



**To:** Development Permit Panel

**Date:** January 26, 2018

**From:** Wayne Craig  
Director, Development

**File:** DP 16-721500

**Re:** **Application by Western-Citimark River Front Townhouse Project Ltd. for a  
Development Permit at 10311 River Drive**

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### Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of 86 townhouse units and a two-storey mixed-use building with amenity space and a child care facility at 10311 River Drive on a site zoned "Residential Mixed Use Commercial (ZMU17) – River Drive/No. 4 Road (Bridgeport)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to reduce the required West Side Yard from 6.0 m to 4.5 m.

  
Wayne Craig  
Director, Development  
(604-247-4625)

SB:blg  
Att. 4

## Staff Report

### Origin

Western-Citimark River Front Townhouse Project Ltd. has applied to the City of Richmond for permission to develop 86 townhouse units and a two-storey mixed-use building with amenity space and a City-owned child care facility at 10311 River Drive on a site zoned “Residential Mixed Use Commercial (ZMU17) – River Drive/No. 4 Road (Bridgeport)”. The site is currently vacant.

### Development Information

Please refer to the attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant bylaw requirements.

### Background

In October, 2011, Council approved the rezoning application (RZ 07-380169) for a multi-phase Parc Riviera development (Attachment 2) on the properties at 10011, 10111, 10197, 10199, 10311 and 10333 River Drive. The rezoning also included park land dedication and park development on the current City-owned properties at 9991 and 10211 River Drive. Subsequent to the rezoning, Council approved two Zoning Text Amendment applications regarding the overall Parc Riviera development. In November, 2013, Council approved the Zoning Text Amendment application (ZT 12-611282) to provide funding towards the City’s capital Affordable Housing Reserve in lieu of building affordable housing units on-site. In September, 2015, Council approved the Zoning Text Amendment application (ZT 15-691748) to clarify the density allocation and allow for the subdivision of the subject site at 10311 River Drive and adjacent 10333 River Drive.

Community amenities secured through the rezoning are being implemented in phases. Further details are provided in the “Analysis” section below.

Improvements to dikes, trails, roads, public transit and servicing infrastructure secured through the rezoning are also being implemented through Servicing Agreements in phases. The City park, frontage improvements and Dike upgrades between No. 4 Road and McLennan Avenue were constructed through Servicing Agreements as part of Phase 1. As a condition of the subject Phase 3 and Phase 4 to the east, the developer is required to enter into a Servicing Agreement for the design and construction of the adjacent park, frontage improvements, infrastructure improvements and Dike upgrades between McLennan Avenue and Shell Road, as well as traffic signal improvements at the Bridgeport Road and McLennan Road and Shell Road intersections and two bus shelters along Bridgeport Road. The required Servicing Agreement includes a public pedestrian walkway from the dike walkway to River Drive along the east edge of the site, complete with a pedestrian crossing. A 3 m wide utilities SRW registered on Title (CA4664641 & CA4664642) as part of the Zoning Text amendment application ZT 15-691748 is no longer required and will be discharged from Title.

Individual Development Permits for the overall project are being considered in phases:

- In July, 2012, a Development Permit for the first phase of the project was approved for 10011, 10111, 10197 River Drive and a portion of 10199 River Drive (DP 11-564405). This first phase includes townhouse buildings, apartment buildings, a mixed-use building, and an amenity building for the use of residents in the second phase as well.
- The application for the second phase including townhouses buildings at 10199 River Drive (DP 15-694616), was endorsed by Development Permit Panel on May 24, 2017, and the developer is in the process of completing the associated Development Permit considerations.
- The subject application is for the third phase of the overall development (DP 16-721500).
- A Development Permit application has been submitted and is in the process of being reviewed for the remaining phase of the overall development, located at 10333 River Drive (DP 16-747620).

Development surrounding the subject site is as follows:

To the North and West: City park and City dike along the North Arm of the Fraser River, which are being developed as part of the overall Parc Riviera development.

To the East: The fourth phase of the overall Parc Riviera development, also zoned “Residential Mixed Use Commercial (ZMU17) – River Drive/No. 4 Road (Bridgeport)”.

To the South: Across River Drive, are single detached homes on lots zoned “Single Detached (RS1/B, RS1/C and RS1/D)”.

### **Advisory Design Panel Comments**

The Advisory Design Panel (ADP) was supportive of the proposal, subject to the applicant giving consideration to comments provided by the Panel. An annotated excerpt of the Advisory Design Panel Minutes from December 22, 2016 is attached for reference (Attachment 2). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in ‘*bold italics*’.

### **Staff Comments**

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the “Residential Mixed Use Commercial (ZMU17) – River Drive/No. 4 Road (Bridgeport)” zone except for the zoning variance noted below.

### **Zoning Compliance/Variations (staff comments in bold)**

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) Reduce the required West Side Yard from 6.0 m to 4.5 m.

*(Staff supports the proposed variance, as the site is adjacent to a City Park and the design accommodates passive overlook into the neighbouring City park. The reduced west side yard does not present a privacy adjacency issue as it abuts a City park and does not abut a*

*residential property. The proposed interface with the neighbouring City park includes outdoor semi-private yard area with areas of pavers and lawn, tree planting and low 1 m height fencing. The variance request is limited to the west side yard only as the design proposal provides the required east side yard setback, including a public pedestrian walkway connection from River Drive to the Dike walkway. As a similar variance is included in the Phase 2 development on the west side of the park, the proposal would result in a consistent park interface.)*

## **Analysis**

### ***Conditions of Adjacency***

- The development site is adjacent to River Drive to the South, the City's Tait neighbourhood waterfront park to the West, the City's dike to the North, and the Parc Riviera future phase 4 site to the East.
- The development site includes an Environmentally Sensitive Area (ESA) designation along the north edge of the site, abutting the City's dike. The proposal for an ESA modified enhancement area is further detailed later in this report.
- Two to four-storey building massing is proposed, although the three four-storey buildings located along the north edge of the site will have a lower apparent three-storey height when viewed from the City dike walkway as a result of the dike's raised grade.
- Fronting River Drive, three-storey townhouse units and a two-storey mixed use building with amenity space over a child care facility at grade are proposed. The townhouse buildings are designed with more contemporary character with large windows and uplifted bay roof elements. The mixed use building is designed with a more traditional form and character to provide a transition between the subject proposal and the single-family homes on the south side of River Drive.
- Adjacent to the City park to the west, three-storey townhouse units and the two-storey mixed use building are proposed. One townhouse building, along with back yards with paver and lawn areas, tree planting and low 1 m height fencing are proposed. Although it is a three-storey building, it will appear to have a lower two-storey building height as seen from the park and dike walkway due to the raised rear yard interface with the higher proposed City park grades. The mixed use building, child care outdoor play area and required fencing are also proposed.
- Along the east edge of the site a 3 m wide Statutory Right-of-Way (SRW) with interim public walkway is proposed and in the future is to be widened out to ultimate 6 m SRW width with the future Phase 4 development to the east. Individual front yards and entries of a three-storey townhouse building interface with the walkway, as well as planted ESA modified enhancement area extending from the dike walkway and the landscaped side yard of a three-storey townhouse building that fronts onto River Drive.
- Along the north edge of the site a proposed ESA modified enhancement area, townhouse decks and pedestrian connections provide the interface to the adjacent City dike and walkway to the north and also interface with the proposed public walkway to the east. The three four-storey buildings will appear to have lower three-storey building height as seen from the dike walkway due to the raised grade interface with the higher dike.



***Urban Design and Site Planning***

- The proposal consists of one two-storey mixed use building, eleven three-storey buildings with four to eight units each, and three four-storey buildings with five to eight units each. Eight units will have direct access to a public walkway, 13 units will have direct access from the street, 26 units will have access from the two pedestrian mews, and 39 units will have access from the internal drive aisles.
- An attractive pedestrian-oriented streetscape is provided along River Drive with four and five-unit buildings, as well as a two-storey mixed use building, a pedestrian path into the site, and a wider public walkway connection at the east edge of the site from River Drive to the dike walkway which will be widened with future development. The pedestrian path is proposed to include bollard lighting and wayfinding signage.
- The proposed public pedestrian walkway is one of the many public accesses that will be provided in the overall Parc Riviera development between No. 4 Road and Shell Road. These public pedestrian accesses provide site permeability and waterfront access for the larger Tait residential neighbourhood. In order to secure the public pedestrian walkway, the Development Permit considerations include granting of a 3 m wide Public Right-of-Passage (PROP) Statutory Right-of-Way (SRW) over the pedestrian walkway along the east edge of the site and entering into a Servicing Agreement for the design and construction of a 3 m wide paved path, wayfinding signage, and River Drive pedestrian crossing.
- The subject site is adjacent to the City's dike and in order to address the potential dike raising in the future, the Development Permit considerations include registration of a 7.3 m wide Dike Statutory Right-of-Way (SRW) along the entire north property line of the site.
- One vehicle access is proposed from River Drive, in accordance with the master plan approved through the rezoning for the overall Parc Riviera development.
- All units have two vehicle parking spaces. 58 units have side-by-side double car garages and 28 units have tandem garages (33% of the townhouse units). A legal agreement prohibiting the conversion of the tandem parking area into habitable area is a Development Permit consideration.
- A total of seven dedicated child care facility parking spaces and 18 shared visitor/child care facility parking spaces are proposed, including an accessible visitor parking space, which meets the zoning bylaw requirement. One shared truck loading space is proposed. To ensure these are provided and prohibiting assignment of shared spaces, a legal agreement is a Development Permit consideration.
- Bicycle parking is provided, which meets the bylaw requirement.
- All units will have semi-private outdoor spaces consisting of front yards, rear yards, balconies and decks at the dike and top floor levels.
- Outdoor amenity space is proposed throughout the site. The main area is provided adjacent to the second floor indoor amenity area and a children's play area is proposed adjacent to a mews; benefitting from sun exposure and adjacent unit casual surveillance.
- A mailbox room is provided in the mixed-use building, and short-term bicycle parking racks are provided throughout the site.
- Garbage, recycling and organic waste will be collected door to door, with storage space provided in individual unit garages and a storage room in the child care facility.
- If the development is constructed in phases, the child care facility, amenity area, and frontage improvements would be required to be constructed as part of the first phase.

### ***Architectural Form and Character***

- Buildings are designed to highlight individual unit identity, provide a common contemporary development identity along River Drive, and provide a transition to the single-family character across River Drive.
- A pedestrian scale is generally achieved along the public streets and internal drive aisles through the inclusion of variation in building projections, recesses, covered entries or porches, varying material/colour combinations, landscape features and panelled garage doors with transom windows.
- The proposed building materials (asphalt roof shingles, hardi-plank, hardi board and batten, wood siding, metal and glass railings, and vinyl windows) are generally consistent with the OCP guidelines and compatible with the existing character of the neighbourhood.
- There are four proposed colour/material schemes. A base colour of beige is accented with areas of grey, dark brown, black and red stained wood. The use of colour and variations in materials accentuate building articulation and provide visual interest.

### ***Landscape Design and Open Space Design***

- A Certified Arborist's Report was submitted the applicant, which identifies tree species, assesses tree structure and condition, and provides recommendations on tree removal relative to the proposed development. The report assesses six bylaw-sized trees on the subject site and five trees in the City's dike. Six Alder trees are dead, one Weeping Willow tree (45 cm DBH) conflicts with required River Drive upgrades and four Cottonwood trees (38 cm, 50 cm and multiple stem DBH) conflict with required dike upgrades. Tree Preservation and Parks Arborist staff have reviewed the Arborist's Report, conducted an on-site visual tree assessment, and concur with the proposed removal of all 11 trees.
- The developer has agreed to contribute \$5,200 to the City's Tree Compensation Fund for tree planting elsewhere in the City in compensation for the removal of four existing Cottonwood trees as a condition of Development Permit.
- The applicant is proposing to plant 72 trees on-site, including five conifers and 67 deciduous trees.
- A pedestrian-oriented streetscape is proposed along River Drive with a landscaped edge treatment, low retaining walls, and stairs to individual raised yards and townhouse entries.
- Each unit will have semi-private outdoor space at grade. The units along the east edge of the site front onto the public walkway and the units along the south edge of the site front onto River Drive. These units will have a semi-private raised yard with paver area, low landscaping, and three steps down to the River Drive sidewalk. The units along the west edge of the site back onto the City park. These units will have a semi-private back yard with paver area, small lawn and tree planting. The units along the north edge of the site back onto the ESA and City dike. These units will have a semi-private fenced deck surrounded by protected ESA planting. Some internal units will have semi-private fenced back yards with paver area, low landscaping and tree planting. Some internal units will have semi-private front yards with paver area, low landscaping, tree planting and low fencing with gates to the two pedestrian mews.
- The main outdoor amenity area is provided adjacent to the indoor amenity area on the second floor of the mixed use building, including artificial turf and deck areas, covered and open areas, seating and tables, ping pong table and barbeques. The adjacent indoor amenity area includes a kitchen, washrooms and open area.

- A smaller outdoor amenity area includes a play structure and two smaller items of children's play equipment, natural fibre safety surface and seating for supervision.
- A variety of materials, patterns and colours are proposed to provide wayfinding and visual interest to the driveway, the two pedestrian mews, informal pedestrian routes, individual unit entries, internal drive aisles, and garage accesses. The materials include asphalt, concrete and pavers in three sizes/patterns/colours.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$365,477.18 in association with the Development Permit.

#### ***Crime Prevention Through Environmental Design***

- Site lighting and clear site lines provide unobstructed views of surrounding area.
- Windows in individual units provide passive surveillance of common areas.
- Proposed planting near residential entries are low to maximize views and casual surveillance opportunities of and from common areas.
- All entrances are visible and overlooked by pedestrians or by neighbour's windows.

#### ***Sustainability***

- In accordance with the City's energy efficiency in townhouse developments policy, registration of a legal agreement is a condition of the Development Permit, securing the owner's commitment to design and build each proposed townhouse unit so that it scores 82 or higher on the EnerGuide rating 0-100 scale as assessed by a HOT2000 building energy model and pre-duct each unit for solar hot water.

#### ***Environmentally Sensitive Area (ESA)***

- There is an ESA designation over a 1,419 m<sup>2</sup> area along the north edge of the site, adjacent to the City dike. This area is highly disturbed and is low functioning for vegetation and wildlife, but provides an ecological buffer to the Fraser River and a movement corridor for wildlife species. Existing vegetation is sparse, weedy and non-native species such as grasses, Himalayan Blackberry and Alder.
- The proposal includes an ESA modified enhancement area with a different configuration and overall area of 1,426 m<sup>2</sup> as shown in the Development Permit. Proposed townhouse decks along the north edge of the site will be contained with 0.6 m high rail fencing to discourage access to the ESA.
- The proposed landscape plan was prepared in consultation with the project environmental consultant and staff. It is suitable for its shoreline location and providing a transition between upland and shoreline habitats. The proposed plant list is comprised entirely of native species and contains a mix of trees, shrubs and herbaceous species including several flowering and fruiting species suitable for supporting pollinators and hummingbirds. Invasive species, including Himalayan Blackberry, Scotch Broom, and Reed Canary Grass will be removed and managed to prevent re-growth.
- Granting of a SRW and entering into an ESA legal agreement are Development Permit considerations to ensure that the ESA modified enhancement area and landscape plan are specified, protected, maintained, and ensure no future construction or alteration of the ESA.

- In order to ensure that the proposed ESA enhancement landscaping works are completed, monitored and maintained for five years, the applicant is required to provide a security of \$64,956.65 as a consideration of the Development Permit. If the works are satisfactorily completed, monitored and maintained, the security will be released in stages, with 50% release after substantial completion and 10% releases each year for the five years after substantial completion.

### ***Accessible Housing***

- The proposed development includes five convertible townhouse units located in the centre of the site with uninterrupted access to River Drive and the dike. These units are designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The potential conversion of these units will require the installation of a stair lift in each of the two staircases to provide access to all three levels of the three-storey townhouse units.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
  - Stairwell hand rails.
  - Lever-type handles for plumbing fixtures and door handles.
  - Solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

### ***Noise Mitigation***

- The subject site is subject to overhead aircraft noise. Registration of a legal agreement on Title was secured through the rezoning approval to ensure that the development is designed and constructed in a manner that mitigates potential aircraft noise and ensures the thermal comfort of residents. An acoustic report was received and is on file. Detailed information is required to be included in the Building Permit application.
- The required indoor noise and thermal comfort levels are proposed to be achieved through the building envelope design, with no upgrades identified in the acoustic report and District Energy Utility air conditioning to ensure the comfort of residents during the summer months.

### ***City-Owned Child Care Facility***

As secured through the rezoning application (RZ 07-380169), the developer is required to provide a City-owned child care facility on the subject site.

- The proposed child care facility is located on the ground floor of the two-storey mixed use building fronting River Drive. Child care entry and service doors are located on the north side of the building facing an internal drive aisle and nearby parking and loading facilities.
- The proposed design accommodates up to 61 children in three separate program areas as well as an administrative office, staff room and service areas. An infant and toddler program area has been designed for 12 children, a 3-5 year-old program area has been designed for 25 children, and a school age program area has been designed for 24 children. The school age program area could also be used for a preschool program for 20 children during school hours. Each program area has been designed with separate indoor program areas and separate outdoor play areas on the south and west sides of the building. The design meets the minimum requirements of the BC Child Care Regulation and the City of Richmond Child Care Design Guidelines.

- The proposed parking provision exceeds the Zoning Bylaw child care parking requirement of 13 parking spaces. The proposal includes seven parking spaces for the exclusive use of the child care facility provided in close proximity to the child care entry doors and an additional eighteen shared visitor/child care parking spaces provided throughout the site.
- Provision of a City-owned child care facility was secured with a 'no development' covenant registered on Title. The covenant generally requires that prior to Building Permit issuance, the owner enter into a legal agreement providing for the construction, ownership transfer to the City and occupancy to be granted prior to any other building on the site. As the owner will be providing the facility to the City as a strata lot, the Development Permit considerations includes registration of a legal agreement requiring the strata plan include separate sections for the child care facility, residential units and residential amenity space as well as general guidelines for maintenance cost responsibilities.
- When details are available regarding a potential child care operator for this facility, they will be brought forward to Council in a separate report from the Manager, Community Social Development.

### Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.

*Sara Badyal*

Sara Badyal  
Planner 2  
(604-276-4282)

SB:blg

Attachment 1: Development Application Data Sheet  
Attachment 2: Development Application History Context Map  
Attachment 3: Annotated Excerpt from December 22, 2006 Advisory Design Panel Meeting Minutes  
Attachment 4: DP Considerations (Including Appendix A & B)



**DP 16-721500**

**Attachment 1**

**Address:** 10311 River Drive

**Applicant:** Western-Citimark River Front Townhouse Project Ltd.

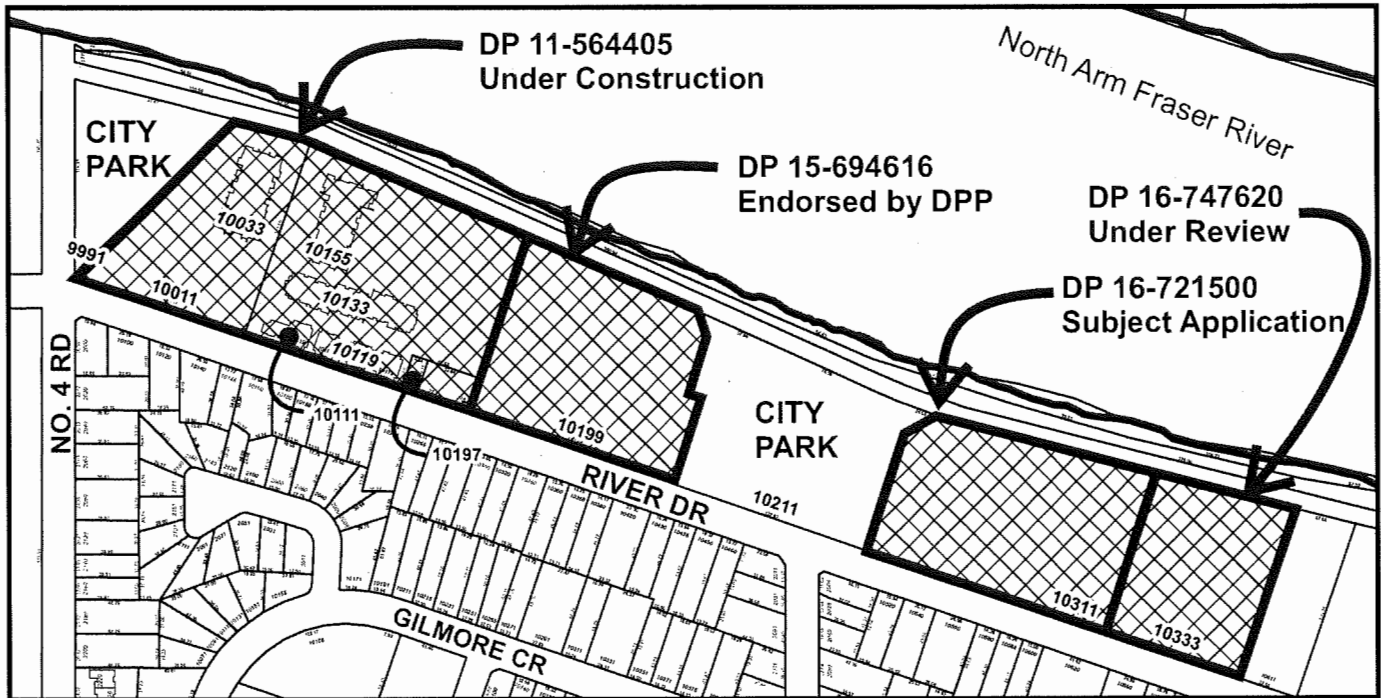
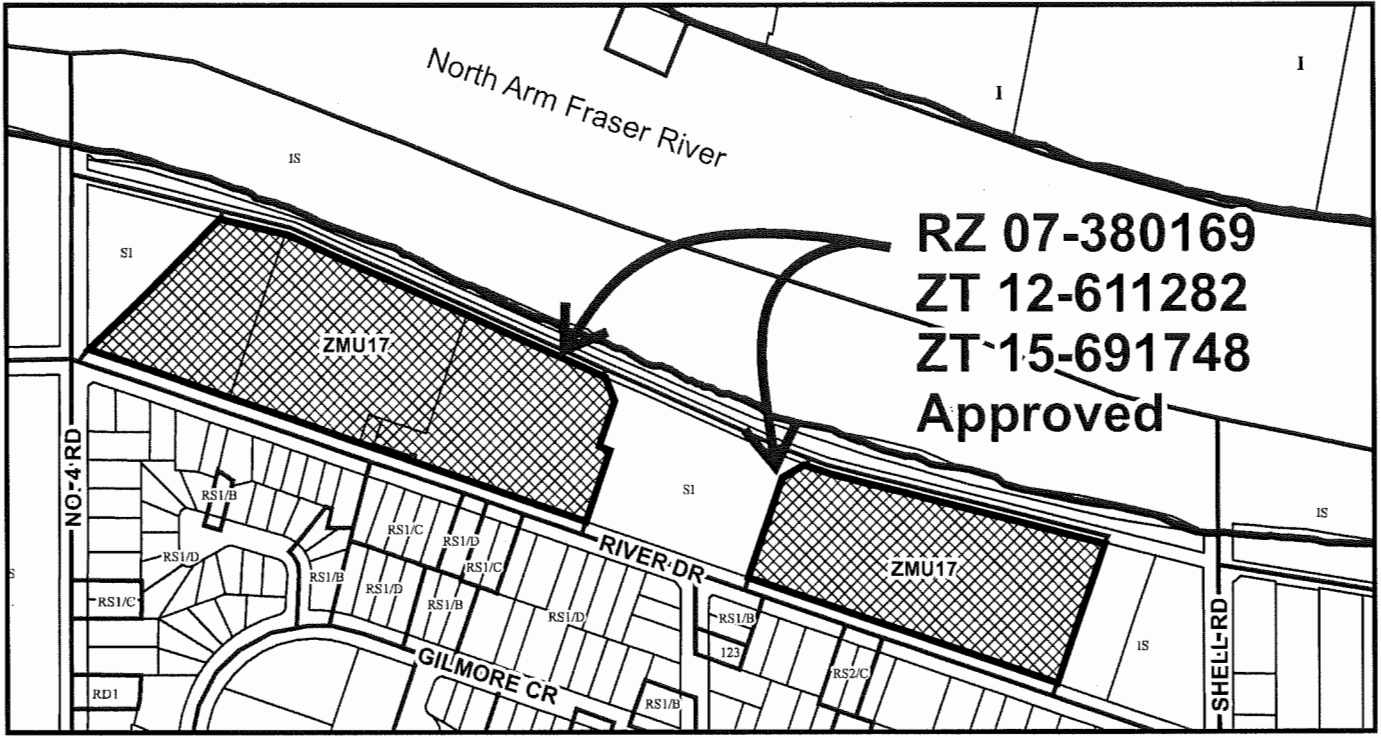
**Planning Area(s):** Bridgeport

	Existing	Proposed	
<b>Owner:</b>	Western-Citimark River Front Townhouse Project Ltd., Inc. No. BC1042830		
<b>Site Size (m<sup>2</sup>):</b>	14,031.53 m <sup>2</sup>	Remains the same	
<b>Land Uses:</b>	Vacant	Mixed-Use	
<b>OCP Designation:</b>	Residential Mixed-Use and Environmentally Sensitive Area (ESA)	Complies with ESA Modified Enhancement Area	
<b>Area Plan Designation:</b>	Residential Mixed-Use (Max. 6 storey; 1.45)	Complies	
<b>Zoning:</b>	Residential Mixed use Commercial (ZMU17) – River Drive/No. 4 Road (Bridgeport)	Variance noted below	
<b>Number of Units:</b>	N/A	86 Townhouse units 1 Indoor amenity facility 1 City child care facility	
	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 1.38	0.81	None permitted
Buildable Floor Area*:	19,363.5 m <sup>2</sup> (208,427 ft <sup>2</sup> )	11,303 m <sup>2</sup> (121,677 ft <sup>2</sup> )	None
Lot Coverage (% of lot area):	Max. 40%	38%	None
Lot Size:	None	3.47 ac	None
Lot Dimensions:	None	Irregular	None
<b>Setbacks:</b>	River Dr: Min. 3 m Dike right-of-way: Min. 7.5 m <b>Side Yard (West): Min. 6 m</b> Side Yard (East): Min. 6 m	3.7 m 7.5 m <b>4.5 m</b> 6 m	<b>1.5 m reduction</b>
<b>Height:</b>	Within 20 m of River Dr: Max. 10 m Within 20-36 m of River Dr: Max. 15 m Beyond 36 m of River Dr: Max. 26 m	9.6 m 9.6 m 13 m	None
<b>Off-street Parking Spaces:</b>	Residents: 172 Shared Visitors/Child Care: 18 Child Care: 7 Total: 197	172 18 7 197	None
<b>Accessible Parking Spaces:</b>	Visitor: 1	2	None
<b>Small Car Parking Spaces:</b>	Max. 50%	30% (58 spaces)	None
<b>Tandem Parking Spaces</b>	Townhouse units: 50%	33% (28 townhouse units)	None
<b>Amenity Space – Indoor:</b>	Min. 100 m <sup>2</sup>	180 m <sup>2</sup> (1,938 ft <sup>2</sup> )	None
<b>Amenity Space – Outdoor:</b>	Min. 516 m <sup>2</sup>	516 m <sup>2</sup>	None

\*Preliminary estimate; not inclusive of garage; exact building size to be determined through zoning bylaw compliance review at Building Permit stage.



# City of Richmond



	<p align="center"><b>Parc Riviera Context Map</b>  <b>Development Application History</b>  <b>DP 16-721500</b></p>	<p>Original Date: 04/27/17          Revision Date: 01/30/18          Note: Dimensions are in METRES</p>
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## Annotated Excerpt from the Minutes from Advisory Design Panel Meeting

Wednesday, December 22, 2016

- |    |              |  |
|----|--------------|--|
| 2. | DP 16-721500 | Townhouse development with a Child Care centre |
|    | ARCHITECT    | Fougere Architecture Inc.                      |
|    | LOCATION     | 10311 River Drive                              |

### Panel Discussion

Comments from the Panel were as follows:

- appreciate the sustainability features of the project including the proposed geo-exchange system for heating and cooling the residential units; applicant should have included other proposed sustainability features in the documents submitted to the Panel, e.g. use of low-flow fixtures, LED lighting and energy star appliances – ***Noted***
- appreciate the detailed drawings of the convertible units and provision of aging-in-place features – ***Noted***
- consider eliminating the proposed stairs and provide a more accessible access to the dike from the subject development – ***An accessible walkway is provided along the east side of the development***
- support the proposed mix of the scale and heights of the buildings – ***Noted***
- consider design development to visually break up the long rows of garage doors – ***Improved. Visual interest provided with vertical elements on upper floors or shifting a portion of the upper massing.***
- reconsider the proposed location of the children’s play area at the south end of Building 6 (Block V) as it is sited at an internal drive aisle intersection; consider relocating the children’s play area closer to the north edge for safety reasons – ***Considered. Safety is provided at the children’s play area with surrounding fencing and separated from the drive aisle by landscaping and pedestrian walkway***
- does not support the proposal for not providing a pedestrian mews between Buildings 11 and 13 as it is not consistent with the pattern of providing pedestrian mews/access in the middle of the site and the edge buildings being different; provision of pedestrian mews will enhance the “community” feel to the subject site and provide a more natural access from the daycare/indoor amenity building to the dike – ***Considered. The applicant advises that both conditions have benefits and including both conditions provides a diversity of opportunity.***
- support either a pedestrian mews or a green space between Buildings 11 and 13 – ***Noted***
- support the proposed location and character of the daycare/indoor amenity building; visually breaks up the elevation along River Drive – ***Noted***
- agree with comment regarding the “relentless” row of garage doors along some of the internal drive aisles – ***See comment above***
- the side elevations are not as successful as the elevations fronting River Road and River Drive – ***Improved. Further detail added to side elevations***
- consider design development to the canopies on some units at the north side of the subject development which appear out of place alongside the hip roofs; consider a more robust detailing of the canopies – ***Considered. Current design preferred over options.***
- investigate opportunities for introducing planting, e.g. pyramidal cedars, along the internal drive aisles to break up the long row of garage doors – ***Improved. Eddie’s Yew is proposed***
- consider relocating the children’s play area from the south end of Building 6 (Block V) to the north end of the middle building blocks (i.e., Buildings 9 and 10) where there would be less vehicular traffic – ***See comment above***
- support the post and rail treatment around the north patios; will provide owners of residential units with a clue not to introduce planting beyond the patios – ***Noted***



- planting on the Environmentally Sensitive Area (ESA) along the north edge of the site needs to be continuous and should follow a design standard; concerned that the proposed planting would be small and the spacing would be wide; consider tighter spacing, planting larger pot sizes or a combination of both in the first few rows of planting along the ESA – ***ESA planting was revised and will be provided as per QEP report.***
- appreciate the proposed walkway to the park to the west of the subject site; however, consider introducing a special surface paving treatment to the walkway at top and bottom to define the site's access to the park – ***A concrete path with saw cuts is proposed for the east walkway and concrete paver for the central path***
- appreciate the package materials provided to the Panel by the applicant; materials are nice and readable – ***Noted***
- appreciate the project's design rationale submitted by the applicant; however, it would have been more helpful if diagrams were included to explain the design rationale – ***Noted***
- the model helps to visualize the massing; however, the applicant could have incorporated colours to help the Panel understand the use of proposed materials and arrangement of colours – ***Noted***
- appreciate the assistance of a day care consultant in the design of the proposed child care facility; integration of the daycare facility with indoor/outdoor amenity spaces is well thought out – ***Noted***
- investigate opportunities for a direct connection from the child care facility to the future park to the west; consider introducing a gated connection to the park; design of the future park should tie-in with the relationship of the child care facility to the park – ***The child care outdoor space is required to be secure and have controlled access.***
- the proposed western connection from the subject site to the park needs to be emphasized; consider introducing vertical structures, e.g. trellises, to celebrate the connection to the park – ***Considered. The path is routed through an ESA, additional structures are not permitted.***
- appreciate the generous pervious surface paving treatment being proposed on the internal drive aisles – ***Noted***
- appreciate the big windows being proposed for the townhouse units; however, ensure that they are operable in terms of access to fresh air – ***Confirmed***
- support the proposed materials palette; however, consider replacing hardie plank with hardie panel in some sections of the building facade fronting River Drive to create larger-sized panels and a more modern finish – ***Considered. The proposed arrangement is preferred to provide emphasis to the building massing and elements.***
- appreciate the project's public realm and pedestrian connections within the subject site; also appreciate the introduction of decorative permeable pavers on-site to facilitate pedestrian circulation – ***Noted***
- support the proposed location of the daycare/indoor amenity building adjacent to the site's entrance; consider further articulation to the entrance of the building to differentiate it from the entrances of townhouse buildings – ***Considered. The child care entry will have a generous canopy and open space.***

## **Panel Decision**

It was moved and seconded

That DP 16-721500 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.

