



City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: April 21, 2023

From: Wayne Craig
Director of Development

File: DP 21-932383

Re: **Application by Flat Architecture Inc. for a Development Permit at 8951,
8971 Spires Road and 8991 Spires Gate**

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of 22 townhouse units and two secondary suites at 8951, 8971 Spires Road and 8991 Spires Gate and the surplus portion of Spires Road on a site zoned "Parking Structure Townhouses (RTP4)" zone; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - a) Reduce the minimum lot width from 40 m to 33.5 m; and
 - b) Reduce the minimum lot area from 2,400 m² to 2,000 m².

Wayne Craig
Director of Development
(604-247-4625)

WC:el
Att. 3

Staff Report

Origin

Flat Architecture Inc., on the behalf of 0924206 BC Ltd. (Incorporation number: BC0924206; Directors: Brian R. Purcell, John Young, Dexter Young, Michael Young and Eric Sen Hang Yung), has applied to the City of Richmond for permission to develop 22 residential units and two secondary suites at 8951, 8971 Spires Road and 8991 Spires Gate and the surplus portion of the Spires Road road allowance. The applicant has proposed to purchase the surplus road allowance and consolidate it into the development site. A total of 20 multi-level townhouse units and two ground-level flats fronting Spires Road will be included in the development. The unit sizes range between 71.27 m² (767 ft²) and 139.91 m² (1,505 ft²), providing a mix of two to five-bedroom units. Two of the 20 multi-level townhouse units are proposed to contain a two-bedroom secondary suite fronting Spires Gate. Parking will be provided within the parking structure at grade.

The site is being rezoned from “Single Detached (RS1/E)” zone to “Parking Structure Townhouses (RTP4)” zone for this project under Bylaw 10218 (RZ 18-818420), which received Third Reading following the Public Hearing on January 18, 2021. The site is currently vacant but previously contained three single-family dwellings.

Servicing Agreement

Frontage improvements, including beautification works along the site frontage (including ditch infill) and future back lane, road widening, new fire hydrants, public walkways on-site and upgrades to the storm sewer and sanitary sewer, were secured through the rezoning process and will be constructed through a separate Servicing Agreement (SA 21-930503). The Servicing Agreement must be entered into prior to final adoption of the rezoning bylaw.

Development Information

Please refer to the attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

The Spires Road Neighbourhood is identified in the City Centre Area Plan as an area intended to transition from a predominately single-family neighbourhood toward a higher-density neighbourhood.

To the North: Across Spires Gate, single-family homes on lots zoned “Single Detached (RS1/E)”, which are designated as Park under the City Centre Area Plan.

To the South: A recently completed 64-unit high-density townhouse development (RZ 17-766525 & DP 18-829140) on a lot zoned “Parking Structure Townhouses (RTP4)”.

To the East: Across Spires Road, single-family homes on lots zoned “Single Detached (RS1/E)”, which are designated for medium-density, mid-rise (4-8 storeys) housing with market rentals and affordable housing components, under the recently updated City Centre Area Plan.

To the West: A 19-unit townhouse development (with a common parking structure), on a lot zoned “Town Housing (ZT46) – South McLennan and Brighthouse Village (City Centre)”.

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on January 18, 2021. No concern regarding the rezoning application was expressed at the Public Hearing.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the “Parking Structure Townhouses (RTP4)” zone except for the zoning variances noted below.

Zoning Compliance/Variances (staff comments in bold)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) Reduce the minimum lot width from 40 m to 33.5 m;

(Staff support this variance since the subject site is an orphaned site located between Spires Road and a future lane to the west. This corner lot is considered to have its front lot line along Spires Gate and a lot width of approximately 33.5 m. There is no opportunity for the developer to acquire additional property to meet the minimum lot width requirement. This corner site also has an approx. 61 m frontage along Spires Road. The variance was noted at time of rezoning, with no concerns identified at the Public Hearing.)

- 2) Reduce the minimum lot area from 2,400 m² to 2,000 m².

(Staff support this variance since the subject site is an orphaned site located between Spires Gate to the north and a recently approved townhouse development to the south. There is no opportunity for the developer to acquire additional property to meet the minimum lot size requirement. The variance was noted at time of rezoning, with no concerns identified at the Public Hearing.)

