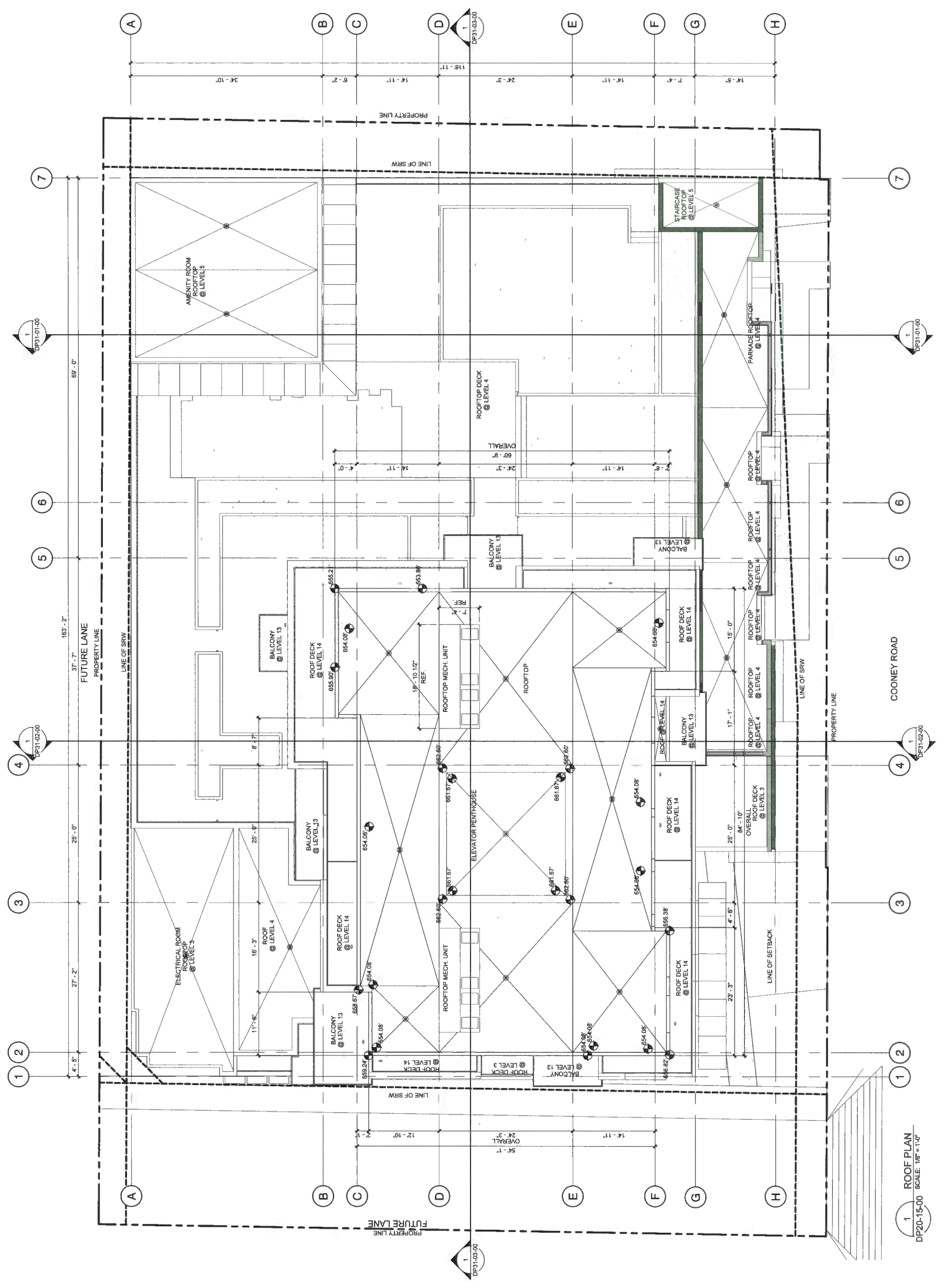
**DEVELOPMENT PERMIT**  
 APPLICATION: 2017-11-03  
 RE-SUBMISSION: 2018-09-28  
 ASP SUBMISSION: 2018-02-01  
 POST ASP RESPONSE: 2018-05-16  
 DP RESUBMISSION: 2018-10-31  
 DP RESUBMISSION: 2019-11-08

**DATE**  
 2017-11-03  
 2018-09-28  
 2018-02-01  
 2018-05-16  
 2018-10-31  
 2019-11-08

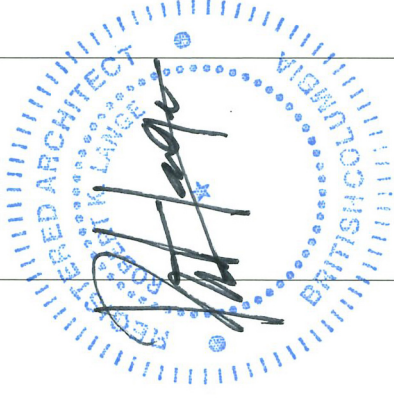
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**DRAWN BY** JH  
**CHECKED BY** SL  
**PROJECT NO.** 219771

**DRAWING TITLE**  
**ROOF PLAN**

**DRAWING NO.**  
**DP20-15-00**



1 ROOF PLAN  
 DP20-15-00 SCALE: 1/8" = 1'-0"



This drawing is a preliminary design. It is not for construction.

While all dimensions, elevations and details, and report any errors or omissions, the architect does not warrant the accuracy of the information contained herein. The architect shall not be responsible for any errors or omissions in this drawing or any other drawings or documents prepared by or for the architect or any other person.

The Contract Documents, Conditions and Specifications are incorporated by reference into this drawing. These documents are available at the project location. The architect shall not be responsible for any errors or omissions in these documents.

ISSUED	DATE
DEVELOPMENT PERMIT	2017-11-03
APPLICATION	2018-09-28
DP SUBMISSION	2018-10-31
POST APP RESPONSE	2018-05-16
DP SUBMISSION	2018-10-31
DP SUBMISSION	2018-11-08

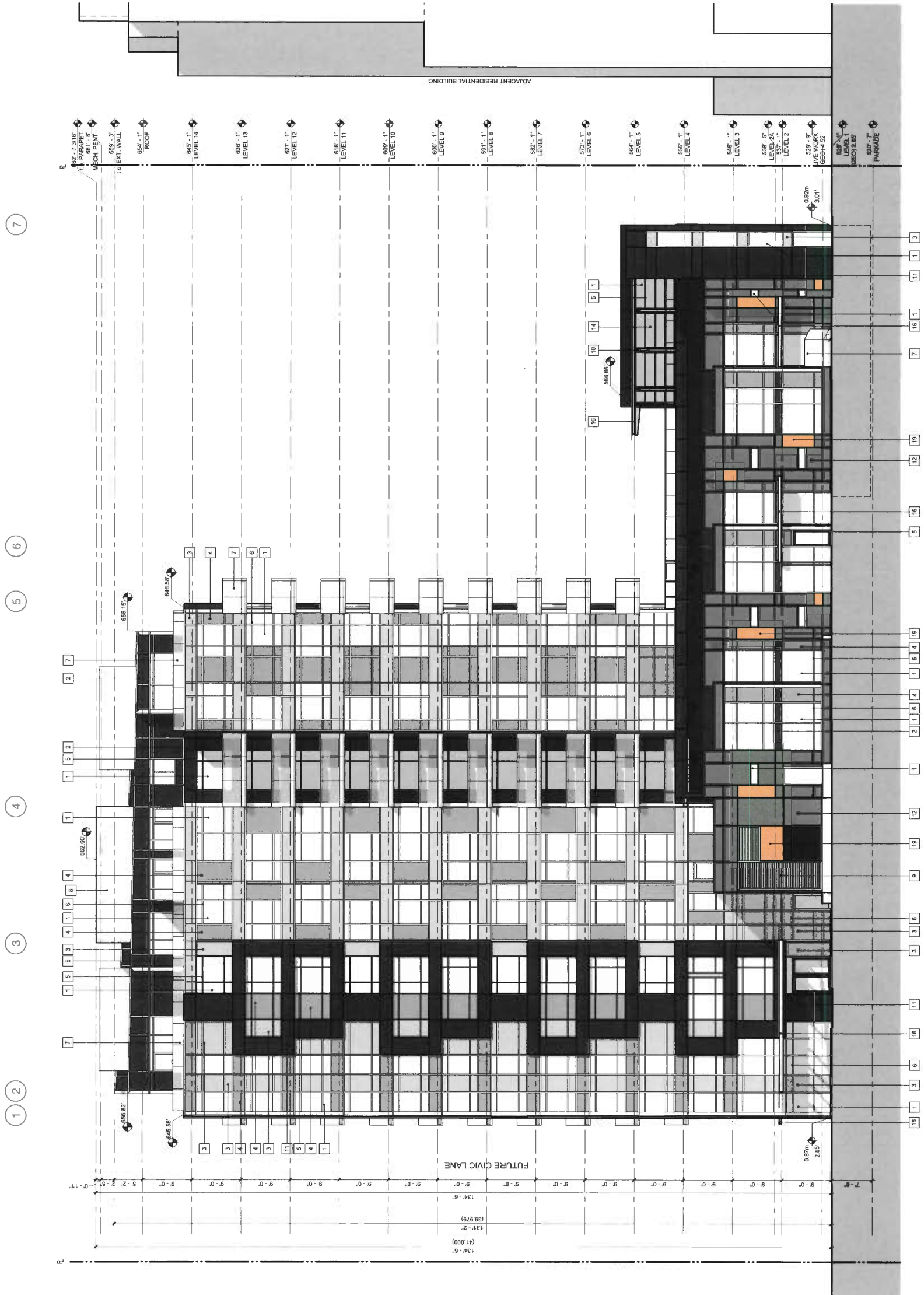
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DATE	11/14/2019 4:52:41 PM
DRAWN BY	JH
CHECKED BY	JH
PROJECT NO.	219171

DRAWING TITLE  
**BUILDING ELEVATIONS - EAST**

**BUILDING FINISH SCHEDULE**

- VISION GLASS WINDOW WALL 1 - CLEAR
- INSULATED SPANDREL GLASS WINDOW WALL 2 - BLACK
- INSULATED SPANDREL GLASS WINDOW WALL 3 - WHITE
- INSULATED SPANDREL GLASS WINDOW WALL 4 - GREY
- PREFINISHED ALUMINUM MULLION 1 - BLACK ANODIZED
- PREFINISHED ALUMINUM MULLION 2 - CLEAR ANODIZED
- GUARDRAIL - CLEAR GLAZED
- ROOFTOP RTU SCREENING - TBD
- LOUVRES - PREFINISHED EXTRUDED ANODIZED ALUMINUM
- GRILLES - PREFINISHED EXTRUDED ANODIZED ALUMINUM
- CEMENTITIOUS PANEL 1 - DARK GREY
- CEMENTITIOUS PANEL 2 - GREY
- CEMENTITIOUS PANEL 3 - WHITE
- OVERHEAD DOOR - SECTIONAL GLAZED
- PLANTING SCREENS
- GLASS AND STRUCTURAL STEEL CANOPY
- PRIVACY SCREEN - OPAQUE GLAZED
- STRUCTURAL STEEL FRAMING
- CEMENTITIOUS PANEL 4 - ACCENT
- CEMENTITIOUS PANEL 5 - LIGHT GREY

NOTE: OPEN AIR VENTED CAVITY (PER EQUITONE SPEC) TYPICAL AT ALL PANEL EDGE CLADDING LOCATIONS



1 EAST ELEVATION  
 SCALE: 1/8" = 1'-0"



**CONSULTANT INFORMATION**

**S2 architecture**  
 1111 West 10th Avenue  
 Vancouver, BC, Canada V6H 3G8  
 Tel: 604.681.2222  
 Fax: 604.681.2223  
 www.s2architecture.com

**CONTRACT INFORMATION**

**CLIENT:** CORRECT LANGSTON ARCHITECTURE  
**PROJECT:** COONEY ROAD TOWER  
**ADDRESS:** 6333 COONEY ROAD, RICHMOND, BC  
**DATE:** 2019-09-28  
**PROJECT NO.:** 218771

**PROJECT INFORMATION**

**NOT FOR CONSTRUCTION**

**COONEY ROAD TOWER**

**6333 COONEY ROAD  
RICHMOND, BC**

**CONSULTANT INFORMATION**

**S2 architecture**  
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 Fax: 604.681.2223  
 www.s2architecture.com

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**ADDRESS:** 6333 COONEY ROAD, RICHMOND, BC  
**DATE:** 2019-09-28  
**PROJECT NO.:** 218771

**PROJECT INFORMATION**

**NOT FOR CONSTRUCTION**

**COONEY ROAD TOWER**

**6333 COONEY ROAD  
RICHMOND, BC**

**CONSULTANT INFORMATION**

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 1111 West 10th Avenue  
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**CONTRACT INFORMATION**

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**PROJECT:** COONEY ROAD TOWER  
**ADDRESS:** 6333 COONEY ROAD, RICHMOND, BC  
**DATE:** 2019-09-28  
**PROJECT NO.:** 218771

**PROJECT INFORMATION**

**NOT FOR CONSTRUCTION**

**COONEY ROAD TOWER**

**6333 COONEY ROAD  
RICHMOND, BC**

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**PROJECT INFORMATION**

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**COONEY ROAD TOWER**

**6333 COONEY ROAD  
RICHMOND, BC**

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**ADDRESS:** 6333 COONEY ROAD, RICHMOND, BC  
**DATE:** 2019-09-28  
**PROJECT NO.:** 218771

**PROJECT INFORMATION**

**NOT FOR CONSTRUCTION**

**COONEY ROAD TOWER**

**6333 COONEY ROAD  
RICHMOND, BC**

**CONSULTANT INFORMATION**

**S2 architecture**  
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 Fax: 604.681.2223  
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**CONTRACT INFORMATION**

**CLIENT:** CORRECT LANGSTON ARCHITECTURE  
**PROJECT:** COONEY ROAD TOWER  
**ADDRESS:** 6333 COONEY ROAD, RICHMOND, BC  
**DATE:** 2019-09-28  
**PROJECT NO.:** 218771

**PROJECT INFORMATION**

**NOT FOR CONSTRUCTION**

**COONEY ROAD TOWER**

**6333 COONEY ROAD  
RICHMOND, BC**

**CONSULTANT INFORMATION**

**S2 architecture**  
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 Fax: 604.681.2223  
 www.s2architecture.com

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**PROJECT:** COONEY ROAD TOWER  
**ADDRESS:** 6333 COONEY ROAD, RICHMOND, BC  
**DATE:** 2019-09-28  
**PROJECT NO.:** 218771

**PROJECT INFORMATION**

**NOT FOR CONSTRUCTION**

**COONEY ROAD TOWER**

**6333 COONEY ROAD  
RICHMOND, BC**

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**PROJECT:** COONEY ROAD TOWER  
**ADDRESS:** 6333 COONEY ROAD, RICHMOND, BC  
**DATE:** 2019-09-28  
**PROJECT NO.:** 218771

**PROJECT INFORMATION**

**NOT FOR CONSTRUCTION**

**COONEY ROAD TOWER**

**6333 COONEY ROAD  
RICHMOND, BC**

**CONSULTANT INFORMATION**

**S2 architecture**  
 1111 West 10th Avenue  
 Vancouver, BC, Canada V6H 3G8  
 Tel: 604.681.2222  
 Fax: 604.681.2223  
 www.s2architecture.com

**CONTRACT INFORMATION**

**CLIENT:** CORRECT LANGSTON ARCHITECTURE  
**PROJECT:** COONEY ROAD TOWER  
**ADDRESS:** 6333 COONEY ROAD, RICHMOND, BC  
**DATE:** 2019-09-28  
**PROJECT NO.:** 218771

**PROJECT INFORMATION**

**NOT FOR CONSTRUCTION**

**COONEY ROAD TOWER**

**6333 COONEY ROAD  
RICHMOND, BC**

**CONSULTANT INFORMATION**

**S2 architecture**  
 1111 West 10th Avenue  
 Vancouver, BC, Canada V6H 3G8  
 Tel: 604.681.2222  
 Fax: 604.681.2223  
 www.s2architecture.com

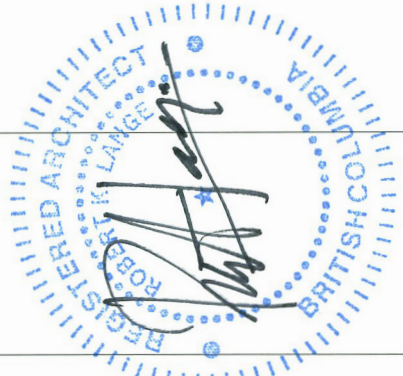
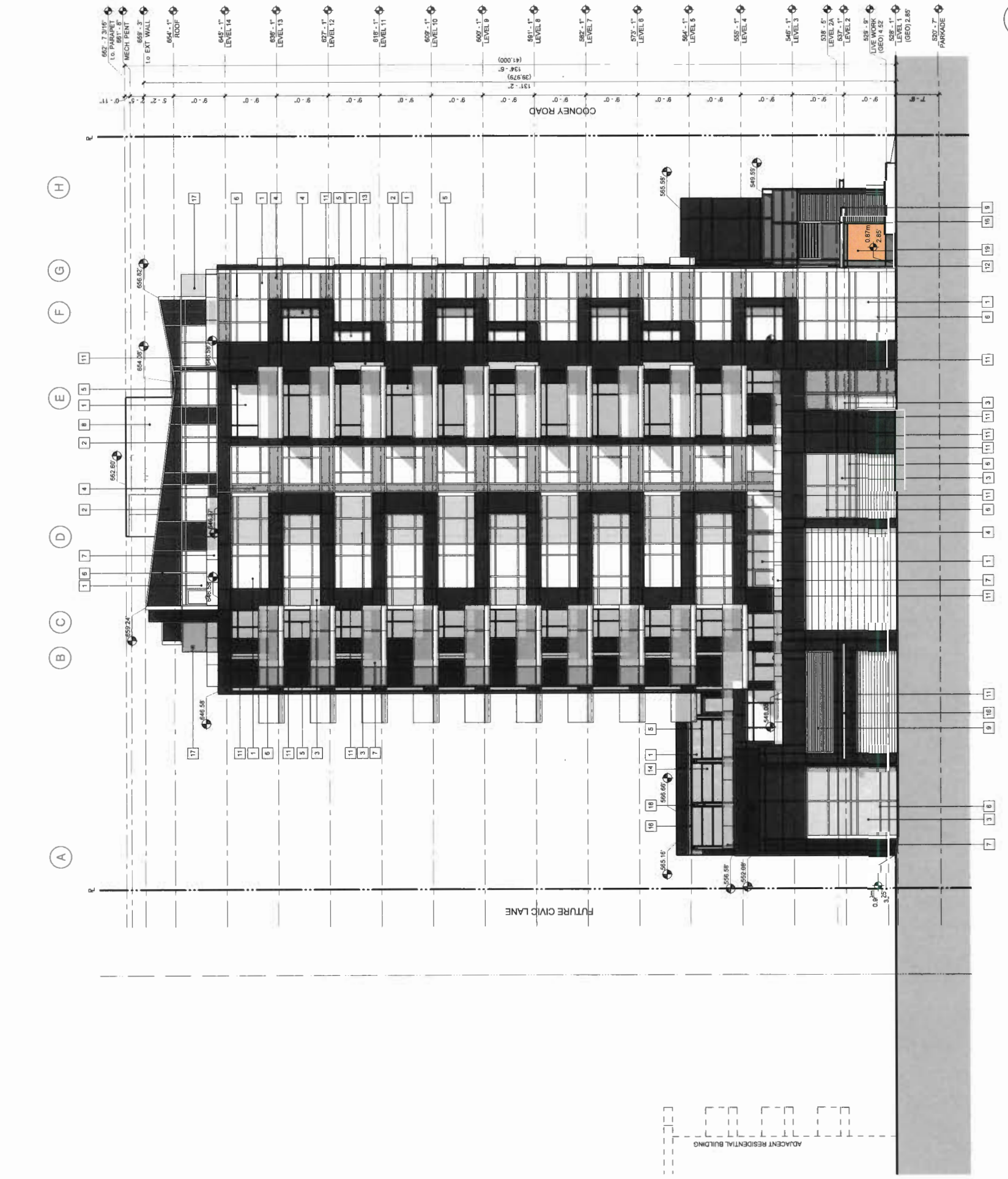
**CONTRACT INFORMATION**