**CARRIED**



**Address:** 10311 River Drive

**File No.:** DP 16-721500

**Prior to forwarding this application to Council for Development Permit approval, the developer may be required to complete the following requirements:**

1. Receipt of a Letter of Credit for landscaping in the amount of \$365,477.18.
2. The City's acceptance of the applicant's voluntary contribution of \$5,200 to the City's Tree Compensation Fund for tree planting elsewhere in the City in compensation for the removal of 4 Cottonwood trees.
3. Granting of 3m wide public-rights-of-passage statutory right-of-way (PROP SRW) along the entire east property line of the site for the purposes of providing wayfinding signage and pedestrian access to/from the Dike walkway and River Drive sidewalk (to be widened to 6m wide through future development of 10333 River Drive). The works are to be built by the developer. The works are to be maintained by the owner. Any works essential for public access within the required statutory right-of-way (SRW) are to be included in the Servicing Agreement (SA) and the owner's maintenance & liability responsibility is to be clearly noted. The design must be prepared in accordance with good engineering practice with the objective to optimize public safety and after completion of the works, the Owner is required to provide a certificate of inspection for the works, prepared and sealed by the Owner's Engineer in a form and content acceptable to the City, certifying that the works have been constructed and completed in accordance with the accepted design.
4. Granting of 7.3m wide Dike statutory right-of-way (SRW) along the entire north property line of the site.
5. Discharge existing 3 m wide utilities SRW across the River Drive frontage of the site (CA4664641 & CA4664642).
6. Discharge 'no development' legal agreement (BB4018179) requiring voluntary contribution of \$1,000,000 or provision of 464.5 m<sup>2</sup> of community use space, which funds were received via DP 15-694616.
7. Registration of a legal agreement on Title which grants a blanket utilities statutory right-of-way (SRW) to the City in connection with the installation, use, maintenance, repair and removal of a fibre optic cable and related equipment. The SRW shall be allowed to be discharged from townhouse residential strata lots. The conduit for the fibre optic cable service is to be built by the developer as part of the construction of the child care facility (via separate child care construction legal agreement). The City utility works are to be maintained by the City.
8. Registration of a legal agreement on Title prohibiting the conversion of tandem parking into habitable area.
9. Registration of a legal agreement on Title which requires:
  - a. designation of one loading space as common property;
  - b. designation of seven parking spaces as limited common property for the exclusive use of the owner of the child care facility strata lot, tenant, employees, volunteers and the users of the child care facility; and
  - c. designation of eighteen parking spaces (and access to those spaces) as common property for the shared use of visitors to the residential units, the owner of the child care facility strata lot, tenant, employees, volunteers and the users of the child care facility. These parking spaces will be provided in phases to the satisfaction of the Director of Development.
10. Registration of a legal agreement on Title prohibiting the transfer or sale of the indoor amenity area strata lot without the City's prior written consent in order to ensure it is provided for the benefit of all residential strata lots.

11. Strata Section consideration: Registration of a legal agreement on Title which provides there shall be no subdivision (by strata plan or otherwise) and no occupancy unless a strata plan and related documentation is filed that:
  - a. creates three sections: one for the townhouse strata lots (known as a residential section), one for the child care facility strata lot (known as a non-residential section) and one for the indoor amenity strata lot (known as a non-residential section, separate from the section comprised of the child care facility strata lot);
  - b. designates outdoor amenity space(s) as limited common property for the exclusive use of the child care facility strata lot in locations approved by the City (substantially in accordance with Appendix B attached hereto);
  - c. contains cost sharing arrangements between the three sections which are based substantially on the attached Cost Schedule (Appendices A & B), subject to the requirements of the Strata Property Act;
  - d. the residential section owns the indoor amenity area strata lot (located substantially in accordance with Appendix B attached hereto);
  - e. designates indoor and outdoor amenity areas as limited common property for the benefit of the indoor amenity area strata lot to provide all residents with shared use of and access to the indoor and outdoor amenity areas; and
  - f. designates adequate access as common property (or pursuant to a registered legal agreement, if otherwise required) to provide users of the child care facility pedestrian and vehicular access and egress from the abutting streets to the child care facility.
12. Registration of a restrictive covenant and/or alternative legal agreement(s), to the satisfaction of the City, securing the owner's commitment to design and build each proposed townhouse unit so that it scores 82 or higher on the EnerGuide rating 0-100 scale as assessed by a HOT2000 building energy model and pre-duct each unit for solar hot water.

This covenant and/or legal agreement(s) will include, at minimum, that no Building Permit will be issued for a building on the subject site unless the building is designed to achieve Energuide 82 requirements, all units are pre-ducted and structurally designed for solar hot water, and the owner has provided a professional report by a Certified Energy Advisor (CEA), to the satisfaction of the Director of Development.
13. Environmentally Sensitive Area considerations, including:
  - a) Receipt of a Letter of Credit for ESA landscaping and monitoring in the amount of \$64,956.65.
  - b) Registration of an ESA protective covenant on title to identify the modified ESA enhancement area, ESA landscape plan, protect vegetation and to ensure no future construction or alteration of the ESA, with terms to be based on recommendations of the QEP report.
  - c) Registration of an ESA SRW on title to allow City access to the protected area in case conditions of the covenant are not maintained (i.e. in case the City needs to enter the lands to restore disturbed vegetation and charge the costs to the owner).
14. Enter into a Servicing Agreement prior to Development Permit issuance for dike and waterfront trail works to extend improvements from approximately the west edge of the central park to Shell Road as secured with 'no development' covenant (BB4018177) and modified through ZT 15-691748. Upgrade to the existing dike shall tie-in to the dike upgrade built via SA11- 587071 and shall extend to Shell Road. A servicing agreement design (i.e., SA15-707864) that shall cover the scope of the required dike upgrade is currently being reviewed by the City. The dike scope of work under SA15-707864 shall include design and construction of dike maintenance access that shall be coordinated by the developer with the required dike access through the proposed Central Park. Dike Maintenance Act approval is required for SA15-707864 from the Provincial Dike Inspector's office, developer to coordinate.
15. Enter into a Servicing Agreement prior to Development Permit issuance for the design and construction of the following remaining road and infrastructure works secured with 'no development' covenant

(CA4664647) as well as providing a geotechnical assessment and works related to the subject site to accommodate a pedestrian connection from the Dike walkway to River Drive along the east edge of the site, complete with pedestrian crossing:

a) Transportation Works:

- i) Contribution of \$60,000 for provision of two (2) bus shelters along Bridgeport Road.
- ii) Provide a pedestrian crossing on River Drive to connect through the proposed pedestrian walkway SRW PROP to the water front trail, without any conflicts with existing driveways on the south side of River Drive. Coloured textured pavement at a marked crosswalk to match other crosswalks along River Drive. As well, special pavement marking and signage will be required at the interface of the sidewalk and internal walkway to advise and appear as a public facility. Speed deterrent measures such as bollards may be required at the River Drive side of the walkway. Additional road works may include curb extension modifications on the north side of River Drive and a raised crossing with decorative treatment.
- iii) Provide a pedestrian internal walkway located in a required 3m wide PROP SRW and connecting to the water front trail and the River Drive sidewalk. Provide an accessible pedestrian path in the along the entire east edge of the site with an interim cross-section from west to east of 1.5 m wide landscaping and minimum 1.5 m wide concrete paving, and safety fencing/barriers/retaining walls as needed. Compaction test results for the trail sub-base to be submitted to the City for review prior to placement of concrete. Provide 6 m wide ultimate cross-section design which is to be constructed as part of future phase 4, from west to east consisting of 1.5 m landscaping, 3 m wide concrete paving, and 1.5 m landscaping.
- iv) Provide functional roadway plan depicting traffic calming measures at River Drive and Shell Road intersection and the traffic calming measures shall be implemented to the satisfaction of the City. Options to be developed include, but are not limited to, a raised intersection, roundabout, curb extensions, etc.
- v) Upgrade River Drive to full ultimate cross-section as set by SA 10-542184 and DP 11-564405, extending from works constructed via SA 10-542184 to Shell Road, complete with street lighting system, parking pockets for on street parking, curb extensions along River Drive as traffic calming devices, and coordination with neighbours to the south.
- vi) Any road dedications and/or SRW PROP required to implement the cross sections will be secured along the south property line of 10311 River Drive in addition to the existing 1.3m wide SRW.
- vii) Traffic Signals at the Bridgeport Road and McLennan Road intersection - upgrade of the existing pedestrian signal to a full traffic signal. Works shall include, but not limited to:
  - Type "P" controller cabinet
  - UPS (Uninterrupted Power Supply)
  - Video detection
  - Illuminated street name signs
  - Service base
  - Type "S" and/or type "L" poles/bases to suit site conditions
  - APS (Accessible Pedestrian Signals)
  - Fibre optic communications cable and associated equipment
  - In-ground vehicle detection
  - Removal of existing signal poles, bases, etc. to be returned to City Works Yard
  - All associated costs to upgrade this system to be borne by the developer
- viii) Traffic Signals at the Bridgeport Road and Shell Road intersection - upgrade of controller equipment for a new left turn phase and intersection improvement measures. Works shall include, but are not limited to:
  - Traffic pole/base relocations along the frontage of the development

- Junction box/conduit relocations
- Associated traffic signal cables/conductors and vehicle detector loops
- Traffic signal modification design drawings (if required, modifications are to be identified during Servicing Agreement and are the sole responsibility of the developer).

b) Engineering Works to the satisfaction of the Director of Engineering:

- i) Watermain upgrade required (approximately 360 m) from the west edge of 10311 River Drive to the existing watermain in Shell Road, complete with 300mm diameter PVC piping and fire hydrants (spaced as per City standard). The required watermain shall tie-in to the watermain built via SA10-542184 at the west end, tie-in to the existing watermain along Shell Road at the east end, and tie-in to all existing water service connections south of River Drive.
- ii) Storm sewer upgrade required (approximately 640 m) from west edge of 10197 River Drive to Shell Road:
  - Provide 600 mm diameter storm sewer, complete with manholes (spaced as per City standard) from west property line of 10197 River Drive to the east property line of 10311 River Drive (approximately 510 m). The required storm sewer shall tie-in to the storm sewer built via SA10-542184 along the entire River Drive frontage of 10197 River Drive, 10199 River Drive, the central park (meandering behind the roundabout) and 10311 River Drive.
  - Storm sewer alignment change required (via manholes as per City standard) from the east end of 10333 River Drive to the future boulevard area in the roadway. Change in alignment pipe size shall be 600 mm diameter and its approximate length is 6 m.
  - Provide a 1050 mm diameter storm sewer from the east property line of 10333 River Drive to Shell Road (approximately 130 m). The 1050 mm diameter storm sewer shall tie-in to the required manhole in the future boulevard and to the existing box culvert in Shell Road.
  - Remove all existing storm sewer service connections to 10311 and 10333 River Drive.
- iii) Sanitary sewer upgrade required (approximately 270 m) from approximately McLennan Avenue to east edge of 10333 River Drive:
  - Provide 300 mm diameter sanitary sewer from the sanitary main built via SA10-542184 at the intersection of River Drive and McLennan Road to the east property line of 10333 River Drive.
  - Tie-in all existing sanitary service connections to the single family properties at the south side of River Drive to the upgraded sanitary main.
- iv) Private utility works:
  - Pole relocations may be required at the south-west corner of River Drive and Shell Road junction due to the required road improvements and traffic calming works. The developer is responsible for coordination with private utility companies. Any required pole relocation shall be at the developer's cost.
  - Pre-duct for future hydro, telephone and cable utilities along all road frontages.
  - Locate all above ground utility cabinets and kiosks required to service the development within the developments site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be submitted and shall be included in the development process design review. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the right of way requirements and the locations for the aboveground structures. If a private utility company does not require an aboveground structure, that company shall confirm this via a letter to be submitted to the City. The following are examples of SRWs that shall be shown in the functional plan and registered prior to SA design approval:

BC Hydro Vista	Confirm SRW size with BC Hydro
BC Hydro PMT	Confirm SRW size with BC Hydro (approx. 4m x 5m)
BC Hydro LPT	Confirm SRW size with BC Hydro (approx. 3.5m x 3.5m)
Street light kiosk	Approx. 2m x 1.5m
Traffic signal controller cabinet	Approx. 3.2m x 1.8m

Traffic signal UPS cabinet	Approx. 1.8m x 2.2m
Show possible locations in functional plan of:	
Shaw cable kiosk	Confirm SRW size with Shaw (approx. 1m x 1m)
Telus FDH cabinet	Confirm SRW size with Telus (approx. 1.1m x 1m)

v) General:

- Any retaining walls exceeding 1 m in height requires a Building Permit. For walls retaining preload material, this permit must be obtained prior to construction of the retaining wall or installation of the preload material. Please see the new bulletin at the following link: [http://www.richmond.ca/\\_\\_\\_shared/assets/permits5239047.pdf](http://www.richmond.ca/___shared/assets/permits5239047.pdf).
- It is the developer's responsibility to address the impact of the required road raising to the existing single family properties along the south side of River Drive from McLennan Avenue to Shell Road. The developer shall coordinate with the owner(s) of the affected properties the extent of works required in private properties. The developer shall get written consent or permission to work in private property from the owner(s) of the affected lots.
- Coordination works shall be at the developer's cost and may include but not be limited to the following:
  - Arborist assessment of the existing trees (e.g., City and privately owned) along the south side of River Drive from McLennan Road to Shell Road that may be impacted by the required road raising.
  - Community meetings and written notices to the individual owners of the affected lots.
  - Design/drawings showing the required works inside each property affected by the road raising. The required works inside private property may include but not limited to the following: (i) removal and reinstatement of existing driveways that may require construction of a retaining wall on each side of the reinstated driveways on private property; and (ii) landscaping repairs and / or replacement as may be required.
  - Individual sign-off sheet that shall indicate the extent of the required works in private properties. The owner(s) of the affected lots shall sign the sign off sheet to permit the required works to be completed in their properties.
  - Community notices and individual sign off sheets shall be reviewed and approved by staff prior to sending to the affected properties.
- Provide, prior to first SA design submission, a geotechnical assessment of preload and soil preparation impacts on the existing utilities fronting or within the development site, proposed utility installations and provide mitigation recommendations. The mitigation recommendations (if required) shall be incorporated into the first SA design submission.
- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required, including, but not limited to, site investigation, testing, monitoring, site preparation, de watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

**Prior to Building Permit Issuance, the developer is required to complete the following requirements:**

- Registration of a restrictive covenant and/or alternative legal agreement(s), to the satisfaction of the City, securing the construction of the child care facility and transfer of ownership to the City as secured with 'no development' covenant (BB4018182).
- Incorporation of items identified through the DP process.
- Mixed-Use Amenity/child care building BP issuance prior to BP issuance for any other building.
- Submission required of fire flow calculations signed and sealed by a professional engineer based on the Fire Underwriter Survey or ISO to confirm that there is adequate available flow for fire fighting.

- Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
- If applicable, payment of latecomer agreement charges associated with eligible latecomer works.
- Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

**Prior to Occupancy of any building on the lands, the developer is required to complete the following:**

- Complete construction of Servicing Agreement works for the central park, dike and waterfront trail works as secured with 'no development' covenant (BB4018175).
- Complete construction of child care facility and transfer ownership to the City as secured with 'no development' covenant (BB4018182).

Note:

- \* This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.
- All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.
- The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.
- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial Wildlife Act and Federal Migratory Birds Convention Act, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

[Signed copy onfile]

\_\_\_\_\_  
Signed

\_\_\_\_\_  
Date

**Cost Schedule****General Guidelines for Division of Responsibilities (subject to the requirements of the Strata Property Act and the Land Title Act and as may be modified subject to the agreement of both the Owner and the City)**

1. The residential section and the non-residential sections shall have separate responsibility for limited common property designated for the exclusive use of strata lots within their respective sections (including dedicated parking spaces, dedicated outdoor areas, fencing).
2. The residential section and the non-residential sections shall have shared responsibility for common expenses of the Strata Corporation and common property (including building envelopes, building foundations, shared outdoor areas shown on Appendix B for loading bay, non-exclusive use parking spaces, drive aisle access, non-exclusive use walkways, and non-exclusive use landscaping, but excluding fencing), with cost sharing based on unit entitlement calculated in accordance with the Strata Property Act.

The unit entitlement is based on the proportional floor area of all strata lots [approximately 95.22% residential section/indoor amenity room non-residential section (approximately 122,052 ft<sup>2</sup>) and 4.78% child care facility non-residential section (approximately 6,125 ft<sup>2</sup>) as identified in preliminary information from the project surveyor, to be confirmed by surveyor] and based on the assumption that all three Phases will be built. Until they are, the numbers will be as determined based on what is built at the time.

3. The child care non-residential section will not be serviced by or responsible for any costs related to geo-exchange systems and/or district energy utility systems.
4. For the shared mixed-use building, each non-residential section shall have separate responsibility for:
  - a. Their own separate buildings systems (including electrical, HVAC, plumbing).
  - b. Their own separate utilities after the point at which they are tied into the utilities systems that service the residential section (for the child care facility non-residential section this also includes City fiber optic/communications, which is to be conveyed by conduit from the property line to the child care facility electrical room).
  - c. Their own separate water and electrical meters.
5. For the shared mixed-use building, the non-residential sections shall have shared responsibility for the following, notwithstanding the items above:
  - a. The mixed-use building fire suppression system.
  - b. The interior shared mailroom area (excluding stairway, elevator and mechanical room servicing the second floor residential amenity area).



Cost Schedule

General Guidelines for Division of Responsibilities (to be finalized as part of required Construction Agreement)

- Child Care facility section strata lot
- Child Care section limited common property outdoor area (including fencing)
- Common property shared indoor mailbox area (excluding elevator) and shared outdoor area (landscaping, pedestrian walkway, driveway, loading space, shared parking spaces and access drive aisles, excluding fencing)
- Indoor amenity section strata lot
- Indoor amenity section limited common property indoor and outdoor areas
- Residential section strata lots and limited common property (including fencing)





No. DP 16-721500

To the Holder: WESTERN-CITIMARK RIVER FRONT  
TOWNHOUSE PROJECT LTD.

Property Address: 10311 RIVER DRIVE

Address: C/O WAYNE FOUGERE  
FOUGERE ARCHITECTURE INC.  
202 - 2425 QUEBEC STREET  
VANCOUVER, BC V5T 4L6

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
  - a) Reduce the required West Side Yard from 6.0 m to 4.5 m.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #37 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$365,477.18 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

**Development Permit**  
**No. DP 16-721500**

To the Holder: WESTERN-CITIMARK RIVER FRONT  
TOWNHOUSE PROJECT LTD.

Property Address: 10311 RIVER DRIVE

Address: C/O WAYNE FOUGERE  
FOUGERE ARCHITECTURE INC.  
202 - 2425 QUEBEC STREET  
VANCOUVER, BC V5T 4L6

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8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.  
DAY OF

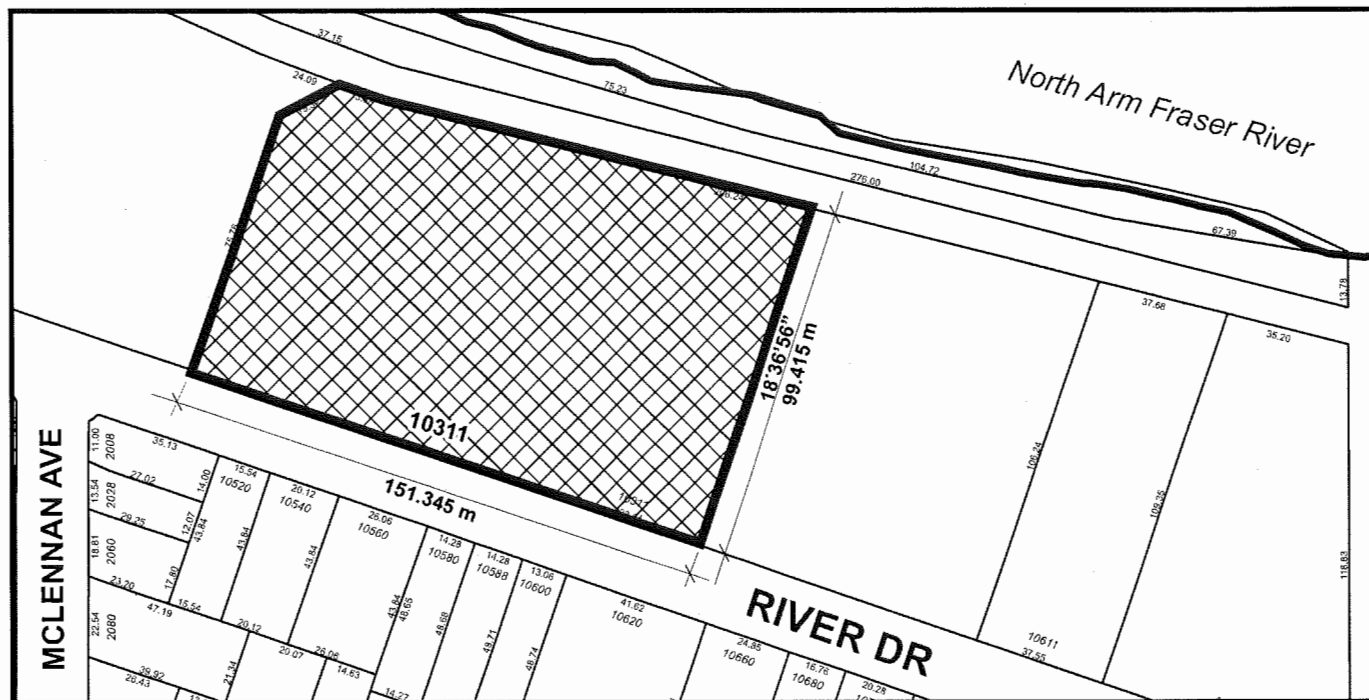
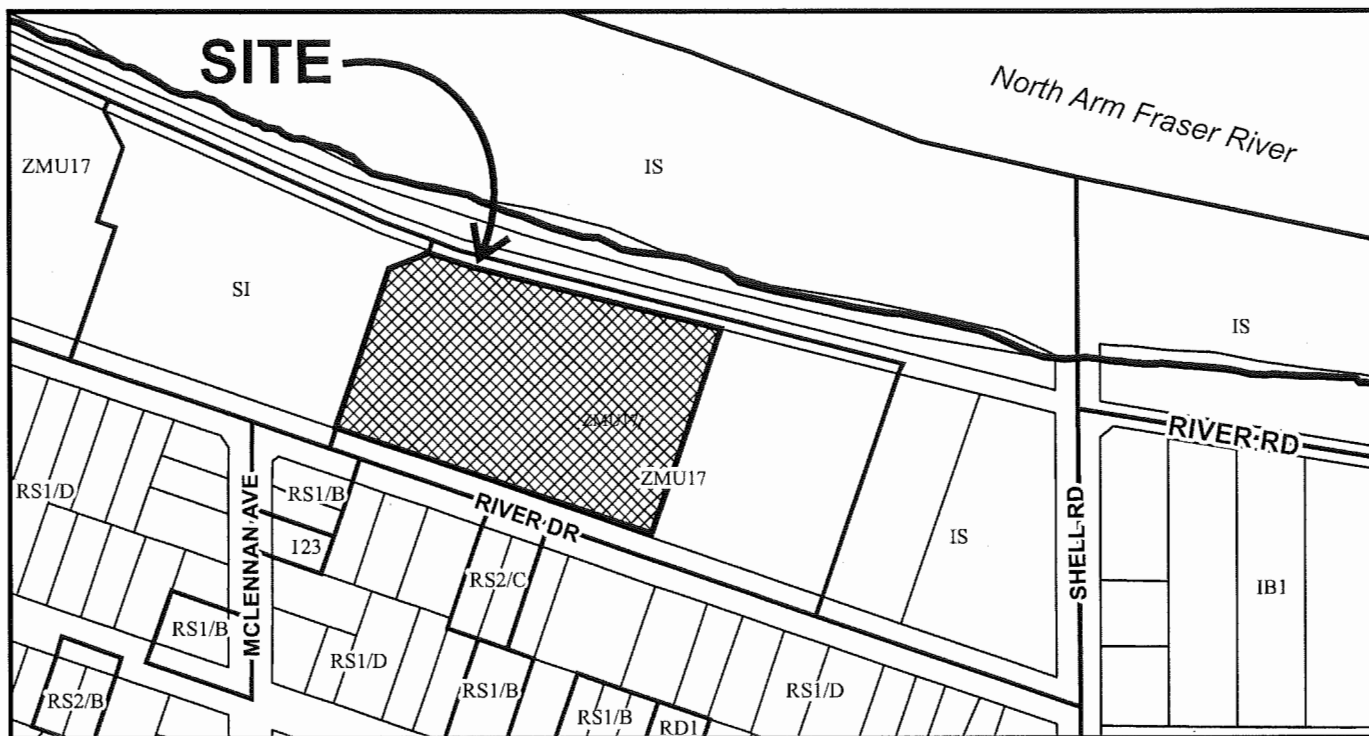
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

\_\_\_\_\_  
MAYOR



# City of Richmond



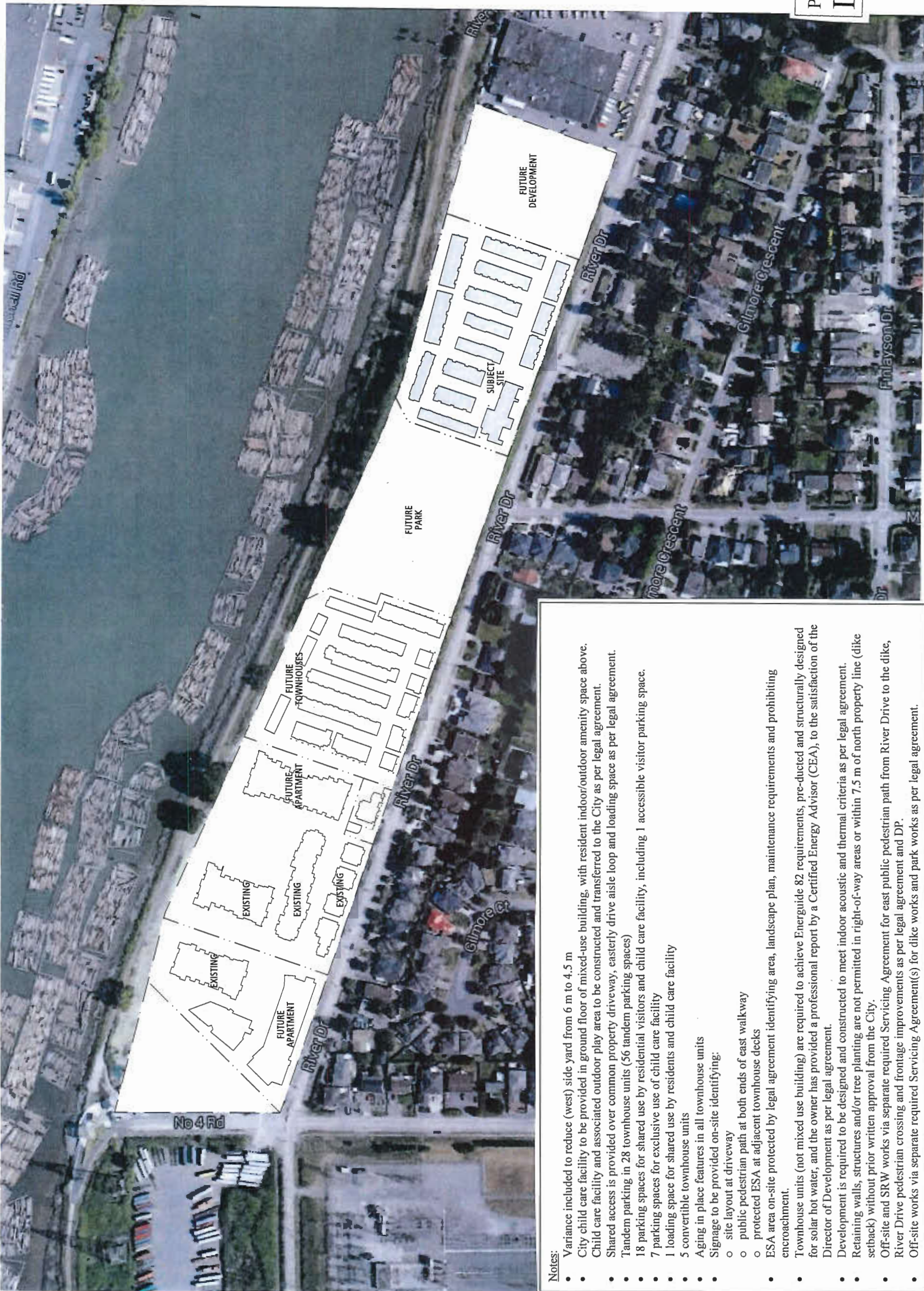
## DP 16-721500 SCHEDULE "A"

Original Date: 01/22/16

Revision Date: 01/19/18

Note: Dimensions are in METRES





**CONTEXT PLAN**  
 SCALE 1" = 100'-0"  
 0 25m 50m 100m



THIS DOCUMENT HAS BEEN ELECTRONICALLY  
 SIGNED BY THE REGISTERED ARCHITECT  
 AND ENGINEER AND HAS BEEN CERTIFIED AND  
 THE AEC AND A REG. THE AUTHORITY  
 TRANSFERRED TO AN ELECTRONIC FORM  
 WHICH IS NOT A TRUE COPY OF THE ORIGINAL  
 WHICH WAS SUPPLIED BY THE ORIGINAL  
 PROFESSIONAL SEAL AND DIGITAL CERTIFICATE  
 OR WHEN PRINTED FROM THE DIGITALLY  
 SIGNED ELECTRONIC FORM IS NOT VALID.



**NORTHVIEW  
 ESTATE**

Plan 1 Jan 26, 2018  
**DP 16-721500**

**FOUGERE**  
 architecture inc.  
 BRITISH COLUMBIA • ALBERTA • WASHINGTON  
 202-2435 Quebec Street 604.873.2907  
 Vancouver, BC V5T 4L5 fougerearchitecture.ca

**PLAN#001**

- Notes:**
- Variance included to reduce (west) side yard from 6 m to 4.5 m
  - City child care facility to be provided in ground floor of mixed-use building, with resident indoor/outdoor amenity space above.
  - Child care facility and associated outdoor play area to be constructed and transferred to the City as per legal agreement.
  - Shared access is provided over common property driveway, easterly drive aisle loop and loading space as per legal agreement.
  - Tandem parking in 28 townhouse units (56 tandem parking spaces)
  - 18 parking spaces for shared use by residential visitors and child care facility, including 1 accessible visitor parking space.
  - 7 parking spaces for exclusive use of child care facility
  - 1 loading space for shared use by residents and child care facility
  - 5 convertible townhouse units
  - Aging in place features in all townhouse units
  - Signage to be provided on-site identifying:
    - o site layout at driveway
    - o public pedestrian path at both ends of east walkway
    - o protected ESA at adjacent townhouse decks
  - ESA area on-site protected by legal agreement identifying area, landscape plan, maintenance requirements and prohibiting encroachment.
  - Townhouse units (not mixed use building) are required to achieve Energuide 82 requirements, pre-ducted and structurally designed for solar hot water, and the owner has provided a professional report by a Certified Energy Advisor (CEA), to the satisfaction of the Director of Development as per legal agreement.
  - Development is required to be designed and constructed to meet indoor acoustic and thermal criteria as per legal agreement.
  - Retaining walls, structures and/or tree planting are not permitted in right-of-way areas or within 7.5 m of north property line (dike setback) without prior written approval from the City.
  - Off-site and SRW works via separate required Servicing Agreement for east public pedestrian path from River Drive to the dikes, River Drive pedestrian crossing and frontage improvements as per legal agreement and DP.
  - Off-site works via separate required Servicing Agreement(s) for dike works and park works as per legal agreement.