Advisory Design Panel Comments

The Advisory Design Panel (ADP) has reviewed the project and supports it. A copy of the relevant excerpt from the Advisory Design Panel Minutes from Wednesday, May 18, 2022 is attached for reference (Attachment 2). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in ‘***bold italics***’.

Analysis

Conditions of Adjacency

- The proposed form of development on the subject site is the same as those on the surrounding properties to the south and west, which are grade-oriented housing in the form of high-density townhouses (i.e., low-rise, street wall buildings with common parking structures concealed from public view by non-parking uses).
- Location and orientation of windows are carefully considered to minimize the opportunity of looking into close-by windows of existing adjacent developments and units proposed on site. Planters are proposed on the roof deck to provide privacy screening between units facing each other across the internal courtyard.
- Lane dedication along the west side of the site for the provision of the future north-south lane parallel to Cooney Road has been secured at Rezoning. Since this future lane along the west property line of the site is not required for access for the proposed development, the lane is not required to be built at this time. The existing site grade along the west edge of the lane dedication area will be maintained to provide an appropriate transition to the adjacent townhouse development to the west. This lane dedication area will be maintained by the site's strata until the lane has become operational; and this arrangement has been secured through the rezoning process.
- To enhance pedestrian circulation within the Spires Road Neighbourhood, a 1.5 m wide SRW along the north side property line of the adjacent development site to the south has been secured for future pedestrian connection between Spires Road and the future back lane. A similar 1.5 m wide SRW along the south property line of the subject site has also been secured at rezoning stage in order to widen the walkway SRW to 3.0 m. Interim sod lawn within the 1.5 m wide SRW on the adjacent property has been provided as part of the adjacent development to the south. As part of this development, the developers are required to remove the sod lawn and construct within the 3.0 m wide SRW a 1.5 m wide concrete walkway and a 0.75 m wide swale for drainage along both edges of the walkway. These arrangements have been secured through the rezoning process and the design and construction of the walkway will be included in the Servicing Agreement.
- Perimeter drainage will be required as part of the Building Permit to ensure storm water is managed and addressed through the development and will not impact the neighbouring properties.

Urban Design and Site Planning

- The development will contain 22 units, including:
 - Two single-level Basic Universal Housing units at grade with direct access to Spires Road and direct access to the parking structure. The BUH units are two-bedroom units and are approximately 71 m² (767 ft²) in size.
 - Two four-storey units each with a secondary suite at grade. The secondary suites are two-bedroom units and are approximately 65 m² (700 ft²) in size. The secondary suites will have a direct, street-level entry from Spires Gate. The principal units will have direct access from the podium. These homes will also have direct access to the parking structure.

- Two four-storey units each with a rec room and bathroom on the ground level. These homes will have a direct, street-level entry from Spires Gate, as well as direct access from the podium and the parking structure.
- 16 three-storey townhouse units with main unit entry located on the podium level.
- Three townhouse blocks are proposed and are positioned to enclose a parking structure at grade. The townhouse blocks are connected by the outdoor courtyard space on the podium, above the parking structure.
- Pedestrian access to the podium (via exterior stairs) will be provided on both the Spires Road and the Spires Gate frontages.
- An enclosed lobby is also proposed along the Spires Road frontage to provide a secured space for the mailbox kiosk, elevator to the podium level and access to the enclosed parking area.
- Vehicular access to the parking structure will be from Spires Road.
- 31 residential parking spaces are proposed, which exceeds the minimum bylaw requirement.
- The proposal will feature 16 parking spaces in a tandem arrangement. This arrangement is consistent with the tandem parking provision of Richmond Zoning Bylaw 8500. A restrictive covenant to prohibit the conversion of the tandem garage area into habitable space, and to ensure that both parking spaces be assigned to the same dwelling unit where two parking spaces are provided in a tandem arrangement, has been secured at rezoning.
- A total of three accessible residential parking stalls are to be provided on site; two spaces will be assigned to the two Basic Universal Housing units proposed, and one space will be designated for visitor parking.
- A total of five visitor parking spaces (including one accessible parking stall) are to be provided throughout the site. The number of visitor parking spaces proposed is in compliance with the minimum bylaw requirement.
- Both internal and external bicycle parking spaces have been incorporated into the proposal and are in compliance with the Zoning Bylaw requirements.
- The enclosed garbage room housing garbage, recycling and organics storage bins is proposed to locate within the parking structure, by the security gate, and adjacent to the loading area.
- Indoor amenity space is not proposed on-site. A \$44,225.00 cash-in-lieu contribution has been secured as a condition of rezoning approval, consistent with the Official Community Plan (OCP).
- The overall size of the proposed outdoor amenity spaces comply with the Official Community Plan (OCP) requirements. The locations and sizes of the outdoor amenity spaces are appropriate for providing open landscape and amenity spaces convenient to all units.
- All of the units will have private outdoor areas at grade and/or on the elevated podium overtop the parking structure. All ground-level flats and secondary suites will have a private outdoor space consisting of a front yard on the street level; all townhouse units will have a private outdoor space consisting of a patio on the podium level and a roof top deck overlooking the internal courtyard.