**CLIENT:** CORRECT LANGSTON ARCHITECTURE  
**PROJECT:** COONEY ROAD TOWER  
**ADDRESS:** 6333 COONEY ROAD, RICHMOND, BC  
**DATE:** 2019-09-28  
**PROJECT NO.:** 218771

**BUILDING FINISH SCHEDULE**

1	VISION GLASS WINDOW WALL 1 - CLEAR
2	INSULATED SPANDREL GLASS WINDOW WALL 2 - BLACK
3	INSULATED SPANDREL GLASS WINDOW WALL 3 - WHITE
4	INSULATED SPANDREL GLASS WINDOW WALL 4 - GREY
5	PREFINISHED ALUMINUM MULLION 1 - BLACK ANODIZED
6	PREFINISHED ALUMINUM MULLION 2 - CLEAR ANODIZED
7	GUARDRAIL - CLEAR GLAZED
8	ROOFTOP RTU SCREENING - TBO
9	LOUVERES - PREFINISHED EXTRUDED ANODIZED ALUMINUM
10	GRILLES - PREFINISHED EXTRUDED ANODIZED ALUMINUM
11	CEMENTITIOUS PANEL 1 - DARK GREY
12	CEMENTITIOUS PANEL 2 - GREY
13	CEMENTITIOUS PANEL 3 - WHITE
14	OVERHEAD DOOR - SECTIONAL GLAZED
15	PLANTING SCREENS
16	GLASS AND STRUCTURAL STEEL CANOPY
17	PRIVACY SCREEN - OPAQUE GLAZED
18	STRUCTURAL STEEL FRAMING
19	CEMENTITIOUS PANEL 4 - ACCENT
20	CEMENTITIOUS PANEL 5 - LIGHT GREY

NOTE: OPEN AIR VENTED CAVITY (PER EQUITONE SPEC) TYPICAL AT ALL PANEL EDGE CLADDING LOCATIONS



**THIS DRAWING IS A PRELIMINARY DESIGN. IT IS NOT TO BE USED FOR CONSTRUCTION. THE CLIENT ACCEPTS RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED. THE ARCHITECT ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED.**

**DATE**

2017-11-03

**APPLICATION**

2019-09-28

**RE-SUBMISSION**

2019-09-28

**ASP SUBMISSION**

2019-09-28

**POST ASP RESPONSE**

2019-09-28

**DP REVISION**

2019-10-31

**DP REVISION**

2019-11-08

**SCALE**

AS INDICATED

**DATE**

11/10/2019 4:53:01 PM

**CHECKED BY**

SW

**PROJECT NO.**

218771

**DRAWING TITLE**

BUILDING ELEVATIONS - SOUTH

**DRAWING NO.**

DP30-02-00

**1 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"

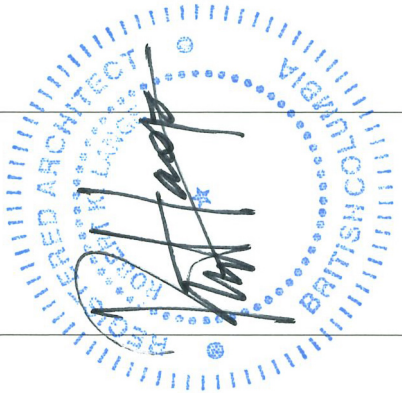
DP 17-791045  
Nov 20, 2019  
Plan 21

DRAWING TITLE  
BUILDING ELEVATIONS -  
WEST

SCALE  
As Indicated  
DRAWN BY  
CHECKED BY  
PROJECT NO.

ISSUED	DATE
DEVELOPMENT PERMIT	2017-11-03
REVISION	2018-09-28
RE-SUBMISSION	2018-09-28
APP SUBMISSION	2018-06-01
POST APP RESPONSE	2018-06-18
REVISION	2018-06-18
DP SUBMISSION	2018-11-08
DP SUBMISSION	2018-11-08

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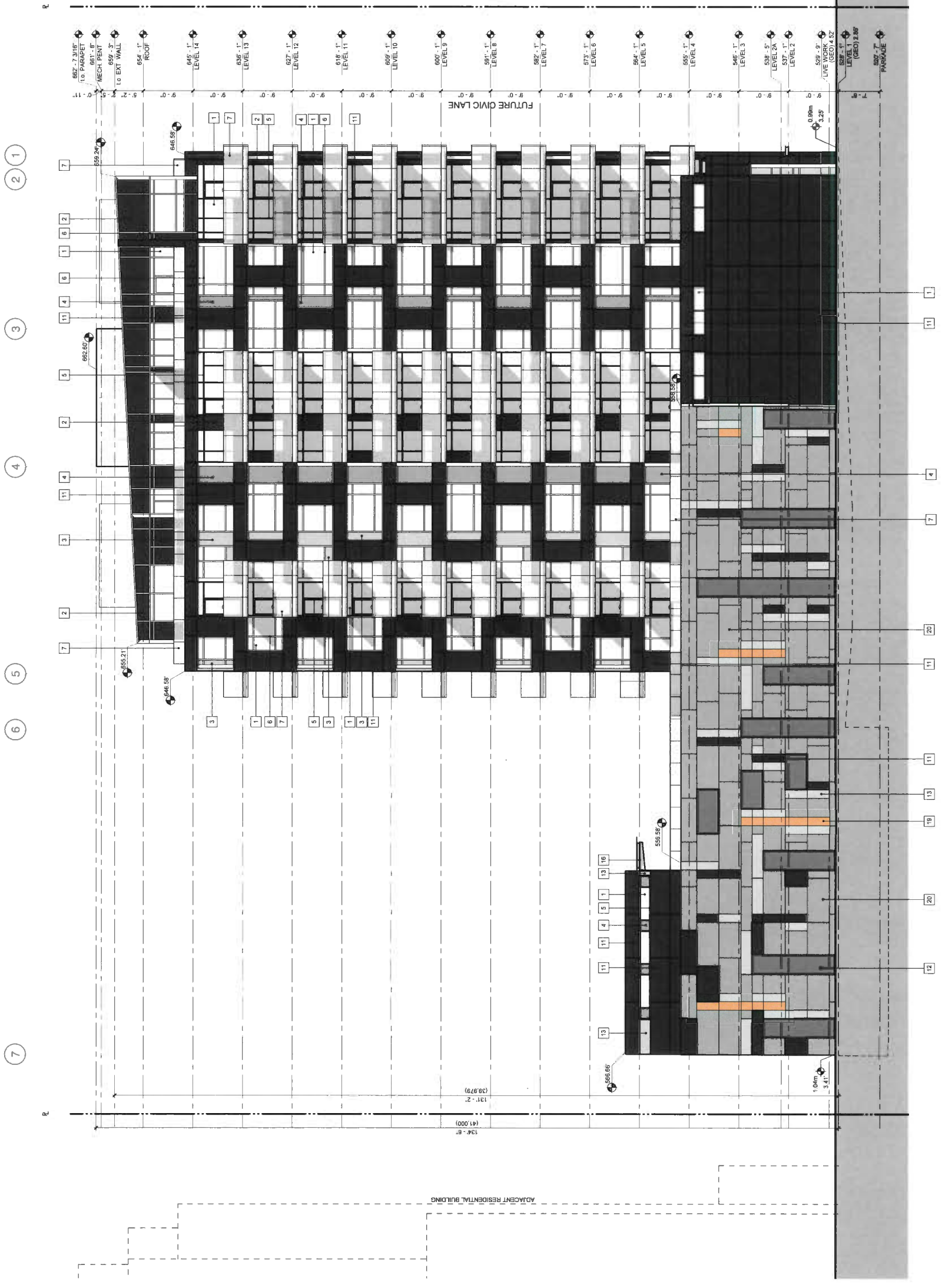


PROJECT INFORMATION  
**COONEY ROAD TOWER**  
6333 COONEY ROAD  
RICHMOND, BC

**NOT FOR CONSTRUCTION**

CONSULTANT INFORMATION  
S2 architecture  
1111 West 10th Avenue  
Vancouver, BC Canada V6H 1B3  
www.s2architecture.com

- BUILDING FINISH SCHEDULE**
- VISION GLASS WINDOW WALL 1 - CLEAR
  - INSULATED SPANDREL GLASS WINDOW WALL 2 - BLACK
  - INSULATED SPANDREL GLASS WINDOW WALL 3 - WHITE
  - INSULATED SPANDREL GLASS WINDOW WALL 4 - GREY
  - PREFINISHED ALUMINUM MULLION 1 - BLACK ANODIZED
  - PREFINISHED ALUMINUM MULLION 2 - CLEAR ANODIZED
  - GUARDRAIL - CLEAR GLAZED
  - ROOFTOP RTU SCREENING - TBD
  - LOURES - PREFINISHED EXTRUDED ANODIZED ALUMINUM
  - GRILLES - PREFINISHED EXTRUDED ANODIZED ALUMINUM
  - CEMENTITIOUS PANEL 1 - DARK GREY
  - CEMENTITIOUS PANEL 2 - GREY
  - CEMENTITIOUS PANEL 3 - WHITE
  - OVERHEAD DOOR - SECTIONAL GLAZED
  - PLANTING SCREENS
  - GLASS AND STRUCTURAL STEEL CANOPY
  - PRIVACY SCREEN - OPAQUE GLAZED
  - STRUCTURAL STEEL FRAMING
  - CEMENTITIOUS PANEL 4 - ACCENT
  - CEMENTITIOUS PANEL 5 - LIGHT GREY
- NOTE: OPEN AIR VENTED CAVITY (PER MANUFACTURER'S INSTALLATION) AT PANEL EDGE CLADDING LOCATIONS



1 WEST ELEVATION  
SCALE: 1/8" = 1'-0"



CONSULTANT INFORMATION  
 CMA  
 Landscape: CONJECT LANDSCAPE ARCHITECTURE  
 Structural: CONJECT STRUCTURAL ENGINEERING  
 Mechanical: CONJECT MECHANICAL ENGINEERING  
 Electrical: CONJECT ELECTRICAL ENGINEERING  
 Fire: CONJECT FIRE ENGINEERING  
 Acoustic: CONJECT ACoustic ENGINEERING  
 Energy: CONJECT ENERGY ENGINEERING

NOT FOR CONSTRUCTION

COONEY ROAD TOWER

6333 COONEY ROAD  
 RICHMOND, BC

PROJECT INFORMATION



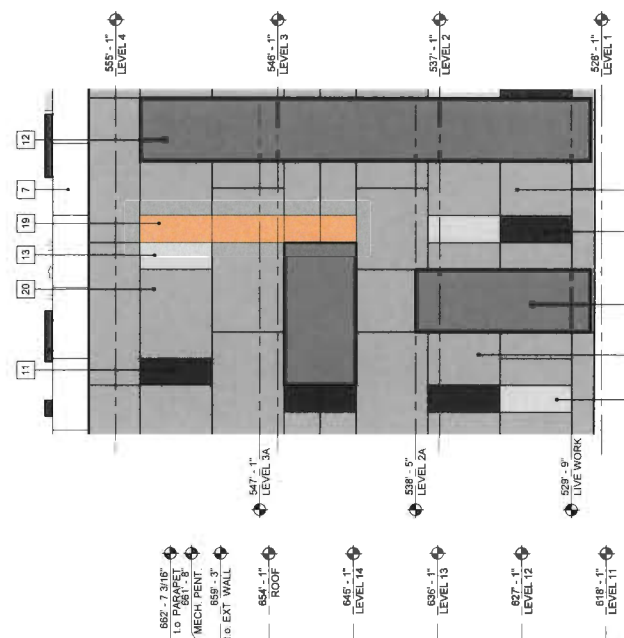
DP 17-791045  
 Nov 20, 2019  
 Plan 23

DATE: 2017-11-03  
 DEVELOPMENT PERMIT: 2017-11-03  
 REVISION: 2018-09-28  
 RE APPLICATION: 2018-09-28  
 ASP SUBMISSION: 2018-02-01  
 POST-APPROVAL: 2018-05-18  
 PRELIMINARY: 2018-05-18  
 DP SUBMISSION: 2018-11-28

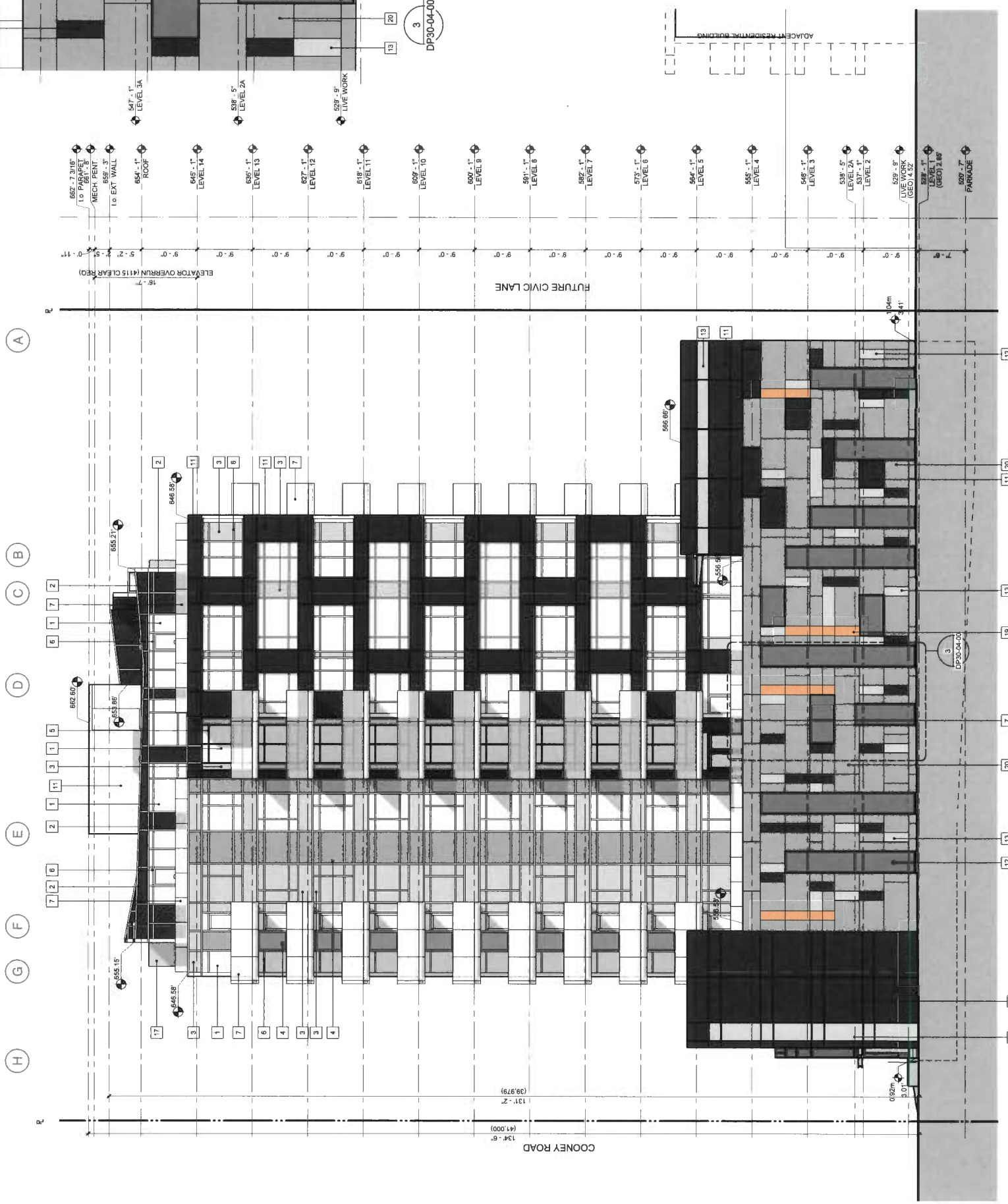
SCALE: As Indicated  
 DATE: 11/02/19 4:53:38 PM  
 DRAWN BY: JH  
 CHECKED BY: SH  
 PROJECT NO.: 219171

DRAWING TITLE: BUILDING ELEVATIONS - NORTH

NO. DP30-04-00



- BUILDING FINISH SCHEDULE**
- VISION GLASS WINDOW WALL 1 - CLEAR
  - INSULATED SPANDREL GLASS WINDOW WALL 2 - BLACK
  - INSULATED SPANDREL GLASS WINDOW WALL 3 - WHITE
  - INSULATED SPANDREL GLASS WINDOW WALL 4 - GREY
  - PREFINISHED ALUMINUM MULLION 1 - BLACK ANODIZED
  - PREFINISHED ALUMINUM MULLION 2 - CLEAR ANODIZED
  - GUARDRAIL - CLEAR GLAZED
  - ROOFTOP RTU SCREENING - TBD
  - LOUVRES - PREFINISHED EXTRUDED ANODIZED ALUMINUM
  - GRILLES - PREFINISHED EXTRUDED ANODIZED ALUMINUM
  - CEMENTITIOUS PANEL 1 - DARK GREY
  - CEMENTITIOUS PANEL 2 - GREY
  - CEMENTITIOUS PANEL 3 - WHITE
  - OVERHEAD DOOR - SECTIONAL GLAZED PLANTING SCREENS
  - GLASS AND STRUCTURAL STEEL CANOPY
  - PRIVACY SCREEN - OPAQUE GLAZED
  - STRUCTURAL STEEL FRAMING
  - CEMENTITIOUS PANEL 4 - ACCENT
  - CEMENTITIOUS PANEL 5 - LIGHT GREY
- NOTE: OPEN AIR VENTED CAVITY (PER EQUIPONE SPEC) TYPICAL AT ALL PANEL EDGE CLODDING LOCATIONS



1 NORTH ELEVATION  
 SCALE: 1/8" = 1'-0"

3 PARKADE WALL DETAIL  
 SCALE: 1:50

The drawings incorporate previous issues. Do not scale these drawings.  
 All drawings are subject to change without notice. The drawings are for the building only and do not include site work. The drawings are not to be used for construction. Do not scale these drawings. All dimensions are in feet and inches. All dimensions are rounded to the nearest 1/8". All dimensions are in feet and inches. All dimensions are rounded to the nearest 1/8".