FLOOR AREA CALCULATION

Proposed Zoning ZM1U7 Gross Site Area 151,047 sf (3.47 acres)

Unit Count	Unit Type	Ground Total Floor Area	Main Total Floor Area	Upper Total Floor Area	Top Total Floor Area	Unit Total	Total	Ground Floor Stair Exemption	Main Floor Staircase Exemption	Upper Floor Staircase Exemption	Top Floor Staircase Exemption	Garage Area Exemption	Covered / Amenity Area Exemption	Unit Net Floor Area	Total Net Area	Unit GFA (Saleable)	Total GFA (Saleable)	
8	A1 (4 BR+Family)	601	663	687	0	1,951	15,608	65	43	37	0	360	0	1,446	11,568	1,591	12,728	
18	A2 (4 BR+Family)	596	636	659	0	1,891	34,038	65	43	38	0	356	0	1,389	25,002	1,535	27,630	
5	A3 (4 BR+Family)	611	636	673	0	1,920	9,600	91	17	43	0	353	0	1,416	7,080	1,567	7,835	
4	A4 (4 BR+Family)	601	652	676	0	1,929	7,716	65	43	38	0	360	0	1,423	5,692	1,589	6,276	
4	B1 (3 BR+Family)	541	614	665	0	1,820	7,280	72	36	35	0	403	0	1,274	5,096	1,417	5,668	
4	B2 (3 BR+Family)	537	584	629	0	1,750	7,000	72	36	35	0	398	0	1,209	4,836	1,352	5,408	
4	B3 (3 BR+Family)	537	584	634	0	1,755	7,020	72	36	35	0	398	0	1,214	4,856	1,357	5,428	
2	C1 (3 BR)	611	638	713	0	1,962	3,924	48	60	52	0	501	0	1,301	2,602	1,461	2,922	
3	C2 (3 BR+Family)	617	634	708	259	2,218	6,654	48	60	7	50	500	0	1,553	4,659	1,718	5,154	
2	D1 (3 BR)	576	615	686	0	1,877	3,754	63	45	38	0	478	0	1,253	2,506	1,399	2,798	
2	D2 (3 BR)	576	599	612	0	1,787	3,574	63	43	37	0	478	0	1,166	2,332	1,309	2,618	
8	D3 (3 BR+Family)	569	581	605	320	2,075	16,600	63	43	0	37	471	0	1,461	11,688	1,604	12,832	
4	D4 (3 BR+Family)	569	593	607	320	2,089	8,356	63	43	0	37	471	0	1,475	5,900	1,618	6,472	
4	D5 (3 BR)	576	601	610	0	1,787	7,148	63	43	37	0	478	0	1,166	4,664	1,309	5,236	
6	D6 (3 BR)	569	581	592	0	1,742	10,452	63	43	0	471	0	471	0	1,271	7,622	1,271	7,626
2	D7 (3 BR)	569	581	590	0	1,740	3,480	63	43	0	471	0	471	0	1,269	2,538	1,269	2,538
2	E1 (3 BR+Den)	603	655	708	0	1,966	3,932	62	33	40	0	473	0	1,358	2,716	1,493	2,986	
4	E2 (3 BR+Den)	600	635	688	0	1,923	7,892	63	33	40	0	471	0	1,316	5,264	1,452	5,808	
86	Homes						153,828							115,475	10,727.98	11,888.15	127,963	
							sm							sm				sm

Residential Net FAR 0.764 Average Unit Size 1,343 sf

Amenity Exemption

1	Day Care	6,202	0	0	0	6,202	6,202	0	0	0	0	0	0	6,202	6,202	0	6,202	
1	Indoor Amenity Area	252	1,686	0	0	1,938	1,938	0	0	0	0	0	1,938	0	0	0	1,938	
88							171,968								121,677			
							sm							sm				sm

Drawing List

PAGE NO.	Drawing Title	Scale
D001	Content Plan	1" = 100'-0"
D002	Site Data	NIS
D01	Site Plan	1" = 20'-0"
D01a, 01b, 01c, 01d	Phase Plans and Phase Data	1" = 20'-0"
D01e	ESA Plan	1" = 20'-0"
D02	Parking Plan	1" = 20'-0"
D04	Elevations, Block O	1/8" = 1'-0"
D04a	Block Plans, Block O	1/8" = 1'-0"
D05	Elevations, Block P	1/8" = 1'-0"
D05a	Block Plans, Block P	1/8" = 1'-0"
D06	Elevations, Block Plan, Block Q	1/8" = 1'-0"
D07	Elevations, Block Plan, Block R	1/8" = 1'-0"
D08	Elevations, Block S	1/8" = 1'-0"
D08a	Block Plans, Block S	1/8" = 1'-0"
D09	Elevations, Block T	1/8" = 1'-0"
D09a	Block Plans, Block T	1/8" = 1'-0"
D10	Elevations, Block V	1/8" = 1'-0"
D10a	Block Plans, Block V	1/8" = 1'-0"
D11	Elevations, Block W	1/8" = 1'-0"
D11a	Block Plans, Block W	1/8" = 1'-0"
D12	Elevations, Block Plan, Block X	1/8" = 1'-0"
D13	Elevations, Block Plan, Block Y	1/8" = 1'-0"
D14	Elevations, Block Plan, Block Z	1/8" = 1'-0"
D15	Daycare Floor Plan	1/8" = 1'-0"
D15a	Coloured Daycare Floor Plan	3/16" = 1'-0"
D16	Indoor & Outdoor Amenity Floor Plan	1/8" = 1'-0"
D17	Daycare and Amenity Elevations	1/8" = 1'-0"
D17a	Daycare Shadow Analysis	NIS
D18	Site Sections	1/8" = 1'-0"
D19	Area Calculation	1/8" = 1'-0"
D20	Area Calculation	1/8" = 1'-0"
D21	Area Calculation	1/8" = 1'-0"
D22	Convertible unit	1/4" = 1'-0"
D23	Streetscapes	1" = 20'-0"

UNIT DENSITY			SITE COVERAGE CALC.			ACCESSORY CALC.			COVERED AREA CALC.		
Unit Count	Unit Type	Total Area	Foot Print	Total Area	Accessory Area	Total Accessory Area	Covered Area	Total Covered Area			
8	A1 (4 BR+Family)	4,808	601	4,808	360	2880	0	0			
18	A2 (4 BR+Family)	10,728	596	10,728	356	6408	0	0			
5	A3 (4 BR+Family)	3,055	611	3,055	353	1765	0	0			
4	A4 (4 BR+Family)	2,404	601	2,404	360	1440	0	0			
4	B1 (3 BR+Family)	2,164	541	2,164	403	1612	0	0			
4	B2 (3 BR+Family)	2,148	537	2,148	398	1592	0	0			
4	B3 (3 BR+Family)	2,148	537	2,148	398	1592	0	0			
2	C1 (3 BR)	1,276	638	1,276	501	1002	0	0			
3	C2 (3 BR+Family)	1,902	634	1,902	499	1497	0	0			
2	D1 (3 BR)	1,152	576	1,152	478	956	0	0			
2	D2 (3 BR)	1,152	576	1,152	478	956	0	0			
8	D3 (3 BR+Family)	4,552	569	4,552	471	3768	0	0			
4	D4 (3 BR+Family)	2,276	569	2,276	471	1884	0	0			
4	D5 (3 BR)	2,304	576	2,304	478	1912	0	0			
6	D6 (3 BR)	3,414	569	3,414	471	2826	0	0			
2	D7 (3 BR)	1,138	569	1,138	471	942	0	0			
2	E1 (3 BR+Den)	1,240	620	1,240	473	946	0	0			
4	E2 (3 BR+Den)	2,468	617	2,468	471	1884	0	0			
6	Electrical Closet	250	50	250	48	240	0	0			
1	Daycare + Amenity	7,268	7,268	7,268	0	0	1,071	1,071			
86	Homes	57,847		57,847		36,102		1,071			

Site Area	151,047 sf (3.47 acres)	Maximum Lot Coverage	40.0%	Maximum Accessory Area per unit	536 sf	Maximum Covered Area	10.0% of Net
Proposed Density	24.78 ups	Proposed Lot Coverage	38.3%	Proposed Average Accessory Area	420 sf	Proposed Covered Area	0.88%

SITE DATA

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**NORTHVIEW ESTATE**

Plan 2 Jan 26, 2018  
DP 16-721500

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**PLAN#002**



**PROVISION OF ACCESSIBILITY FEATURES "AGING-IN-PLACE" REQUIREMENTS ON ALL UNITS:**

- Entry doors minimum 855 mm clear opening (3'-0" swinging door spec.)
- Hallways minimum 900 mm width
- Door from garage to living area minimum 2'-10" (swinging door spec.)
- Blocking to bathrooms for installation of grab-bars (toilet, tub and shower)
- Provision of lever door handles
- One window that can be opened with a single hand in the living room
- One window that can be opened with a single hand in one bedroom

**LEGEND:**

- POROUS PAVER
- LIVE PLANT
- DAYCARE OUTDOOR PLAYING AREA
- DAYCARE COVERED OUTDOOR PLAYING AREA
- PATIO
- OPEN SPACE
- 0.00 m PROPOSED SITE GRADE
- 0.00 m EXISTING SITE GRADE
- REMOVED TREES
- FLOOD PLAIN LEVEL: 2.90 m
- DOOR TO DOOR GARBAGE AND RECYCLING PICKUP

**SITE PLAN**

SCALE 1" = 20'-0"



architecture planning interior design  
300-10190 153A Street Surrey, BC V3R 1T7  
(604) 581 8231 (604) 581 8348 www.thinkspace.ca

Architect for Daycare Design

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**NORTHVIEW ESTATE**

Plan 3 Jan 26, 2018

DP 16-721500



PLAN#01



ESA SRW AREA  
SEE PLAN #5

PUBLIC PATH  
3M SRW

DAY CARE  
Refer to design on p.15  
by THINK SPACE

4.50m  
variance required

SIDEWALK SRW







FRASER RIVER

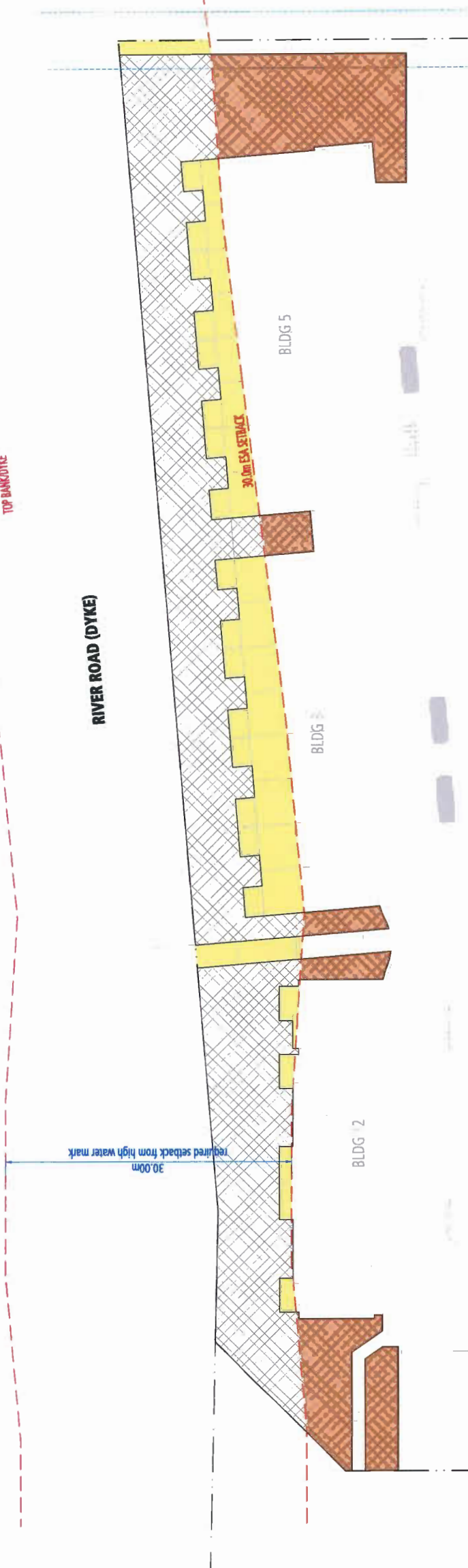
HIGH WATER LINE

TOP BANK/DYKE

RIVER ROAD (DYKE)

- Provided ESA 1,425.9 sm \*
- Used ESA area 404.6 sm
- Trade-off ESA area 406.0 sm \*

\* ESA SRW AREA



PROPOSED ESA AREA

ESA PLAN

SCALE 1" = 20'-0"



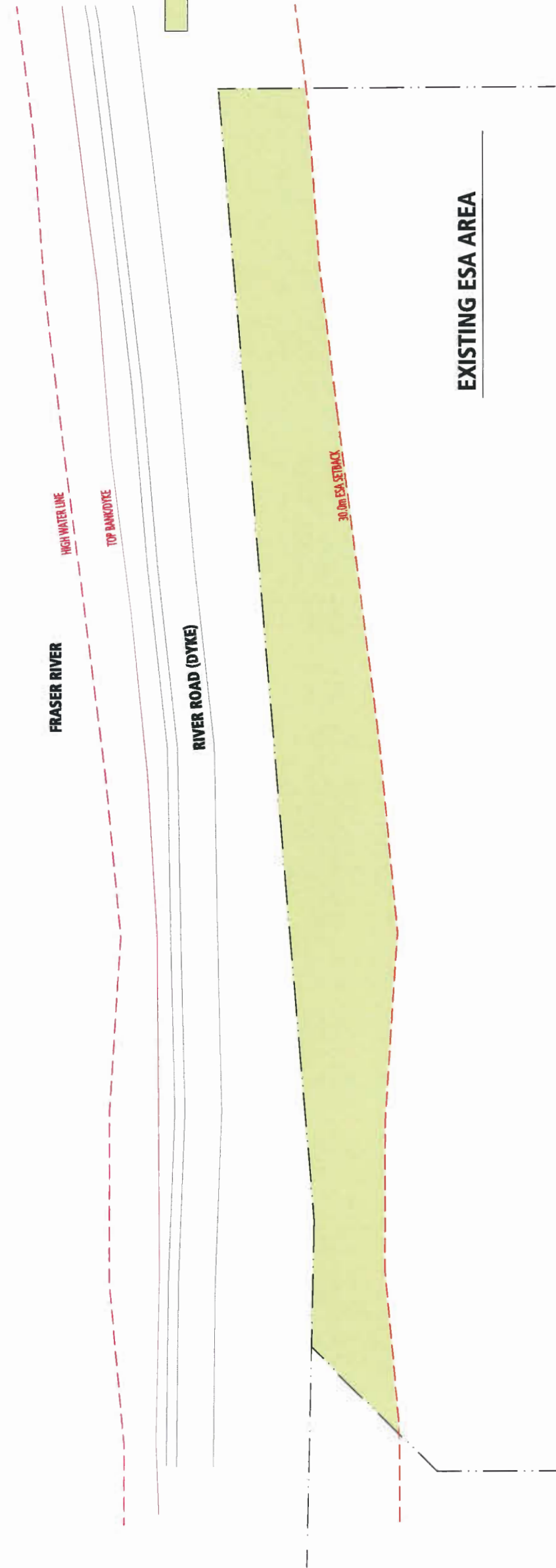
FRASER RIVER

HIGH WATER LINE

TOP BANK/DYKE

RIVER ROAD (DYKE)

Required ESA 1,419.3 sm



EXISTING ESA AREA

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**PLAN#01e**

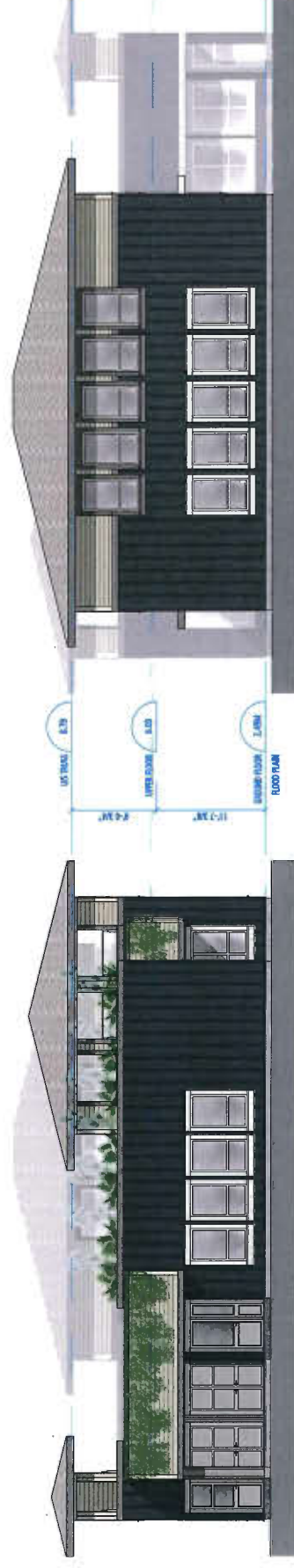
\* MIXED USE BUILDING  
 CITY CHILD CARE  
 FACILITY + PLAY  
 AREA AT GROUND  
 FLOOR, RESIDENT  
 INDOOR/OUTDOOR  
 AMENITY SPACE  
 AT SECOND FLOOR



**SOUTH ELEVATION**



**NORTH ELEVATION**



**EAST ELEVATION**

**WEST ELEVATION**



ALL ENTRY DOORS AND  
 GARAGE DOORS TO HAVE GLAZED PANELS (TYP.)

EXTERIOR FINISHES SCHEDULE (DARK BLUE and GREEN)

1	ASPHALT SHINGLES	6AF WEATHERED WOOD
2	WOOD FASCIA	BENJAMIN MOORE - 2143-30 IRON MOUNTAIN
3	HARDIE PLANK LAP SIDING	HARDIE COLOURPLUS SIDING - COBBLE STONE
4	WOOD SIDING	CEDAR, SIKENS CETOX PRO LUXE 4088 Teak On Cedar
5a	HARDIE BOARD AND BATTEN	BENJAMIN MOORE - 2129-20 SCOT
5b	HARDIE BOARD AND BATTEN	BENJAMIN MOORE - 2140-40 STORM CLOUD GREY
6	WOOD TRIM HORIZONTAL	HARDIE COLOURPLUS SIDING - COBBLE STONE
7	WOOD TRIM @ BOARD AND BATTEN	BENJAMIN MOORE - HC 170 STONINGTON GREY
8	WINDOW & DOOR TRIM @ BOARD AND BATTEN	BENJAMIN MOORE - 2143-30 IRON MOUNTAIN
9	VINYL WINDOWS	White
10	METAL GUTTERS	GENTEK - IRON ORE
11	SOLID-CORE EXTERIOR DOOR	SHERWIN WILLIAMS - SW8349 PENNYWISE
12	GARAGE DOOR	TERRA BRONZE OR SANDSTONE
13	HARDIE SOFFIT FOR REVERSE SHED ROOF	(downhouse)
14	HARDIE SOFFIT	(downhouse)
15	COBBLE STONE	
16	DORMERS/POURTS	

\* ELEVATION  
 DAYCARE/  
 AMENITY



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Plan 6 Jan 26, 2018  
**DP 16-721500**

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**PLAN#17**

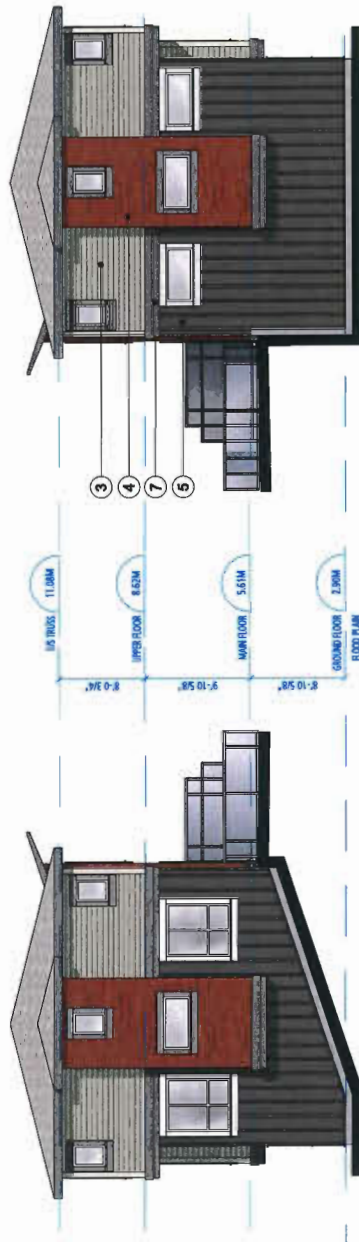




BLOCK 0 - EAST ELEVATION



BLOCK 0 - WEST ELEVATION



BLOCK 0 - NORTH ELEVATION

BLOCK 0 - SOUTH ELEVATION



ELEVATIONS  
BLOCK 0

SCALE 1/8" = 1'-0"  
0 5' 10' 20'

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PLAN#04

**EXTERIOR FINISHES SCHEDULE (BROWN)**

1	ASPHALT SHINGLES	10	WINDY TRIM @ HARDIE SIDING
2	WOOD SHAKES	11	WINDY TRIM @ SHERRIN WILLIAMS - SW6349 PENNYWISE
3	WOOD SHEDS	12	GARAGE DOOR (OVERHEAD DOOR)
4	WOOD SIDING	13	HARDIE SOFFIT FOR REVERSE SHED ROOF
5	HARDIE BOARD AND BATTEN	14	HARDIE SOFFIT
6	WOOD TRIM	15	DOWNSPOUTS
7	WOOD TRIM HORIZONTAL		
8	WINDOW & DOOR TRIM @ BOARD AND BATTEN		
9	WINDOW TRIM @ HARDIE SIDING		
10	WINDY TRIM @ HARDIE SIDING		
11	WINDY TRIM @ SHERRIN WILLIAMS - SW6349 PENNYWISE		
12	GARAGE DOOR (OVERHEAD DOOR)		
13	HARDIE SOFFIT FOR REVERSE SHED ROOF		
14	HARDIE SOFFIT		
15	DOWNSPOUTS		

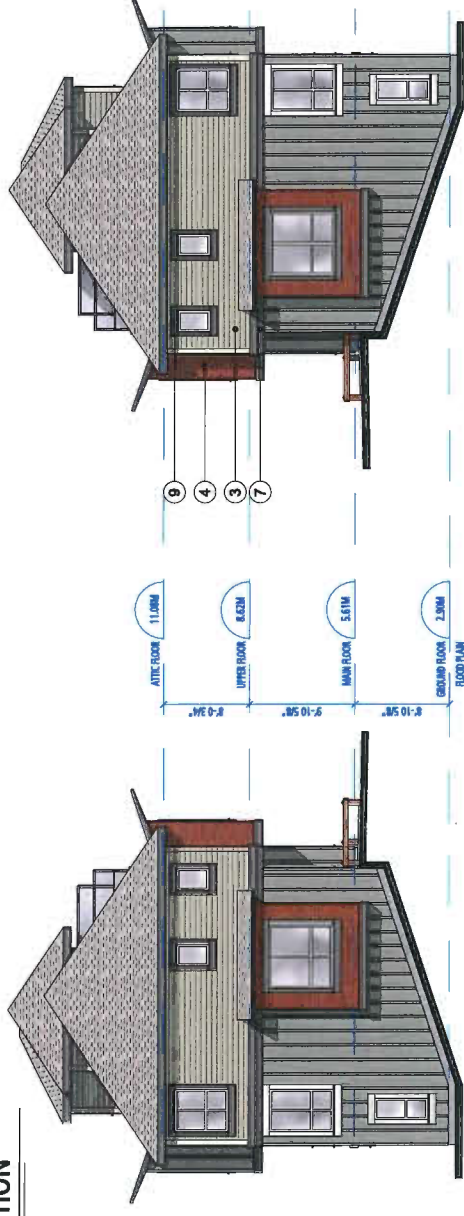




**BLOCK P - SOUTH ELEVATION**



**BLOCK P - NORTH ELEVATION**



**BLOCK P - EAST ELEVATION**

**BLOCK P - WEST ELEVATION**



**ELEVATIONS  
BLOCK P**

SCALE 1/8" = 1'-0"  
0 5' 10' 20'

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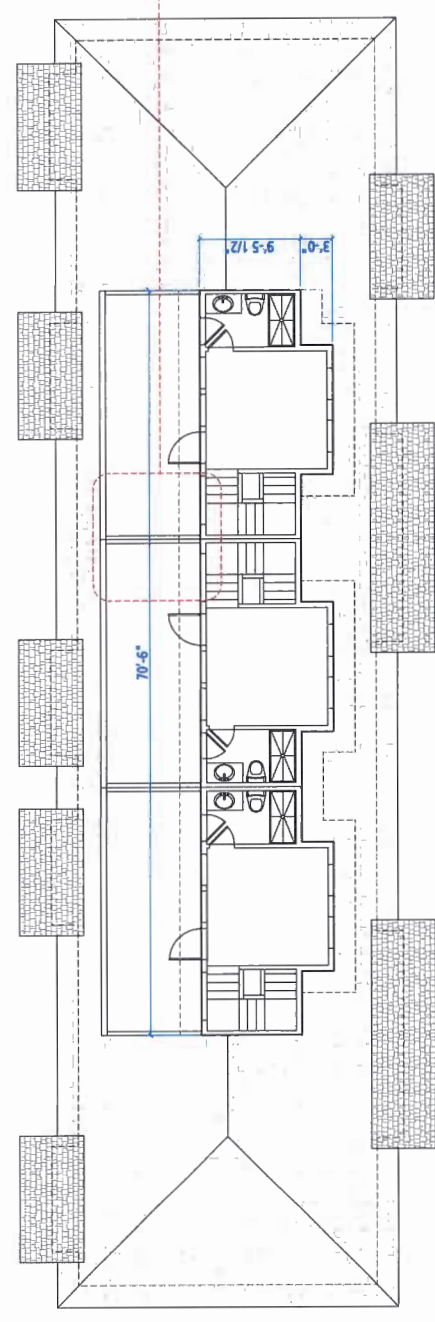
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**PLAN#05**

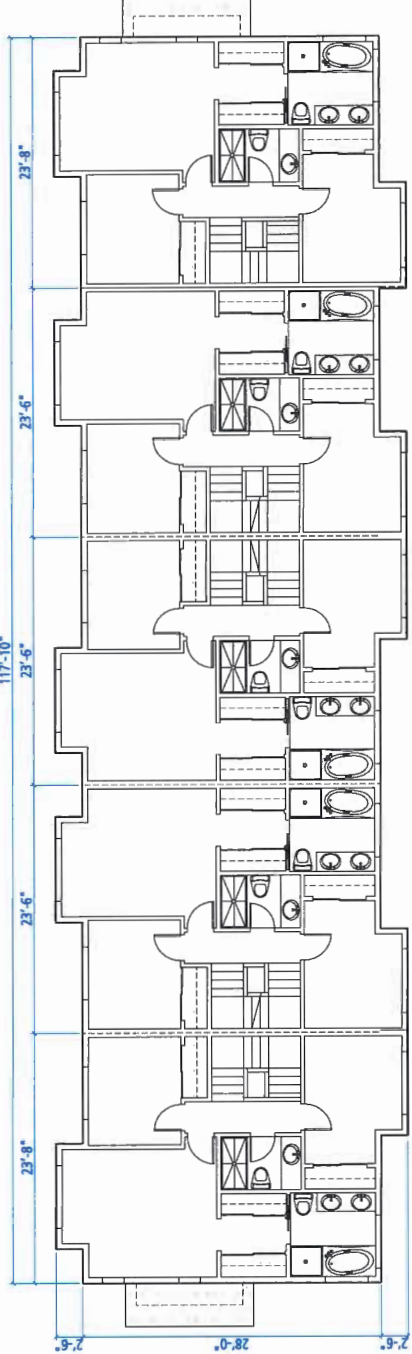
**EXTERIOR FINISHES SCHEDULE (GREEN)**

- |    |   |    |               |
|----|---|----|---------------|
| 1  | ASPHALT SHINGLES                              | 14 | IRON MOUNTAIN |
| 2  | WOOD FASCIA                                   | 15 | IRON MOUNTAIN |
| 3  | HARDIE COLOURPLUS SIDING                      | 16 | IRON MOUNTAIN |
| 4  | WOOD SIDING                                   |    |               |
| 5  | HARDIE BOARD AND BATTEN                       |    |               |
| 6  | WOOD TRIM                                     |    |               |
| 7  | WINDOW & DOOR TRIM @ BOARD AND BATTEN         |    |               |
| 8  | WINDOW TRIM @ HARDIE SIDING                   |    |               |
| 9  | WINDOW TRIM @ HARDIE SIDING                   |    |               |
| 10 | METAL GUTTERS                                 |    |               |
| 11 | SHERWIN WILLIAMS - SW548 PENNYWISE            |    |               |
| 12 | SOLID-CORE EXTERIOR DOOR                      |    |               |
| 13 | GARAGE DOOR (OVERHEAD DOOR)                   |    |               |
| 14 | HARDIE SOFFIT NON VENTED SMOOTH, COBBLE STONE |    |               |
| 15 | HARDIE SOFFIT COBBLE STONE                    |    |               |
| 16 | DOWNSPOUTS                                    |    |               |

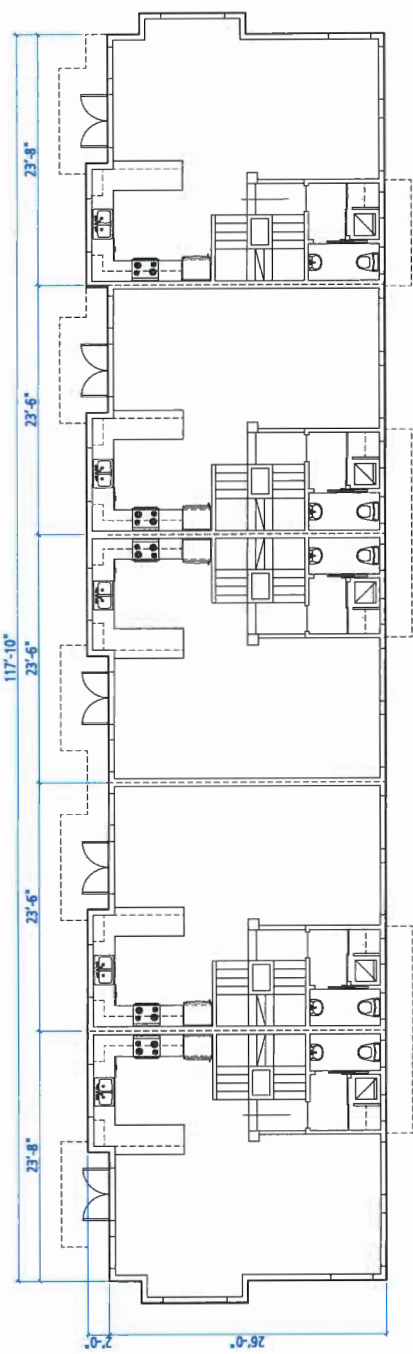




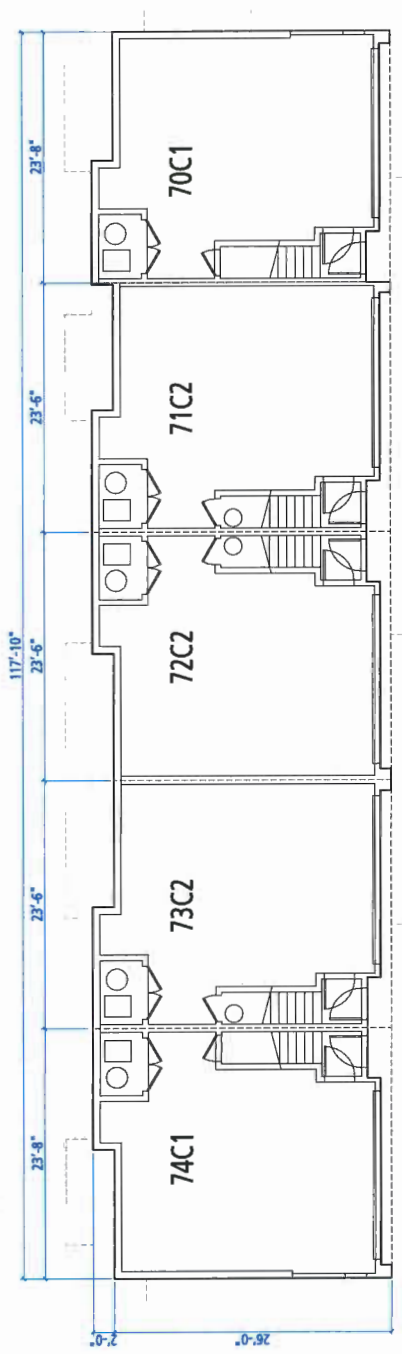
**BLOCK P - ATTIC FLOOR**



**BLOCK P - UPPER FLOOR**



**BLOCK P - MAIN FLOOR**



**BLOCK P - GROUND FLOOR**

**PROVISION OF ACCESSIBILITY FEATURES  
"AGING-IN-PLACE" REQUIREMENTS  
ON ALL UNITS:**

- Entry doors minimum 685 mm clear opening (3'-0" swinging door spec.)
- Hallways minimum 900 mm width
- Door from garage to living area minimum 2'-10" clear opening
- Stairs to bedrooms for installation of grab-bars (bath, tub and shower)
- Provision of lever door handles
- One window that can be opened with a single hand in the living room
- One window that can be opened with a single hand in one bedroom