- While the configurations of some the proposed yard/patio spaces at grade and/or on the podium level are slightly shallower than what is encouraged under the Development Permit Guidelines, the functionality of those yard spaces have not been compromised. Each of the proposed private outdoor space at grade includes a patio area that is large enough to accommodate a table with seating, a lawn area and/or a small garden of perennials, shrubs, with a tree to provide shade. Each of the proposed private outdoor space on the podium level is large enough to host a BBQ and seating area with a table.

Architectural Form and Character

- The proposed development embodies the Tudor style architecture with varying façade treatment at key points, steep roof pitches, proportionate windows set symmetrically into traditional massing forms and projecting bays with prominent gables.
- The building massing of the four-storey townhouse units along the road frontages are reduced by enclosing the top floor under the pitched roof.
- The top floor is also stepped back to increase sun penetration opportunity onto the internal courtyard on top of the parking podium.
- The proposal reinforces a pedestrian friendly streetscape along the road frontages with individual gates/walkways, street level entries and small gated front yards.
- All dwelling units have direct entrances either from the street or the internal courtyard on the podium. All entrances feature private yards and a lower entry roof to reflect a single-family character.
- The proposed building materials (brick veneer, high density fibre cement boards, stucco, wood trim, post, fascia and barge board, shingles and divided windows) are generally consistent with the Official Community Plan (OCP) Guidelines.
- Fibre cement boards and stucco are the two dominant materials used on the elevations. Façade details and trim contrast the background colours of the elevations. Asphalt shingles are used to accentuate a single family character. Brick veneer is used as accent material in the lower portions of the buildings. Board and batten with contrasting colours are used on the gable ends to reflect the Tudor style architecture.

Landscape Design and Open Space Design

- 19 bylaw-sized trees and one hedge row on the subject development site were assessed at the rezoning stage, and all of these trees and hedge row are identified for removal due to poor condition.
- Based on the 2:1 tree replacement ratio goal stated in the Official Community Plan (OCP), 38 replacement trees are required. The applicant is proposing to plant eleven replacement trees on-site, including six conifer and five deciduous trees at grade.
- The applicant has agreed to provide a voluntary contribution of \$20,250.00 to the City's Tree Compensation Fund in lieu of planting the remaining 27 replacement trees.
- A pedestrian-oriented streetscape along the road frontages is proposed with a defined edge with layered shrub planting, metal picket fence and slightly raised patios.
- Each ground-oriented unit will have a private front yard with a small lawn area and/or patio as well as a tree and landscape area to generate animation along the streetscape.

The front yards will be separated with a low metal fence with landscaping to provide privacy for individual units.