**CONSULTANT INFORMATION**

**Client:**  
 CONQUEST LANDSCAPE ARCHITECTURE  
 3030 WEST 10TH AVENUE  
 VANCOUVER, BC V6P 4C2  
 TEL: 604-681-8200  
 WWW.CONQUESTLANDSCAPE.COM

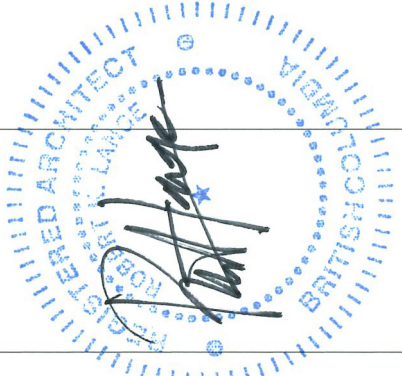
**Design Team:**  
 CONSULTANT GROUP OF COMPANIES  
 200-1000 WEST 4TH AVENUE  
 VANCOUVER, BC V6P 4C2  
 TEL: 604-681-8200  
 WWW.CONQUESTLANDSCAPE.COM

**NOT FOR CONSTRUCTION**

**COONEY ROAD TOWER**

**6333 COONEY ROAD  
 RICHMOND, BC**

**PROJECT INFORMATION**



The drawings incorporate previous issues. Do not make these drawings a part of any other contract documents. All work shown hereon is to be done in accordance with the specifications and conditions of contract. The drawings are prepared for the purpose of the contract. The drawings are not to be used for any other purpose without the written consent of the architect. The drawings are not to be used for any other purpose without the written consent of the architect. The drawings are not to be used for any other purpose without the written consent of the architect.

ISSUED	DATE
DEVELOPMENT PERMIT	2017-11-03
PERMIT APPLICATION	2018-05-28
RE-SUBMISSION	2018-02-01
APP SUBMISSION	2018-01-31
DP REVISION	2018-11-08
DP REVISION	2018-11-08

**SCALE**  
 AS INDICATED

**DRAWN BY:** SH

**CHECKED BY:** SH

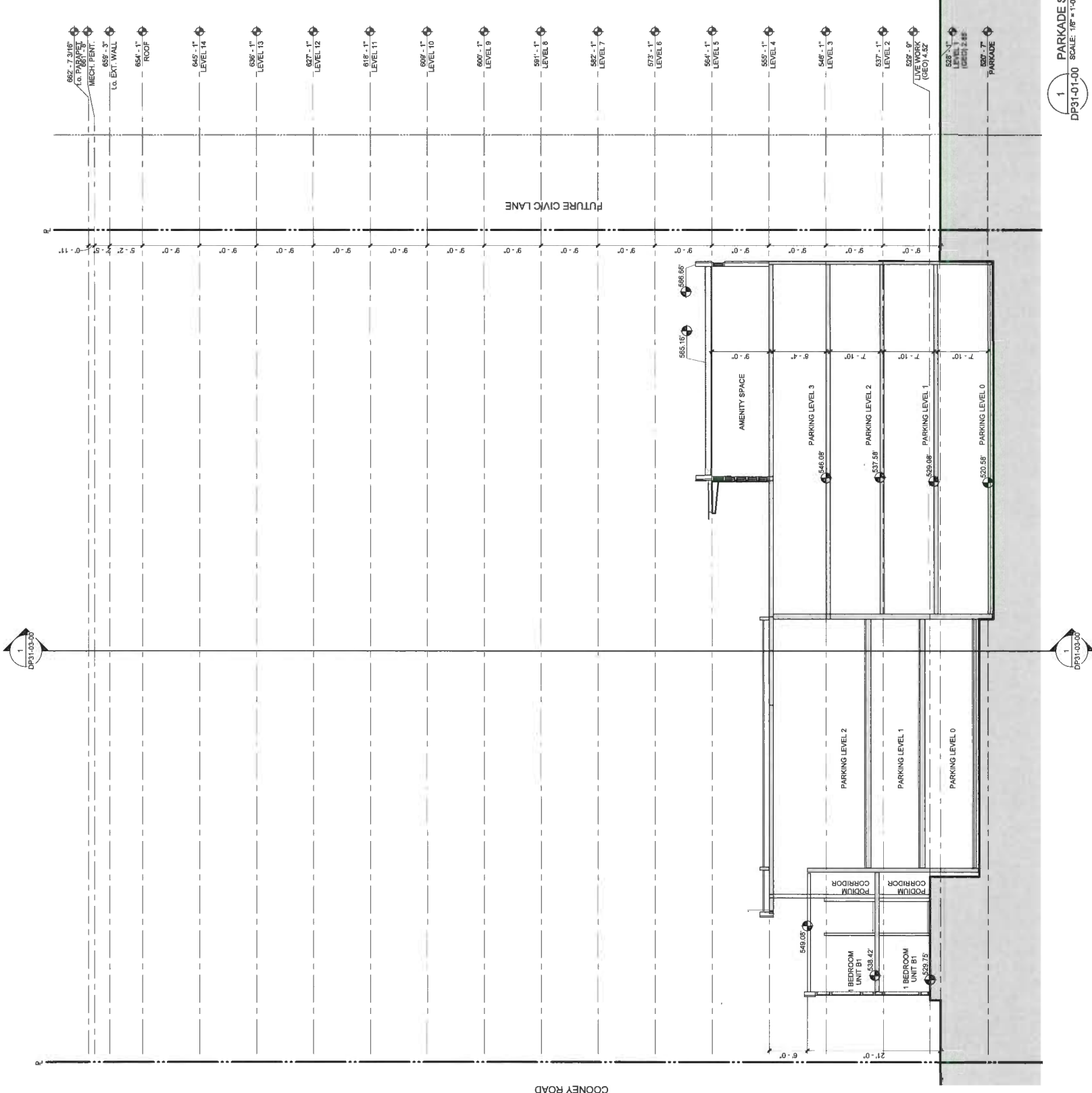
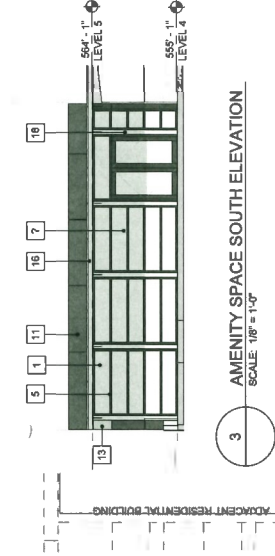
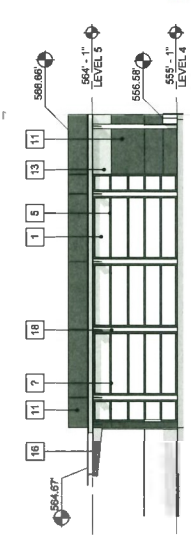
**PROJECT NO.:** 219171

**DRAWING TITLE**  
 PARKADE SECTION &  
 AMENITY ROOM  
 ELEVATIONS

**DRAWING NO.:** DP31-01-00

DP 17-791045  
 Nov 20, 2019  
 Plan 24

- BUILDING FINISH SCHEDULE**
- 1 VISION GLASS WINDOW WALL 1 - CLEAR
  - 2 INSULATED SPANDREL GLASS WINDOW WALL 2 - BRUSH
  - 3 INSULATED SPANDREL GLASS WINDOW WALL 3 - WHITE
  - 4 INSULATED SPANDREL GLASS WINDOW WALL 4 - GREY
  - 5 PREFINISHED ALUMINUM MULLION 1 - BLACK ANODIZED
  - 6 PREFINISHED ALUMINUM MULLION 2 - CLEAR ANODIZED
  - 7 GUARDRAIL - CLEAR GLAZED
  - 8 ROOFTOP RTU SCREENING - T80
  - 9 LOUVRES - PREFINISHED EXTRUDED ANODIZED ALUMINUM
  - 10 GRILLES - PREFINISHED EXTRUDED ANODIZED ALUMINUM
  - 11 CEMENTITIOUS PANEL 1 - DARK GREY
  - 12 CEMENTITIOUS PANEL 2 - GREY
  - 13 CEMENTITIOUS PANEL 3 - WHITE
  - 14 OVERHEAD DOOR - SECTIONAL GLAZED
  - 15 PLANTING SCREENS
  - 16 GLASS AND STRUCTURAL STEEL CANOPY
  - 17 PRIVACY SCREEN - CERAMIC BAGUETTE
  - 18 STRUCTURAL STEEL FRAMING
  - 19 CEMENTITIOUS PANEL 4 - ACCENT
  - 20 CEMENTITIOUS PANEL 5 - LIGHT GREY
- NOTE: OPEN AIR VENTED CAVITY (PER EQUICONE SPEC.) TYPICAL AT ALL PANEL EDGE CLADDING LOCATIONS



1  
 DP31-03-00

1  
 DP31-03-00

COONEY ROAD

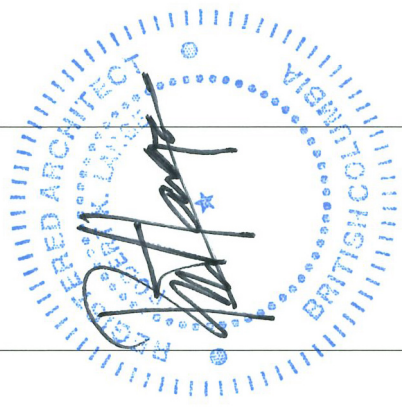
1  
 DP31-01-00 SCALE: 1/8" = 1'-0"

2  
 DP31-03-00 SCALE: 1/8" = 1'-0"

3  
 SCALE: 1/8" = 1'-0"

ISSUED	DATE
DEVELOPMENT PERMIT	2017-11-13
DP APPLICATION	2018-05-28
RE-SUBMISSION	2018-02-01
APP SUBMISSION	2018-10-24
DP PRE-SUBMISSION	2018-10-24
DP PRE-SUBMISSION	2019-11-28

The owner guarantees the accuracy of the information provided in this drawing. The Architect, Engineer, and other professionals are not responsible for the accuracy of the information provided in this drawing. The Architect, Engineer, and other professionals are not responsible for the accuracy of the information provided in this drawing. The Architect, Engineer, and other professionals are not responsible for the accuracy of the information provided in this drawing.



**NOT FOR CONSTRUCTION**

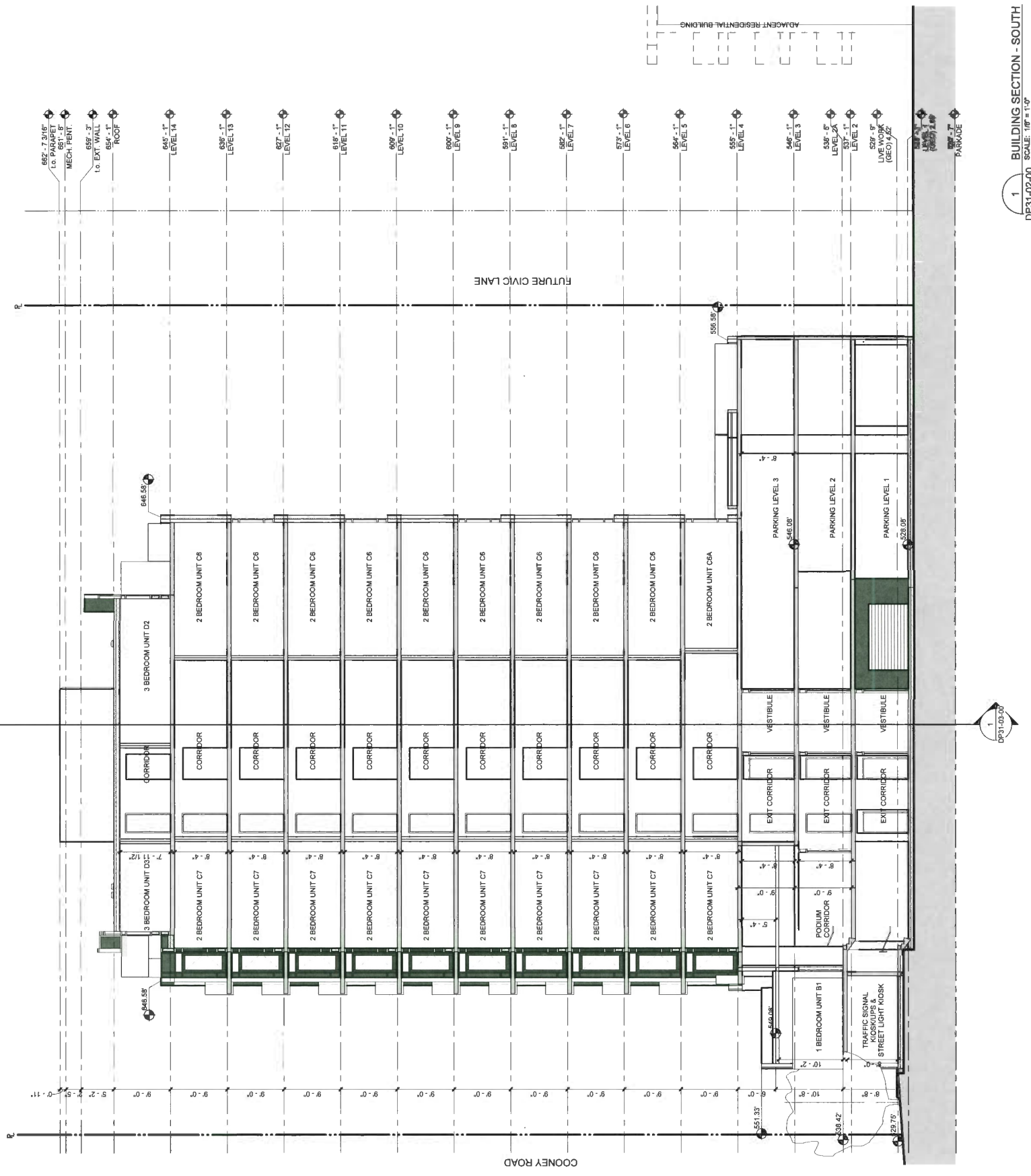
**PROJECT INFORMATION**

**COONEY ROAD TOWER**

6333 COONEY ROAD  
RICHMOND, BC

**CONSULTANT INFORMATION**

DLA  
Landscape: CONNECT LANDSCAPE ARCHITECTURE  
Structural: GUYTON SHAWSON GROUP OF COMPANIES  
Mechanical: GUYTON SHAWSON GROUP OF COMPANIES  
Electrical: GUYTON SHAWSON GROUP OF COMPANIES  
Interior: MURPHY & ASSOCIATES LTD.



1 BUILDING SECTION - SOUTH  
DP31-02-00 SCALE: 1/8" = 1'-0"



BUILDING CROSS SECTION

PROJECT NO. 219171  
CHECKED BY SH  
DRAWN BY JM  
SCALE 1/8" = 1'-0"  
11/20/19 4:02:38 PM

ISSUED	DATE
DEVELOPMENT PERMIT	2017-11-03
DP APPLICATION	2018-06-28
RE-SUBMISSION	2018-06-28
APP SUBMISSION	2018-02-01
DP SUBMISSION	2018-10-31
DP RESUBMISSION	2019-11-08

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The Contract Documents, Drawings and Specifications are intended to be read together and shall be so treated as if they were a single document.

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**NOT FOR CONSTRUCTION**

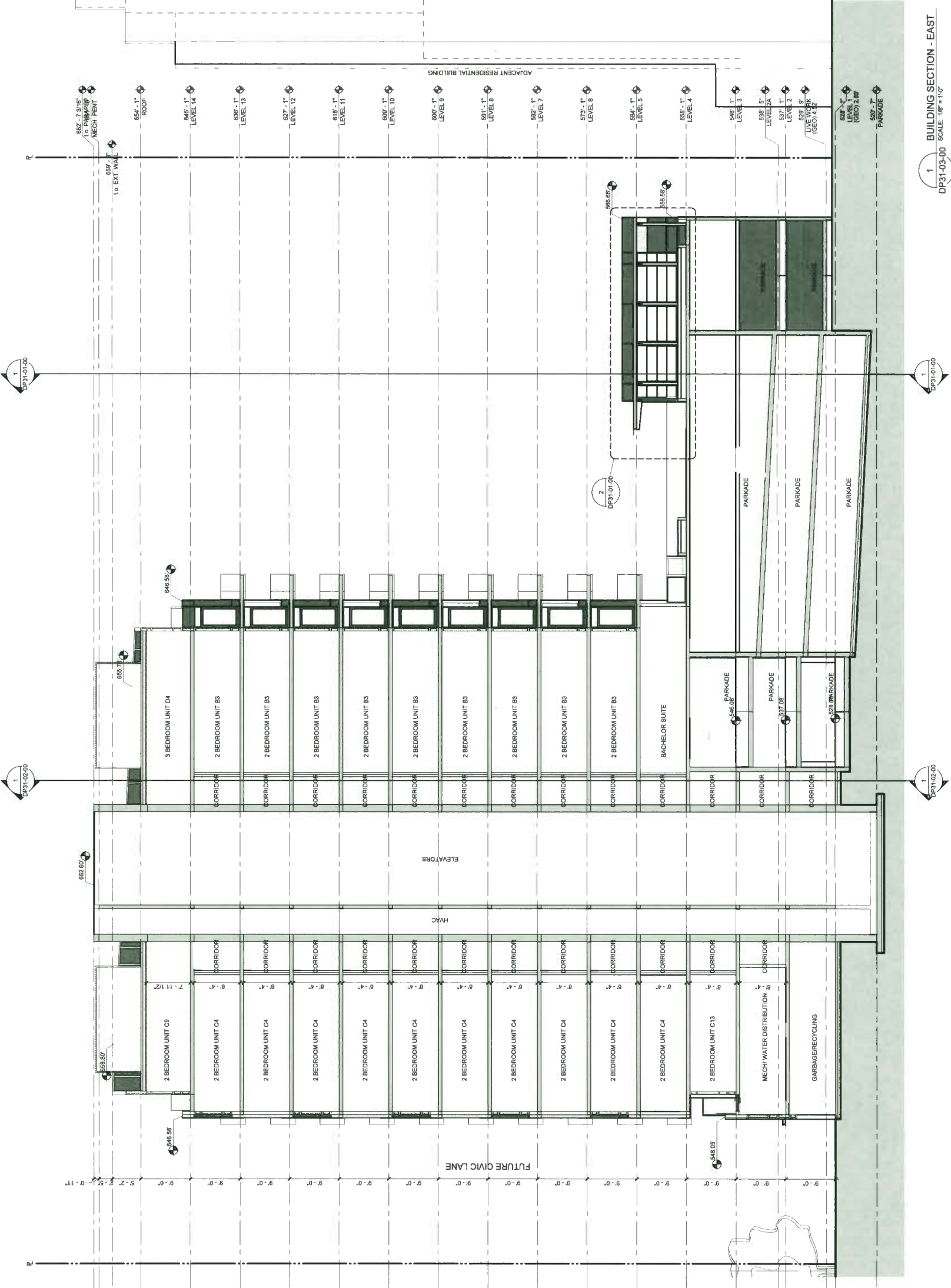
**COONEY ROAD TOWER**

6333 COONEY ROAD  
RICHMOND, BC

**CONSULTANT INFORMATION**

**S2 architecture**  
100-1070 Cooney Road  
Richmond, BC V6X 4E8  
Tel: 604-273-1111  
www.s2architecture.com

**CLIENT:** CONNECT LANDSCAPE ARCHITECTURE  
**DESIGNER:** S2 ARCHITECTURE  
**CONTRACTOR:** CULTURAL-SPORTS GROUP OF COMPANIES  
**GENERAL CONTRACTOR:** HOK  
**MECHANICAL CONTRACTOR:** METTLER ASSOCIATES LTD.  
**ELECTRICAL CONTRACTOR:** METTLER ASSOCIATES LTD.  
**PLUMBING CONTRACTOR:** METTLER ASSOCIATES LTD.