**BLOCK PLANS  
BLOCK P**



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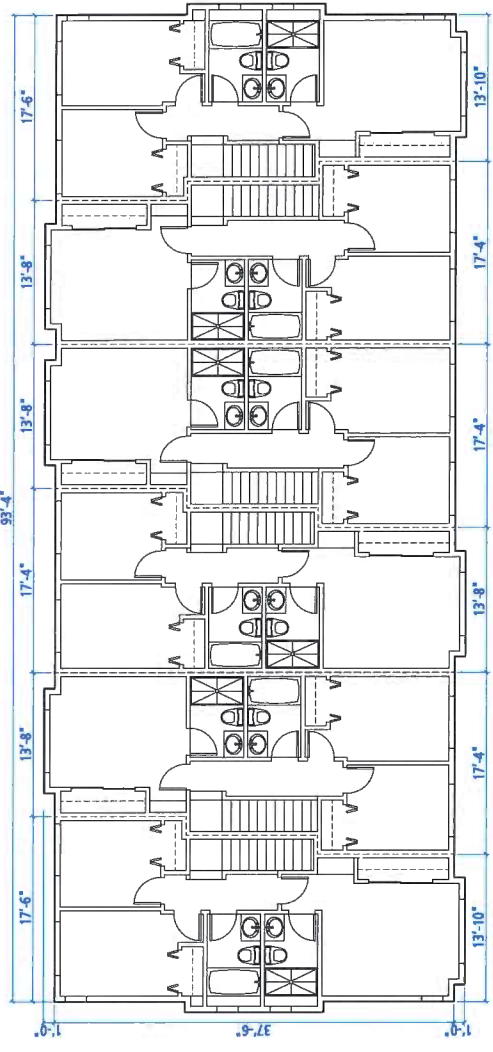
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Plan 9 Jan 26, 2018  
**DP 16-721500**

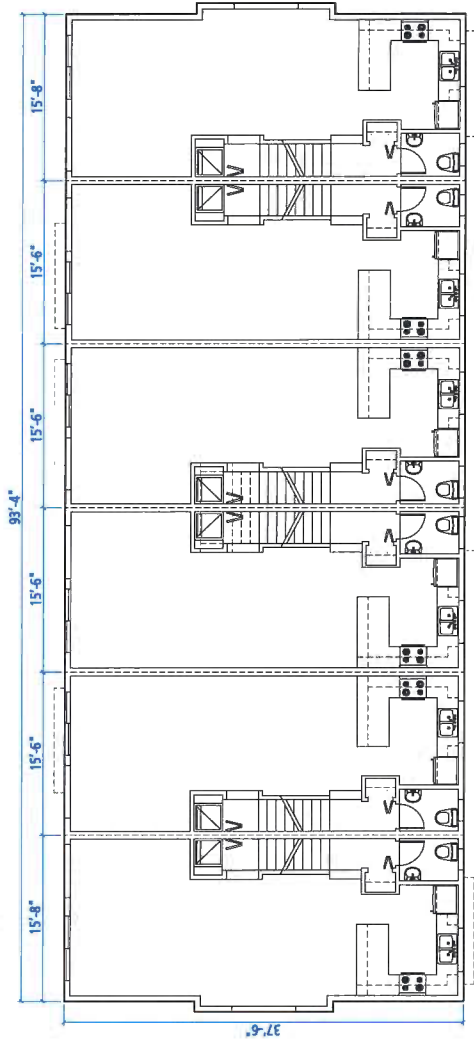
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**PLAN#05a**

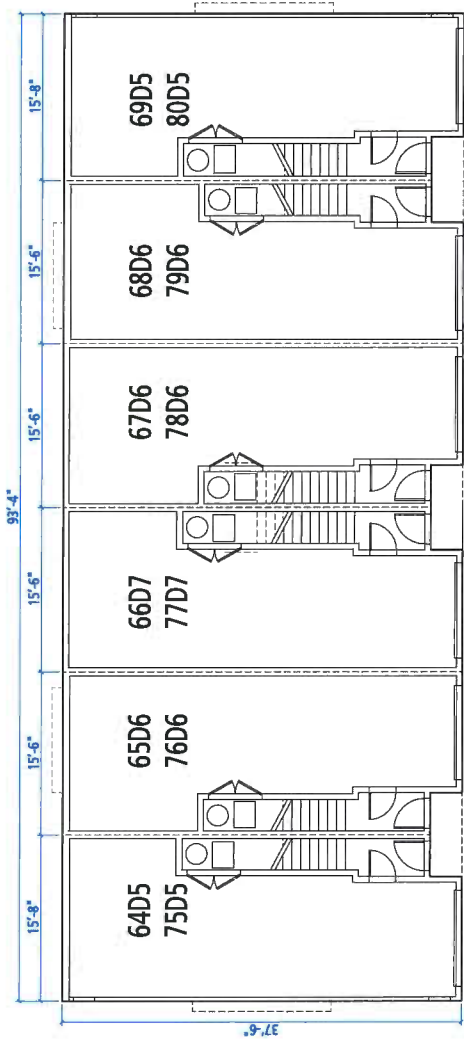




**BLOCK Q - UPPER FLOOR**



**BLOCK Q - MAIN FLOOR**



**BLOCK Q - GROUND FLOOR**

**PROVISION OF ACCESSIBILITY FEATURES**  
**\*AGING-IN-PLACE\* REQUIREMENTS**  
**ON ALL UNITS:**

- Entry doors minimum 665 mm clear opening (2'-0")
- Hallways minimum 900 mm width
- Door from garage to living area minimum 2'-10" (swinging to interior)
- Stairing to bedrooms for installation of grab-bars
- Provision of lever door handles
- One window that can be opened with a single hand in the living room
- One window that can be opened with a single hand in one bedroom

**EXTERIOR FINISHES SCHEDULE (DARK BLUE)**

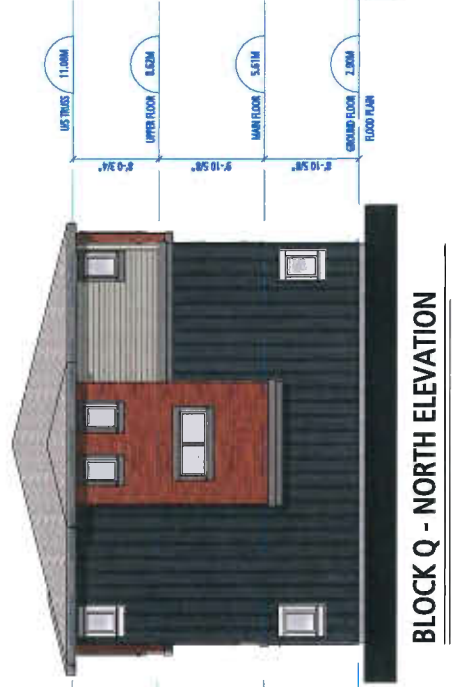
1	ASPHALT SHINGLES	GAF-WEATHERED WOOD
2	WOOD FASCIA	BENJAMIN MOORE- 2143-30 IRON MOUNTAIN
3	HARDIE PLANK LAP SIDING	HARDIE COLOURPLUS SIDING - COBBLE STONE
4	WOOD SIDING	CEDAR- SIKRENS CETOL PRO LUXE #885 Teak Oil Cedar
5	HARDIE BOARD AND BATTEN	BENJAMIN MOORE- 2125-20 SOOT
6	WOOD TRIM	HARDIE COLOURPLUS SIDING - COBBLE STONE
7	WOOD TRIM HORIZONTAL	BENJAMIN MOORE- 2143-30 IRON MOUNTAIN
8	WOOD TRIM VERTICAL	BENJAMIN MOORE- 2143-30 IRON MOUNTAIN
9	WINDOW TRIM & BOARD AND BATTEN	BENJAMIN MOORE- 2143-30 IRON MOUNTAIN
10	VINYL WINDOWS	White
11	METAL GUTTERS	GENTEK - IRON ORE
12	SOLID-CORE EXTERIOR DOOR	SHERWIN WILLIAMS - SW6348 PENNYWISE
13	GARAGE DOOR (OVERHEAD DOOR)	SANDSTONE
14	HARDIE SOFFIT FOR REVERSE SHED ROOF	HARDIE STONE
15	HARDIE SOFFIT	COBBLE STONE
16	DOWNPOUTS	MATCH TO SOFFIT COLOUR



**BLOCK Q - EAST ELEVATION**



**BLOCK Q - WEST ELEVATION**



**BLOCK Q - NORTH ELEVATION**



**BLOCK Q - SOUTH ELEVATION**



**ELEVATIONS & BLOCK PLANS**  
**BLOCK Q**

SCALE 1/8" = 1'-0"  
 0 5' 10' 20'

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**PLAN#06**





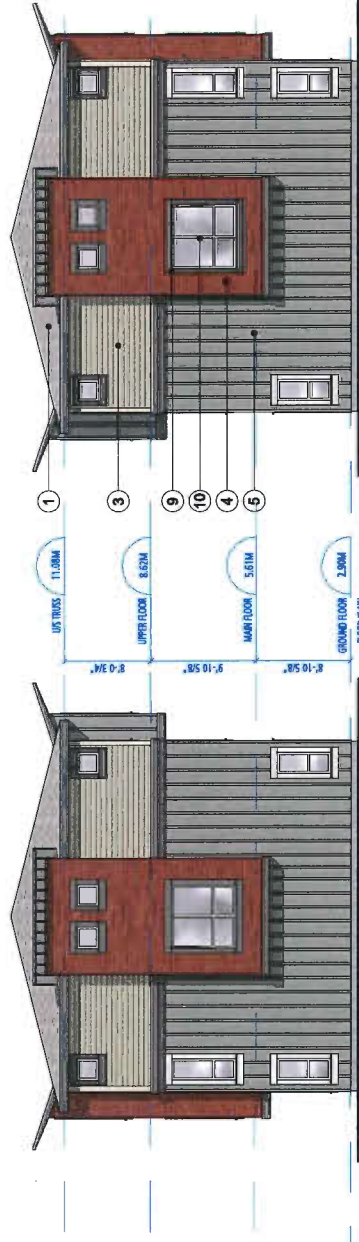




BLOCK S - EAST ELEVATION



BLOCK S - WEST ELEVATION



BLOCK S - NORTH ELEVATION



BLOCK S - SOUTH ELEVATION



ELEVATIONS  
BLOCK S

SCALE 1/8" = 1'-0"

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**NORTHVIEW  
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EXTERIOR FINISHES SCHEDULE (GREEN)

1	ASPHALT SHINGLES	GAF - WEATHERED WOOD
2	WOOD FASCIA	BENJAMIN MOORE - 2143-30 IRON MOUNTAIN
3	WOOD PLANK LAP SIDING	HARDIE COLOURPLUS SIDING - COBBLE STONE
4	WOOD SHIP LAP SIDING	BENJAMIN MOORE - 2143-30 IRON MOUNTAIN
5	HARDIE BOARD AND BATTEN	BENJAMIN MOORE - 2143-30 IRON MOUNTAIN
6	WOOD TRIM	BENJAMIN MOORE - 2143-30 IRON MOUNTAIN
7	WOOD TRIM HORIZONTAL	BENJAMIN MOORE - 2143-30 IRON MOUNTAIN
8	WINDOW & DOOR TRIM @ BOARD AND BATTEN	BENJAMIN MOORE - 2143-30 IRON MOUNTAIN
9	WINDOW TRIM @ HARDIE SIDING	BENJAMIN MOORE - 2143-30 IRON MOUNTAIN
10	VINYL WINDOWS	White
11	METAL GUTTERS	GENIEK - IRON ORE
12	WARRANTY DOOR	GENIEK - IRON ORE
13	GARAGE DOORS (OVERHEAD DOORS)	GENIEK - IRON ORE
14	HARDIE SOFFIT FOR REVERSE SHED ROOF	GENIEK - IRON ORE
15	HARDIE SOFFIT	GENIEK - IRON ORE
16	DOWNSPOUTS	GENIEK - IRON ORE

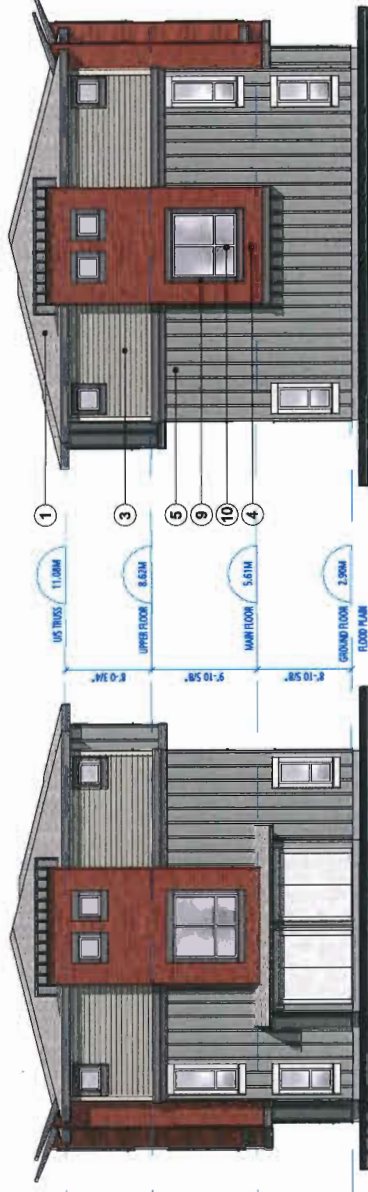




BLOCK T - EAST ELEVATION



BLOCK T - WEST ELEVATION



BLOCK T - NORTH ELEVATION

BLOCK T - SOUTH ELEVATION



**ELEVATIONS &  
BLOCK PLANS  
BLOCK T**

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0 5' 10' 20'

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PLAN#09

**EXTERIOR FINISHES SCHEDULE (GREEN)**

1	ASPHALT SHINGLES
2	1/2" ASPHALT FIBRE INSULATION
3	HARDIE COLOURPLUS SIDING - COBBLE STONE
4	WOOD SHINGLES
5	HARDIE BOARD AND BATTEN
6	WOOD TRIM
7	WOOD TRIM HORIZONTAL
8	WINDOW & DOOR TRIM @ BOARD AND BATTEN
9	WINDOW TRIM @ HARDIE SIDING
10	VINYL WINDOWS
11	UPPER TRUSS
12	SHERWIN WILLIAMS - SWR549 PENNYWISE
13	TERRA BRONZE
14	GARAGE DOOR (OVERHEAD DOOR)
15	HARDIE SOFFIT FOR REVERSE SHED ROOF
16	COBBLE STONE
17	MATCH TO SOFFIT COLOUR
18	DOWNSPOUTS

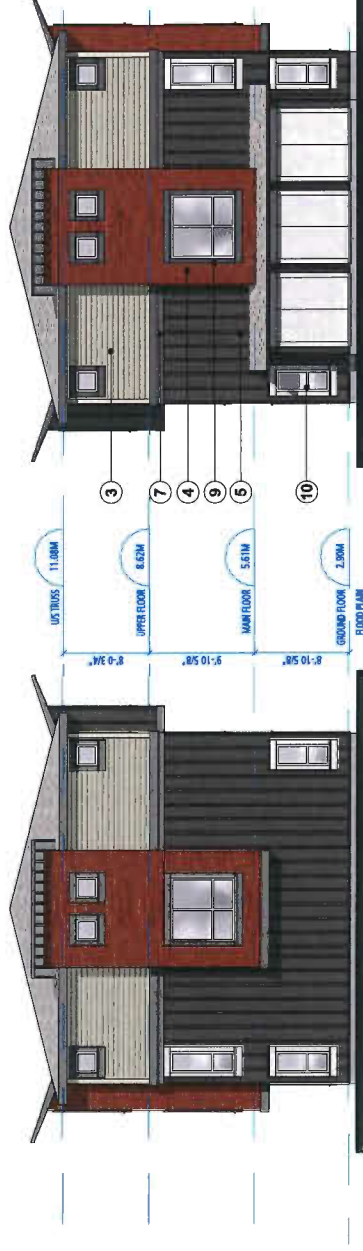




BLOCK V - EAST ELEVATION



BLOCK V - WEST ELEVATION



BLOCK V - NORTH ELEVATION

BLOCK V - SOUTH ELEVATION



ELEVATIONS &  
BLOCK PLANS  
BLOCK V

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PLAN#10

EXTERIOR FINISHES SCHEDULE (BROWN)	
1	ASPHALT SHINGLES
2	WOOD PAGA
3	WOOD SIDING - LAP SIDING
4	WOOD SIDING
5	HARDIE BOARD AND BATTEN
6	WOOD TRIM
7	WOOD TRIM HORIZONTAL
8	WINDOW & DOOR TRIM @ BOARD AND BATTEN
9	WINDOW TRIM @ HARDIE SIDING
10	VINYL WINDOWS
11	INTERIOR DOOR
12	SOLID CORE INTERIOR DOOR
13	GARAGE DOOR (OVERHEAD DOOR)
14	HARDIE SOFFIT FOR REVERSE SHED ROOF
15	HARDIE SOFFIT
16	DOWNSPOUTS

1	GAF - WEATHERED WOOD
2	BENJAMIN MOORE - 2143-30 IRON MOUNTAIN
3	CEILING - SHERRILL - 1000
4	CEDAR - SIKENS CETA PRO LUXE 885 71 One Coat
5	SHERWIN WILLIAMS - SW 7020 BLACK FOX
6	HARDIE COLORPLUS SIDING - CORBLE STONE
7	BENJAMIN MOORE - 2143-30 IRON MOUNTAIN
8	BENJAMIN MOORE - HC-170 STONINGTON GREY
9	BENJAMIN MOORE - 2143-30 IRON MOUNTAIN
10	White
11	SPRINTERK IRON GRE
12	SHERWIN WILLIAMS - SW8348 PENNYWISE
13	SANDSTONE
14	HARDIE SOFFIT NON VENTED SMOOTH, CORBLE STONE
15	CORBLE STONE
16	MATCH TO SOFFIT COLOUR

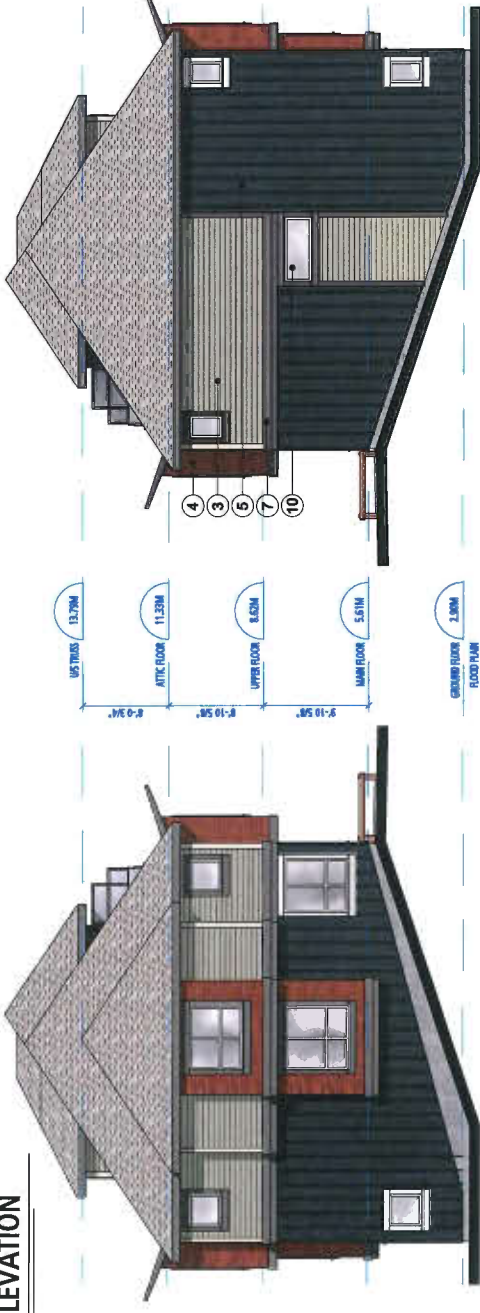




**BLOCK W - SOUTH ELEVATION**



**BLOCK W - NORTH ELEVATION**



**BLOCK W - EAST ELEVATION**

**BLOCK W - WEST ELEVATION**



**ELEVATIONS  
BLOCK W**

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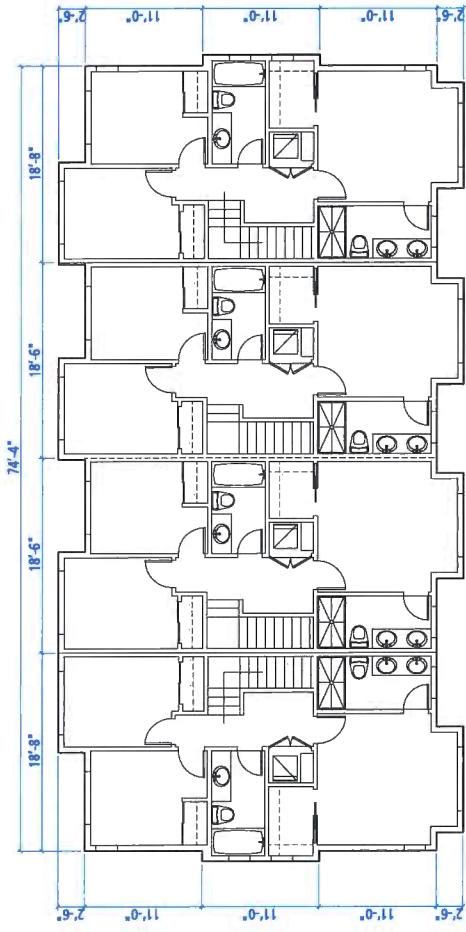
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**PLAN#11**

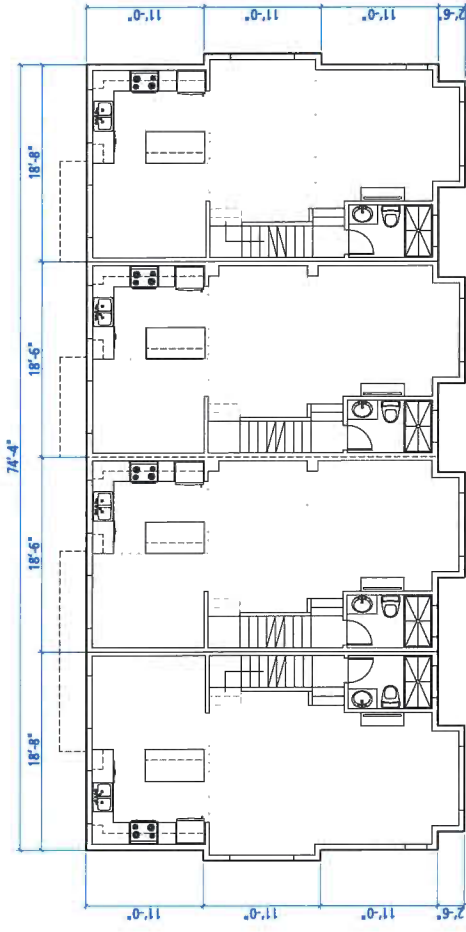
**EXTERIOR FINISHES SCHEDULE (DARK BLUE)**

1	ASPHALT SHRINGLES	6A-F WEATHERED WOOD
2	WOOD PAPER	BENJAMIN MOORE - 2143-30 IRON MOUNTAIN
3	WOOD SIDING	CELSIUS - 2143-30 IRON MOUNTAIN
4	WOOD SIDING	CEDARS - SIKENS CETSOL PRO LUGE WISS TRIM ON Cedar
5	WOOD SIDING	BENJAMIN MOORE - 2126-30 SOOT
6	HARDIE BOARD AND BATTEN	HARDIE COLOURPLUS SIDING - COBBLE STONE
7	WOOD TRIM	BENJAMIN MOORE - 2143-30 IRON MOUNTAIN
8	WOOD TRIM HORIZONTAL	BENJAMIN MOORE - HC-170 STONINGTON GREY
9	WINDOW & DOOR TRIM @ BOARD AND BATTEN	BENJAMIN MOORE - 2143-30 IRON MOUNTAIN
10	VINYL WINDOWS	White
11	SOLID-CORE EXTERIOR DOOR	SHERRILL - IRON ORE
12	GARAGE DOOR (OVERHEAD DOOR)	SHERRILL - WILLIAMS - SWS648 PENNYWISE
13	HARDIE SOFFIT (FOR REVERSE SHED ROOF)	SANDSTONE
14	HARDIE SOFFIT	HARDIE SOFFIT NON VENTED SMOOTH, COBBLE STONE
15	DOWNSPOUTS	COBBLE STONE
16		MATCH TO SOFFIT COLOUR

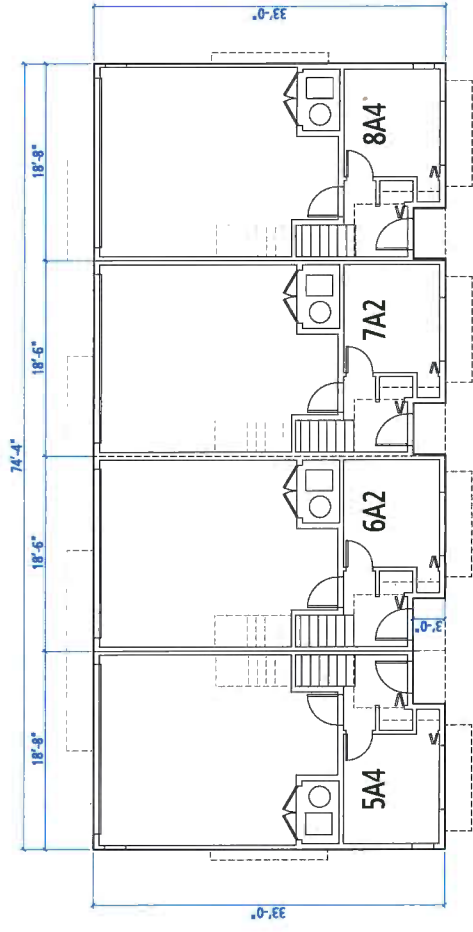




**BLOCK X - UPPER FLOOR**



**BLOCK X - MAIN FLOOR**



**BLOCK X - GROUND FLOOR**

**PROVISION OF ACCESSIBILITY FEATURES ON ALL UNITS:**

- Entry doors minimum 655 mm clear opening (32" swinging door spec.)
- Hallways minimum 900 mm width
- Clearances to be maintained in living areas minimum 2'-10"
- Blocking to doorways for installation of grab-bars (balk, toe and above)
- Provision of lever door handles
- One wheelchair accessible bathroom
- One window that can be opened with a single hand in one bedroom

**EXTERIOR FINISHES SCHEDULE (DARK BLUE)**

- 1 ASPHALT SHINGLES
- 2 WOOD FASCIA
- 3 WEATHERED WOOD
- 4 WOOD SIDING
- 5 HARDIE BOARD AND BATTEN
- 6 WOOD TRIM
- 7 WOOD TRIM HORIZONTAL
- 8 WINDOW & DOOR TRIM @ BOARD AND BATTEN
- 9 VINYL WINDOWS
- 10 INTERIOR DOOR
- 11 SLIP-CORNER
- 12 GARAGE DOOR (OVERHEAD DOOR)
- 13 HARDIE SOFFIT FOR REVERSE SHED ROOF
- 14 DOWNSPOUTS
- 15 MATCH TO SOFFIT COLOUR
- 16 GAF-WEATHERED WOOD
- 17 BENJAMIN MOORE - 2143-30 IRON MOUNTAIN
- 18 COBBLE STONE
- 19 CEDAR- SUGGESS CUSTO. PRO. LUCE #665 Teak Oil Cedar
- 20 BENJAMIN MOORE - 2129-20 SOOT
- 21 HARDIE COLOURPLUS SIDING - COBBLE STONE
- 22 BENJAMIN MOORE - 2143-30 IRON MOUNTAIN
- 23 BENJAMIN MOORE - HC-175 STONINGTON GREY
- 24 BENJAMIN MOORE - 2143-30 IRON MOUNTAIN
- 25 White
- 26 STEAK, IRON ORE
- 27 SHERMAN WILLIAMS - SHW846 PENNYWISE
- 28 SANDSTONE
- 29 HARDIE SOFFIT NON VENTED SMOOTH, COBBLE STONE
- 30 COBBLE STONE

- 31 MATCH TO SOFFIT COLOUR

- 32 COBBLE STONE

- 33 MATCH TO SOFFIT COLOUR

- 34 COBBLE STONE

- 35 MATCH TO SOFFIT COLOUR

- 36 COBBLE STONE

- 37 MATCH TO SOFFIT COLOUR

- 38 COBBLE STONE

- 39 MATCH TO SOFFIT COLOUR

- 40 COBBLE STONE

- 41 MATCH TO SOFFIT COLOUR

- 42 COBBLE STONE

- 43 MATCH TO SOFFIT COLOUR

- 44 COBBLE STONE

- 45 MATCH TO SOFFIT COLOUR

- 46 COBBLE STONE

- 47 MATCH TO SOFFIT COLOUR

- 48 COBBLE STONE

- 49 MATCH TO SOFFIT COLOUR

- 50 COBBLE STONE

- 51 MATCH TO SOFFIT COLOUR

- 52 COBBLE STONE

- 53 MATCH TO SOFFIT COLOUR

- 54 COBBLE STONE

- 55 MATCH TO SOFFIT COLOUR

- 56 COBBLE STONE

- 57 MATCH TO SOFFIT COLOUR

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- 73 MATCH TO SOFFIT COLOUR

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- 105 MATCH TO SOFFIT COLOUR

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- 107 MATCH TO SOFFIT COLOUR

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- 109 MATCH TO SOFFIT COLOUR

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- 111 MATCH TO SOFFIT COLOUR

- 112 COBBLE STONE

- 113 MATCH TO SOFFIT COLOUR

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- 117 MATCH TO SOFFIT COLOUR

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- 119 MATCH TO SOFFIT COLOUR

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- 121 MATCH TO SOFFIT COLOUR

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- 123 MATCH TO SOFFIT COLOUR

- 124 COBBLE STONE

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- 127 MATCH TO SOFFIT COLOUR

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- 140 COBBLE STONE

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- 142 COBBLE STONE

- 143 MATCH TO SOFFIT COLOUR

- 144 COBBLE STONE

- 145 MATCH TO SOFFIT COLOUR

- 146 COBBLE STONE

- 147 MATCH TO SOFFIT COLOUR

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- 167 MATCH TO SOFFIT COLOUR

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- 169 MATCH TO SOFFIT COLOUR

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- 171 MATCH TO SOFFIT COLOUR