- At the intersection of Spire Road and Spires Gate, low-level ornamental shrubs will be provided to allow for clear visibility for vehicular movements.
- The area in front of the main lobby will be treated with permeable paving and highlighted with trees on either side to accentuate the entrance to the building.
- Decorative concrete paving is proposed at the vehicle entry of the site and permeable paving will be used to delineate the loading area by the vehicle entry.
- The west elevation will be screened by vigorous vines, supported by cable trellises.
- Circulation around the building is provided by a concrete pathway along the south and west property line.
- The courtyard on the podium level provides private patio spaces for residents. Low cast-in-place planters are proposed along the common walkway to establish an appealing and intimate residential character to encourage socialization and provide for casual surveillance of the common outdoor area.
- There are two outdoor spaces on the podium level:
 - A children's play area is proposed at the northwest corner of the courtyard. Play equipment has been chosen to fit into the play area and to provide different play opportunities (i.e., climbing, social, imagination, balance and motor skills) that can be used by different age groups and for multiple purposes. A bench is also provided for caregivers.
 - Another outdoor amenity space is proposed at the southeast corner of the courtyard. This space is designed as a social area for more passive activities. Features proposed within this outdoor amenity space include a dining area with an outdoor kitchen and a community garden area with accessible planting pods.
- Planters are proposed at the roof decks to enhance privacy between units facing each other.
- A smart irrigation system fine-tunes its watering based on the amount of light, soil condition and local weather forecast is proposed to ensure continued maintenance of live landscaping.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$187,615.31 in association with the Development.

Crime Prevention Through Environmental Design

- Site lighting and clear sight lines provide unobstructed views of the surrounding area. Walkways are direct and open.
- Wall-mounted lights are proposed on all sides of the parking podium. These lights are provided only where building-mounted lights are incapable of illuminating any external spaces. These lights are indirect and do not offer any unwanted glare with built-in anti-glare shading system.
- Plantings near residential entries are low to maximize views and casual surveillance opportunities of common areas.
- Expansive glazing for each unit increases the visual presence and surveillance along the road frontages, future back lane, outdoor amenity spaces and the courtyard on the podium level.

Sustainability

- The project will be designed to meet Step Code 3 requirements of the BC Energy Step Code, including energy modelling.
- No thermal breaks are required as no balconies are being proposed. The roof decks will be insulated from below with minimum R40 insulation to meet the minimum requirement.
- Sound transmission through the façade has been evaluated; conventional exterior construction, including windows and doors with standard thermal glazing satisfies the minimum requirements.
- Energy Star appliances, water sense toilets and energy efficient lighting (LED or CFL) will also be provided.

Accessible Housing

- The proposed development includes two BUH units that are designed to be easily renovated to accommodate a future resident in a wheelchair. These single-storey units are required to incorporate all of the accessibility provisions listed in the Basic Universal Housing Features section of the City's Zoning Bylaw, and are permitted a density exclusion of 1.86 m² (20 ft²) per unit.
- All of the proposed units incorporate aging-in-place features to accommodate mobility constraints associated with aging. These features include:
 - Stairwell handrails;
 - Lever-type handles for plumbing fixtures and door handles; and
 - Solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



Edwin Lee
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EL:js

- Att. 1: Development Application Data Sheet
2: Excerpt from Advisory Design Panel Meeting Minutes (March 23, 2002)
3: Development Permit Considerations



DP 21-932383

Attachment 1

Address: 8951, 8971 Spires Road and 8991 Spires Gate

Applicant: Flat Architecture Inc.

Owner: 0924206 BC Ltd.

Planning Area(s): City Centre

Floor Area Gross: 2,660.75 m²

Floor Area Net: 2,392.95 m²

| | Existing | Proposed |
|-------------------------------|--|---|
| Site Area: | 2,319.44 m ² | 2,068.0 m ² |
| Land Uses: | Single-Family Residential | Multiple-Family Residential |
| OCP Designation: | Low-Density Residential | No Change |
| Area Plan Designation: | City Centre Area Plan Amended July 18, 2022: Urban Centre T5 Sub-Area B.2: Mixed Use – Mid-Rise Residential & Limited Commercial | Under the provisions for instream applications: City Centre Area Plan: General Urban T4 Sub-Area B.1: Mixed Use – Low-Rise Residential & Limited Commercial |
| Zoning: | Single Detached (RS1/E) | Parking Structure Townhouses (RTP4) |
| Number of Units: | 3 | 22 |

| | Bylaw Requirement | Proposed | Variance |
|--|-------------------------|--------------------|----------------|
| Floor Area Ratio: | Max. 1.20 | 1.16 | none permitted |
| Lot Coverage – Building: | Max. 50% | 48.9% | none |
| Lot Coverage – Non-porous Surfaces: | Max. 80% | 66.8% | none |
| Lot Coverage – Landscaping: | Min. 20% | 20.0% | none |
| Setback – Front Yard - Spires Gate (m): | Min. 3.0 m | 3.0 m | none |
| Setback – Exterior Side Yard – East – Spires Road (m): | Min. 3.0 m | 3.0 m | none |
| Setback – Interior Side Yard - West (future lane) (m): | Min. 1.5 m | 1.5 m | none |
| Setback – Rear - South (m): | Min. 1.5 m | 1.5 m | none |
| Height (m): | Max. 15.0 m (4 storeys) | 14.8 m (4 storeys) | none |
| Lot Depth: | Min. 30.0 m | 61.22 m | none |