1 BUILDING SECTION - EAST  
SCALE: 1/8" = 1'-0"

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# COONEY ROAD TOWER

## 6333 COONEY ROAD, RICHMOND, BRITISH COLUMBIA

### RE-ISSUED FOR CITY COMMENTS

#### LANDSCAPE DRAWING INDEX

SHEET No.	SHEET NAME
L0.0	COVER SHEET & DRAWING LIST
L1.0	LANDSCAPE PLAN GROUND LEVEL
L1.1	LANDSCAPE PLAN FOURTH LEVEL
L1.2	LANDSCAPE PLAN ROOF LEVEL
L1.3	PRECEDENTS AND MATERIALS
L1.4	LANDSCAPE PERMEABILITY
L1.5	LANDSCAPE OPEN SPACE
L2.0	PLANT LIST AND PLANT MATERIALS
L2.1	GROUND LEVEL PLANTING PLAN
L2.2	FOURTH LEVEL PLANTING PLAN
L2.3	ROOF LEVEL PLANTING PLAN
L3.0	DETAILS - SOFTSCAPE
L3.1	DETAILS - HARDSCAPE
L3.2	DETAILS - FURNISHINGS
L3.2	DETAILS - PLAY AREA

#### GENERAL NOTES

ALL LANDSCAPE ARCHITECTURAL DRAWINGS IN THIS PACKAGE SHALL BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, DETAILS, SPECIFICATIONS, AND/OR OTHER CORRESPONDANCE THAT MAY BE ISSUED DURING THE COURSE OF THE CONTRACT.

IF A DISCREPANCY OCCURS BETWEEN THE DRAWINGS AND THE SPECIFICATIONS OR ANY OTHER DOCUMENT ASSOCIATED WITH THE PROJECT, THE CONFLICT SHALL BE REPORTED IN WRITING TO THE OWNER OR OWNERS REPRESENTATIVE TO OBTAIN CLARIFICATION AND APPROVAL BEFORE PROCEEDING WITH WORKS.

ALL EXISTING INFORMATION IS BASED ON AVAILABLE RECORDS AND SHALL NOT BE CONSTRUED TO BE COMPLETE OR ACCURATE. THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY THE TRUE EXISTING CONDITIONS. ANY UNCLEAR ISSUES SHALL BE CLARIFIED WITH THE OWNER OR OWNERS REPRESENTATIVE. NO CLAIM SHALL BE ALLOWED FOR EXTRAS WHICH MAY ARISE THROUGH NEGLIGENCE OF THIS ADVISE.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

LAYOUT OF HARDSCAPE, SITE FURNITURE, GROWING MEDIA, TREES, PLANTING, AND ALL OTHER MATERIALS IS TO BE STAKED OUT AND APPROVED BY OWNER OR OWNERS REPRESENTATIVE.

ALL PLANTING SHALL BE IN ACCORDANCE WITH THE CANADIAN LANDSCAPE STANDARD, LATEST EDITION.



REVISIONS	ISSUED FOR CLIENT REVIEW
7	RE- ISSUED FOR CITY COMMENTS 19-11-06
6	RE- ISSUED FOR DP APPLICATION 19-10-31
5	ISSUED FOR PRIOR-TO RESPONSE
4	RE-ISSUED FOR DP APPLICATION
3	RE-ISSUED FOR DP APPLICATION
2	ISSUED FOR DP APPLICATION
1	ISSUED FOR CLIENT REVIEW

DP 17-791045  
Nov 20, 2019  
Plan 27

**COONEY ROAD TOWER**  
6333 Cooney Road  
Richmond, British Columbia

Scale: 1:200  
Drawn: VG/DS  
Reviewed: DS  
Project No. 06-581

**COVER SHEET & DRAWING LIST**

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REVISIONS	
1	ISSUED FOR CLIENT REVIEW
2	ISSUED FOR DP APPLICATION
3	RE-ISSUED FOR DP APPLICATION
4	RE-ISSUED FOR DP APPLICATION
5	ISSUED FOR PRIOR-TO RESPON
6	RE-ISSUED FOR DP APPLICATION
7	RE-ISSUED FOR CITY COMMENTS

DP 17-791045  
Nov 20, 2019  
Plan 28

**COONEY ROAD TOWER**

6333 Cooney Road  
Richmond, British Columbia

Scale:	1:100
Drawn:	DS
Reviewed:	DS
Project No.:	06-581

**LANDSCAPE PLAN  
GROUND LEVEL**

L1.0



FUTURE LANE

PROPERTY LINE

GREEN SCREEN PANELS  
WITH VINES

PROPERTY LINE

PROPERTY LINE

LANE TO CITY OF  
RICHMOND STANDARDS

COONEY ROAD



20 m

15

10

5

0

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- 7 RE-ISSUED FOR CITY COMMENTS 19-11-06  
 6 RE-ISSUED FOR DP APPLICATION 19-10-31  
 5 ISSUED FOR PRIOR-TO-RESPONSE  
 4 RE-ISSUED FOR DP APPLICATION  
 3 RE-ISSUED FOR DP APPLICATION  
 2 ISSUED FOR DP APPLICATION  
 1 ISSUED FOR CLIENT REVIEW
- REVISIONS

DP 17-791045  
Nov 20, 2019  
Plan 29

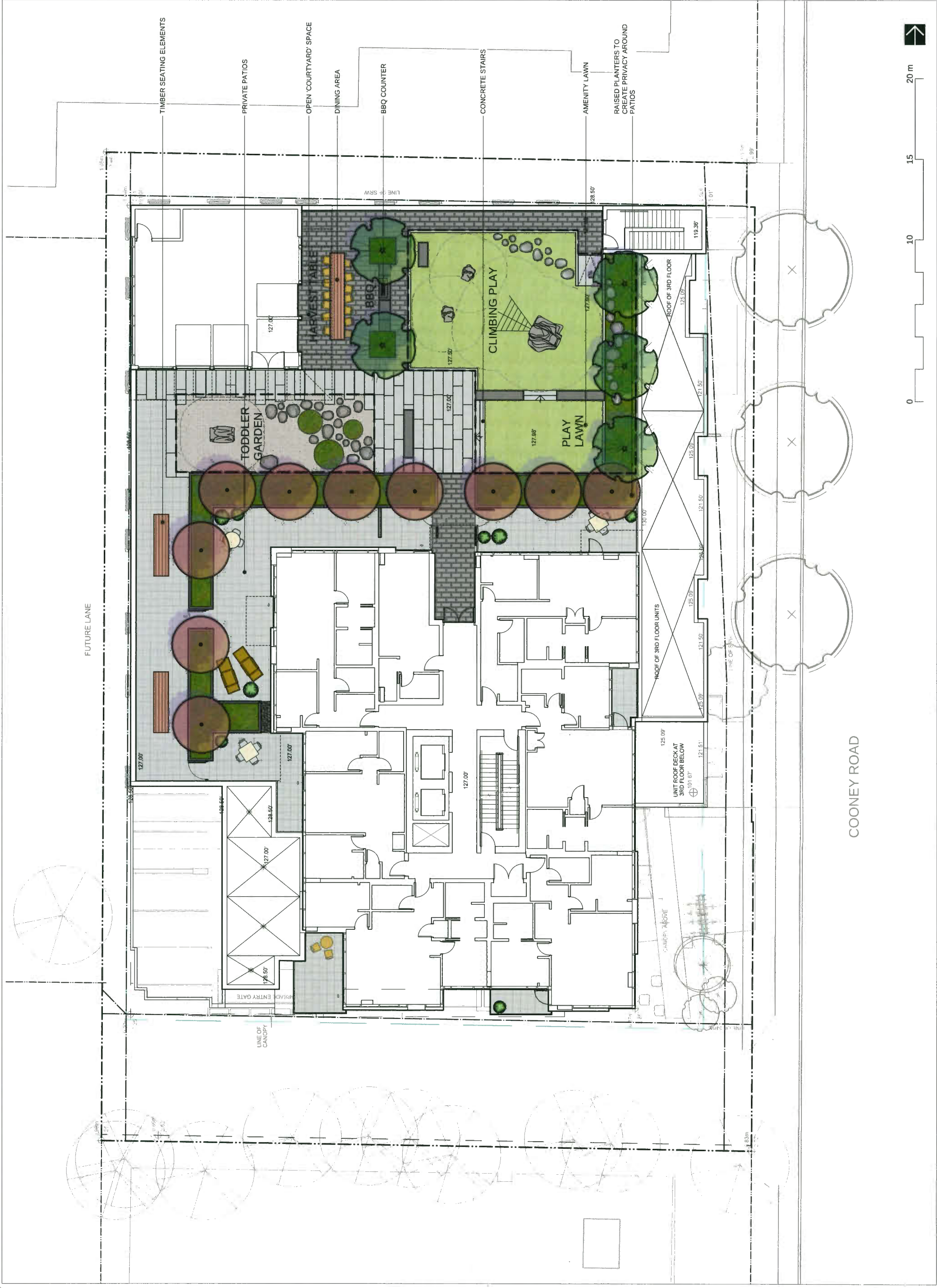
**COONEY ROAD TOWER**

6333 Cooney Road  
Richmond, British Columbia

Scale: 1:100  
 Drawn: DS  
 Reviewed: DS  
 Project No. 06-581

**LANDSCAPE PLAN  
LEVEL 4**

L1.1



FUTURE LANE

COONEY ROAD



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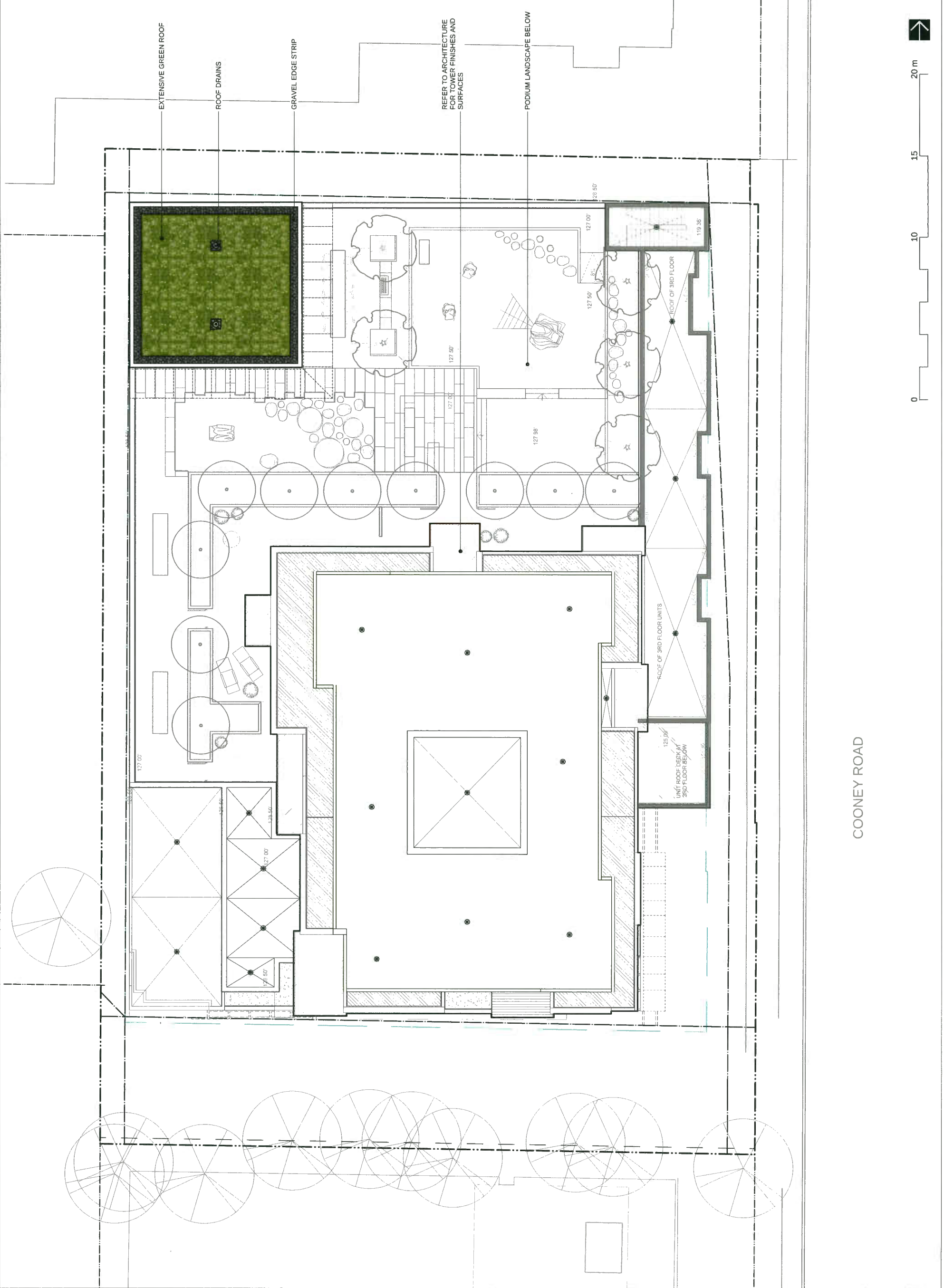
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4. RE- ISSUED FOR DP APPLICATION	
3. RE- ISSUED FOR DP APPLICATION	
2. ISSUED FOR DP APPLICATION	
1. ISSUED FOR CLIENT REVIEW	

DP 17-791045  
Nov 20, 2019  
Plan 30

**COONEY ROAD TOWER**  
6333 Cooney Road  
Richmond, British Columbia

Scale: 1:100  
Drawn: DS  
Reviewed: DS  
Project No. 06-581

**LANDSCAPE PLAN  
ROOF LEVEL**



COONEY ROAD



**LANDSCAPE INFLUENCES AND CONTEXT**



ANGLED LINES TO MATCH BUILDING GEOMETRY AND OVERLAPPING PAVING PATTERNS



ANGLED LINES TO MATCH BUILDING GEOMETRY AND OVERLAPPING PAVING PATTERNS



CONNECTED AMENITY ZONES



"COURTYARD" SPACE VISIBLE FROM AMENITY ROOM

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**LANDSCAPE FEATURES AND MATERIALS**



STEPPING UP TO RAISED LAWN



TIMBER AND CONCRETE DETAILING



TIMBER AND CONCRETE DETAILS



SMALL BEACH PEBBLE



NATURAL LOOK PLAY STRUCTURES

**LANDSCAPE PAVING TYPES**



SAWCUT CONCRETE



CHARCOAL 'STANDARD' PAVING



NATURAL 'STANDARD' PAVING



CHARCOAL PATIO SLAB PAVING



CHARCOAL PATIO SLAB PRIVATE PATIOS

**COONEY ROAD TOWER**

6333 Cooney Road  
Richmond, British Columbia

Scale:	N/A
Drawn:	DS
Reviewed:	DS
Project No.	06-581

**PRECEDENTS AND MATERIALS**

7	RE- ISSUED FOR CITY COMMENTS	19-11-06
6	RE- ISSUED FOR DP APPLICATION	19-10-31
5	ISSUED FOR PRIOR- TO RESPONSE!	
4	RE- ISSUED FOR DP APPLICATION	
3	RE- ISSUED FOR DP APPLICATION	
2	ISSUED FOR DP APPLICATION	
1	ISSUED FOR CLIENT REVIEW	

Plan 31  
DP 17-791045  
Nov 20, 2019

CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES AND / OR CONCEALED STRUCTURES AT THE PROJECT SITE.

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**LEVEL 1 PERMEABILITY**

COONEY ROAD



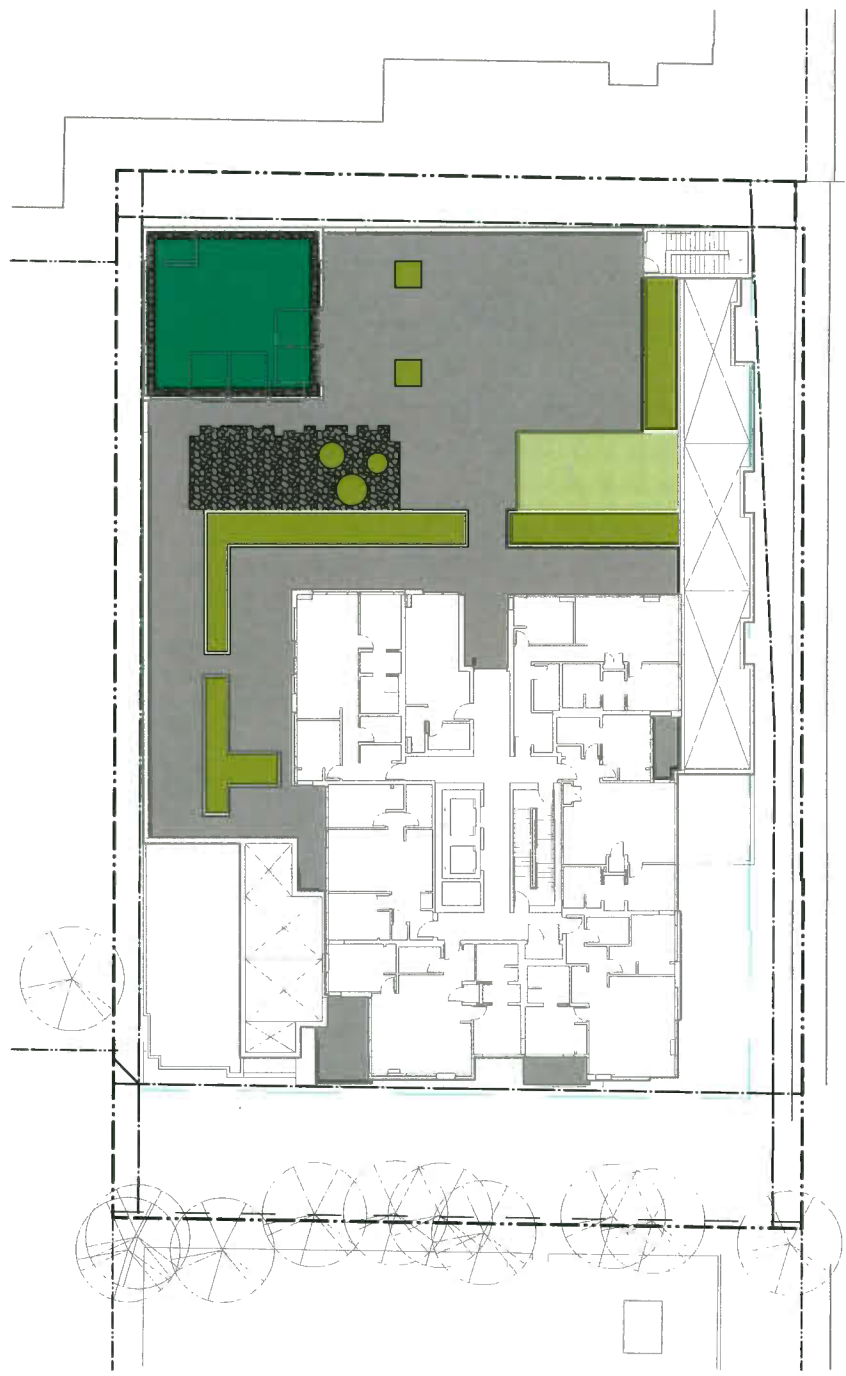
LEGEND PERMEABILITY	GROUND LEVEL		LEVEL 4		ROOF	
	AREA	%	AREA	%	AREA	%
PERMEABLE GRAVEL AREA	25.1m <sup>2</sup>	1.0%	52m <sup>2</sup>	2.1%		
LAWN - MINIMUM 12" SOIL ON SLAB OR ON GRADE	234.5m <sup>2</sup>	9.5%	42m <sup>2</sup>	1.7%		
EXTENSIVE GREEN ROOF 150mm GROWING MEDIUM DEPTH PERMEABLE					80m <sup>2</sup>	3.3%
INTENSIVE GREEN ROOF PLANTER 450mm MIN GROWING MEDIUM DEPTH PERMEABLE			95m <sup>2</sup>	3.9%		
PLANTING ON GRADE 450mm - 900mm GROWING MEDIUM DEPTH PERMEABLE						
HARDSCAPE AREA IMPERMEABLE	487.6m <sup>2</sup>	19.9%	505m <sup>2</sup>	22.8%		
<b>TOTAL</b>	<b>747.3m<sup>2</sup></b>	<b>30.4%</b>	<b>694m<sup>2</sup></b>	<b>28.2%</b>	<b>80m<sup>2</sup></b>	<b>3.3%</b>

NOTE: AREAS ARE DIRECT MEASUREMENTS. PERCENTAGES ARE BASED ON THE OVERALL SITE AREA OF 2,458 SQ.M INSIDE THE PROPERTY LINES.