- 172 COBBLE STONE

- 173 MATCH TO SOFFIT COLOUR

- 174 COBBLE STONE

- 175 MATCH TO SOFFIT COLOUR

- 176 COBBLE STONE

- 177 MATCH TO SOFFIT COLOUR

- 178 COBBLE STONE

- 179 MATCH TO SOFFIT COLOUR

- 180 COBBLE STONE

- 181 MATCH TO SOFFIT COLOUR

- 182 COBBLE STONE

- 183 MATCH TO SOFFIT COLOUR

- 184 COBBLE STONE

- 185 MATCH TO SOFFIT COLOUR

- 186 COBBLE STONE

- 187 MATCH TO SOFFIT COLOUR

- 188 COBBLE STONE

- 189 MATCH TO SOFFIT COLOUR

- 190 COBBLE STONE

- 191 MATCH TO SOFFIT COLOUR

- 192 COBBLE STONE

- 193 MATCH TO SOFFIT COLOUR

- 194 COBBLE STONE

- 195 MATCH TO SOFFIT COLOUR

- 196 COBBLE STONE

- 197 MATCH TO SOFFIT COLOUR

- 198 COBBLE STONE

- 199 MATCH TO SOFFIT COLOUR

- 200 COBBLE STONE

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- 202 COBBLE STONE

- 203 MATCH TO SOFFIT COLOUR

- 204 COBBLE STONE

- 205 MATCH TO SOFFIT COLOUR

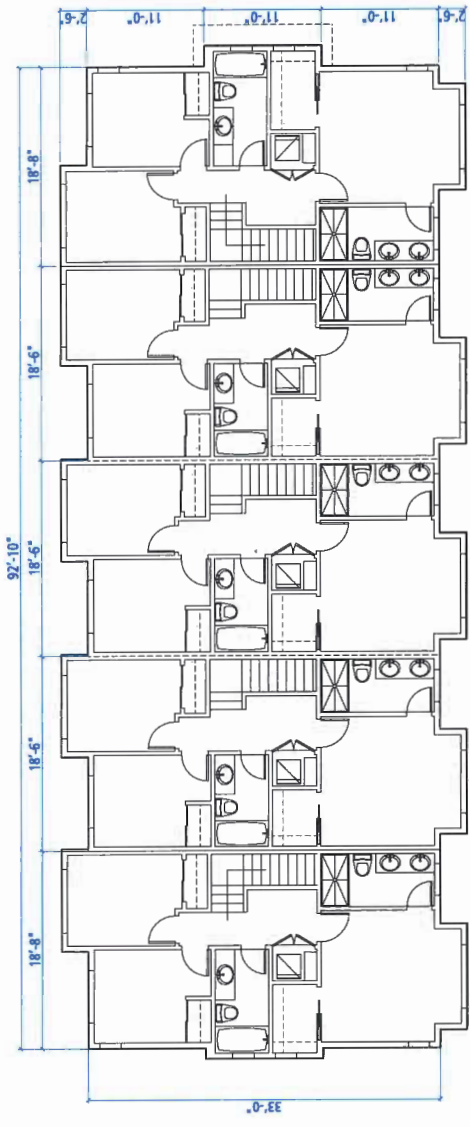
- 206 COBBLE STONE

- 207 MATCH TO SOFFIT COLOUR

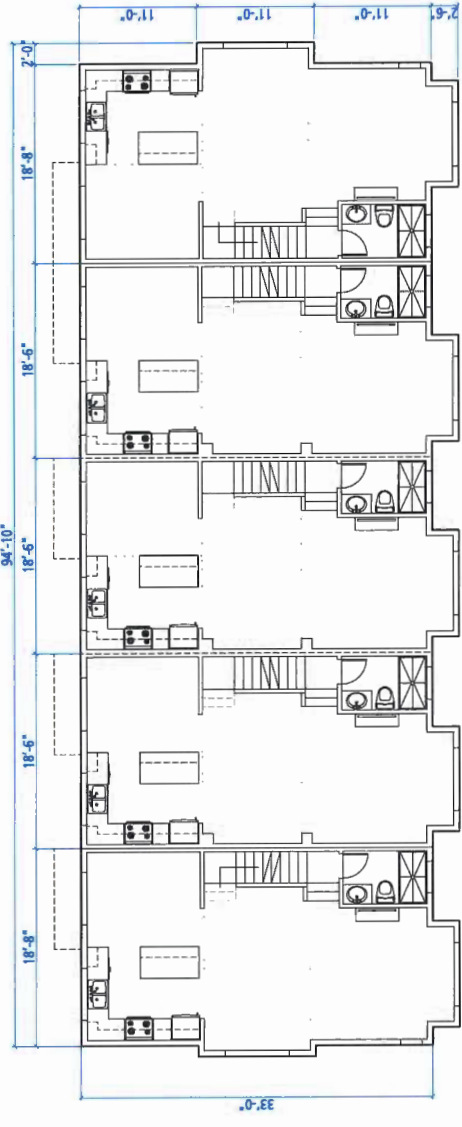
- 208 COBBLE STONE

- 209 MATCH TO SOFFIT COLOUR

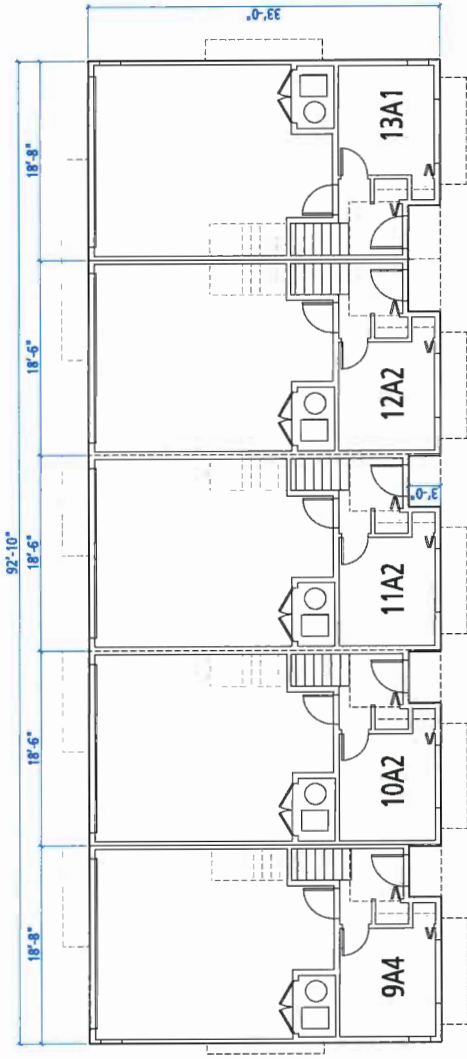




**BLOCK Y - UPPER FLOOR**



**BLOCK Y - MAIN FLOOR**



**BLOCK Y - GROUND FLOOR**

**PROVISION OF ACCESSIBILITY FEATURES  
"AGING-IN-PLACE" REQUIREMENTS  
ON ALL UNITS:**

- Entry doors minimum 850 mm clear opening (2'-0" swinging door spec.)
- Hallways minimum 900 mm width
- Door from garage to living area minimum 2'-10" swinging door spec.)
- Grab bars for installation of grab-bars (toilet, tub and shower)
- Provision of lever door handles
- One window that can be opened with a single hand in the living room
- One window that can be opened with a single hand in one bedroom

**EXTERIOR FINISHES SCHEDULE (BROWN)**

- 1 ASPHALT SHINGLES
- 2 WOOD FASCIA
- 3 HARDIE PLANK LAP SIDING
- 4 WOOD TRIM
- 5 WOOD SIDING
- 6 WOOD TRIM AND BATTEN
- 7 WOOD TRIM HORIZONTAL
- 8 WINDOW & DOOR TRIM @ BOARD AND BATTEN
- 9 WINDOW TRIM @ HARDIE SIDING
- 10 VINYL WINDOWS
- 11 METAL GUTTERS
- 12 SOLID-CORE EXTERIOR DOOR (REVERSE SHED ROOF)
- 13 HARDIE SOFFIT FOR REVERSE SHED ROOF
- 14 HARDIE SIDING
- 15 DOWNSPOUTS
- 18 MATCH TO SOFFIT COLOUR

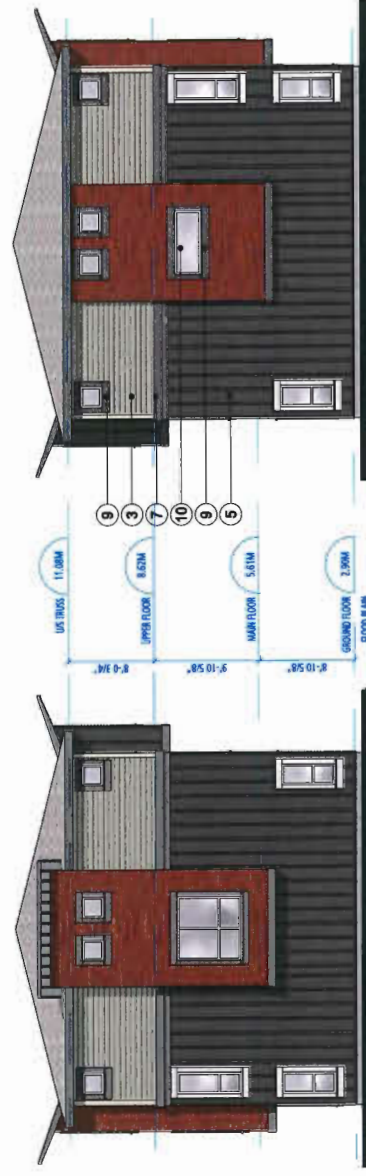
GAF-WEATHERED WOOD  
BENJAMIN MOORE - 2143-30 IRON MOUNTAIN  
HARDIE COURTLISS SIDING - COBBLE STONE  
SHERWIN WILLIAMS - SW700 BLACK FOX  
HARDIE COURTLISS SIDING - COBBLE STONE  
BENJAMIN MOORE - 2143-30 IRON MOUNTAIN  
BENJAMIN MOORE - HC-170 STONINGTON GREY  
BENJAMIN MOORE - 2143-30 IRON MOUNTAIN  
White  
GENTEK - IRON ONE  
SHERWIN WILLIAMS - SW6548 PENNYWISE  
HARDIE SOFFIT FOR REVERSE SHED ROOF  
HARDIE SOFFIT NON VENTED SMOOTH, COBBLE STONE  
COBBLE STONE  
MATCH TO SOFFIT COLOUR



**BLOCK Y - SOUTH ELEVATION**



**BLOCK Y - NORTH ELEVATION**



**BLOCK Y - EAST ELEVATION**

**BLOCK Y - NORTH ELEVATION**

**ELEVATIONS &  
BLOCK PLANS  
BLOCK Y**

SCALE 1/8" = 1'-0"  
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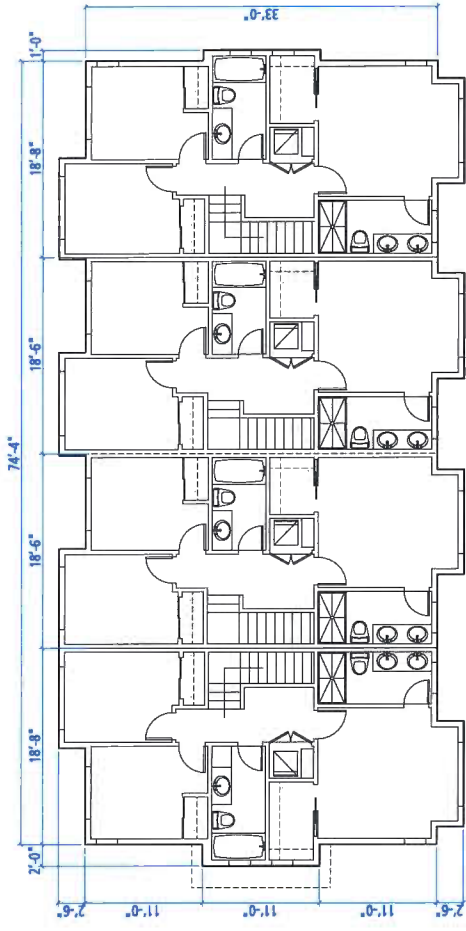
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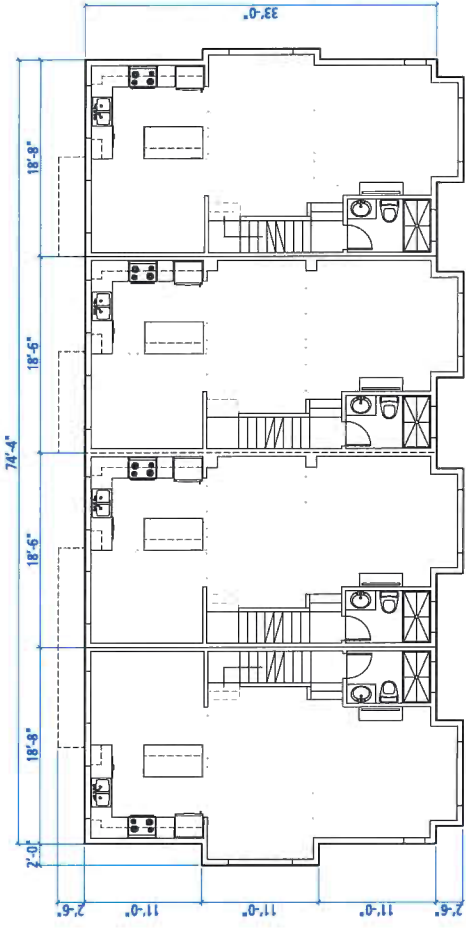
**PLAN#13**



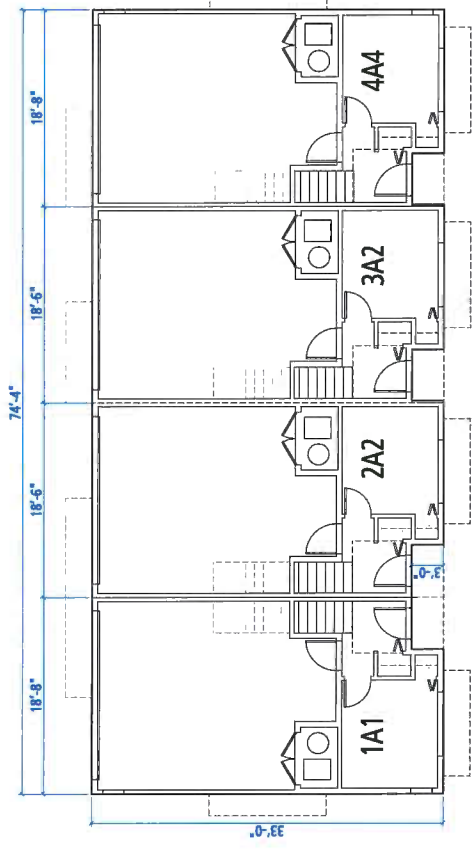




**BLOCK Z - UPPER FLOOR**



**BLOCK Z - MAIN FLOOR**



**BLOCK Z - GROUND FLOOR**

**PROVISION OF ACCESSIBILITY FEATURES ON ALL UNITS:**

- Entry doors minimum 825 mm clear opening (32" swinging door spec.)
- Hallways minimum 900 mm width
- Grab bars to be installed in all bathrooms (toilet, tub and shower)
- Provision of lever door handles
- One window that can be opened from inside
- One window that can be opened with a single hand in one bedroom

**EXTERIOR FINISHES SCHEDULE (GREEN)**

- ASPHALT SHINGLES
- WOOD FASCIA
- WOOD SHINGLES
- WOOD SIDING
- HARDIE BOARD AND BATTEN
- WOOD TRIM
- WOOD TRIM HORIZONTAL
- WINDOW & DOOR TRIM @ BOARD AND BATTEN
- WINDOW TRIM @ HARDIE SIDING
- VINYL WINDOWS
- METAL GUTTERS
- TERAZO
- GARAGE DOOR OVERHEAD DOOR
- HARDIE SOFFIT FOR REVERSE SHED ROOF
- HARDIE SIDING
- DOWNSPOUTS

**EXTERIOR FINISHES SCHEDULE (GREEN)**

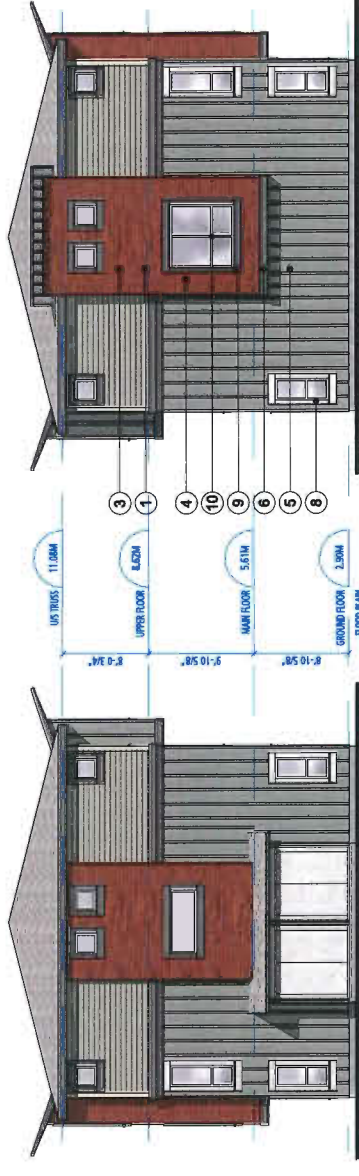
- GUF - WEATHERED WOOD
- BENJAMIN MOORE - 2163-30 IRON MOUNTAIN
- CECILIA - COBBLE STONE
- CEDAR SIDING
- BENJAMIN MOORE - 2146-40 STORM CLOUD GREY
- HARDIE COLOURPLUS SIDING - COBBLE STONE
- BENJAMIN MOORE - 2143-30 IRON MOUNTAIN
- BENJAMIN MOORE - HC-170 STONINGTON GREY
- BENJAMIN MOORE - 2163-30 IRON MOUNTAIN
- White
- VENTEK - IRON ORE
- SHS649 PENNYWISE
- TERAZO
- TERRA BRONZE
- HARDIE SOFFIT NON VENTED SMOOTH, COBBLE STONE
- COBBLE STONE
- MATCH TO SOFFIT COLOUR



**BLOCK Z - SOUTH ELEVATION**



**BLOCK Z - NORTH ELEVATION**



**BLOCK Z - EAST ELEVATION**

**BLOCK Z - WEST ELEVATION**

**ELEVATIONS & BLOCK PLANS & BLOCK Z**

SCALE 1/8" = 1'-0"

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**NORTHVIEW ESTATE**

Plan 18 Jan 26, 2018  
**DP 16-721500**

**FOUGERE architecture inc.**  
 BRITISH COLUMBIA - ALBERTA - WASHINGTON  
 202-2425 Quebec Street Vancouver, BC V5T 4E5  
 604.873.2907  
**PLAN#14** fougerearchitecture.ca



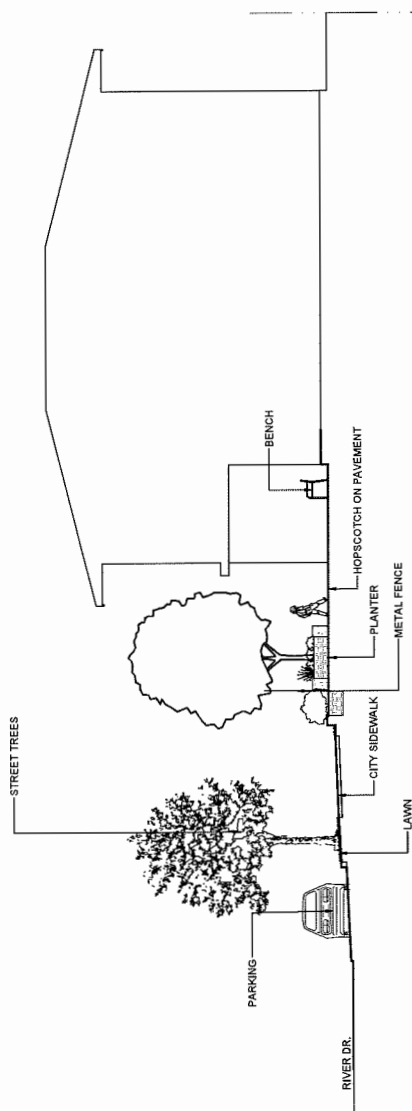
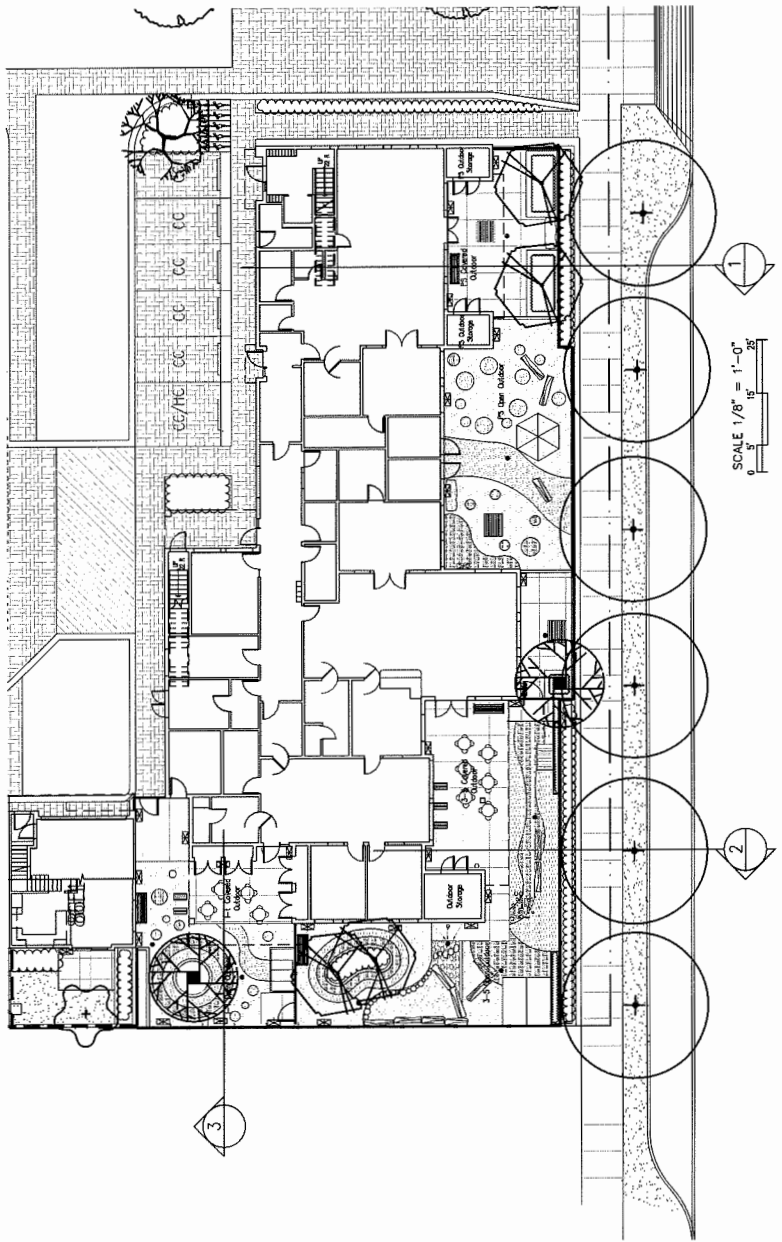


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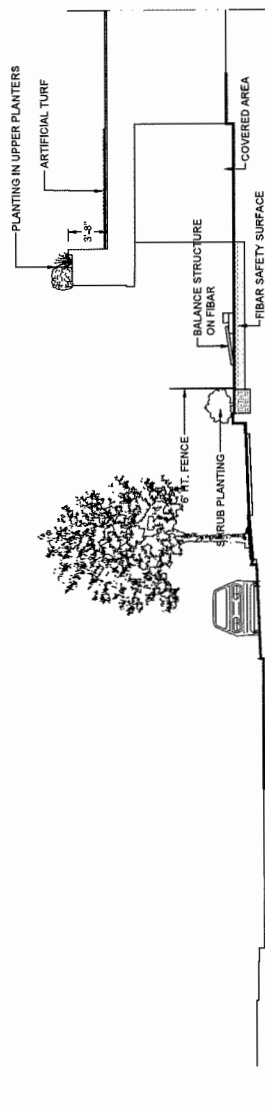
**png**  
LANDSCAPE ARCHITECTS

Suite C100 - 4186 Still Creek Drive  
Burnaby, British Columbia, V5C 6G8  
P: 604 294-0011 ; F: 604 294-0022

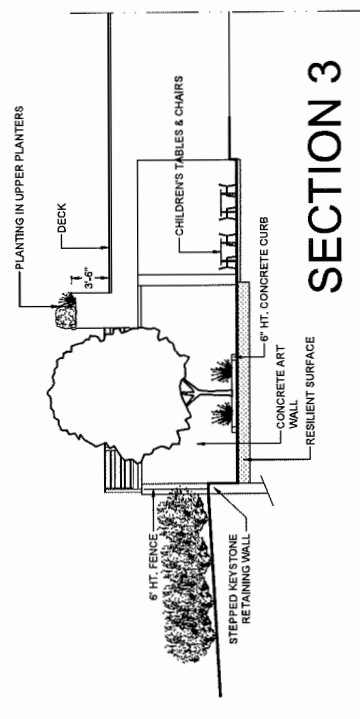
SEAL:



SECTION 1



SECTION 2



SECTION 3

NO.	DATE	REVISION DESCRIPTION	DR.
14	18.MAR.18	ISSUED FOR BP	MM
13	18.MAR.18	REVISED DRAFTING	DO
12	17.DEC.17	UPDATED DRAFTING	MM
11	17.NOV.17	REV. DRAFTING	MM
10	17.OCT.17	REV. AS PER MIN. COMMENTS	MM
9	17.OCT.17	REV. AS PER MIN. COMMENTS	MM
8	17.APR.18	REV. AS PER MIN. COMMENTS	MM
7	17.APR.18	COMMENT	DO
6	17.APR.18	NEW SITE PLAN WORK COMMENTS	MM
5	15.NOV.17	NEW SITE PLAN COMMENTS	TR
4	15.NOV.17	NEW SITE PLAN WORK COMMENTS	MM
3	15.NOV.17	LANDSCAPE DRAFTING PLAN	DO
2	15.NOV.17	DRAFTING	MM
1	15.NOV.17	NEW SITE PLAN	MM

CLIENT:

Plan 20 Jan 26, 2018  
DP 16-721500

PROJECT:

**NORTHVIEW ESTATE**  
10311 RIVER DR.  
RICHMOND, B.C.

DRAWING TITLE:  
**LANDSCAPE SECTIONS**

DATE: 15.AUG.18 DRAWING NUMBER:  
SCALE: 1/8"=1'-0" **L12**  
DRAWN: MM OF 17  
DESIGN: MM  
CHKD:

PNG PROJECT NUMBER: 15-116

15116-17.ZIP

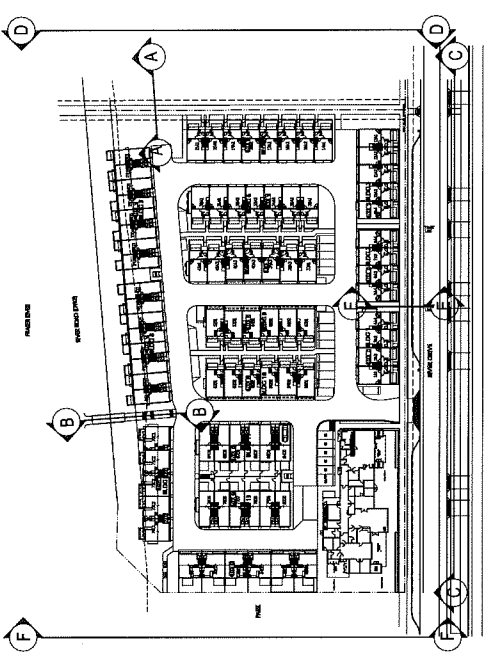


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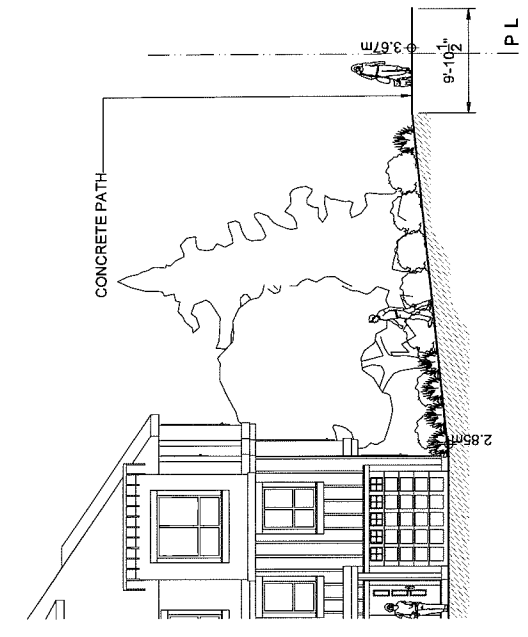
**pmg**  
LANDSCAPE ARCHITECTS

Suite C100 - 4185 Sni Creek Drive  
Burnaby, British Columbia, V5C 6G9  
P: 604 294-0011 ; F: 604 294-0022

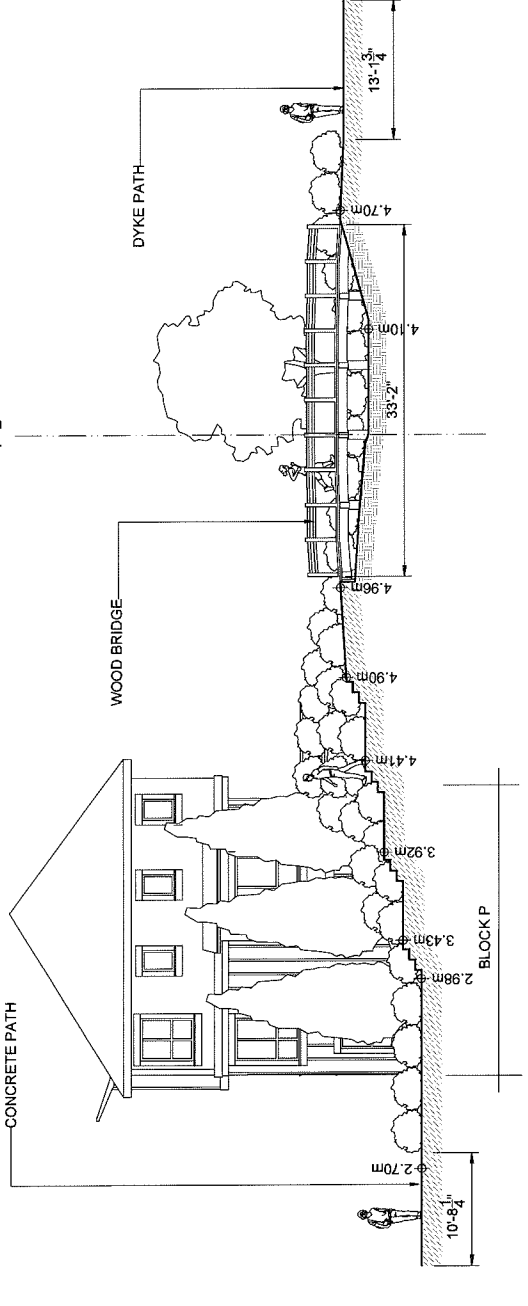
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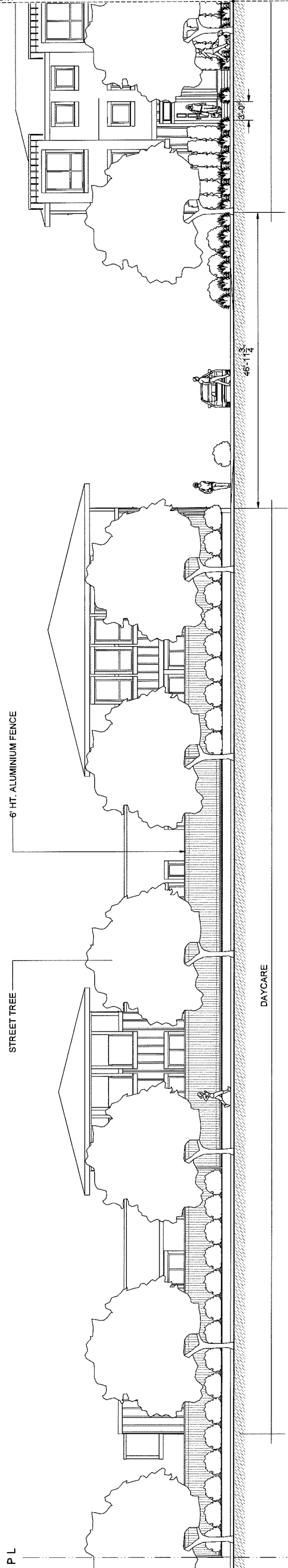
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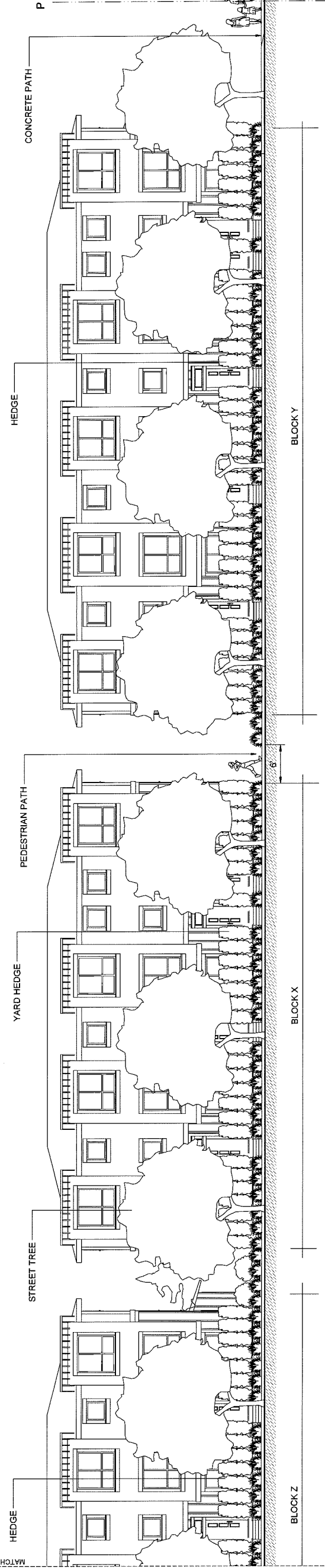
SECTION A-A 1/8"=1'-0"



SECTION B-B 1/8"=1'-0"



SECTION C-C (WEST PART) 1/8"=1'-0"



SECTION C-C (EAST PART) 1/8"=1'-0"

NO.	DATE	REVISION DESCRIPTION	DR.
14	BLANK	ISSUED FOR SP	MM
15	BLANK	REVISED DAYCARE BUILDING	DO
17	17.06.23	UPDATED DAYCARE	MM
11	17.07.20	REV DAYCARE BUS OUTLINE	MM
10	17.07.22	REV AS PER MAIN COMMENTS	MM
9	17.07.18	REV AS PER MAIN COMMENTS	MM
8	17.07.19	REV AS PER MAIN COMMENTS	MM
7	17.07.18	COMMENTS	DO
6	17.04.17	NEW SITE PLAN, MAIN COMMENTS	MM
5	16.09.17	NEW SITE PLAN, COMMENTS	FR
4	16.09.15	NEW SITE PLAN, MAIN COMMENTS	MM
3	16.09.18	LANDSCAPE GRADING PLAN	CLG
2	15.08.23	DP SUBMISSION	MM
1	15.09.17	NEW SITE PLAN	MM

CLIENT:

Plan 21 Jan 26, 2018  
DP 16-721500

PROJECT:  
**NORTHVIEW ESTATE**  
10311 RIVER DR.  
RICHMOND, B.C.