| | | | |
|--|--|--|---------------------------|
| Lot Width: | 40 m | 33.5 m | Variance Requested |
| Site Area: | Min. 2,400 m ² | 2,068 m ² | Variance Requested |
| Off-street Parking Spaces – Regular (R) / Visitor (V): | 1.2 (R) and 0.2 (V) per unit | 1.4 (R) and 0.2 (V) per unit | none |
| Off-street Parking Spaces – Total: | 27 (R) and 5 (V) | 31 (R) and 5 (V) | none |
| Tandem Parking Spaces: | Max. 50% of required residential spaces (27 x Max. 50% = 13) | 12 + 4 extra small parking spaces | none |
| Small Car Parking Spaces | Max. 50% when 31 or more spaces are provided on-site (36 x Max. 50% = 18) | 10 | none |
| Handicap Parking Spaces: | Min. 2% when 11 or more spaces are required (36 x 2% = 1 spaces) | 3 | none |
| Bicycle Parking Spaces – Class 1 / Class 2: | 1.25 (Class 1) and 0.20 (Class 2) per unit | 1.63 (Class 1) and 0.22 (Class 2) per unit | none |
| Off-street Parking Spaces – Total: | 28 (Class 1) and 5 (Class 2) | 36 (Class 1) and 5 (Class 2) | none |
| Amenity Space – Indoor: | Min. 100 m ² or Cash-in-lieu | Cash-in-lieu | none |

Excerpt from the Minutes from
The Design Panel Meeting

Wednesday, May 18, 2022 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall

1. DP 21-932383 - 22 TOWNHOUSE UNITS OVER A PARKING PODIUM

ARCHITECT: FLAT Architecture

LANDSCAPE ARCHITECT: Architecture Panel Inc.

PROPERTY LOCATION: 8951, 8971 Spires Road and 8991 Spires Gate

Applicant's Presentation

Architect Rajinder Warraich, FLAT Architecture, Inc. and Landscape Architect Ruchir Dhall, Architecture Panel Inc., presented the project and answered queries from the Panel.

Panel Discussion

Comments from Panel members were as follows:

- the project was presented well by the applicant; the materials package is comprehensive and easy to understand;

Noted.

- the targeted insulation R-values for the proposed design look good; however, concerned on U- values for windows; the targeted 1.4 U-value for windows could be improved to a starting point of 0.39 which is seen in many existing buildings;

U value of windows to be based on energy modelling for Step code 3. It can vary from .39 to 1.4 as per energy model report.

- consider changing the language for solar heat gain coefficient (SHGC) from “0.32 or higher” to “0.32 or lower” as the latter values are better;

SHGC value to be .32 or lower as requested.

- consider a minimum HRV Sensible Recovery Efficiency (SRE) of 85% and not 65% due to improvements in products and technology;

Increased to 85 %.

- the proposed gas or propane fire pit on the podium level outdoor amenity area is not consistent with the overall sustainability objective of the project; consider non fossil fuel-powered alternates such as an electric fire pit;

Fire pit Removed as suggested.

- appreciate the general landscape approach for the project and the hierarchy of outdoor spaces;

Noted.

- review the size and depth of planters proposed at the podium level to ensure they are adequate for planting and establishing trees; Planting depth and tree location;

Significant amendments have been done at the podium level despite having adequate soil volume for small trees (~750mm). They have been replaced with large shrubs like rhododendron vulcan, which assume similar height to the smaller trees creating a much thicker and colorful foliage presence. Also, significant sections of the hard patios have been substituted with water absorbent sod to increase the permeable areas.