Plan 31  
DP 17-791045  
Nov 20, 2019

**COONEY ROAD TOWER**  
6333 Cooney Road  
Richmond, British Columbia  
Scale: 1:200  
Drawn: DS  
Reviewed: DS  
Project No. 06-581

**LANDSCAPE PERMEABILITY**



**LEVEL 4 AND ROOF PERMEABILITY**

COONEY ROAD



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DP 17-791045  
Nov 20, 2019  
Plan 32

7	RE-ISSUED FOR CITY COMMENTS	19-11-06
6	RE-ISSUED FOR DP APPLICATION	19-10-31
5	ISSUED FOR PRIOR-TO RESPONSE	
4	RE-ISSUED FOR DP APPLICATION	
3	RE-ISSUED FOR DP APPLICATION	
2	ISSUED FOR DP APPLICATION	
1	ISSUED FOR CLIENT REVIEW	

**COONEY ROAD TOWER**  
6333 Cooney Road  
Richmond, British Columbia  
Scale: N/A  
Drawn: KD/DS  
Reviewed: DS  
Project No. 06-581

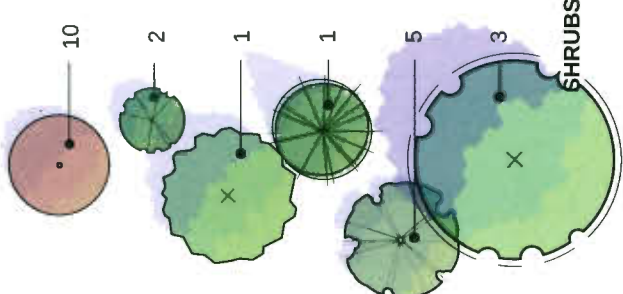
**PLANT LIST & MATERIALS**

**PLANT LIST**

QTY. BOTANICAL NAME COMMON NAME SIZE SPACING

QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
10	Acer Palmatum Aka kawa hime	Dwarf Japanese Maple	5cm cal., B&B	as shown
2	Liquidambar styraciflua 'Slender Silhouette'	Sweetgum	5cm cal., B&B	as shown
1	Malus x zumi 'Calocarpa'	Zumi Flowering Apple	6cm cal., B&B	as shown
1	Pinus engelmannii	Engelmann Spruce	3M height, B&B	as shown
5	Stewartia pseudocamellia	Japanese Stewartia	3M height, B&B	as shown
3	Street Tree - Species and final locations to City of Richmond specs.		7cm cal., B&B	as shown

**TREES**



**SHRUBS**

23	Cistus incanus	Rock Rose	#2 pot	18" o.c
23	Cotoneaster dammerii	Little-Leaf Cotoneaster	#2 pot	24" o.c
21	Forsythia x intermedia	Forsythia	#5 pot	36" o.c
10	Lavandula angustifolia 'Hidcote'	English Lavender	#2 pot	18" o.c
74	Prunus laurocerasus 'Otto Luyken'	Cherry Laurel	#5 pot	24" o.c
66	Polystichum munitum	Western Sword Fern	#2 pot	24" o.c
48	Rhododendron 'Crete'	Pink Rhododendron	#5 pot	36" o.c
30	Rhododendron 'Hotel'	Yellow Rhododendron	#5 pot	36" o.c
36	Spiraea bumulda 'Goldflame'	Goldflame Spiraea	#2 pot	24" o.c
78	Sarcococca hookerana humilis	Himalayan Sweet Box	#2 pot	24" o.c
33	Skimmia japonica	Japanese Skimmia	#3 pot	30" o.c
168	Taxus X Media 'Hicksii'	Hick's Yew - 1.5M height	#3 pot	20" o.c

**GROUND COVERS AND VINES**

44	Akebia quinata	Chocolate Vine	#2 pot	18" o.c
32	Arctostaphylos uva-ursi	Kinnikinnick	4"(10cm) pot	15" o.c
190	Ceanothus griseus horizontalis	Creeping California Lilac	4"(10cm) pot	15" o.c
392	Oxalis oreganum	Redwood Sorrel	4"(10cm) pot	15" o.c
36	Parthenocissus quinquefolia	Virginia Creeper	#2 pot	18" o.c
80	SO.M. Etera Colour Max Sedum Tile			

**GRASSES, PERENNIALS, BULBS, AND ANNUALS**

12	Allium giganteum	Persian Onion	#1 pot	18" o.c
60	Carex eburnea	Bristleleaf Sedge	#1 pot	18" o.c
77	Hakonechloa macra	Japanese Forest Grass	#1 pot	18" o.c
17	Iris tenax	Oregon Iris	#1 pot	18" o.c
7	Liriope muscari	Lily Turf	#1 pot	18" o.c
12	Stipa tenuissima	Mexican Feather Grass	#1 pot	18" o.c

**NOTES:**

- 1) In case of discrepancy between plant numbers on this list and on the plan, the latter shall prevail.
- 2) All planting shall be in accordance with BC Landscape Standard, latest edition.
- 3) All planting beds to be mulched with 2" (50mm) of Answer Garden Products 'Humus builder' or approved equal.



Hakonechloa macra  
Japanese Forest Grass



Stipa tenuissima  
Mexican Feather Grass



Allium giganteum  
Persian Onion



Iris tenax  
Oregon Iris



Cistus incanus  
Rock Rose



Stewartia pseudocamellia  
Japanese Stewartia



Forsythia x intermedia  
Forsythia



Sarcococca hookerana humilis  
Himalayan Sweet Box



**COLOURS AND GRASSES**



**EVERGREEN LAYERS**



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7. RE-ISSUED FOR CITY COMMENTS	19-11-06
6. RE-ISSUED FOR DP APPLICATION	19-10-31
5. ISSUED FOR PRIOR-TO RESPONSE	19-09-06
4. RE-ISSUED FOR DP APPLICATION	
3. RE-ISSUED FOR DP APPLICATION	
2. ISSUED FOR DP APPLICATION	
1. ISSUED FOR CLIENT REVIEW	

REVISIONS

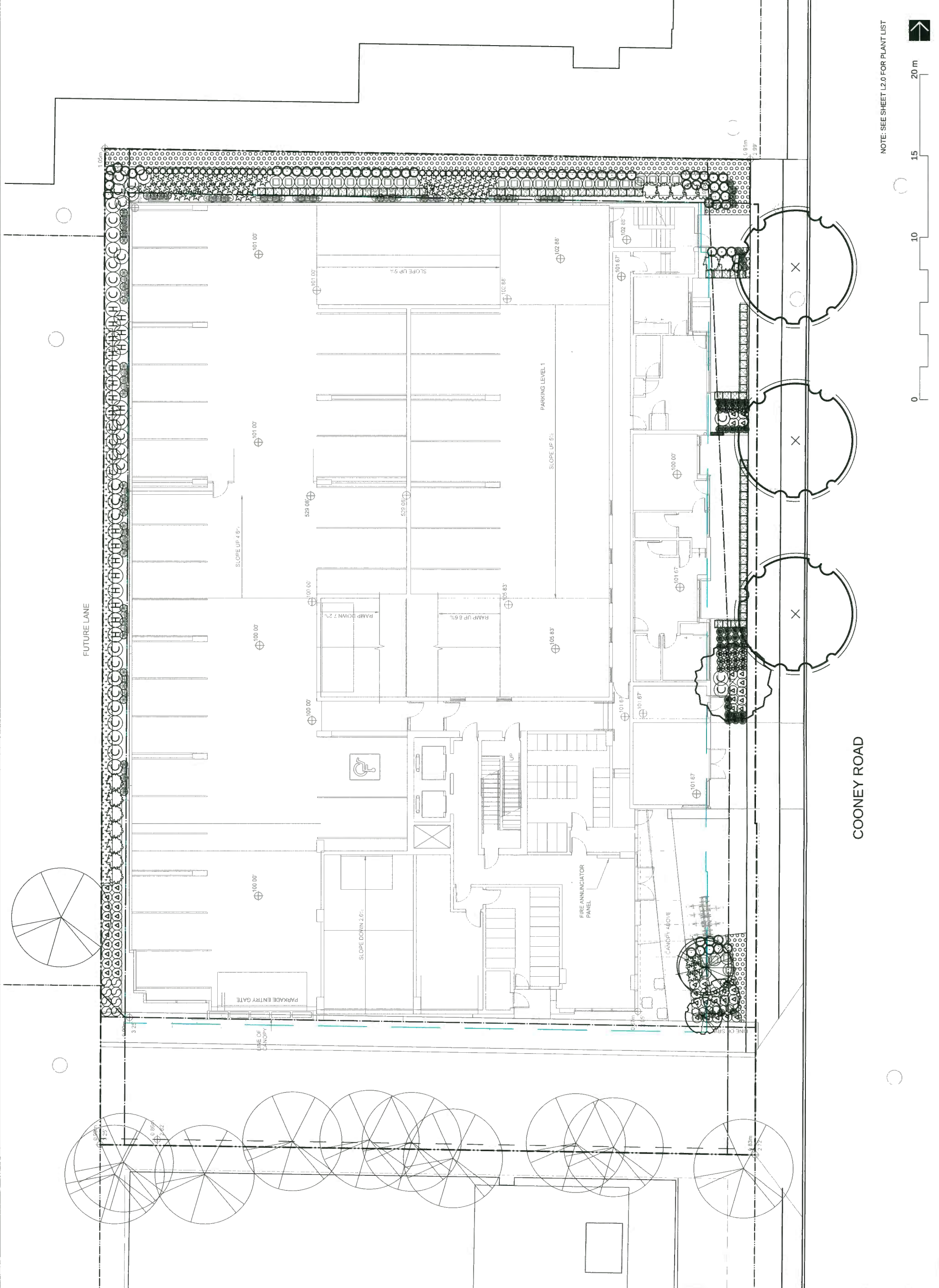
DP 17-791045  
Nov 20, 2019  
Plan 33

**COONEY ROAD TOWER**

6333 Cooney Road  
Richmond, British Columbia

Scale:	1:100
Drawn:	DS
Reviewed:	DS
Project No.:	06-581

**LANDSCAPE PLANTING  
GROUND LEVEL**



NOTE: SEE SHEET L2.0 FOR PLANT LIST

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REVISIONS	ISSUED FOR CLIENT REVIEW	1
7	RE-ISSUED FOR CITY COMMENTS	19-11-06
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4	RE-ISSUED FOR DP APPLICATION	
3	RE-ISSUED FOR DP APPLICATION	
2	ISSUED FOR DP APPLICATION	
1	ISSUED FOR CLIENT REVIEW	

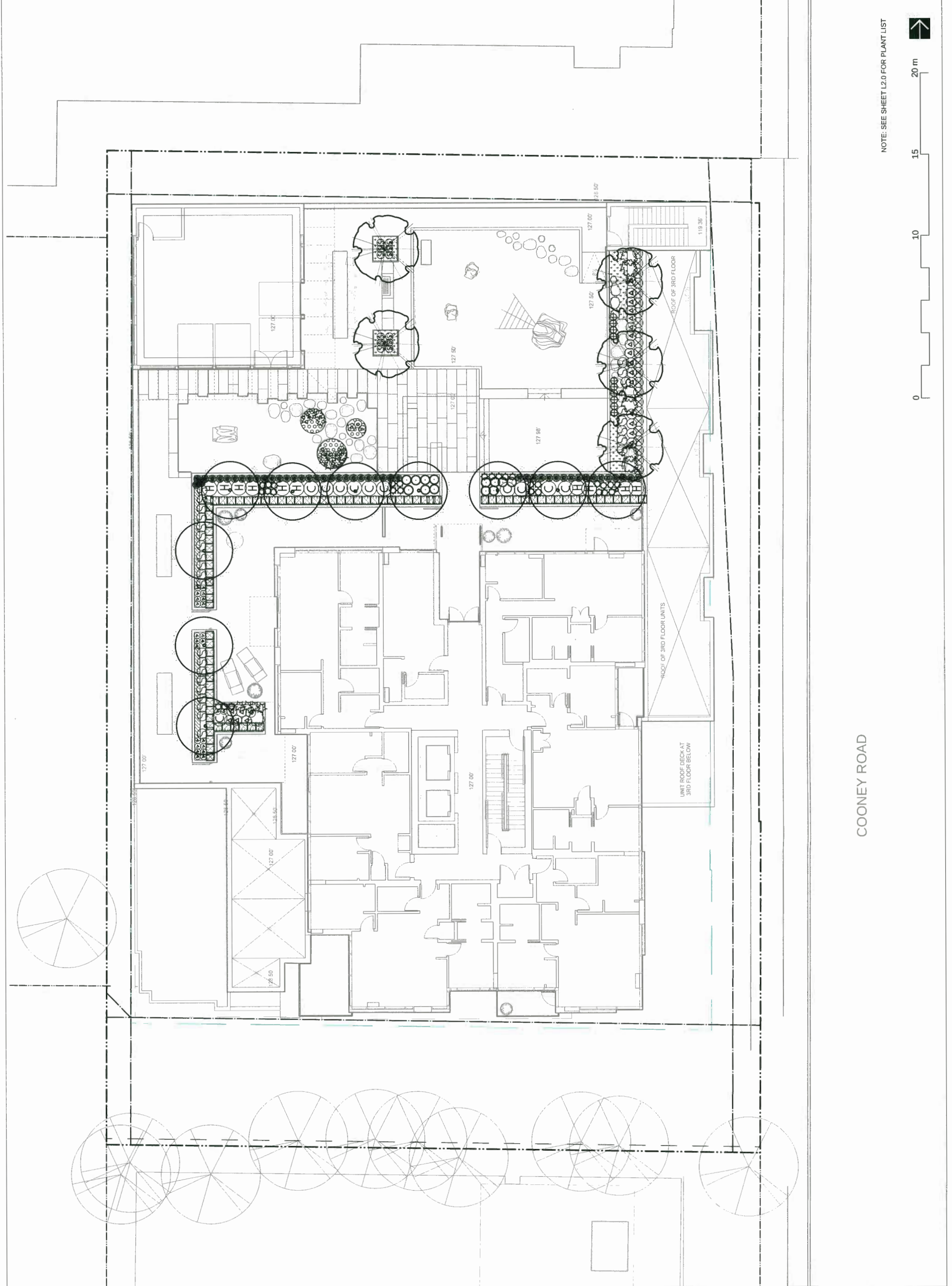
DP 17-79104S  
Nov 20, 2019  
Plan 34

**COONEY ROAD TOWER**

6333 Cooney Road  
Richmond, British Columbia

Scale:	1:100
Drawn:	DS
Reviewed:	DS
Project No.:	06-581

**LANDSCAPE PLANTING  
LEVEL 4**



COONEY ROAD

NOTE: SEE SHEET L2.0 FOR PLANT LIST



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REVISIONS	ISSUED FOR CLIENT REVIEW	DATE
1	ISSUED FOR CLIENT REVIEW	19-10-31
2	ISSUED FOR DP APPLICATION	19-11-06
3	RE-ISSUED FOR DP APPLICATION	
4	RE-ISSUED FOR DP APPLICATION	
5	ISSUED FOR PRIOR-TO RESPONSE	
6	RE-ISSUED FOR DP APPLICATION	19-10-31
7	RE-ISSUED FOR CITY COMMENTS	19-11-06