DRAWING TITLE:  
**LANDSCAPE SECTIONS**

DATE: 15 NOV 23 DRAWING NUMBER:  
SCALE: 1/8"=1'-0" **L13**  
DRAWN: MM OF 17  
DESIGN: MM  
CHKD:

PMG PROJECT NUMBER: 15-116

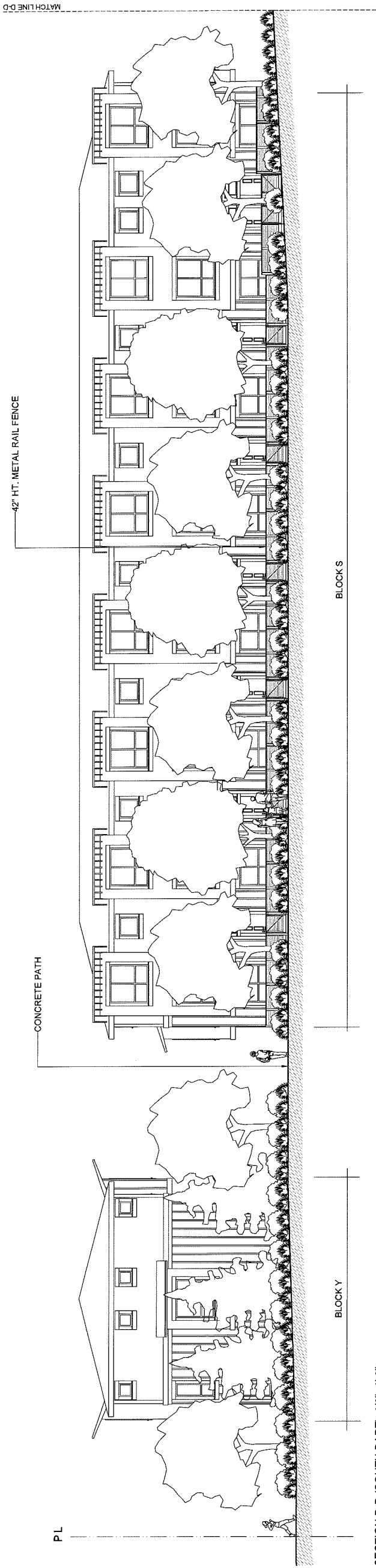
15116-17.ZIP

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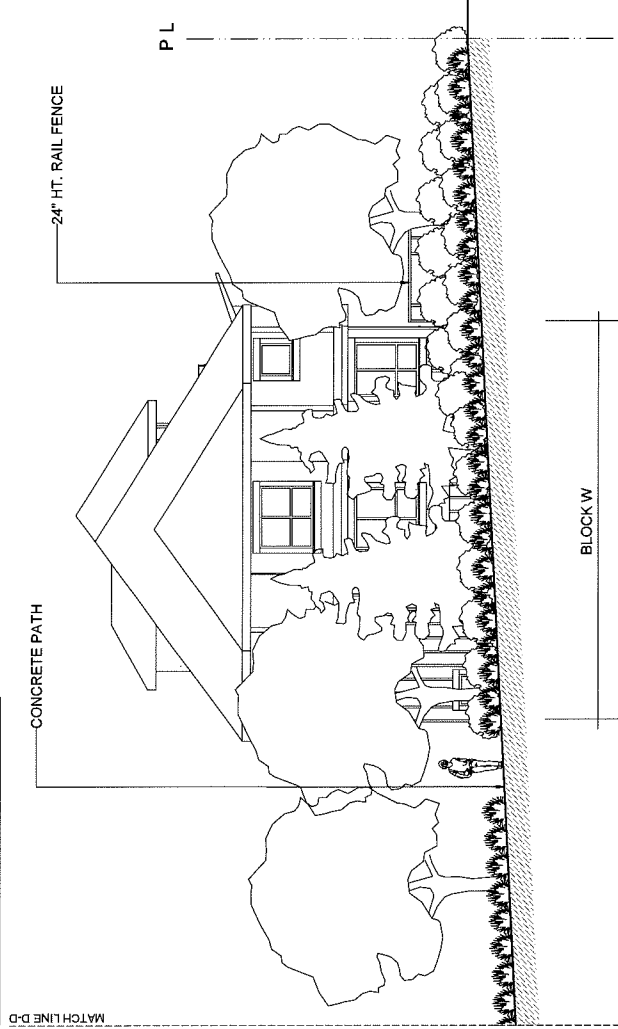
**pmg**  
LANDSCAPE ARCHITECTS

Suite C100 4185 Still Creek Drive  
Burlington, Ontario L7R 4A4  
P: 604-294-0011 F: 604-294-0022

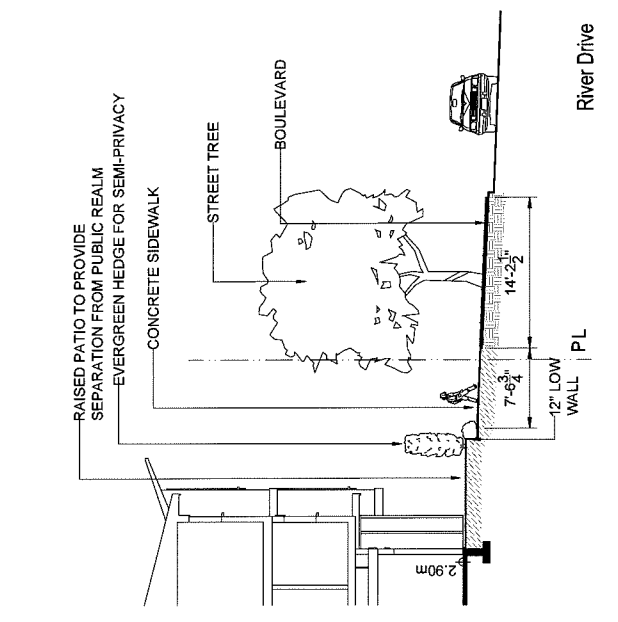
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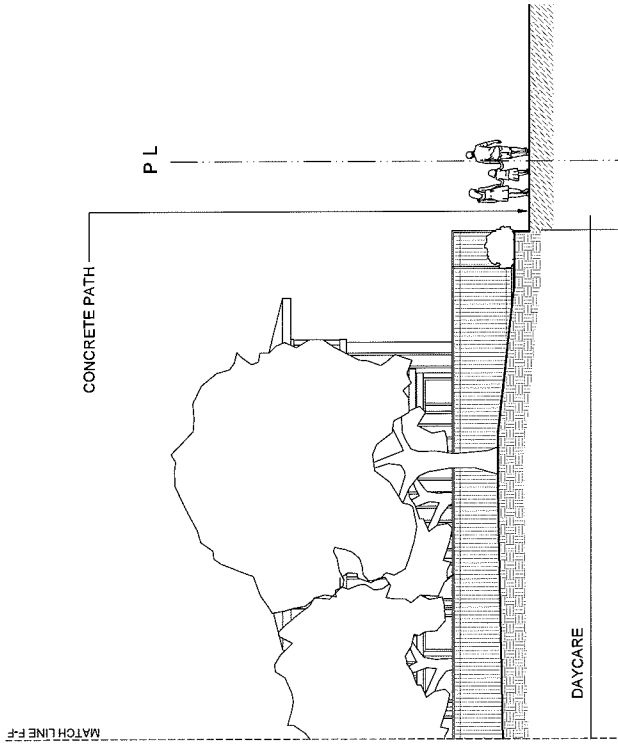
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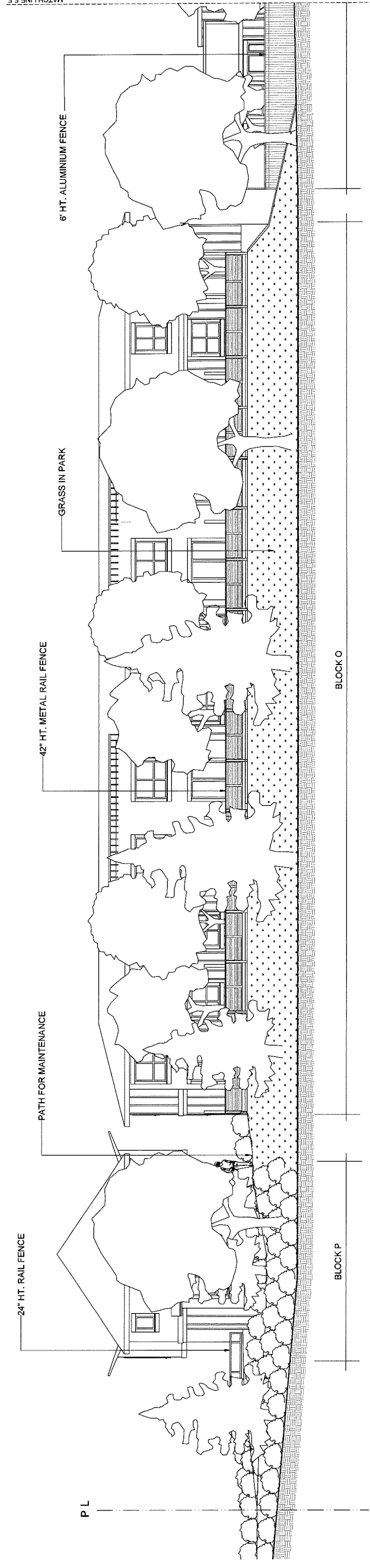
SECTION D-D (NORTH PART) 1/8"=1'-0"



SECTION E-E 1/8"=1'-0"



SECTION F-F (SOUTH PART) 1/8"=1'-0"



SECTION F-F (NORTH PART) 1/8"=1'-0"

NO.	DATE	REVISION DESCRIPTION	DR.
14	15 JAN 15	REVISED PER RP	MM
15	15 JAN 15	REVISED PER BUILDING DEPT	MM
16	17 DEC 11	REVISED PER LANSKAP	MM
17	17 NOV 13	REVISED PER LANSKAP	MM
18	17 NOV 13	REVISED PER LANSKAP	MM
19	17 NOV 13	REVISED PER LANSKAP	MM
20	17 NOV 13	REVISED PER LANSKAP	MM
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99	17 NOV 13	REVISED PER LANSKAP	MM
100	17 NOV 13	REVISED PER LANSKAP	MM

Plan 22 Jan 26, 2018  
DP 16-721500

PROJECT:  
**NORTHVIEW ESTATE**  
10311 RIVER DR.  
RICHMOND, B.C.

DRAWING TITLE:  
**LANDSCAPE SECTIONS**

DATE: 15 NOV 23 DRAWING NUMBER:  
SCALE: 1/8"=1'-0"  
DRAWN: MM  
DESIGN: MM  
CHKD: MM

**L14**

OF 17

PMG PROJECT NUMBER: 15-116

15116-172P





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**pmg**  
LANDSCAPE ARCHITECTS  
Suite C108 4185 Still Creek Drive  
Richmond, British Columbia, V5C 6G9  
P: 604-294-0011; F: 604-294-0022

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
14	18.AUG.28	ISSUED FOR RP	MM
15	18.AUG.28	REVISE LANSCAPE BUILDING	DD
16	17.FEB.11	REVISED DATELINE	MM
17	17.OCT.10	REV. LANSCAPE BUSH OUTLINE	MM
18	17.OCT.10	REV. AS PER MAIN COMMENTS	MM
19	17.OCT.10	REV. AS PER MAIN COMMENTS	MM
20	17.OCT.10	REV. AS PER MAIN COMMENTS	MM
21	17.AUG.18	COMMENTS	DD
22	17.AUG.17	NEW SITE PLAN, MAIN COMMENTS	MM
23	16.NOV.15	NEW SITE PLAN, MAIN COMMENTS	MM
24	16.NOV.15	LANDSCAPE GRADING PLAN	CG
25	15.FEB.12	DP SUBMISSION	MM
26	15.NOV.17	NEW SITE PLAN	MM

Plan 24 Jan 26, 2018  
DP 16-721500

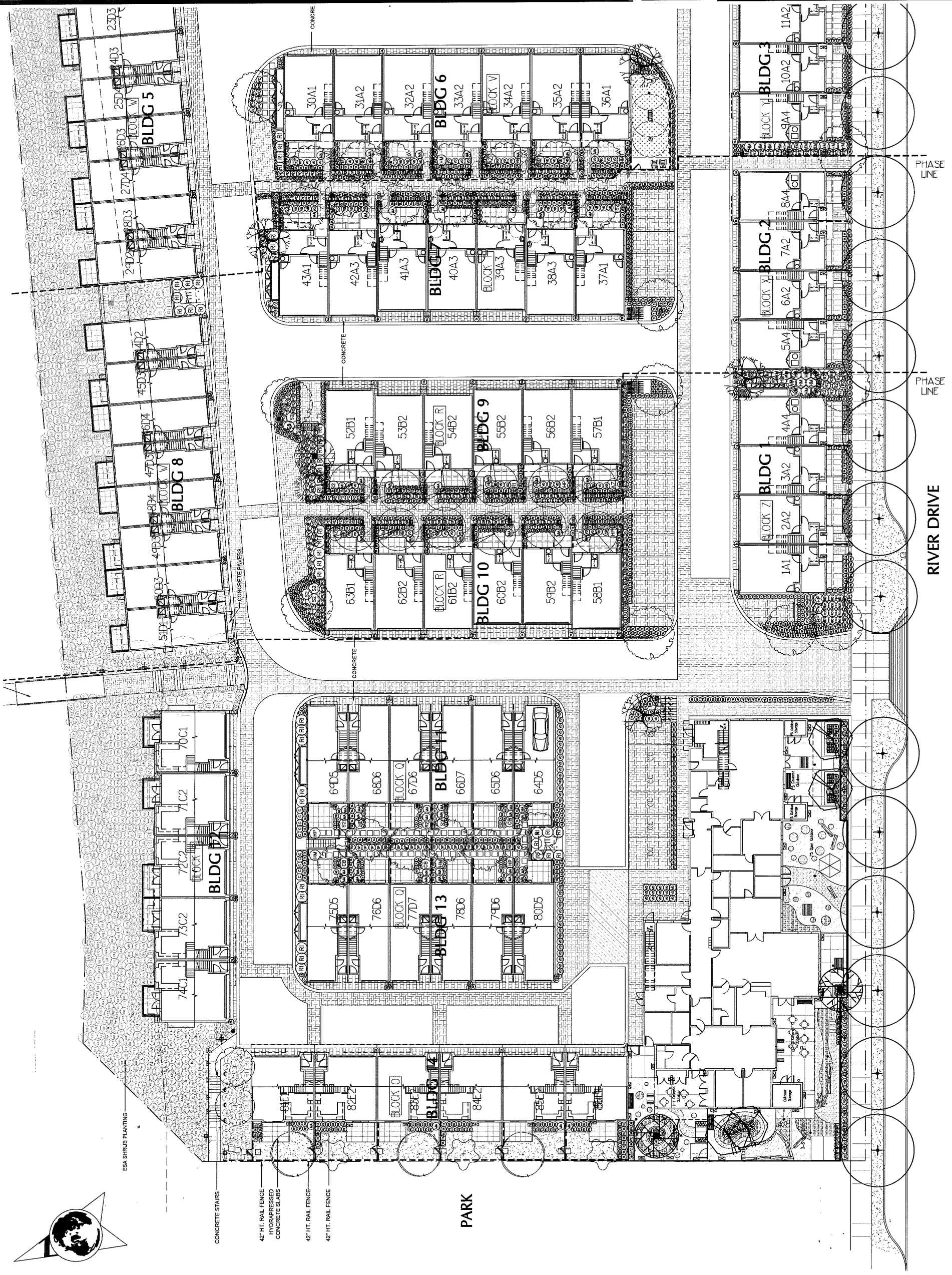
PROJECT:

**NORTHVIEW ESTATE**  
10311 RIVER DR.  
RICHMOND, B.C.

DRAWING TITLE:  
**LANDSCAPE SHRUB PLAN**

DATE: 15 SEP 01 DRAWING NUMBER:  
SCALE: 1/8"=1'-0" **L2**  
DRAWN: MM OF 17  
DESIGN: MM  
CHKD: MCY

PMG PROJECT NUMBER: 15-116



15116-17.ZIP

SEAL:

**PLANT SCHEDULE ON-SITE** PMG PROJECT NUMBER: 15118

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
11	1	ACER ORIENTALUM	VINE MAPLE	2.5M HT. B&B, 3 STEM CLUMP
9	1	ACER GRIBESUM	PAPERBARK MAPLE	6CM CAL., 1.5M STD. B&B
12	1	ACER X FREEMANII 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	10CM CAL., 2.0M STD. B&B
13	1	CARPINUS BETULUS FRANS FONTAINE	EUROPEAN HORNBEAM	8CM CAL., 1.5M STD. B&B
10	4	CORNUS NUTTALLII	PACIFIC DOGWOOD	2.5M HT. B&B
4	1	CORNUS X CELESTIAL	CELESTIAL DOGWOOD	5CM CAL. B&B
14	1	FAGUS SYLVATICA DAWYCK	PASTIGIATE OR DAWYCK BEECH	7CM CAL. B&B
16	1	LIQUIDAMBAR STYRACIFLUA 'WORPLESDON'	WORPLESDON SWEET GUM	6CM CAL., 2M STD. B&B
5	3	MALUS FUSCA	PACIFIC CRABAPPLE	5CM CAL., 1.5M STD. B&B
3	3	PICEA OMORICA	SERBIAN SPRUCE	2.5M HT. B&B, SINGLE LEADER, SPECIMEN
8	1	PYRUS CALLERYANA 'CHANTICLEER'	DOUGLAS FIR	2.5M HT. B&B
20	1	STYRAX JAPONICUS	CHANTICLEER PEAR	8CM CAL., 1.5M STD. B&B
8	1	STYRAX JAPONICUS	JAPANESE SNOWBELL	2.5M HT., B&B
5	1	AZALEA 'ORCHID LIGHTS'	DECIDUOUS AZALEA, LILAC	#3 POT, 40CM
7	1	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT'	BLUEBEARD	#3 POT, 60CM
44	1	CORNUS SERICEA	RED TWIG DOGWOOD	#2 POT, 80CM
29	1	HYDRANGEA MACROPHYLLA 'NIKKO BLUE'	BIGLEAF HYDRANGEA (BLUE)	#2 POT, 80CM
20	1	HYDRANGEA PAN. 'BIG BEN'	FREEZE HYDRANGEA	#2 POT, 80CM
180	1	MAHONIA DOMESTICA 'FIRE POWER'	DWARF HEAVENLY BAMBOO	#2 POT, 80CM
489	1	PACHYSTIMA MYRSINITES	ORANGE BOY	#2 POT, 80CM
37	1	PIGEOBLETICA 'WANT KRUSCHKE'	RED GARDEN BLUE	#2 POT, 80CM
12	1	POSA 'REDLAND RED'	RED FLORENGE CURLENT	#2 POT, 80CM
141	1	POSA NUTKANA	NEILAND ROSE, RED, 9M MATURE HT	#2 POT, 40CM
187	1	SPRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIRAEA, PINK	#2 POT, 40CM
180	1	SYMPHORICARPOS ALBUS	SNOWBERRY	#2 POT, 90CM
16	1	SYRINGA PATULA 'MISS KIM'	MISS KIM COMPACT LILAC	#3 POT, 80CM
784	1	TAXUS X MEDIA 'H.M. EDIE'	EDDIE'S YEW	1M HT. B&B
293	1	VIBURNUM DAVIDI	DAVID'S VIBURNUM	#2 POT, 30CM
10	1	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	#1 POT
218	1	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	#2 POT
7	1	IMPERATA CYLINDRICA 'RED BARON'	BLOOD GRASS	#1 POT
82	1	MISCANTHUS SINENSIS 'ADAGIO'	MAIDEN GRASS	#1 POT
343	1	PENISSETUM ALOPECUROIDES 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	#1 POT
304	1	SESLERIA HEUFLEIANA	BLUE-GREEN MOOR GRASS	#1 POT
175	1	STIPA TENUISSIMA	MEXICAN FEATHER GRASS	#1 POT
13	1	LONICERA JAPONICA	HONEYSUCKLE	#2 POT, 80CM, STAKED
3	1	PASSIFLORA INCENSE	BLUE PASSION FLOWER	#3 POT, 75CM, STAKED
105	1	CROCOSMIA X C. 'LUCIFER'	LUCIFER CROCOSMIA	#1 POT
32	1	RUBROCKIA PULGIDA 'VAN SULLIVANTI'	GOLDSTURM/RUBROCKIA, YELLOW	#1 POT
11	1	ARCTOSTAPHYLOS DIVA 'JUREI MASSACHESSETTS'	KINNIKINICK	#1 POT, 80CM
60	1	FRAGARIA X ANANASSA	GARDEN STRAWBERRY	9CM POT
437	1	GAUL THERIA SHALLOX	SALAL	#1 POT, 20CM
473	1	MAHONIA NERVOSA	LONGLEAF MAHONIA	#1 POT, 25CM
863	1	POLYSTICHUM MULTIVIM	WESTERN SWORD FERN	#1 POT, 25CM
176	1	VACCINIUM VITIS-IDAEA	LINGONBERRY	#1 POT

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER ONLA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR DEFINED CONTAINER REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS. UNAPPROVED SUBSTITUTIONS WILL BE CONSIDERED AS A VIOLATION OF THE CANADIAN LANDSCAPE STANDARD. \* DEFINITION OF CONDITIONS OF AVAILABILITY: ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED CANADIAN LANDSCAPE STANDARD'S LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.

ALL UNIRRIGATED AREAS TO BE IRRIGATED WITH DESIGN BUILD AUTOMATIC IRRIGATION SYSTEM WHICH MEETS IMBC STANDARDS.

\* TREES: DEPTH TO BE MINIMUM 24" OR DEPTH OF ROOT BALL; WIDTH TO BE TWICE THE WIDTH OF ROOT BALL

\* SHRUBS: MINIMUM DEPTH TO BE 18"

\* PERENNIALS, FERNS, ORNAMENTAL GRASS & GROUNDCOVER: MINIMUM DEPTH TO BE 9"

\* SOD LAWN: MINIMUM DEPTH TO BE 6"

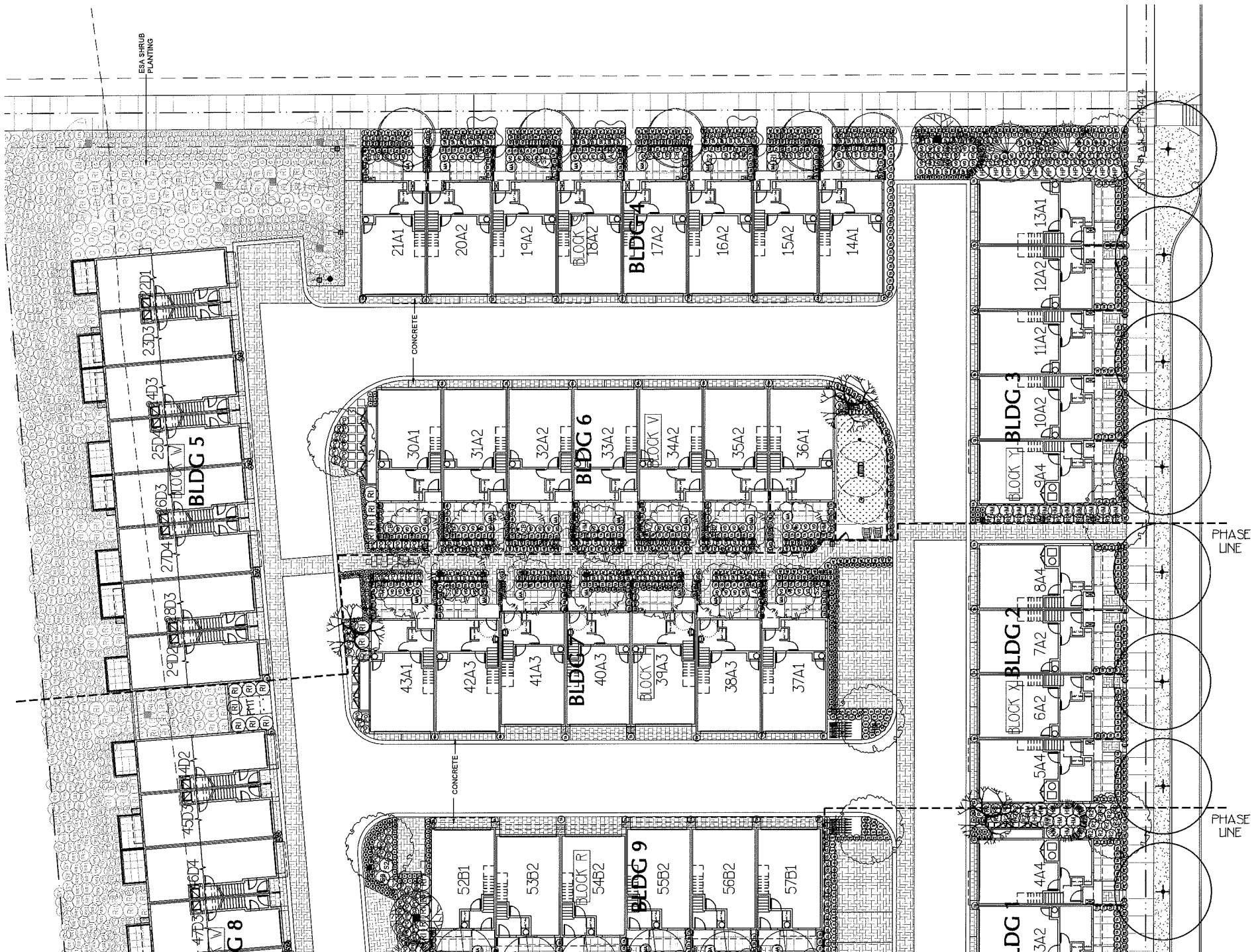
\* ALL SOFT LANDSCAPE AREAS WILL BE IRRIGATED WITH AUTOMATIC IRRIGATION SYSTEM PER IMBC STANDARDS

**PLANT SCHEDULE** PMG PROJECT NUMBER: 15-118

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
16	1	ACER RUBRUM 'MORGAN'	MORGAN MAPLE	7CM CAL., 2M STD. WB

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BCI LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER ONLA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR DEFINED CONTAINER REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS. UNAPPROVED SUBSTITUTIONS WILL BE CONSIDERED AS A VIOLATION OF THE CANADIAN LANDSCAPE STANDARD. \* DEFINITION OF CONDITIONS OF AVAILABILITY: ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BCI LANDSCAPE STANDARD'S LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.

OFF-SITE STREET TREE INSTALLATION AS PER SERVICES AGREEMENT AND NOT PART OF ON-SITE APPLICATION INFORMATION ONLY SHOWN FOR CONTEXT



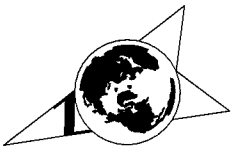
Plan 25 Jan 26, 2018  
DP 16-721500

PROJECT:  
**NORTHVIEW ESTATE**  
10311 RIVER DR.  
RICHMOND, B.C.

DRAWING TITLE:  
**LANDSCAPE SHRUB PLAN**

DATE: 15 SEP 01 DRAWING NUMBER:  
SCALE: 1/16"=1'-0" **L3**  
DRAWN: MM DESIGN: MM OF 17  
CHKD: MCY

PMG PROJECT NUMBER: 15-116





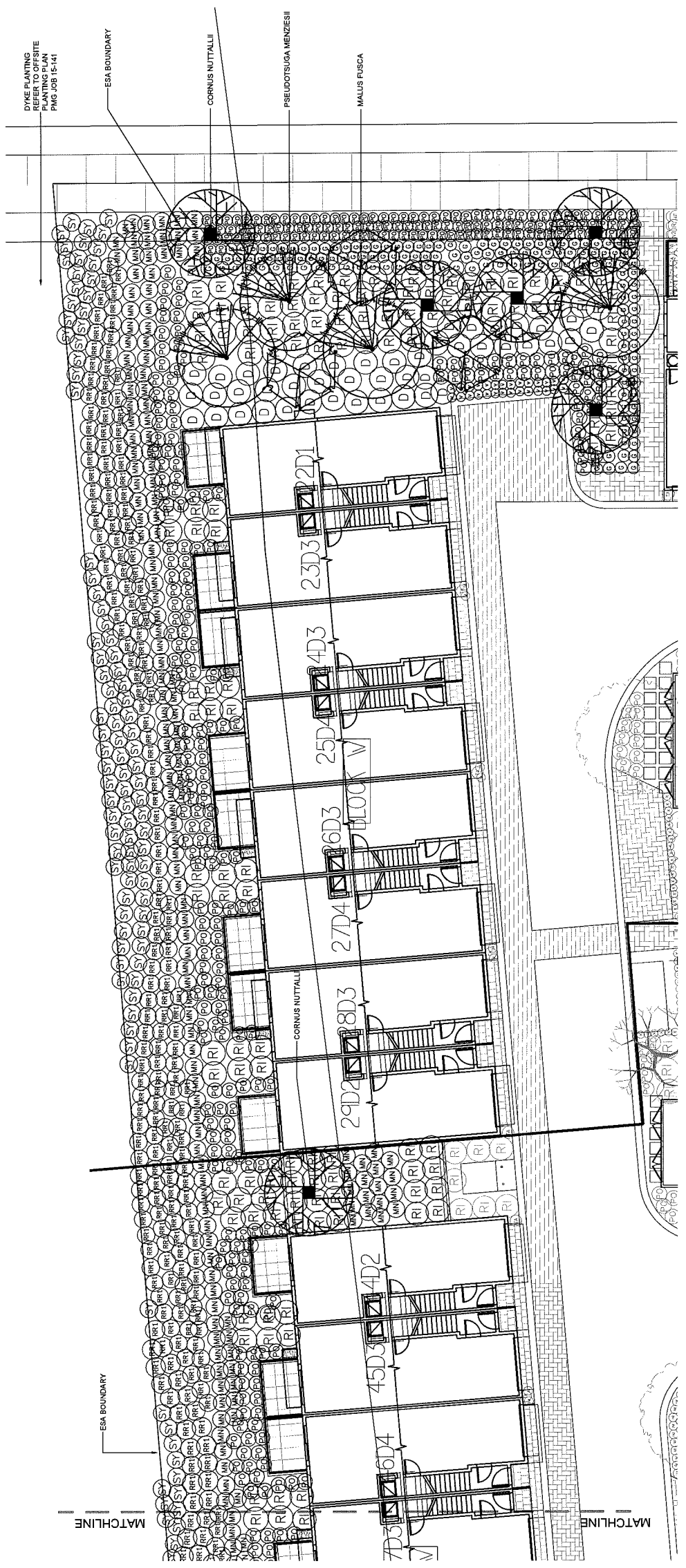


SEAL:

PLANT SCHEDULE FOR L16 & L17

PLANT SCHEDULE		ON-SITE ESA	PMG PROJECT NUMBER: 15116
KEY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE			
(C)	ACER CIRCINATUM	VINE MAPLE	2.5M HT, 88B; 3 STEM CLUMP
(D)	CORNUS NUTTALLI	PACIFIC DOGWOOD	2.5M HT, 88B; 3 STEM CLUMP
(R)	CORNUS NUTTALLI	PACIFIC CRAPPLE	5M CAL, 1.5M STD, 88B
(S)	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	2.5M HT, 88B
(X)	CORNUS SERICEA	REDTWIG DOGWOOD	#2 POT, 50CM
(Y)	ROSA NUTKANA	BALDHIP ROSE	#2 POT, 40CM
(Z)	RUBUS SPECTABILIS	SALMONBERRY	#2 POT, 40CM
(AA)	SYMPHORICARPOS ALBUS	SNOWBERRY	#2 POT, 30CM
(AB)	LEYMUS MOLLIIS (ESA)	DUNEGRASS	#1 POT
(AC)	GAILTHERIA SHALLOON	SALAL	#1 POT, 200M;
(AD)	MAHONIA NERVOSA	LONGLEAF MAHONIA	#1 POT, 25CM
(AE)	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT, 25CM
(AF)	VACCINIUM VITIS-IDAEA	LINGONBERRY	#1 POT

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES ARE CHECKED AS PER CANA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW, MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE CONSIDERED AS A BREACH OF CONTRACT. \* ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY TO CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED CANADIAN LANDSCAPE STANDARD'S LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.



NO.	DATE	REVISION DESCRIPTION	DR.
14	18.AUG.25	ISSUED FOR RP	MM
15	18.AUG.25	REVISE DATACARE BUILDING	DD
16	17.AUG.23	UPDATED DATACARE	MM
17	17.AUG.23	REV. DATACARE BLS OUTLINE	MM
18	17.OCT.22	REV. AS PER MAIN COMMENTS	MM
19	17.OCT.22	REV. AS PER MAIN COMMENTS	MM
20	17.OCT.22	REV. AS PER MAIN COMMENTS	MM
21	17.OCT.22	REV. AS PER MAIN COMMENTS	MM
22	17.OCT.22	REV. AS PER MAIN COMMENTS	MM
23	17.OCT.22	REV. AS PER MAIN COMMENTS	MM
24	17.OCT.22	REV. AS PER MAIN COMMENTS	MM
25	17.OCT.22	REV. AS PER MAIN COMMENTS	MM
26	17.OCT.22	REV. AS PER MAIN COMMENTS	MM
27	17.OCT.22	REV. AS PER MAIN COMMENTS	MM
28	17.OCT.22	REV. AS PER MAIN COMMENTS	MM
29	17.OCT.22	REV. AS PER MAIN COMMENTS	MM
30	17.OCT.22	REV. AS PER MAIN COMMENTS	MM
31	17.OCT.22	REV. AS PER MAIN COMMENTS	MM
32	17.OCT.22	REV. AS PER MAIN COMMENTS	MM
33	17.OCT.22	REV. AS PER MAIN COMMENTS	MM
34	17.OCT.22	REV. AS PER MAIN COMMENTS	MM
35	17.OCT.22	REV. AS PER MAIN COMMENTS	MM
36	17.OCT.22	REV. AS PER MAIN COMMENTS	MM
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43	17.OCT.22	REV. AS PER MAIN COMMENTS	MM
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45	17.OCT.22	REV. AS PER MAIN COMMENTS	MM
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78	17.OCT.22	REV. AS PER MAIN COMMENTS	MM
79	17.OCT.22	REV. AS PER MAIN COMMENTS	MM
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81	17.OCT.22	REV. AS PER MAIN COMMENTS	MM
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84	17.OCT.22	REV. AS PER MAIN COMMENTS	MM
85	17.OCT.22	REV. AS PER MAIN COMMENTS	MM
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88	17.OCT.22	REV. AS PER MAIN COMMENTS	MM
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90	17.OCT.22	REV. AS PER MAIN COMMENTS	MM
91	17.OCT.22	REV. AS PER MAIN COMMENTS	MM
92	17.OCT.22	REV. AS PER MAIN COMMENTS	MM
93	17.OCT.22	REV. AS PER MAIN COMMENTS	MM
94	17.OCT.22	REV. AS PER MAIN COMMENTS	MM
95	17.OCT.22	REV. AS PER MAIN COMMENTS	MM
96	17.OCT.22	REV. AS PER MAIN COMMENTS	MM
97	17.OCT.22	REV. AS PER MAIN COMMENTS	MM
98	17.OCT.22	REV. AS PER MAIN COMMENTS	MM
99	17.OCT.22	REV. AS PER MAIN COMMENTS	MM
100	17.OCT.22	REV. AS PER MAIN COMMENTS	MM

Plan 27 Jan 26, 2018  
DP 16-721500

PROJECT:  
**NORTHVIEW ESTATE**  
10311 RIVER DR.  
RICHMOND, B.C.

DRAWING TITLE:  
**ESA LANDSCAPE PLAN**

DATE: 15.AUG.21  
SCALE: 1"=10'-0"  
DRAWN: MM  
DESIGN: MM  
CHKD: MM

DRAWING NUMBER:  
**L16**  
OF 17

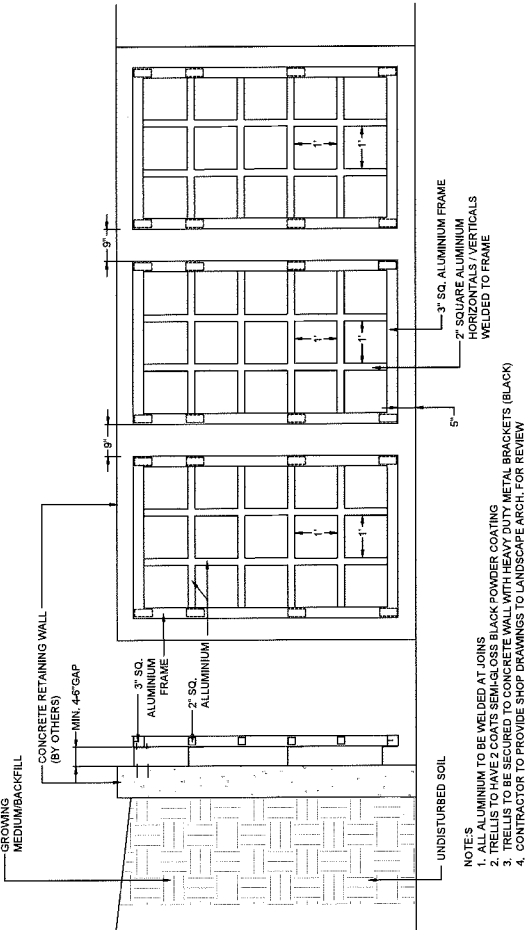
PMG PROJECT NUMBER:  
15-116

15116-17.ZP

SEAL:

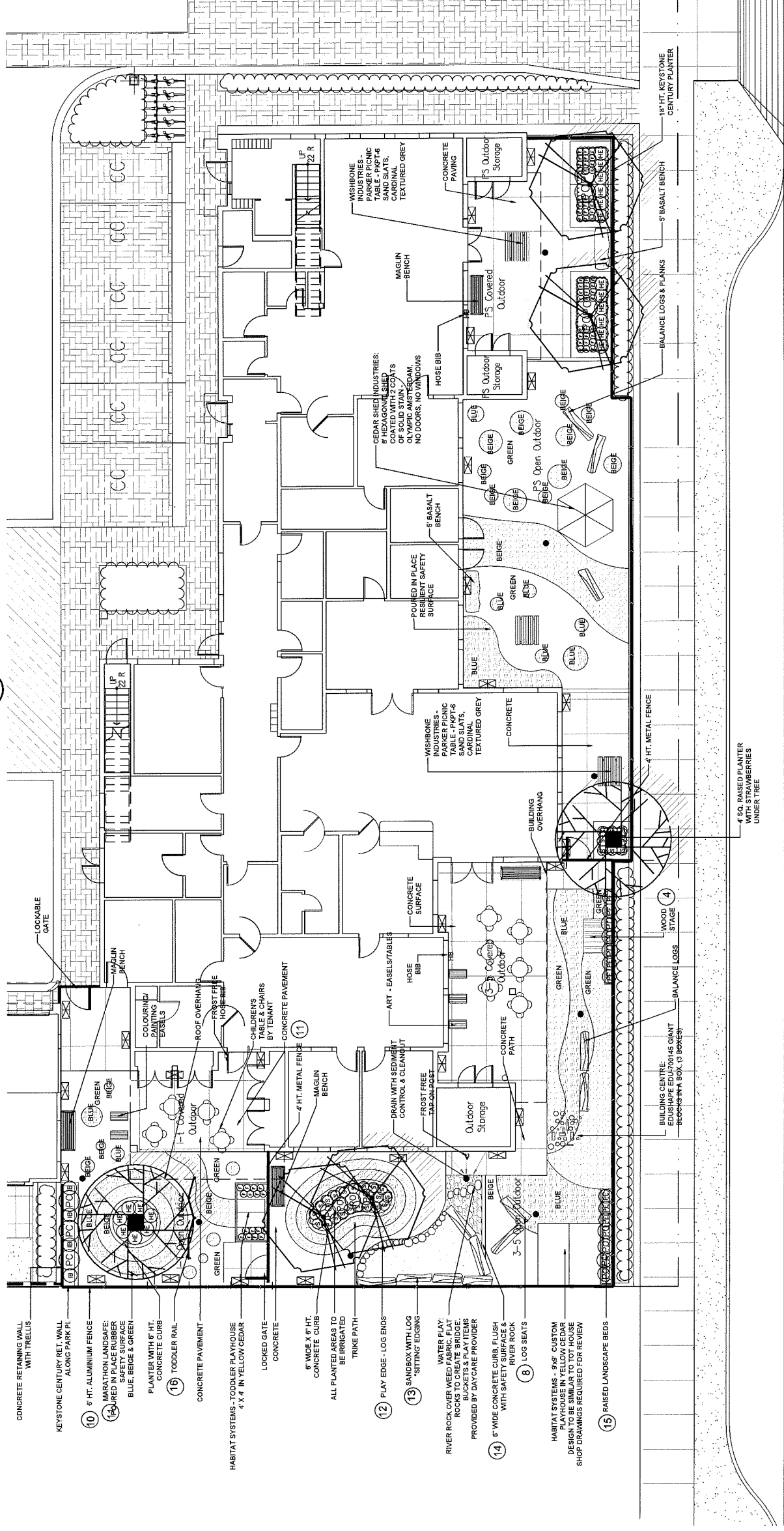
PLANT SCHEDULE			PMG PROJECT NUMBER: 15-115
KEY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE	CORNUS NUTTALLII X STARLIGHT	PACIFIC DOGWOOD VAR	2.5M HT; B&B
TREE	CORNUS X CELESTIAL	CELESTIAL DOGWOOD	50M CAL; B&B
GRASS	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	#2 POT
GRASS	IMPERATA CYLINDRICA RED BARDON	BLOOD GRASS	#1 POT
GRASS	PENNISETUM ALOPECUROIDES LITTLE BUNNY	LITTLE BUNNY FOUNTAIN GRASS	#1 POT
GRASS	STIPA TENUSSISMA	MEXICAN FEATHER GRASS	#1 POT
FL	PASSIFLORA INCENSE	BLUE PASSION FLOWER	#6 POT, 75CM; STAKED
FL	FRAGARIA ANANASSA	GARDEN STRAWBERRY	8CM POT
FL	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT; 25CM

NOTES: \*PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED ARE IN MILLIMETERS. \*\*NO DOORS OR GLASS WINDOWS IN PLAYHOUSES OR GAZEBO  
 \*\* ALL AREAS TO BE IRRIGATED WITH A DESIGN/BUILD IRRIGATION SYSTEM  
 - CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW BY LA.



NOTES:  
 1. ALL ALUMINIUM TO BE WELDED AT JOINS  
 2. TRELLIS TO HAVE ZIGZAG SERRATED EDGE WITH HEAVY METAL BRACKETS (BLACK)  
 3. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO LANDSCAPE ARCH. FOR REVIEW

**1** TRELLIS ON CONCRETE WALL  
 1/2" x 1" x 3"



NO.	DATE	REVISION DESCRIPTION	DR.
15	15.AUG.25	ISSUED FOR B.P.	MM
14	15.AUG.25	REVISED DANCE BUILDING	DO
13	15.AUG.25	UPDATED DANCE	MM
12	15.AUG.25	REV. DAYCARE BUS OUTLINE	MM
11	17.AUG.25	REV. AS PER MAIN COMMENTS	MM
10	17.AUG.25	REV. AS PER MAIN COMMENTS	MM
9	17.AUG.25	REV. AS PER MAIN COMMENTS	MM
8	17.AUG.25	REV. AS PER MAIN COMMENTS	MM
7	17.AUG.25	COMMENTS	DO
6	17.AUG.27	NEW SITE PLAN, MAIN COMMENTS	MM
5	15.NOV.25	NEW SITE PLAN, MAIN COMMENTS	MM
4	15.NOV.25	NEW SITE PLAN, MAIN COMMENTS	MM
3	15.AUG.18	LANDSCAPE GRADING PLAN	CLG
2	15.OCT.22	DP SUBMISSION	MM
1	15.NOV.17	NEW SITE PLAN	MM

Plan 28 Jan 26, 2018  
 DP 16-721500

PROJECT:  
**NORTHVIEW ESTATE**  
 10311 RIVER DR.  
 RICHMOND, B.C.

DRAWING TITLE:  
**DAYCARE PLAN**

DATE: 15.SEP.01 DRAWING NUMBER:  
 SCALE: AS SHOWN  
 DRAWN: MM  
 DESIGN: MM  
 CHKD: MCT  
**L5**  
 OF 17  
 PMG PROJECT NUMBER:  
 15115-172P





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**LANDSCAPE ARCHITECTS**  
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 P: 604.294-0111 ; F: 604.294-0122

SEAL

Plan 30 Jan 26, 2018  
**DP 16-721500**

PROJECT:

**NORTHVIEW ESTATE**

10311 RIVER DR.  
 RICHMOND, B.C.

DRAWING TITLE:

**LANDSCAPE GRADING PLAN**

DATE: 15 SEP 01 DRAWING NUMBER:

SCALE: 1"=20'-0"

DRAWN: MM

DESIGN: MM

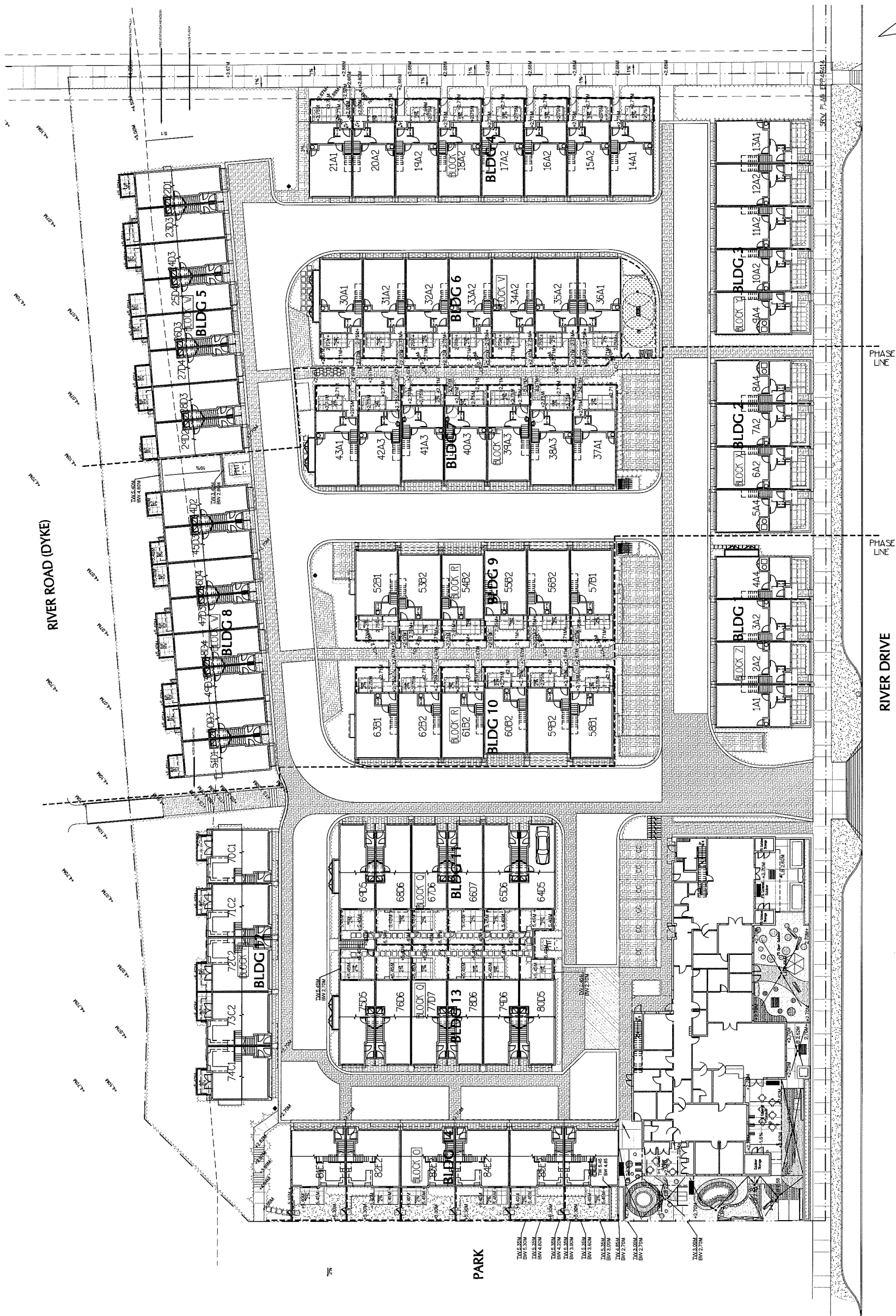
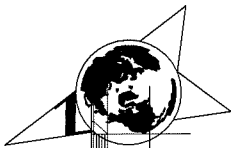
CHKD: MCY

**L6**

OF 17

PMG PROJECT NUMBER: 15-116

15116-17.ZIP



NO.	DATE	REVISION DESCRIPTION	DR.
14	18 JAN 25	ISSUED FOR RP	MM
13	18 JAN 08	REVISED DAWG CASE BUILDING	MM
12	17 DEC 11	UPDATED DAWG CASE	MM
11	17 NOV 20	REV DAWG CASE BUS OUTLINE	MM
10	17 OCT 22	REV AS PER MAIN COMMENTS	MM
9	17 OCT 22	REV AS PER MAIN COMMENTS	MM
8	17 JUL 19	REV AS PER MAIN COMMENTS	MM
7	17 APR 19	COMMENTS	MM
6	17 APR 17	NEW SITE PLAN, MAIN COMMENTS	MM
5	16 NOV 15	NEW SITE PLAN, MAIN COMMENTS	MM
4	16 NOV 15	NEW SITE PLAN, MAIN COMMENTS	MM
3	16 JAN 08	LANDSCAPE GRADING PLAN	MM
2	15 DEC 12	DP SUBMISSION	MM
1	15 NOV 17	NEW SITE PLAN	MM



SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
14	18 JAN 16	ISSUED FOR BIP	MM
15	18 JAN 16	REVISED DANCE BUILDING	DC
16	17 FEB 21	UPDATED DATABASE	MM
17	17 NOV 20	REV. DANCE BLDG OUTLINE	MM
18	17 NOV 22	REV. AS PER MIN. COMMENTS	MM
19	17 OCT 25	REV. AS PER MIN. COMMENTS	MM
20	17 JUL 19	REV. AS PER MIN. COMMENTS	MM
21	17 APR 25	COMMENTS	DC
22	17 MAR 27	NEW SITE PLAN, MIN. COMMENTS	MM
23	15 NOV 25	NEW SITE PLAN, COMMENTS	TR
24	15 NOV 25	NEW SITE PLAN, MIN. COMMENTS	MM
25	15 NOV 25	LANDSCAPE DESIGN PLAN	DC
26	15 NOV 25	LANDSCAPE DESIGN	MM
27	15 NOV 27	NEW SITE PLAN	MM

Plan 31 Jan 26, 2018  
DP 16-721500

PROJECT:

**NORTHVIEW ESTATE**

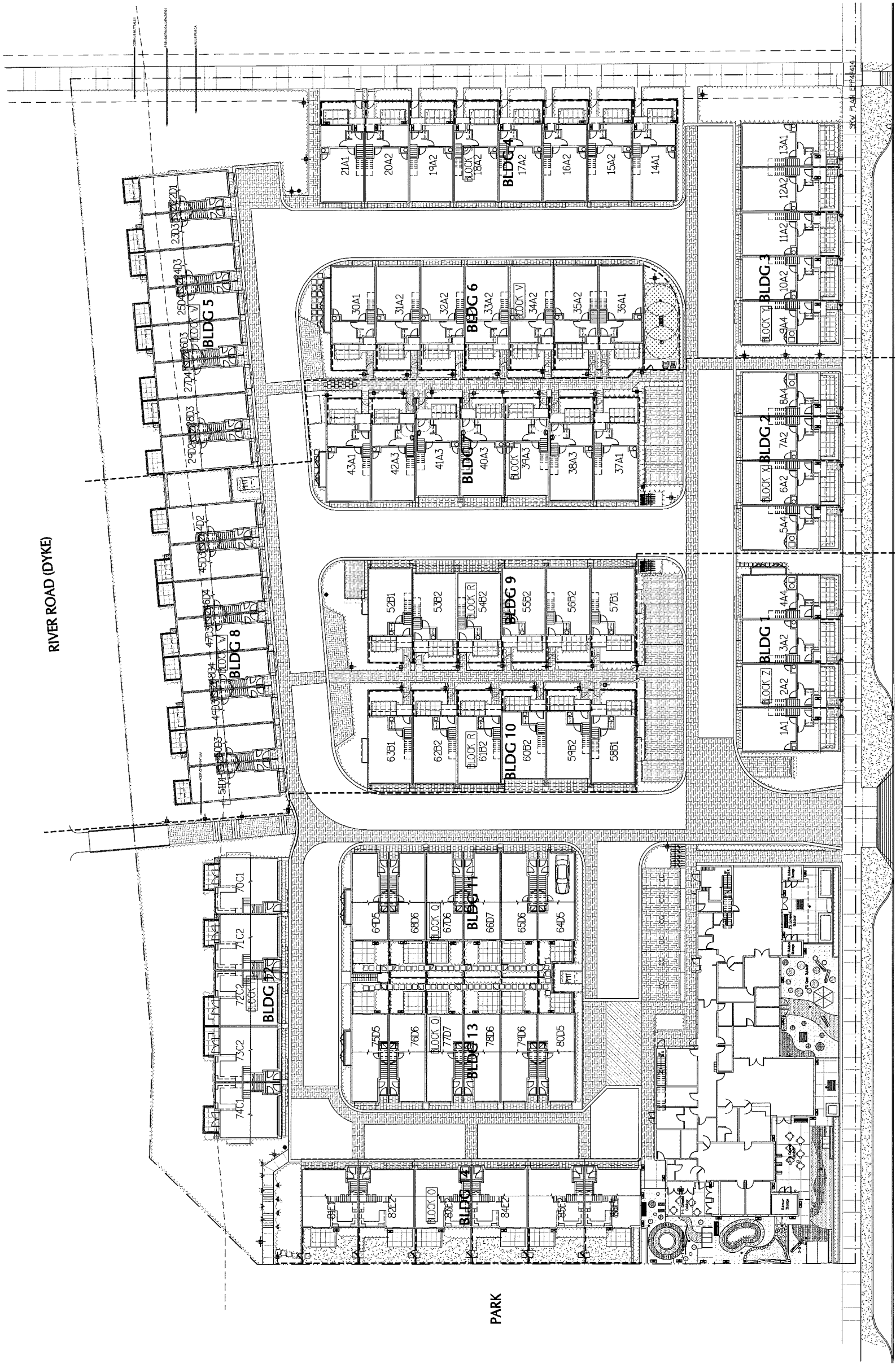
10311 RIVER DR.  
RICHMOND, B.C.

DRAWING TITLE:

**LANDSCAPE LIGHTING PLAN**

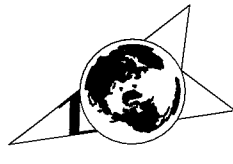
DATE: 15 SEP 01 DRAWING NUMBER:  
SCALE: 1"=30'-0" **L7**  
DRAWN: MM  
DESIGN: MM  
CHKD: MCV OF 17

PMG PROJECT NUMBER: 15-116



**Lighting Legend**

Symbol	LIGHT TYPE
⌄	RECESSED WALL LIGHT FOR STAIRS
⊕	BOLLARD 36" HT
⊗	WALL MOUNTED LIGHT



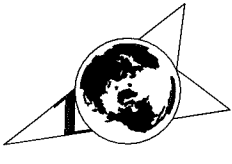
15116-17.ZIP

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Burnaby, British Columbia, V5C 6G9  
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SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
14	18 JAN 25	ISSUED FOR BP	MM
13	18 JAN 25	REVISE DANCE BUILDING	DD
12	17 FEB 21	UPDATED DANCE	MM
11	17 NOV 20	REV. DANCE BLDG OUTLINE	MM
10	17 NOV 20	REV. AS PER MIN. COMMENTS	MM
9	17 OCT 20	REV. AS PER MIN. COMMENTS	MM
8	17 JUL 19	REV. AS PER MIN. COMMENTS	MM
7	17 APR 18	COMMENTS	DD
6	17 APR 17	NEW SITE PLAN, MIN. COMMENTS	MM
5	16 NOV 15	NEW SITE PLAN, COMMENTS	TR
4	16 NOV 15	NEW SITE PLAN, COMMENTS	MM
3	16 JAN 08	LANDSCAPE GROUND PLAN	CLL
2	15 DEC 12	DP SUBMISSION	MM
1	15 NOV 17	NEW SITE PLAN	MM

Plan 32 Jan 26, 2018  
DP 16-721500

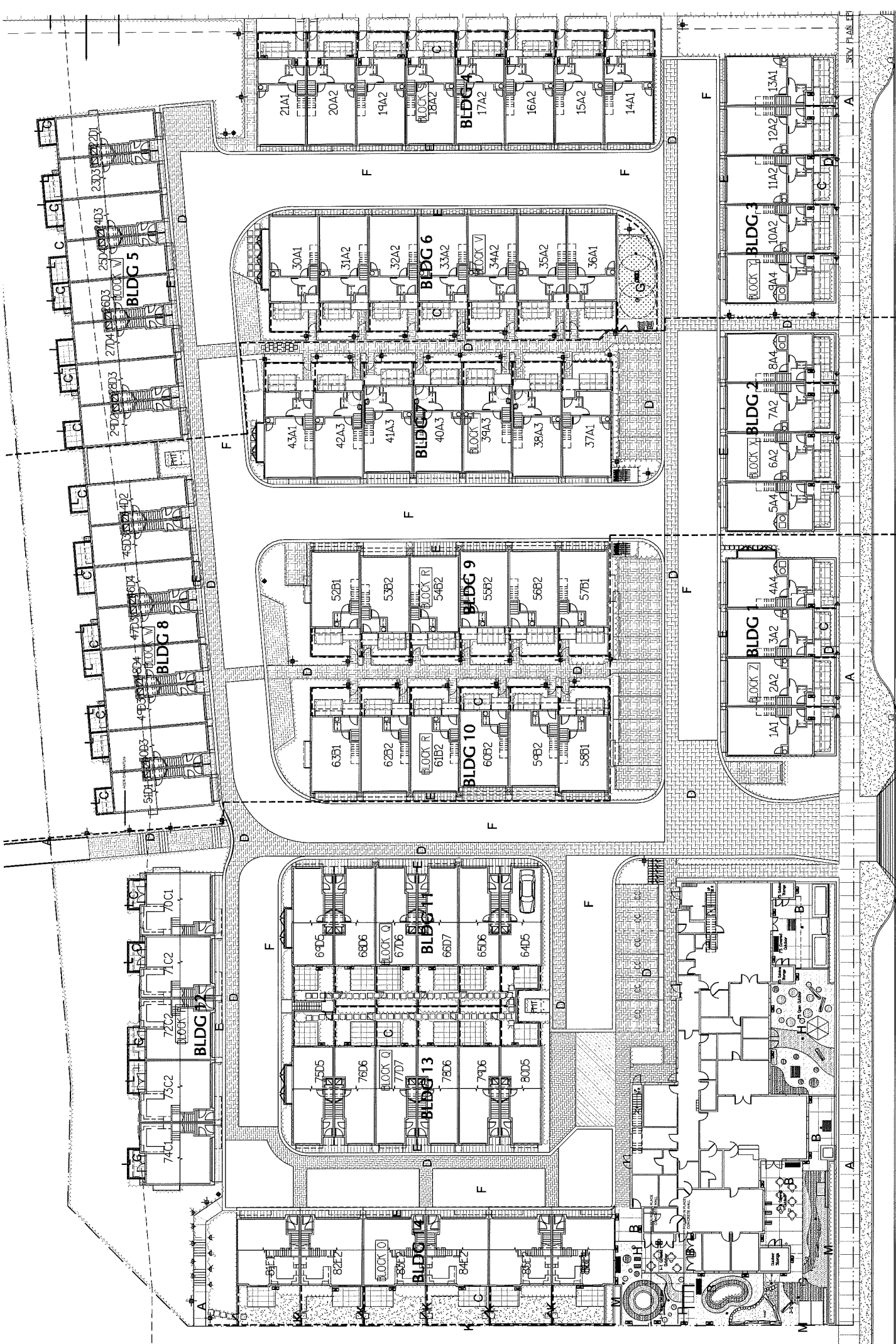
PROJECT:

**NORTHVIEW ESTATE**  
10311 RIVER DR.  
RICHMOND, B.C.

DRAWING TITLE:  
**MATERIALS PLAN**

DATE: 15 SEP 01 DRAWING NUMBER:  
SCALE: 1"=20'-0" **L8**  
DRAWN: MM OF 17  
DESIGN: MM  
CHKD: MCT

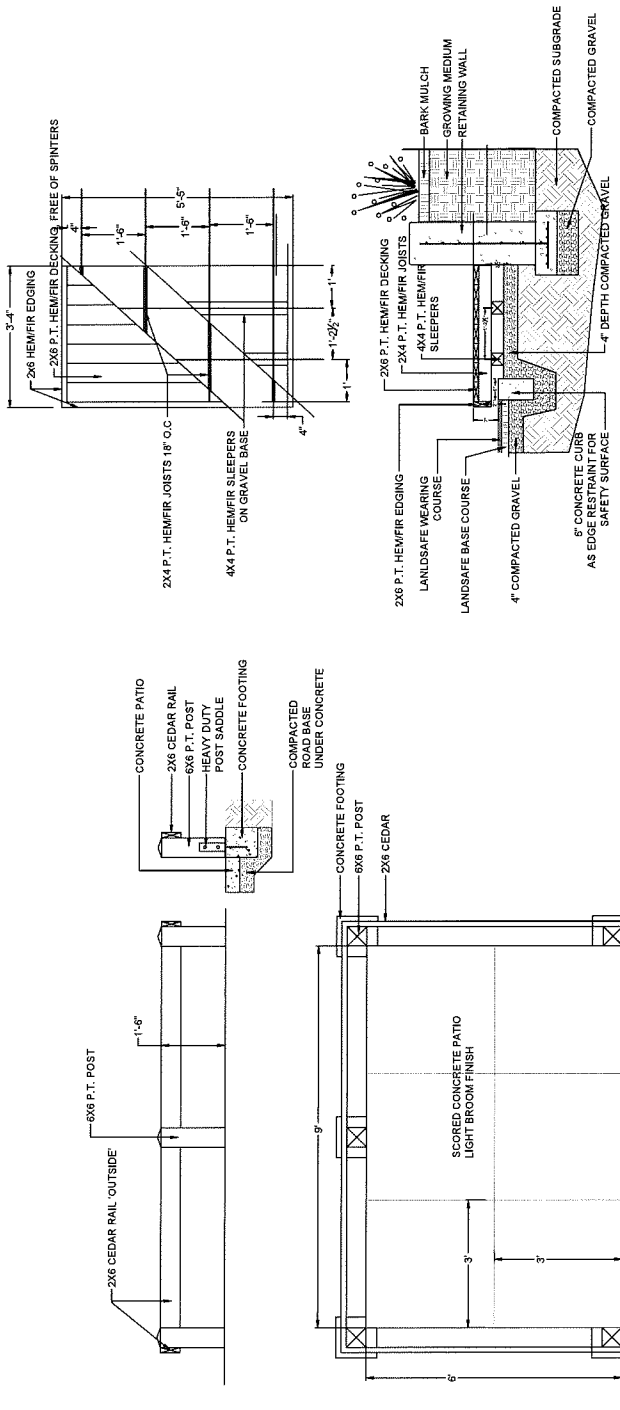
PMG PROJECT NUMBER: 15-116



SYMBOL	DESCRIPTION
A	CONCRETE PATH: NATURAL COLOR WITH SAWCUT @ 5' O.C. - TO MMCD STANDARDS
B	SAWCUT CONCRETE - NATURAL COLOUR 2.5' x 2.5'
C	PATIO: ABBOTSFORD CONCRETE PRODUCTS OLD COUNTRY STONE, WALNUT BLEND COLOR
D	ABBOTSFORD CONCRETE PRODUCTS VENETIAN COBBLE SERIES GRANITE BLEND
E	ABBOTSFORD CONCRETE PRODUCTS DESERT SAND BLEND
F	ASPHALT
G	FIBAR
H	RESILIENT TILE
I	VEGETATION
J	ABBOTSFORD CONCRETE PRODUCTS 80MM THICK STANDARD PAVER - HERRINGBONE NATURAL COLOUR
K	42" HT. RAIL FENCE
L	24" HT. RAIL FENCE
M	6" HT. DECORATIVE ALUMINIUM FENCE

15116-172P

SEAL:



**1** 42" HT. WOOD FENCE (ALONG PARK EDGE)  
1/2"=1'-0"

**3** 18" HT. WOOD RAIL FENCE @ PATIO  
1/2"=1'-0"

**4** WOOD STAGE  
1/2"=1'-0" (DAYCARE)

**2** 42" HT. WOOD FENCE & GATE (BETWEEN YARDS)  
1/2"=1'-0"

**5** PAVERS ON GRADE  
1"=1'-0"

**6** HYDRAPRESSED PAVERS ON GRADE  
1"=1'-0"

**NOTE**

1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS PROTECTED WITH PRESERVATIVE.
2. ALL OTHER MEMBERS TO BE CEDAR. #2 (CONSTRUCTION) GRADE MINIMUM.
3. ALL HARDWARE HOT DIPPED GALVANIZED.
4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
5. GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3/4" STEPS (MAX.).

**NOTE**

1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
2. ALL OTHER MEMBERS TO BE CEDAR. #2 (CONSTRUCTION) GRADE MINIMUM.
3. ALL HARDWARE HOT DIPPED GALVANIZED.
4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
5. GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3/4" STEPS (MAX.).