DP 17-791045  
Nov 20, 2019  
Plan 35

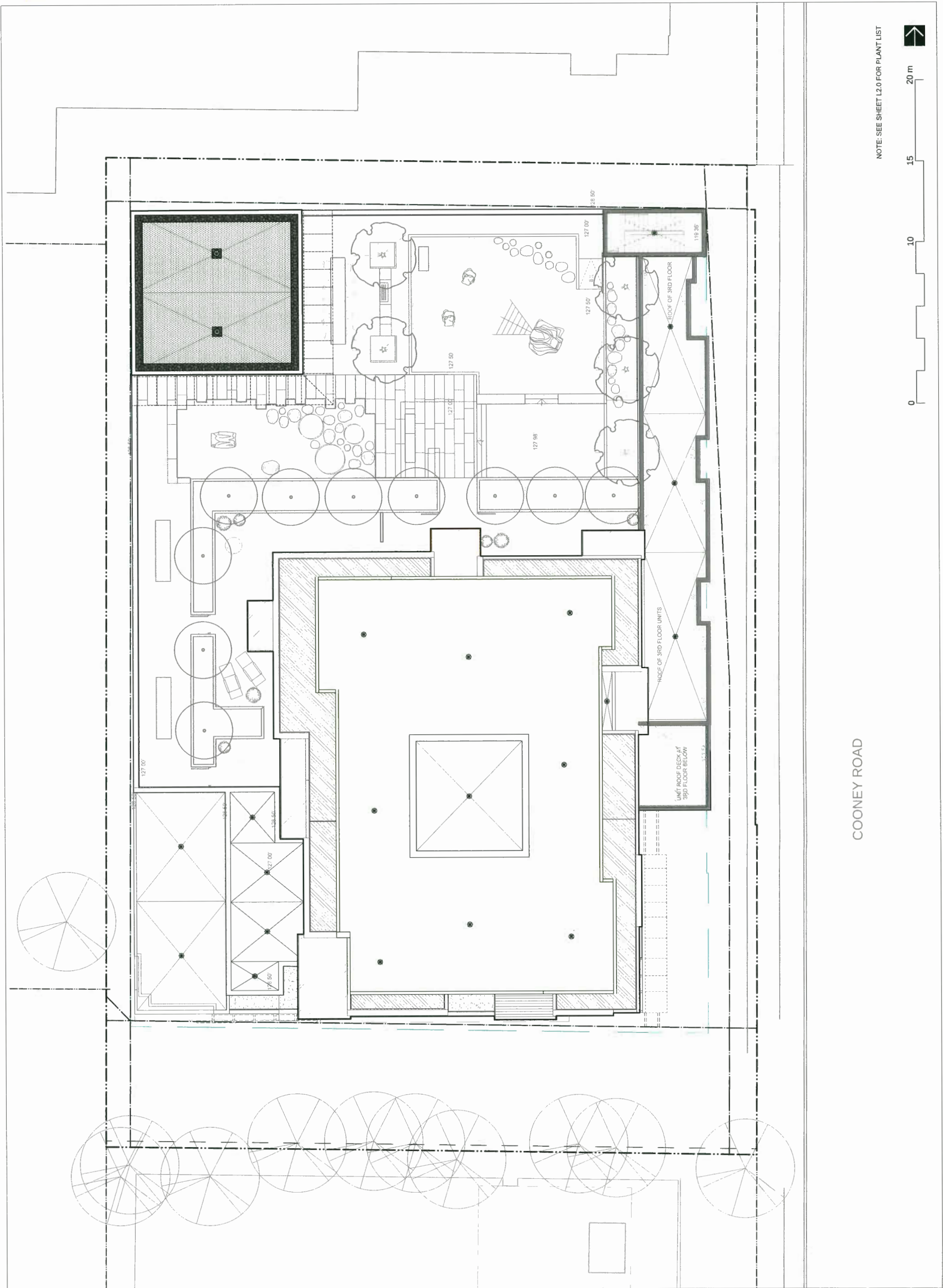
**COONEY ROAD TOWER**

6333 Cooney Road  
Richmond, British Columbia

Scale: 1:100  
Drawn: DS  
Reviewed: DS  
Project No. 06-581

**LANDSCAPE PLANTING  
ROOF LEVEL**

**L2.3**

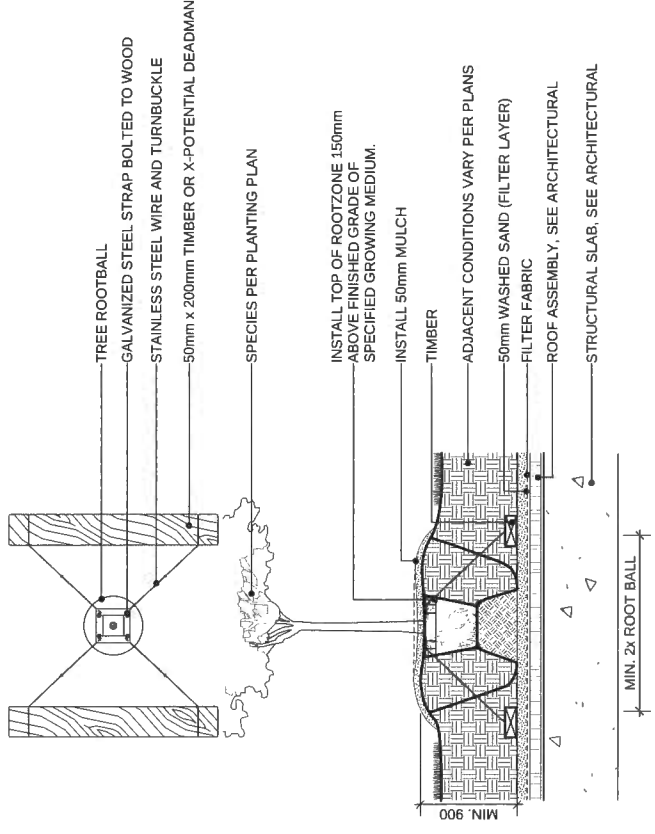


COONEY ROAD

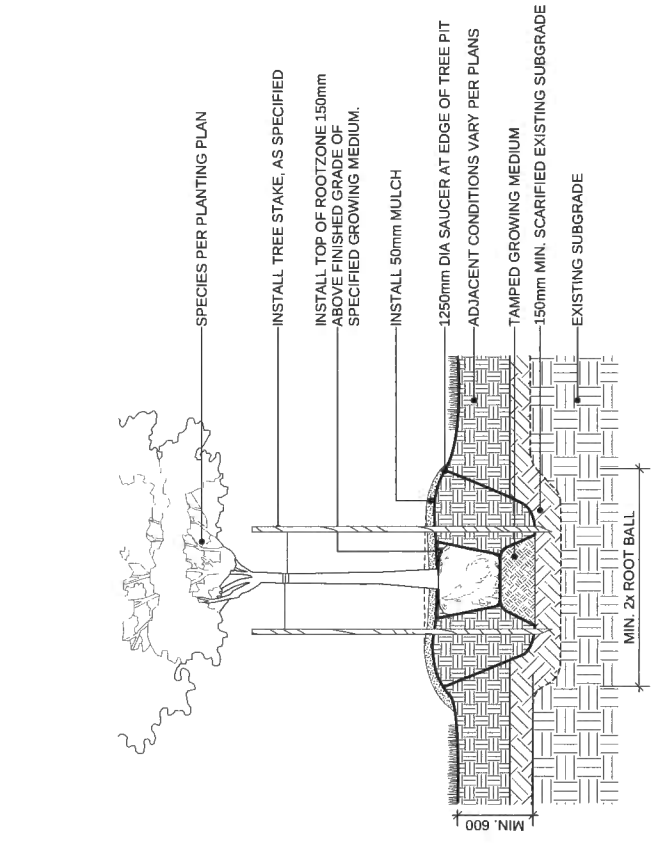
NOTE: SEE SHEET L2.0 FOR PLANT LIST

CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES AND / OR CONCEALED STRUCTURES AT THE PROJECT SITE.

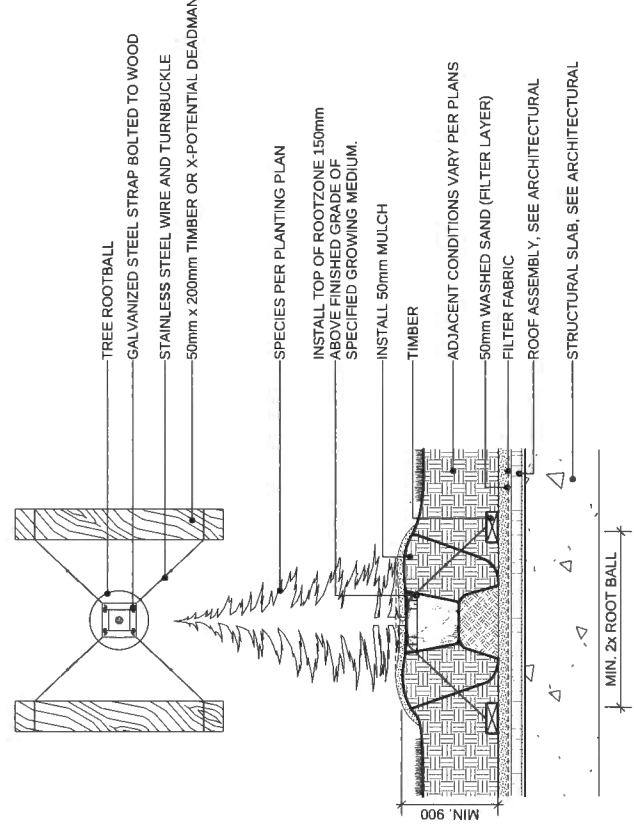
THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND / OR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.



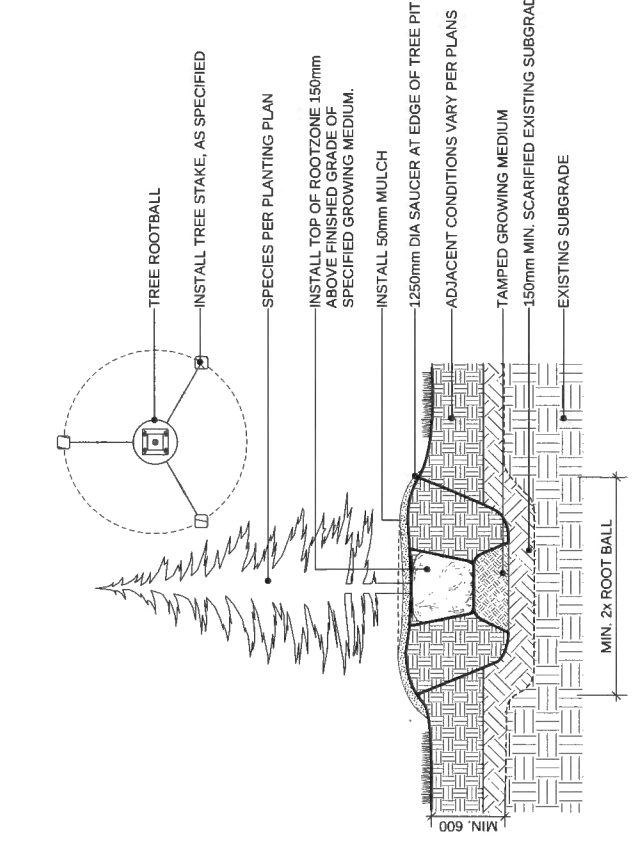
**2** DECIDUOUS TREE PLANTING ON SLAB (TYPICAL)  
Scale: 1:25



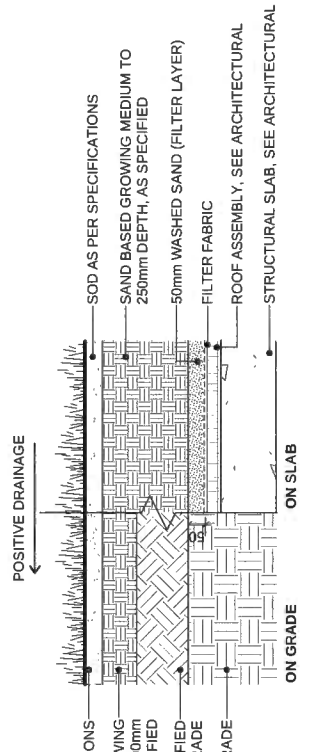
**1** DECIDUOUS TREE PLANTING ON GRADE (TYPICAL)  
Scale: 1:20



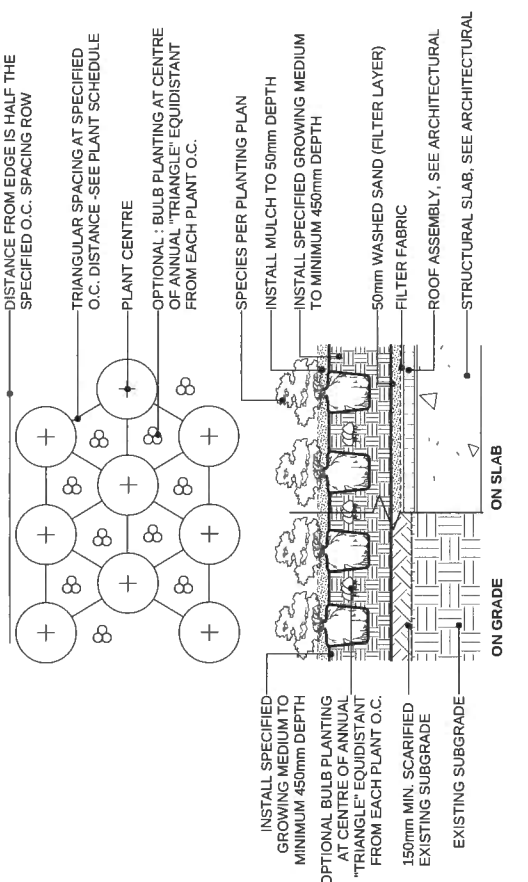
**5** CONIFEROUS TREE PLANTING ON SLAB (TYPICAL)  
Scale: 1:25



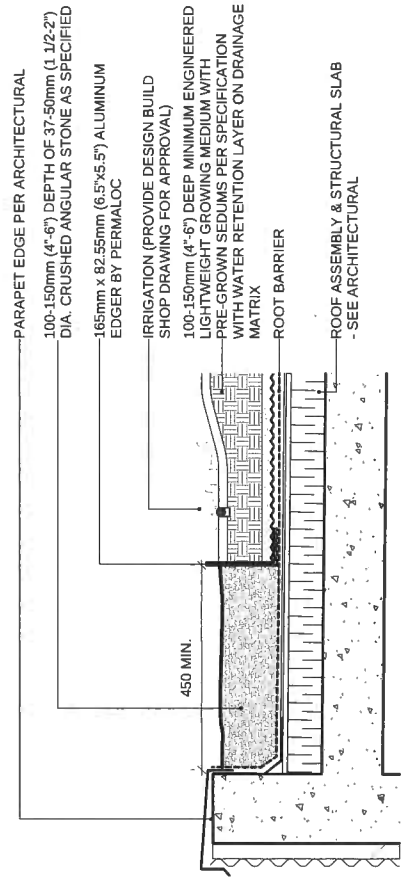
**4** CONIFEROUS TREE PLANTING ON GRADE (TYPICAL)  
Scale: 1:20



**7** SOD LAWN (TYPICAL)  
Scale: 1:10

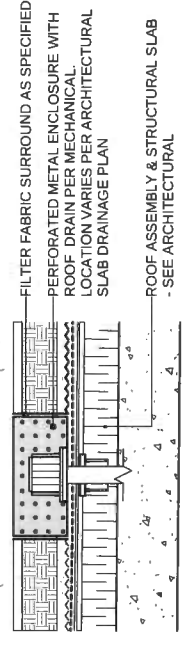


**3** SHRUB AND GROUNDCOVER PLANTING (TYPICAL)  
Scale: 1:25



**6A** EXTENSIVE PLANTING  
Scale: 1:10

NOTES:  
1. PRE-GROWN SEDUM TILES: ETERA - TUFF STUFF(677,684,7613) OR APPROVED ALTERNATE  
2. EXTENSIVE COLUMBIA GREEN SYSTEM/MAT: INCLUDES WATER RETENTION FILTRATION & DRAINAGE MATRIX LAYERS, OR APPROVED ALTERNATE.  
3. ROOT BARRIER: SOLENA SUPREMA MICROFAB, OR APPROVED ALTERNATE.



**6B** EXTENSIVE PLANTING DRAIN - LEVEL 3, 4 & 13  
Scale: 1:10

7	RE- ISSUED FOR CITY COMMENTS
6	RE- ISSUED FOR DP APPLICATION
5	ISSUED FOR PRIOR- TO RESPON
4	RE- ISSUED FOR DP APPLICATION
3	RE- ISSUED FOR DP APPLICATION
2	ISSUED FOR DP APPLICATION
1	ISSUED FOR CLIENT REVIEW
REVISIONS	

19-11-06

DP 17-791045  
Nov 20, 2019  
Plan 36

PROPOSED RESIDENTIAL DEVELOPMENT

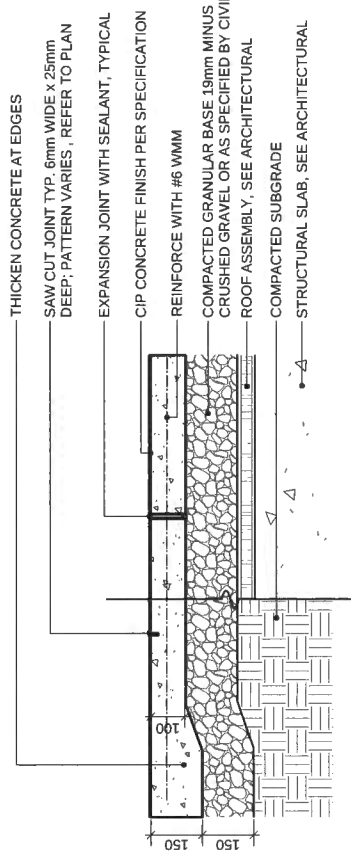
Port Moody, British Columbia  
Scale: AS SHOWN  
Drawn: KD/DS  
Reviewed: DS  
Project No. 06-581

LANDSCAPE DETAILS  
SOFTSCAPE

CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES AND / OR CONCEALED STRUCTURES AT THE PROJECT SITE.

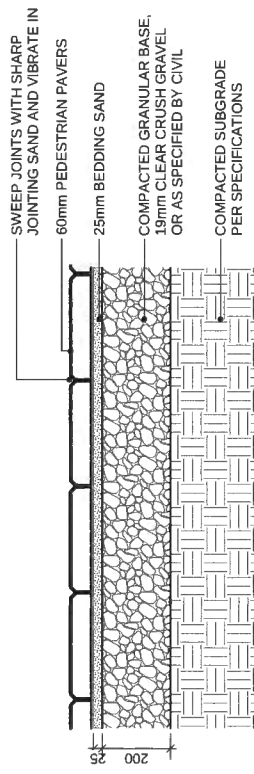
THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND / OR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

- CIP CONCRETE PAVING NOTES:**
1. SANDBLAST FINISH
  2. SEE LAYOUT PLAN FOR SAWCUT JOINT PATTERN AND BAND WIDTH
  3. EXP. JOINTS @ 6M O.C. MAX (PLUMB, STRAIGHT AND SQUARE) (AT CHANGES IN MATERIALS, FURNISHINGS, CURB EDGES - SPACING TO COINCIDE WITH PATTERN)
  4. CONTROL JOINTS @ 1.5M O.C. (50") O.C. MAX (PLUMB, STRAIGHT AND SQUARE)
  5. FINAL LOCATION FOR JOINTS AND SAW CUTS TO BE CONFIRMED ON SITE WITH LANDSCAPE ARCHITECT
  6. REFER TO CIVIL PLANS FOR VEHICULAR CONCRETE PAVING
  7. FOR ALL HC ACCESSIBLE ROUTES ENSURE SAW CUT JOINTS RATHER THAN CONVEX TOOLED JOINTS.
  8. ALL OFF-SITE WORKS TO MEET CITY STANDARDS AND SPECIFICATIONS



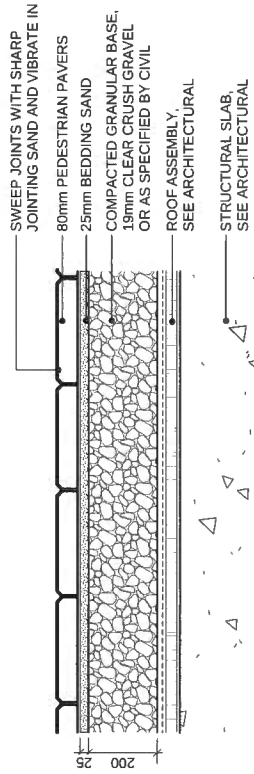
- NOTES:**
1. EXPANSION JOINTS 6m O.C. MAX. CONTROL JOINTS @ 1.5m O.C. ADJUST TO SUIT SITE LAYOUT PLAN.
  2. ALL SCORELINES TO BE APPROVED BY LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLATION.

**1 CIP CONCRETE ON GRADE / ON SLAB (TYPICAL)**  
Scale: 1:10



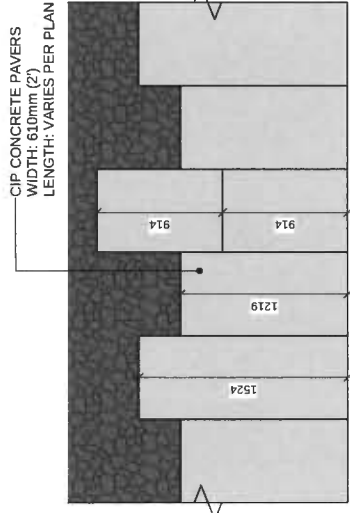
- NOTE:**  
USE CONCRETE HIDDEN EDGE RESTRAINT WHEN PAVERS ARE NOT ADJACENT TO A SOLID EDGE CONDITION.