**NOTE**

- PAVERS-ABBOTSFORD CONCRETE PRODUCTS. CLASSIC STANDARD PAVERS TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS  
PAVERS FOR PEDESTRIAN AREAS TO BE 60MM THICK. SHADOW COLOUR. RUNNING BOND  
PAVERS FOR VEHICULAR AREAS TO BE 80MM THICK. SHADOW COLOUR. HERRINGBONE

**NOTE**

- PAVERS-ABBOTSFORD CONCRETE PRODUCTS. HYDRAPRESSED SLABS. CHARCOAL 18" SQUARE PAVERS TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS

NO.	DATE	REVISION DESCRIPTION	DR.
14	18.JAN.14	REVISED DRAINAGE/AMENITY	MM
13	18.JAN.14	REVISED DRAINAGE BUILDING	DO
12	17.OCT.11	UPDATED DRAINAGE	MM
11	17.NOV.10	REV. DRAINAGE ENDS OUTLINE	MM
10	17.NOV.10	REV. AS PER MUNI COMMENTS	MM
9	17.OCT.09	REV. AS PER MUNI COMMENTS	MM
8	17.OCT.09	REV. AS PER MUNI COMMENTS	MM
7	17.FEB.09	COMMENTS	DO
6	17.FEB.07	NEW SITE PLAN WIN. COMMENTS	MM
5	16.NOV.05	NEW SITE PLAN WIN. COMMENTS	MM
4	16.NOV.05	NEW SITE PLAN WIN. COMMENTS	MM
3	16.OCT.05	LANDSCAPE PROPOSAL	MM
2	15.FEB.03	REVISED SITE PLAN	MM
1	15.FEB.03	REVISED SITE PLAN	MM

Plan 33 Jan 26, 2018  
DP 16-721500

PROJECT:  
**NORTHVIEW ESTATE**  
10311 RIVER DR.  
RICHMOND, B.C.

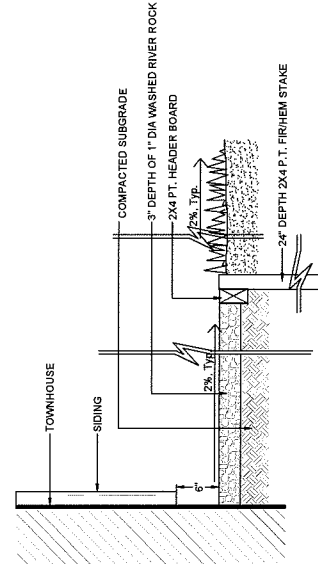
DRAWING TITLE:  
**LANDSCAPE DETAILS**

DATE: 15.AUG.31 DRAWING NUMBER:  
SCALE: AS NOTED  
DRAWN: MM  
DESIGN: MM  
CHKD: MM

**L9**  
OF 17

PMG PROJECT NUMBER:  
15-116

15116-17 ZIP



**7** DRAIN ROCK UNDER OVERHANG  
1"=1'-0"



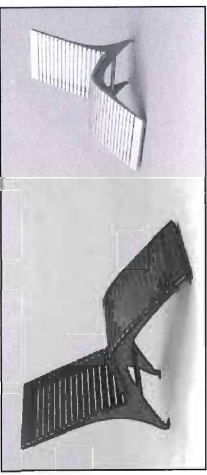
SEAL:



**BENCH MAGLIN SCB1600-PCC SLATE WITH SANDSTONE SLATS**



**MAGLIN BIKE RACK: MBR400-7-S SLATE**



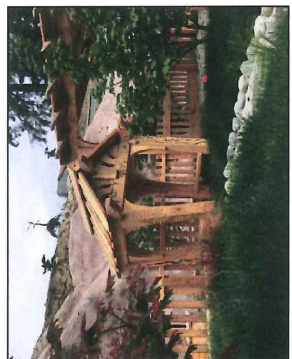
**CHAISE - MAGLIN MCL720 GUNMETAL FINETEX**



**WISHBONE - PARKER PICNIC TABLE PKPT-6, BOLT DOWN, SAND SLATS & TEXTURED GREY FRAME**



**BARKMAN CONCRETE - 113526 GFRC CUBE PLANTER IN CARMINE**



**HABITAT SYSTEMS: TOT PLAYHOUSE**



**HABITAT SYSTEMS: CUSTOM PLAYHOUSE PROVIDE SHOP DWG. FOR REVIEW**



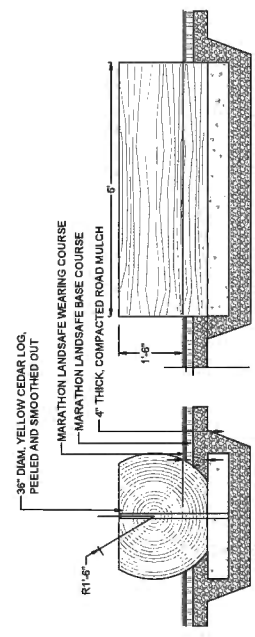
**CEDAR SHED INDUSTRIES: 8' HEXAGONAL GAZEBO**

**NOTE**

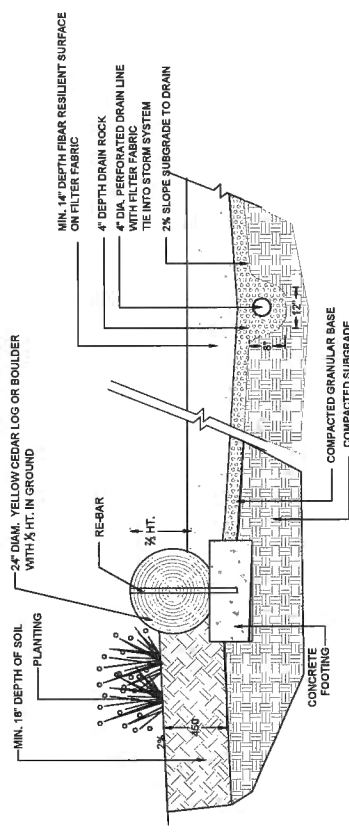
1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
2. ALL OTHER MEMBERS TO BE CEDAR. #2 (CONSTRUCTION) GRADE MINIMUM UNLESS SPECIFIED OTHERWISE.
3. ALL HARDWARE HOT DIPPED GALVANIZED.
4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION. FINISH SELECTION TO BE CHANGED IN LOGS TO BE 1/2" - 1/8" STEPS (MAX.).
5. GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3/4".

**SAFETY SURFACE LANDSAFE BY MARATHON SURFACES SPECIFICATIONS (604-777-9955) SEE PLAN FOR COLOURS \* 1 LOCATIONS**

ALL LOGS TO BE YELLOW CEDAR. BARK REMOVED AND SMOOTHED TO REMOVE ALL SPILTERS. UNDER LOGS WITH REBAR. NO SHARP EDGES ON LOGS - ALL EDGES TO BE ROUNDED



**8 CUSTOM BENCH**  
SCALE: 1/2"=1'-0" (DAYCARE)



**9 PLAY AREA: HARD EDGE**  
1/2"=1'-0" (TOWNHOUSES)

NO.	DATE	REVISION DESCRIPTION	DR.
14	14 JAN 24	REVISED DETAILS/INVENTORY	MM
13	14 JAN 24	REVISED DAYCARE BUILDING	DO
12	17 DEC 21	UPDATED DAYCARE	MM
11	17 NOV 20	REV. DAYCARE BUSH OUTLINE	MM
10	17 NOV 20	REV. AS PER MAIN COMMENTS	MM
9	17 OCT 20	REV. AS PER MAIN COMMENTS	MM
8	17 JULY 19	REV. AS PER MAIN COMMENTS	MM
7	17 APR 18	COMMENTS	DO
6	17 APR 18	NEW SITE PLAN, MAIN COMMENTS	MM
5	16 NOV 15	NEW SITE PLAN, COMMENTS	TR
4	16 NOV 15	NEW SITE PLAN, MAIN COMMENTS	MM
3	16 JAN 18	LANDSCAPE GRADING PLAN	GLE
2	15 DEC 13	DP SUBMISSION	MM
1	15 NOV 17	NEW SITE PLAN	MM

Plan 34 Jan 26, 2018  
**DP 16-721500**

PROJECT:

**NORTHVIEW ESTATE**  
10311 RIVER DR.  
RICHMOND, B.C.

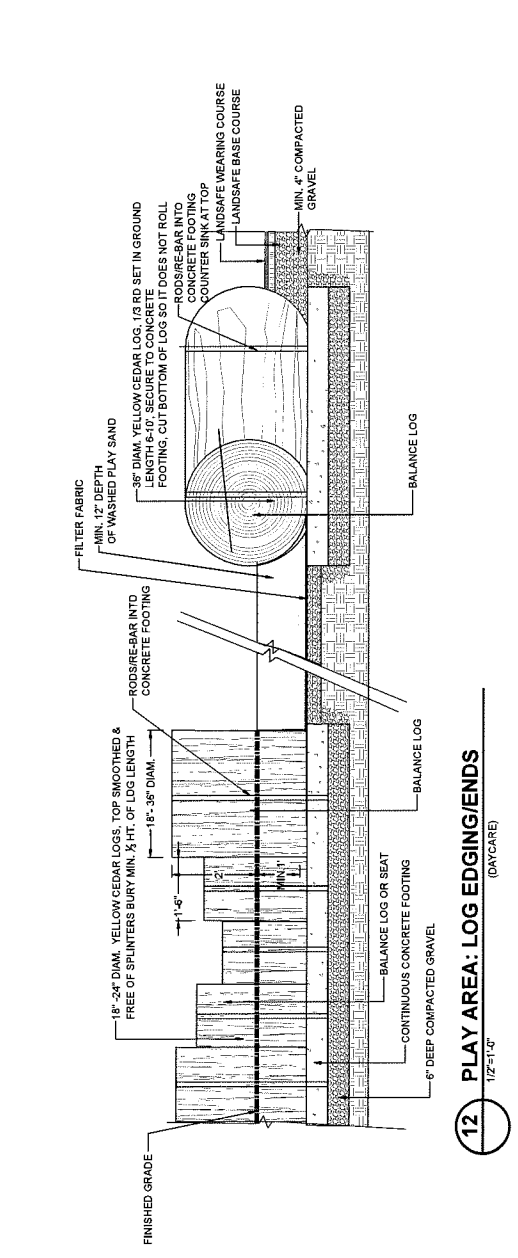
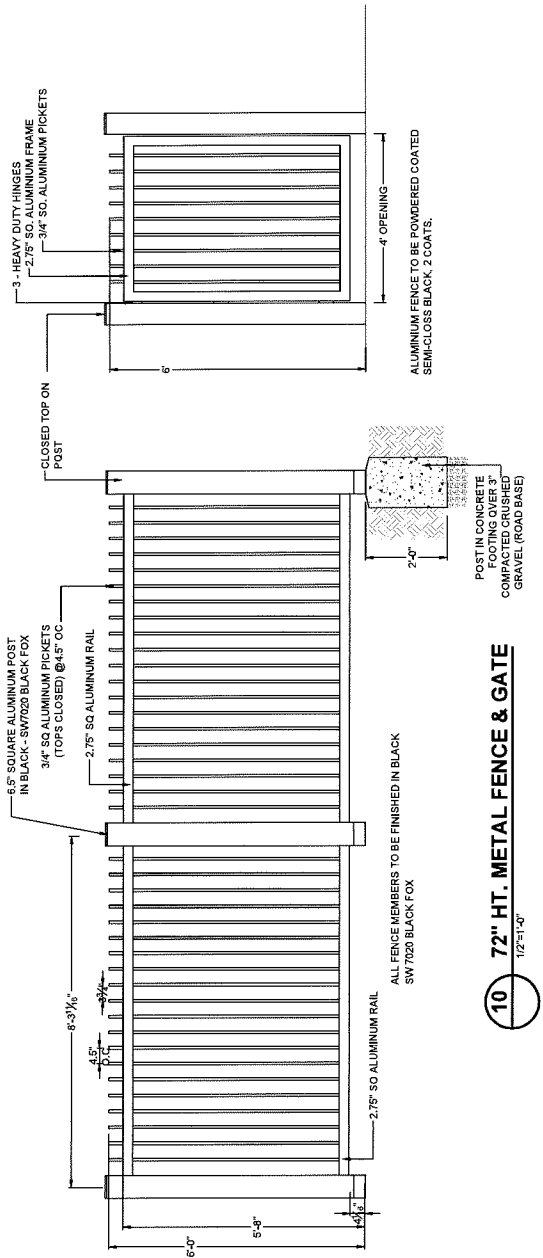
DRAWING TITLE:  
**LANDSCAPE DETAILS**

DATE: 15 AUG 31 DRAWING NUMBER:  
SCALE: AS NOTED **L10**  
DRAWN: MM OF 17  
DESIGN: MM  
CHKD:

PMG PROJECT NUMBER: 15-116

15116-72P



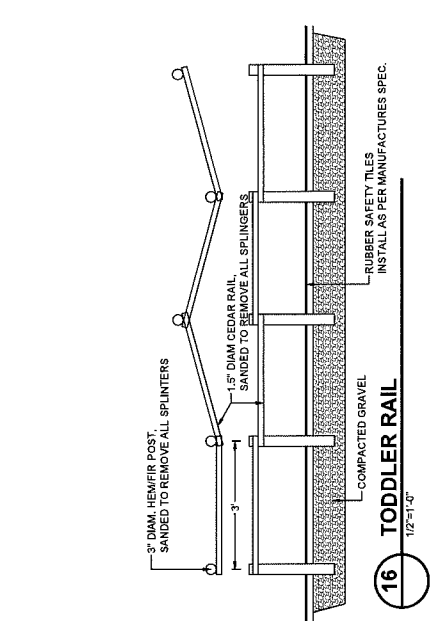
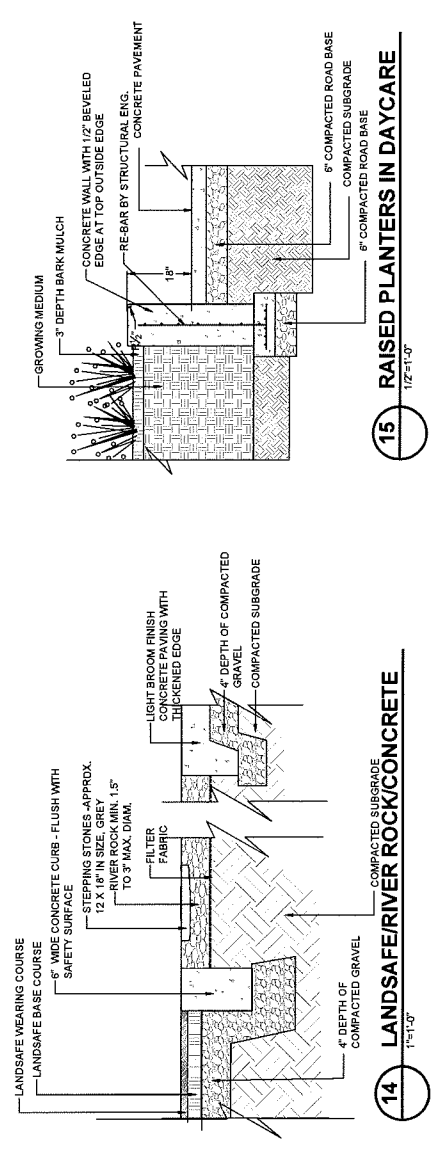


**NOTE**

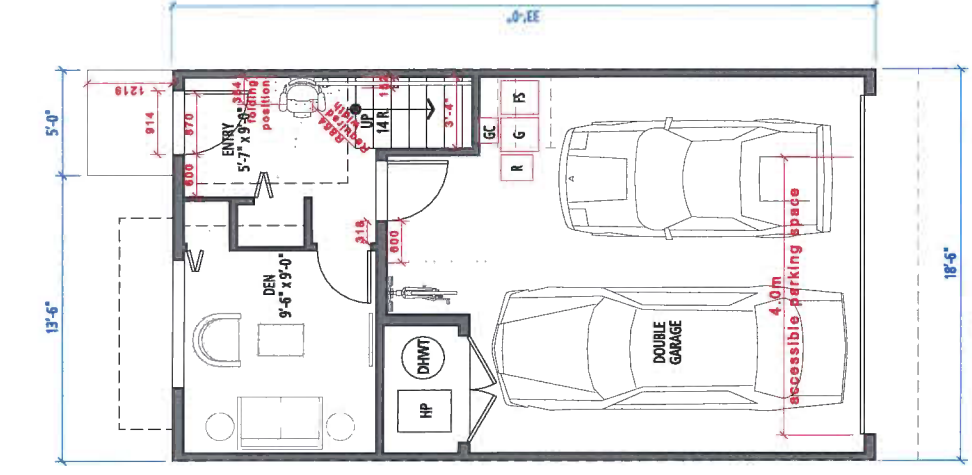
- ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
- ALL OTHER MEMBERS TO BE CEDAR. #2 (CONSTRUCTION) GRADE MINIMUM UNLESS SPECIFIED OTHERWISE.
- ALL HARDWARE HOT DIPPED GALVANIZED.
- APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
- ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12"-18" STEPS (MAX.). GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3-6".

**SAFETY SURFACE:**  
LANDSAFE BY MARATHON SURFACES INSTALL AS PER MANUFACTURERS SPECIFICATIONS (604-878-0825)  
SEE PLAN FOR COLOURS & LOCATIONS

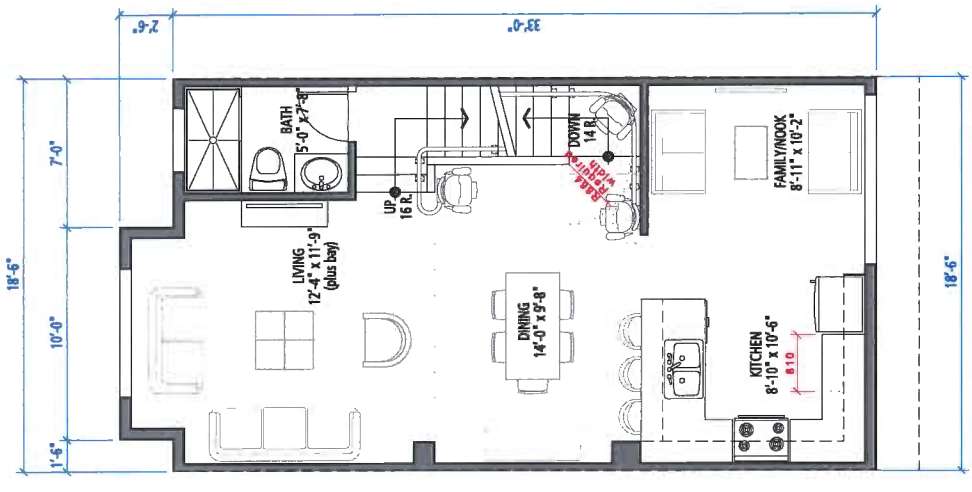
ALL LOGS TO BE YELLOW CEDAR, BARK REMOVED AND SMOOTHED TO REMOVE ALL SPLINTERS. SECURE TO CONCRETE FOOTINGS UNDER LOGS WITH REBAR. NO SHARP EDGES ON LOGS. ALL EDGES TO BE ROUNDED.



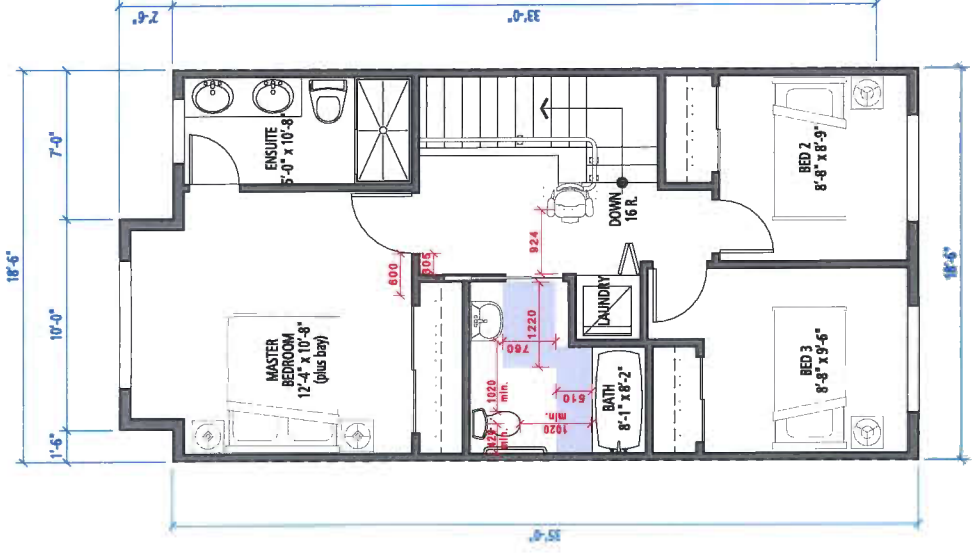




**GROUND FLOOR**



**MAIN FLOOR**



**UPPER FLOOR**

**Summary of the Convertible Unit Features Checklist as Submitted**

- Entry doors 914 mm opening.
- Entry door clear exterior floor space min. 1220 mm depth by door width plus 600 mm on latch side.
- Interior doors to entry & main living areas, min. 800 mm clear opening. (28" sliding or 2'10" swinging door spec.) with flush thresholds max. 13mm height.
- Stair lift as per manufacturer spec (Bruno, SRE-2010-Electra-Ride)
- Hallways minimum 900 mm width
- Door from garage to living area minimum 800 mm clear opening.
- Min. clear opening 860 mm clear opening to Patios and Balconies.
- Toilet clear floor space min. 1020 mm at side and in front
- Interior Doors to main living areas, 1 bedroom and 1 bedroom min 800 mm clear opening with flush thresholds max. 13 mm height.
- Wall blocking for future installation of grab-bars (toilet, tub and shower)
- Clear area needed under future work space. Plumbing and gas pipes (in-wall and in-floor) located clear of under counter area of future work space (stove, sink & min. 810 mm wide counter)
- 1500 mm turning diameter or turning path diagram
- One window that can be opened with a single hand in the living room
- One window that can be opened with a single hand in one bedroom

**CONVERTIBLE UNIT FLOOR PLANS (A3)**



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**PLAN#22**





FUTURE  
CENTRAL  
PARK

VEHICULAR ENTRY

SUBJECT SITE

RIVER DRIVE  
STREETSCAPE



DYKE

SUBJECT SITE

RIVER  
DRIVE

SINGLE FAMILY  
PARK  
YARDSCAPE



FUTURE  
CENTRAL  
PARK

SUBJECT SITE

RIVERSCAPE

**STREETSCAPE  
YARDSCAPE**

SCALE 1" = 20'-0"



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Architect for Daycare Design

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**PLAN#23**





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**DAYCARE  
 FLOOR PLAN**  
 SCALE 1/8" = 1'-0"  
 0 5' 15' 25'

85C2

80D5

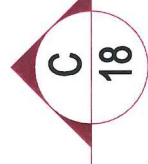
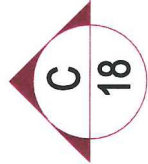
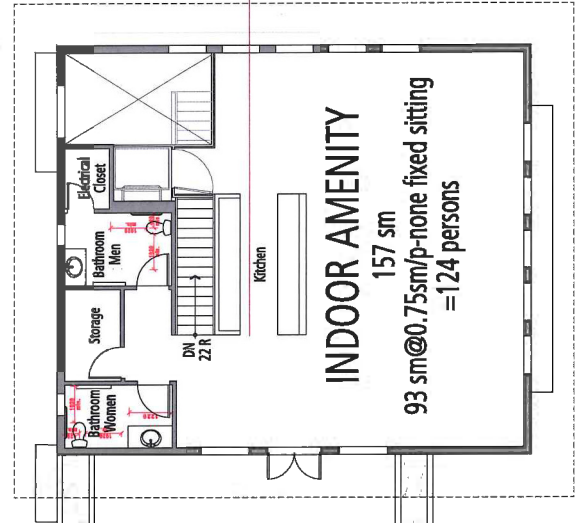
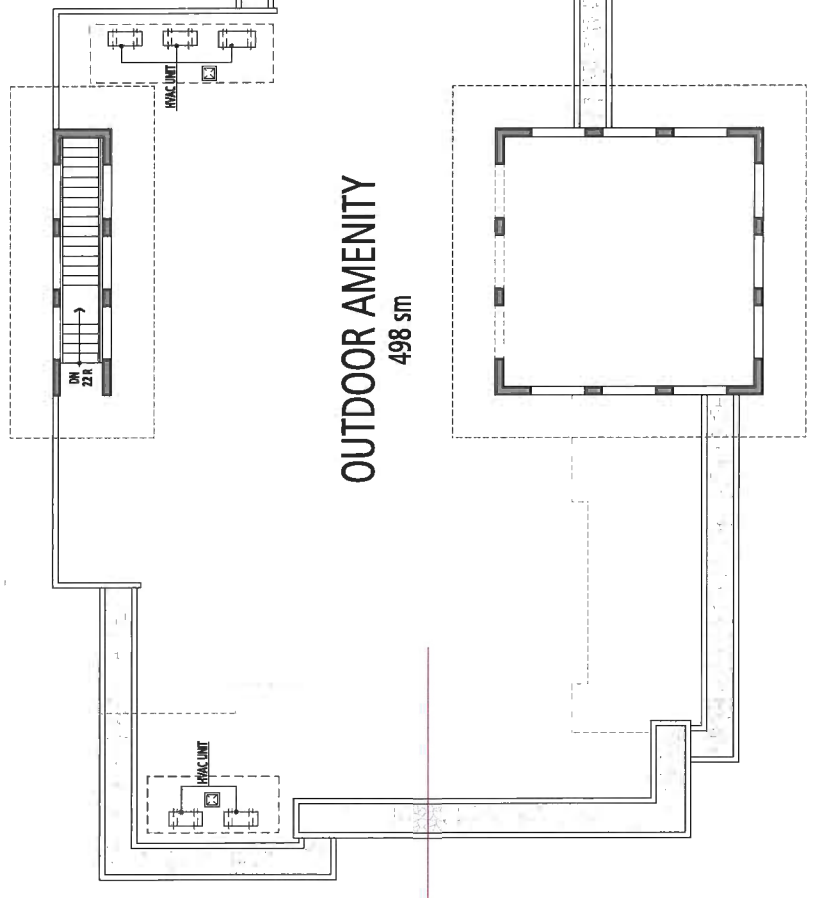
PMT

64D5

59R2

86E1

58B1



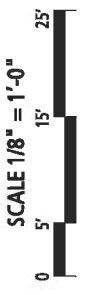
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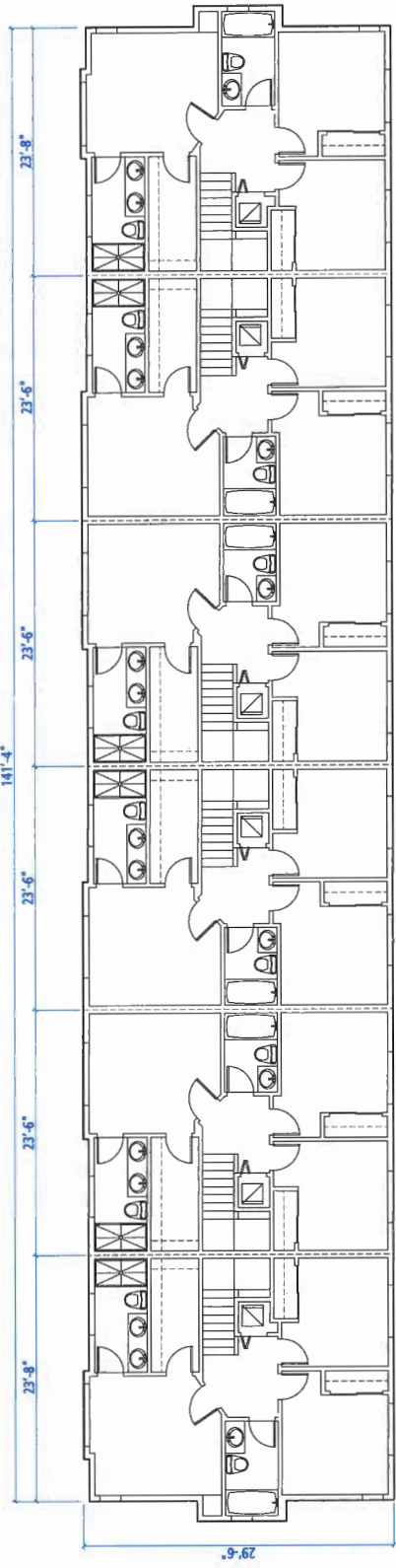
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**INDOOR & OUTDOOR AMENITY FLOOR PLAN**

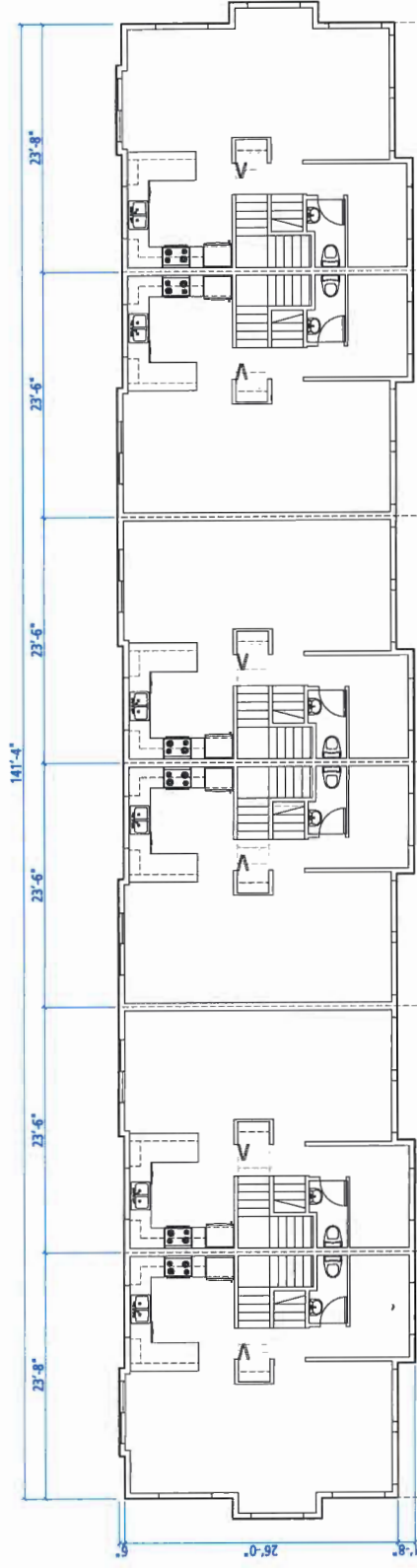


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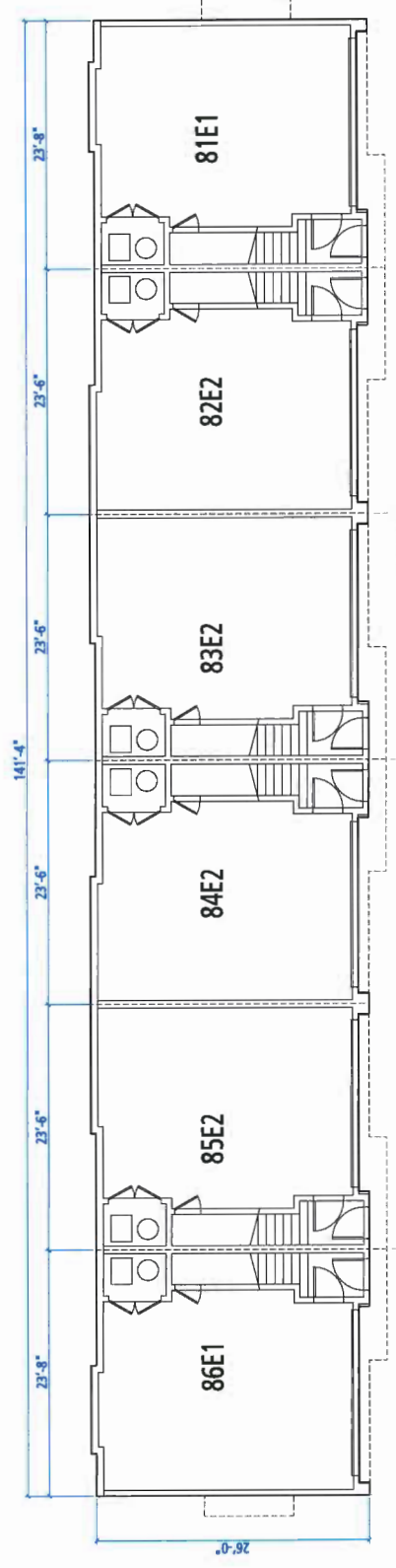
**PLAN#16**



**BLOCK 0 - UPPER FLOOR**



**BLOCK 0 - MAIN FLOOR**



**BLOCK 0 - GROUND FLOOR**

**PROVISION OF ACCESSIBILITY FEATURES**  
**"AGING-IN-PLACE" REQUIREMENTS**  
**ON ALL UNITS:**

- Entry doors minimum 855 mm clear opening (2'-0" swinging door spec.)
- Hallways minimum 900 mm width
- Door from garage to living area minimum 2'-10" (swinging door spec.)
- Grab bars for installation of grab-bars (bath, tub and shower)
- Provision of lever door handles
- One window that can be opened with a single hand in the living room
- One window that can be opened with a single hand in one bedroom

**BLOCK PLANS  
 BLOCK 0**



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**PLAN#04a**