**2 PEDESTRIAN UNIT PAVERS ON GRADE (TYPICAL)**  
Scale: 1:10

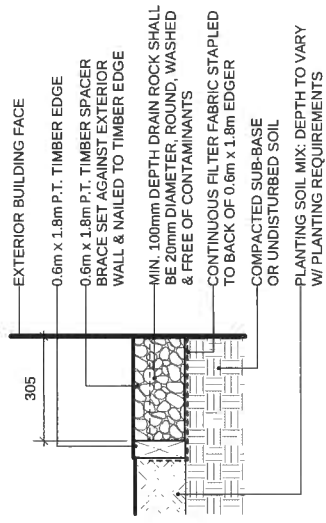


- NOTE:**  
USE CONCRETE HIDDEN EDGE RESTRAINT WHEN PAVERS ARE NOT ADJACENT TO A SOLID EDGE CONDITION.

**3 PEDESTRIAN UNIT PAVERS ON SLAB (TYPICAL)**  
Scale: 1:10

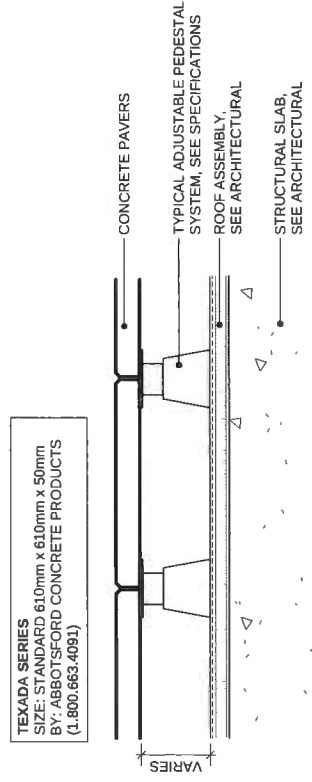


**LEVEL 4 CONCRETE PAVERS**



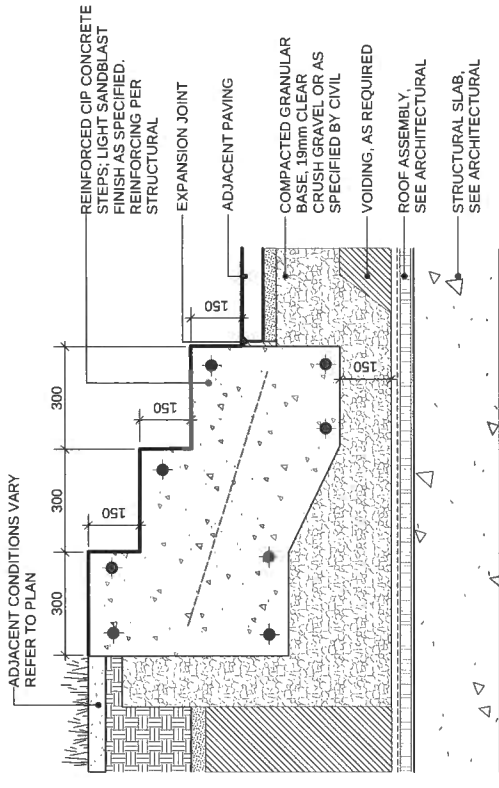
- NOTE:** ALL LUMBER SIZES ARE SHOWN AS NOMINAL

**4 GRAVEL DRAIN STRIP - ON GRADE**  
Scale: 1:10



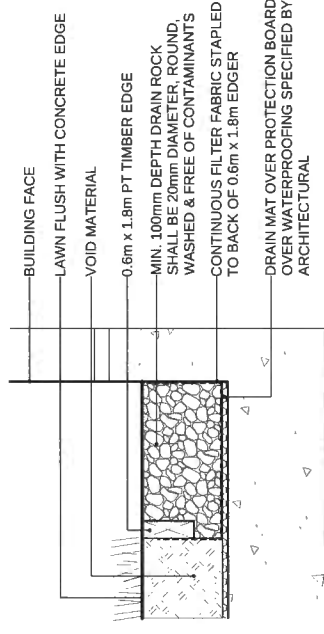
- NOTE:**  
USE CONCRETE HIDDEN EDGE RESTRAINT WHEN PAVERS ARE NOT ADJACENT TO A SOLID EDGE CONDITION.

**5 HYDRAPRESSED CONCRETE PAVERS ON PEDESTALS**  
Scale: 1:10

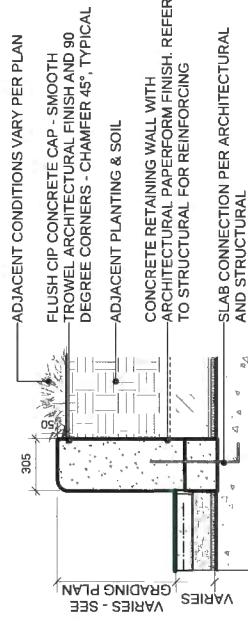


- NOTE:**  
BOTTOM OF STAIR GRADES VARY, REFER TO GRADING PLAN FOR HEIGHTS.

**6 CIP CONCRETE STEPS**  
Scale: 1:10



**7 GRAVEL DRAIN STRIP - ON SLAB**  
Scale: 1:10



- NOTE:**  
1. GUARDRAIL REQUIRED FOR ALL WALLS ABOVE 610mm (2').

**8 CIP CONCRETE RETAINING WALL (ON SLAB)**  
Scale: 1:20

REVISIONS	DATE
1. ISSUED FOR CLIENT REVIEW	10.11.20
2. ISSUED FOR DP APPLICATION	
3. RE-ISSUED FOR DP APPLICATION	
4. RE-ISSUED FOR DP APPLICATION	
5. ISSUED FOR PRIOR-TO RESPON	
6. RE-ISSUED FOR DP APPLICATION	
7. RE-ISSUED FOR CITY COMMENTS	

Plan 37

DP 17-791045  
Nov 20, 2019

**PROPOSED RESIDENTIAL DEVELOPMENT**

Port Moody, British Columbia

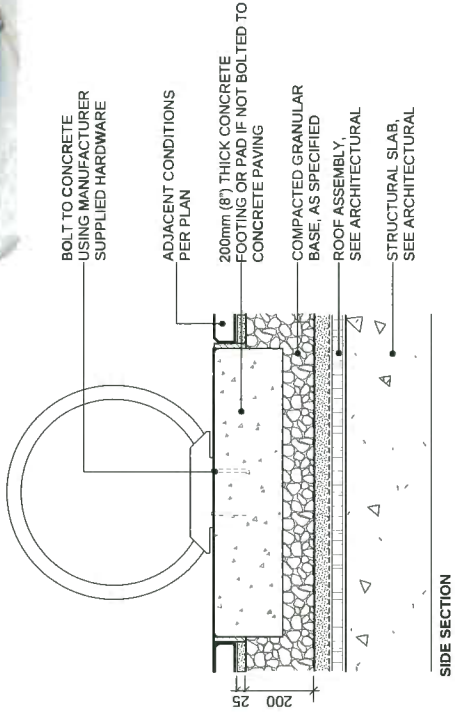
Scale:	As Shown
Drawn:	KD/DS
Reviewed:	DS
Project No.	06-581

**LANDSCAPE DETAILS HARDSCAPE**

CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES AND/OR CONCEALED STRUCTURES AT THE PROJECT SITE. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND/OR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.



MODEL: MBR350 - 5 BIKE RACK  
FINISH: STANDARD POWDERCOATED SILVER 14  
BY: MAGLIN SITE FURNISHINGS  
(1.800.716.5506)



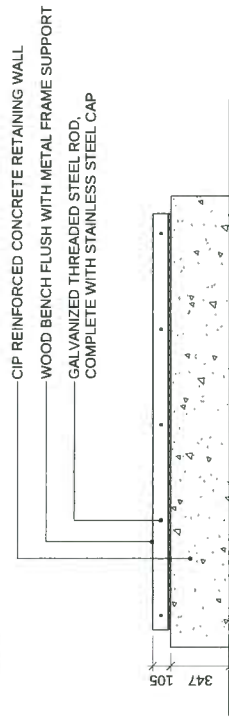
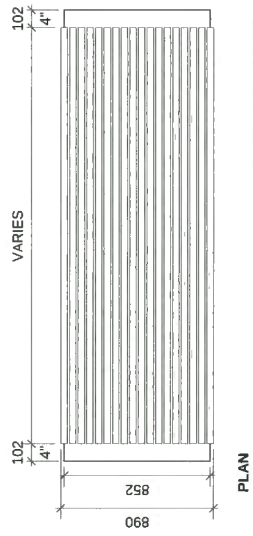
**2 BIKE RACK**  
Scale: 1:10



CUSTOM SELECTED BASALT COLUMN BENCHES



PRECEDENT



**1 CUSTOM CIP CONCRETE BENCH WITH WOOD TOP**  
Scale: 1:20



MODEL: HARVEST GROVE BBQ GRILL AND COUNTER KIT  
FINISH: CHARCOAL BLOCK AND POLISHED GRANULAR COUNTER FINISH  
BY: BARKMAN CONCRETE  
778.689.7670

REVISIONS
7 RE-ISSUED FOR CITY COMMENTS
6 RE-ISSUED FOR DP APPLICATION
5 ISSUED FOR PRIOR-TO RESPONSE
4 RE-ISSUED FOR DP APPLICATION
3 RE-ISSUED FOR DP APPLICATION
2 ISSUED FOR DP APPLICATION
1 ISSUED FOR CLIENT REVIEW

DP 17-791045  
Nov 20, 2019  
Plan 38

PROPOSED RESIDENTIAL DEVELOPMENT

Port Moody, British Columbia  
Scale: As Shown  
Drawn: KD/DS  
Reviewed: DS  
Project No. 06-581

LANDSCAPE DETAILS  
FURNISHINGS

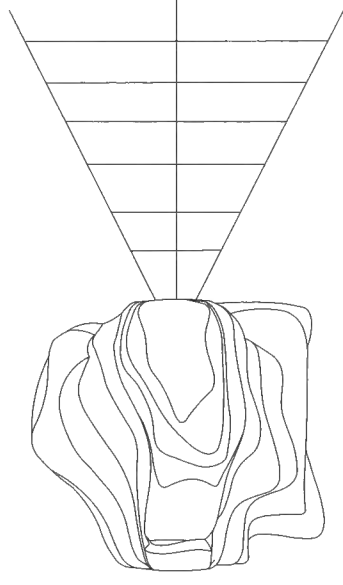
CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES AND/OR CONCEALED STRUCTURES AT THE PROJECT SITE.

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**A:**



**B:**



FALL ZONE AS REQUIRED

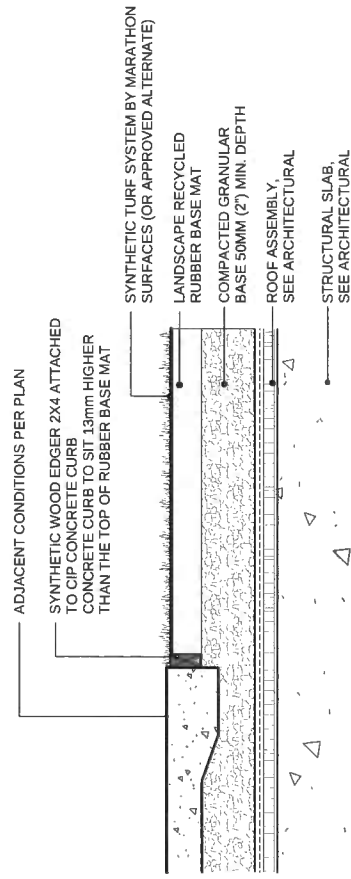
**ADVENTUREScape DESIGN #4 (168367)**

**A:** LOG CRAWL TUNNEL (173594)  
**B:** THE POINTE (166365) WITH OUTRIGGER FINISH & COLOUR: TBD BY BOLD BY: LANDSCAPE STRUCTURES (1.800.328.0035)



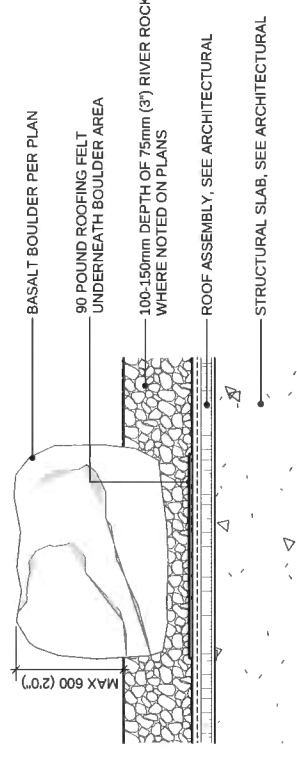
**1 PLAY EQUIPMENT**

Scale: 1:25



**2 TURF SURFACING**

Scale: 1:10



**3 BASALT BOULDER**

Scale: 1:10

- 7 RE-ISSUED FOR CITY COMMENTS  
6 RE-ISSUED FOR DP APPLICATION  
5 ISSUED FOR PRIOR-TO RESPONSE  
4 RE-ISSUED FOR DP APPLICATION  
3 RE-ISSUED FOR DP APPLICATION  
2 ISSUED FOR DP APPLICATION  
1 ISSUED FOR CLIENT REVIEW

**REVISIONS**

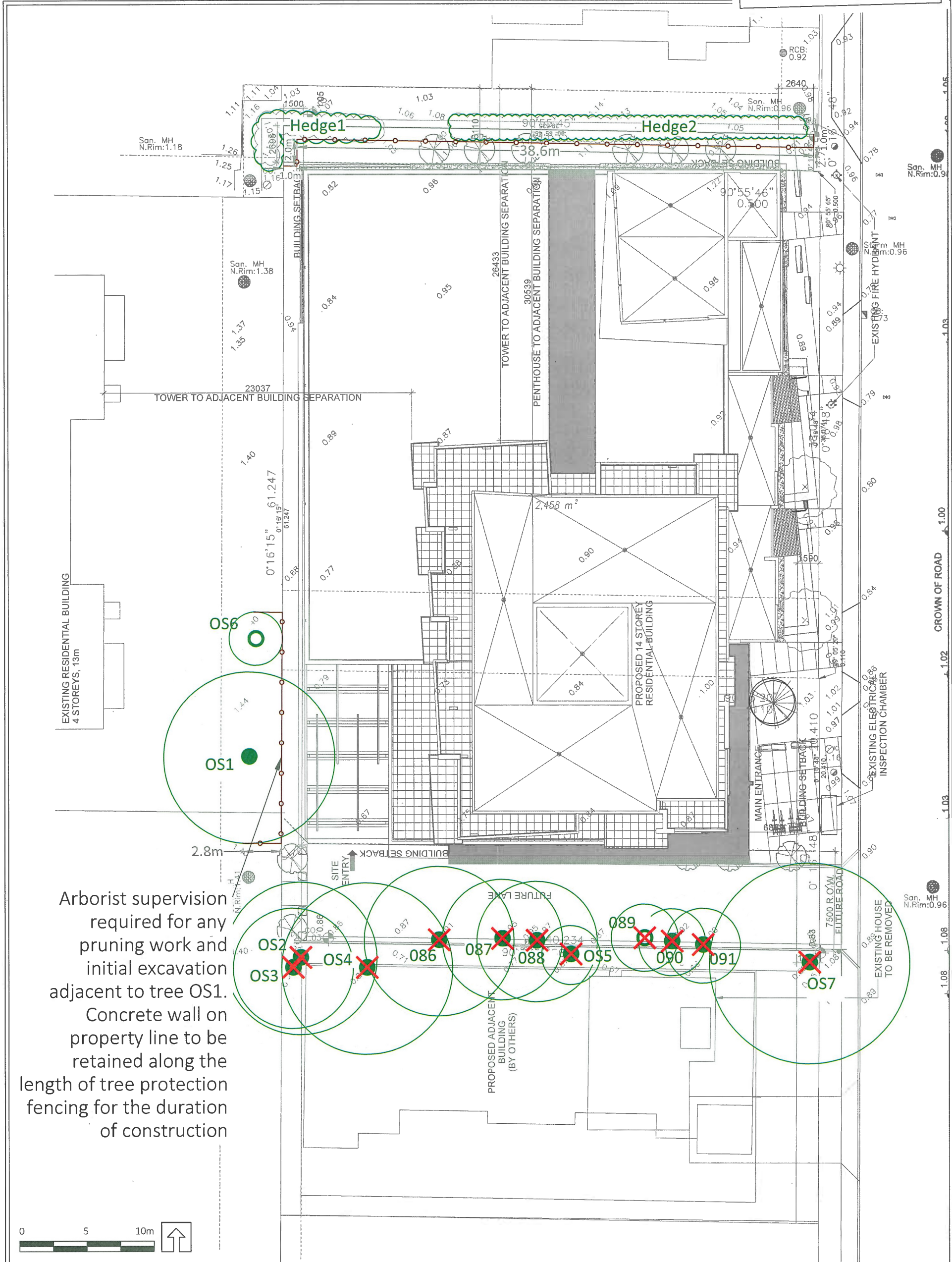
DP 17-791045  
Nov 20, 2019  
Plan 39

**PROPOSED RESIDENTIAL DEVELOPMENT**

Port Moody, British Columbia

Scale: As Shown  
Drawn: KD/DS  
Reviewed: DS  
Project No. 06-581

**LANDSCAPE DETAILS PLAY AREA**



Arborist supervision required for any pruning work and initial excavation adjacent to tree OS1. Concrete wall on property line to be retained along the length of tree protection fencing for the duration of construction



<b>LEGEND</b>	CRITICAL ROOT ZONE	TREE TO BE REMOVED	<b>REFERENCE DRAWINGS</b>
	TREE TO BE RETAINED	UN-SURVEYED TREE	1. Base Survey by: J. C. Tam Associates, Richmond, BC
	NO-BUILD ZONE	TREE TO BE REMOVED	
	TREE PROTECTION ZONE AND FENCE		

<b>NOTES</b>	<ol style="list-style-type: none"> <li>The location of un-surveyed trees on this plan is approximate. Their location and ownership cannot be confirmed without being surveyed by a Registered BC Land Surveyor.</li> <li>All tree protection fencing must be built to the relevant municipal bylaw specifications. The dimensions shown are from the outer edge of the stem of the tree.</li> <li>The tree protection zone shown is a graphical representation of the critical root zone, measured from the outer edge of the stem of the tree. (If the tree's diameter was added to the graphical tree protection circles to accommodate the survey point being in the center of the tree)</li> <li>Any construction activities or grade changes within the Root Protection Zone must be approved by the project arborist.</li> <li>This plan is based on a topographic and tree location survey provided by the owners' Registered British Columbia Land Surveyor (BCLS) and layout drawings provide by the owners' Engineer (P Eng).</li> <li>This plan is provided for context only, and is not certified as to the accuracy of the location of features or dimensions that are shown on this plan. Please refer to the original survey plan and engineering plans.</li> </ol>
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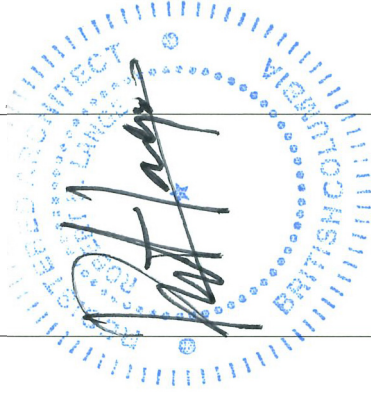




**CONSULTANT INFORMATION**  
 C&S CONSULTANTS ARCHITECTURE  
 6333 COONEY ROAD  
 RICHMOND, BC V6X 4E6  
 TEL: 604-273-8888  
 WWW.CSARCHITECTURE.COM

**NOT FOR CONSTRUCTION**

**PROJECT INFORMATION**  
**COONEY ROAD TOWER**  
 6333 COONEY ROAD  
 RICHMOND, BC



This drawing is a preliminary design. It is not to be used for construction. All dimensions, materials and quantities are approximate. The contractor shall verify all dimensions and quantities on site. The contractor shall be responsible for obtaining all necessary permits and approvals. The contractor shall be responsible for obtaining all necessary permits and approvals. The contractor shall be responsible for obtaining all necessary permits and approvals.

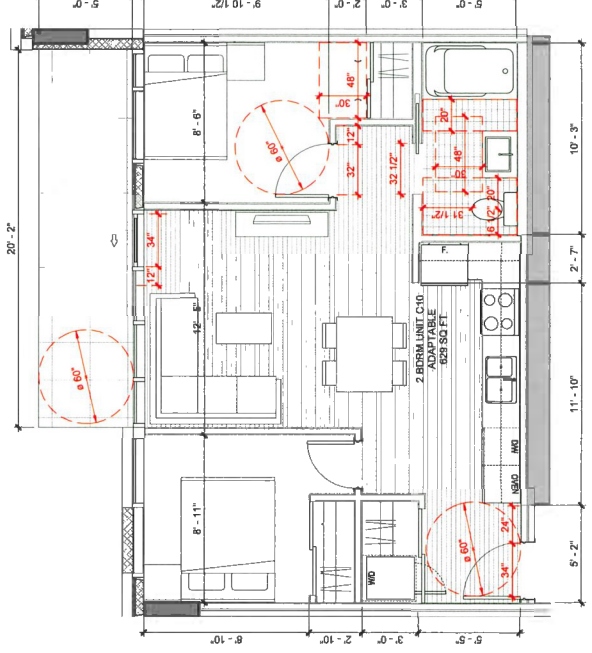
**ISSUED**  
 DP RESUBMISSION 2018-10-31  
 DP RESUBMISSION 2018-11-08

**SCALE**  
 1/4" = 1'-0"  
 11/16/2018 4:23:00 PM  
 DRAWN BY: JH  
 CHECKED BY: SH  
 PROJECT NO: 219771

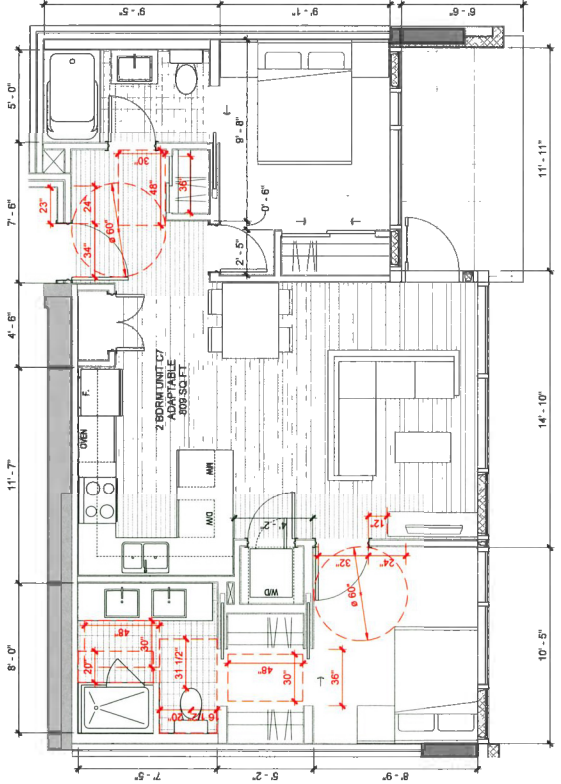
**DRAWING TITLE**  
 ENLARGED PLANS - ADAPTABLE UNITS

**DP20-16-00**

DP 17-791045 Reference Plan  
 Nov 20, 2019



**2** 2 BDRM UNIT C10 ADAPTABLE - LEVEL 4-13  
 DP30-01-00 SCALE: 1/4" = 1'-0"



**1** 2 BDRM UNIT C7 ADAPTABLE - LEVEL 4-13  
 DP30-01-00 SCALE: 1/4" = 1'-0"

PROJECT NO. 219171  
DRAWING NO. DP00-04-00

SCALE: 1/16" = 1'-0"  
DATE: 2019-08-28

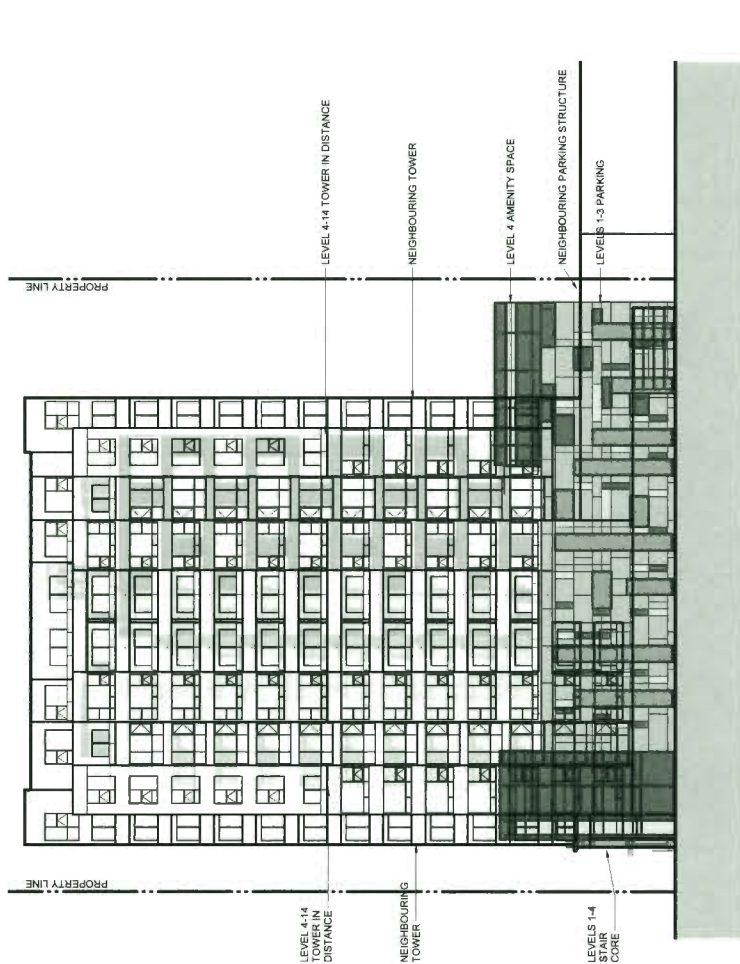
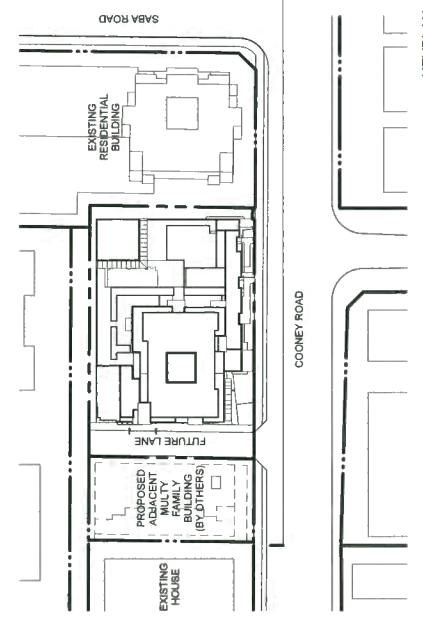
ISSUED	DATE
DEVELOPMENT PERMIT	2017-11-03
DP SUBMISSION	2018-05-28
RE-SUBMISSION	2018-05-28
ADP SUBMISSION	2018-02-01
DP RE-SUBMISSION	2018-10-31
DP RE-SUBMISSION	2019-11-08

Approved Architect  
REGISTERED ARCHITECT  
BRITISH COLUMBIA  
K. K. LANGE

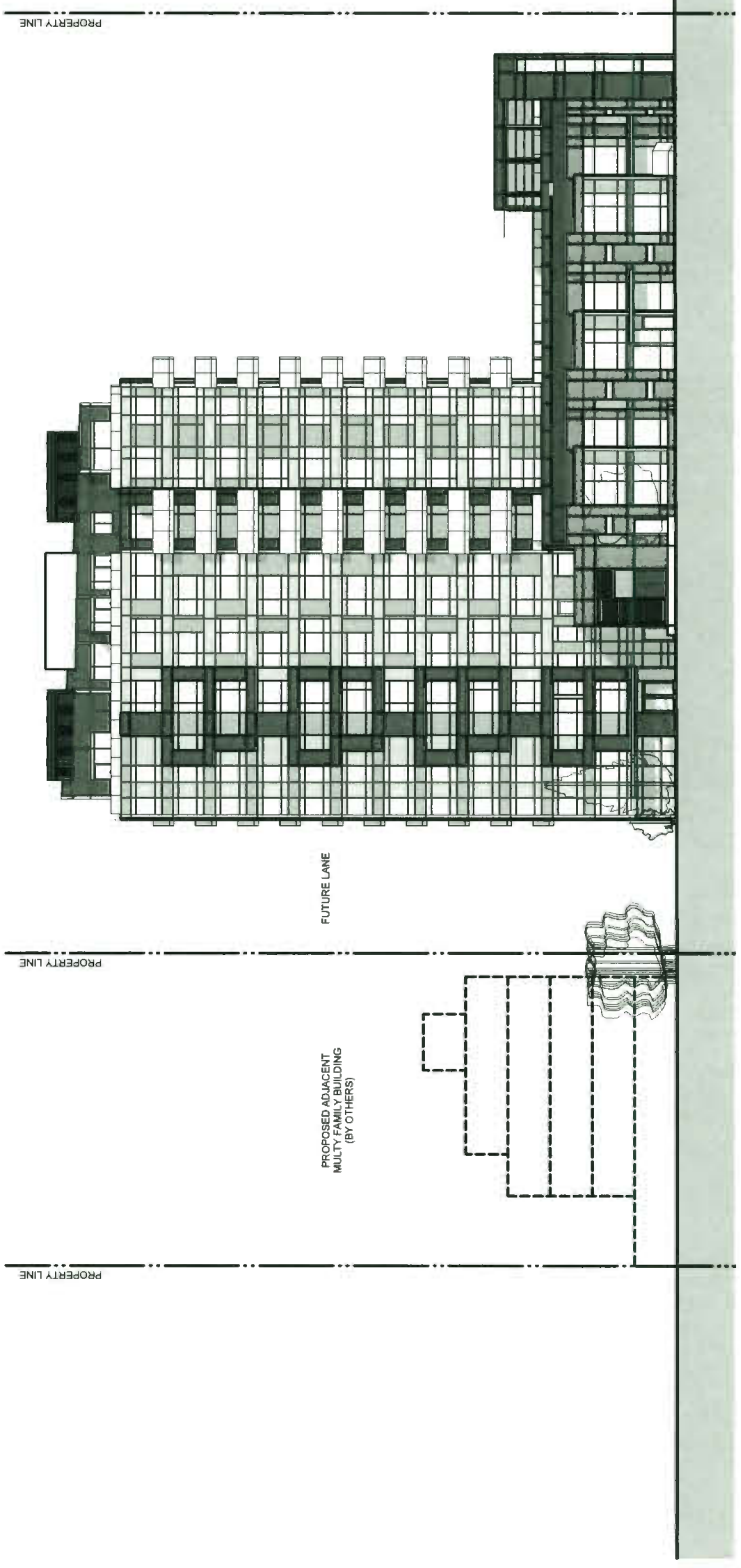
6333 COONEY ROAD  
RICHMOND, BC

NOT FOR  
CONSTRUCTION

CONSULTANT INFORMATION  
S2 architecture

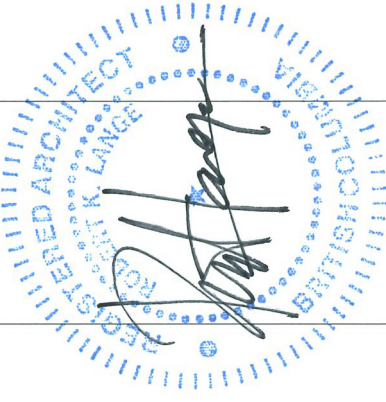


3 NORTH ELEVATION WITH MIRRORED ELEVATION OF NEIGHBOURING TOWER  
SCALE: 1/16" = 1'-0"



1 COONEY ROAD STREETSCAPE  
SCALE: 1/16" = 1'-0"

DP00-04-00



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The Contract Documents, Drawings and Specifications are incorporated by reference into this contract. These drawings are to be read in conjunction with the Contract Documents. The architect is not responsible for any errors or omissions in the drawings or specifications, or for any consequences arising therefrom, whether or not such errors or omissions are caused in whole or in part by negligence.

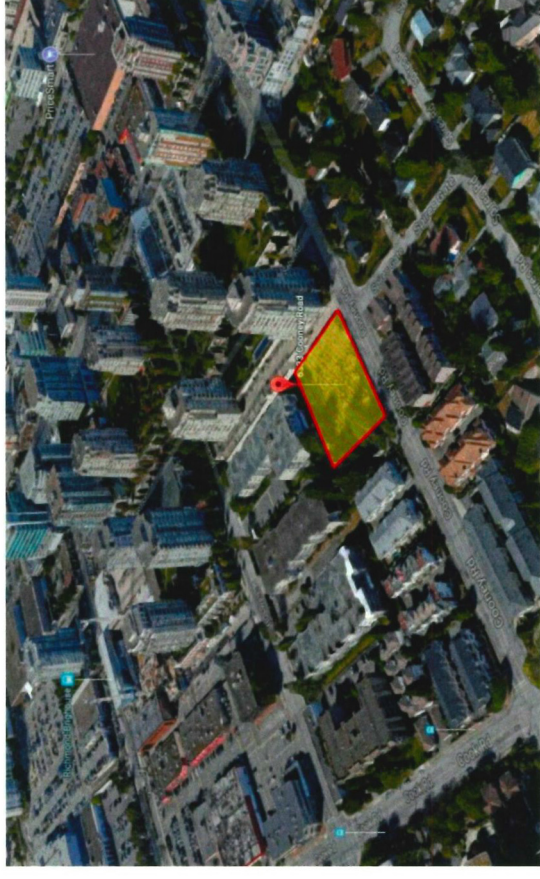
ISSUED	DATE
DEVELOPMENT PERMIT	2017-11-03
DP APPLICATION	2018-09-28
RE SUBMISSION	2018-09-28
APP SUBMISSION	2018-02-01
DP SUBMISSION	2018-10-31
DP REVISION	2019-11-08

SCALE: 1/8" = 1'-0"  
 DATE: 11/14/2019 4:52:55 PM  
 DRAWN BY: SH  
 CHECKED BY: SH  
 PROJECT NO.: 219171  
 DRAWING TITLE: CONTEXT PLAN

PROJECT LEGACY

This project had previously received both an approved Development Permit and Building Permit in 2012, which has now lapsed. The previous iteration of the project consisted of a 1/4 storey tower with live-work units along Cooney Road with a stepped above-grade parkade. The original project was designed with the single family house to the south as being developed by a third party entity as a stand-alone 4 storey multi-family residential building.

The intent of this formal application is to apply for a Development Permit based on a new design both in terms of massing, orientation, and unit-mix / program. Furthermore, this application seeks to fully comply with the requirements set forth in The City's site-specific Zoning Bylaw, being High Rise Apartment (ZHRB) - Brightness Village (City Centre) [Bylaw 8738 Apr 10/12].



URBAN CONTEXT

The 6333 Cooney project site is located within the Brightness Village Area within the City Centre of The City of Richmond, British Columbia. The site is located 2 civic blocks to the east of the Richmond Brightness Skytrain Station and Richmond Centre Mall, and 1 civic block away from the Richmond Public Market to the North.

The immediate context consists of a 14 storey residential tower to the north, and two 4-storey walk-up apartments to the west. To the east of the site is the Spines Gate single family neighbourhood which is currently being planned for possible redevelopment. Directly south of the site is a single family house that is being considered for redevelopment.

The project site is 164'-0" x 132'-0" and will require a 24'-6" right-of-way along the south property line for a road dedication. This right-of-way could also be anticipated to include a green / walkway from the Spines Gate neighbourhood.



AERIAL / LOCATION VIEW FROM GOOGLE MAPS

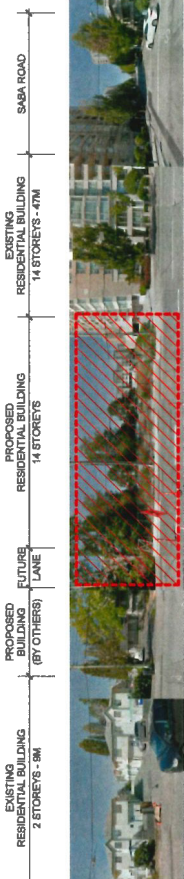


COONEY STREETSCAPE NORTH



COONEY STREETSCAPE SOUTH

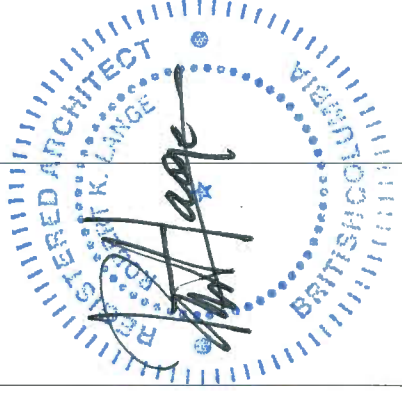
3-DIMENSIONAL AERIAL / LOCATION VIEW FROM GOOGLE MAPS





**CONSULTANT INFORMATION**  
 S2  
 CONSULTANT LANDSCAPE ARCHITECTURE  
 1000 WEST 10TH AVENUE  
 VANCOUVER, BC V6H 1A5  
 TEL: 604-681-2222  
 WWW.S2ARCHITECTURE.COM

**NOT FOR CONSTRUCTION**  
**PROJECT INFORMATION**  
**COONEY ROAD TOWER**  
 6333 COONEY ROAD  
 RICHMOND, BC



The drawings are prepared for the purpose of providing information only. They are not to be used for construction. The drawings are prepared for the purpose of providing information only. They are not to be used for construction. The drawings are prepared for the purpose of providing information only. They are not to be used for construction.

ISSUED	DATE
DEVELOPMENT PERMIT	2017-11-03
APPLICATION	2018-05-08
RE-SUBMISSION	2018-02-01
DP RESUBMISSION	2018-11-08

**SCALE** 1/16"=1'-0" (AS SHOWN)  
**DRAWN BY** JH  
**CHECKED BY** SH  
**PROJECT NO.** 219771

**DRAWING TITLE**  
 SHADOW STUDIES

**DRAWING NO.**  
 DP00-03-00

DP 17-791045 Reference Plan  
 Nov 20, 2019



MARCH 21 - 16:00



JUNE 21 - 16:00



SEPTEMBER 21 - 16:00



DECEMBER 21 - 16:00



MARCH 21 - 14:00



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