- appreciate the separation of the active from passive spaces in the outdoor amenity area; however, review the size of the play equipment and consider other alternatives considering the tightness of the outdoor amenity area; Outdoor;

Amenity area redesigned based on ADP discussion and comments. i.e., the consolidated dining and congregation area proposed towards the outdoor cooking areas to the N and the vegetable planters moved to the S so that both areas have consolidated sections with minimal breaks. Also, the outdoor fire-pit was taken out to achieve the above configuration per the ADP recommendations.

- ensure that picnic tables and planters at the community garden area are wheelchair accessible;

Yes, all outdoor amenity is accessible.

- look at fencing details to ensure appropriate distance between the pickets as the project moves forward to the next stages of the development process;

Distance between pickets is less than 4inch and meet BCB 2018.

- there is too much landscaping on the limited open spaces in the project; consider simplifying the landscaping and not program every outdoor amenity space, e.g. a green space could be more appropriate for some areas than installing play areas and outdoor furniture;

The landscaping has been simplified by substituting the thick tree configuration with large shrubs on the podium level. Furthermore, simplification of landscape programming is what we feel an optimum solution to reducing the intense landscaping pointed above.

- overall, the project is well thought out and laid out considering the size of the subject site and the proposed number of housing units;

Noted.

- consider integrating a parcel delivery drop off area close to the mailbox in the main lobby of the building;

Parcel Delivery area is provided in the vestibule near main entrance. Vestibule with doors in 2 tiers (first door accessible to general public and second door accessible to authorized persons) are provided for security.

- consider adding more details to reflect a true Tudor style considering that the subject site is in a transition area from single-family to higher density residential developments;

The overall design of the buildings reflect a true Tudor style. More wood trims have been added in the elevations, window and door trims have been made more decorative, pitch of the roofs is steep and more masonry has been added on level 1 to give grounding effect.

- note that there is a difference between the renderings presented by the applicant and the landscape plans at the northeast corner of the site; the landscape plans indicate significant grass as opposed to the renderings which show thicker plantings; clarify the difference, including the proposed signage at the northeast corner;

Renderings updated and coordinated with landscape drawings.

- intensive planting at the northeast corner of the subject site could help soften the transition into the neighbourhood and create a gateway condition;

Planting soften along northeast corner as suggested. Very distinct and low height perennials and grasses are proposed outside of the yard hedging to create a visually attractive but non-blocking vegetation arrangement.

- stairways that connect the ground level to the podium level look daunting; consider installing a landing halfway up the stairs to make them more accessible to people with mobility issues;

Provision of landing is not mandatory as per the code. Only the landing in main staircase has been removed because there isn't sufficient space to provide the requisite number of steps after the setback.

- ensure adequate wheelchair turnaround space for at-grade patios for Basic Universal Housing (BUH) units to enhance their accessibility;

Turnaround provided as 1.5 walkways are good for turnarounds.

- consider toning down the differences in character, e.g. materials, colour and texture on the ground floor facades of the building to achieve more consistency; the stucco on the west ground floor façade appears out of character with the rest of the building facades; consider relating the stucco to the other building facades by either adding brick or fiber cement on the west ground floor façade; Noted,

The material is revised and brick added as per suggestion.

- the exterior treatment for the building base facing the street appears flat and is less successful than the treatment for the building base facing the podium; the in and out relationship with the bay windows facing the podium successfully breaks down the building mass;

The main entrance canopies to the units and entrance to the main lobby break the continuity of the material at grade level. The overall building is small and the introduction of brick cladding on the ground floor provides heavier base.

- the metal and glass guardrails appear out of character with the rest of the detailing on the building; look at the metal picket fence on the landscape drawings and consider a greater relationship of the various fencing/guardrail materials;

Metal and glass guard changed to Picket fence style.

- the metal and glass guardrails on the roof deck facing the podium are pushed forward a bit too much and appear more prominent than the traditional elements on the façade of the lower levels; consider pushing back the metal and glass guardrails to provide more prominence to the traditional elements;

We have converted all railings to picket style fence and have not pushed the railing inwards. Pushing the railing inwards will result in reduction of roof top patio areas.

- the second bedroom of BUH Unit 101 does not have a separate bathing space; the resident will have to go into the accessible bathroom to the master bedroom;

The entire design of BUH units and Level 1 has changed after the ADP meeting; separate bathing space added in the 2nd bathroom of both BUH units.

- in general, the kitchen space looks tight with respect to turning radii; ensure that there is a five-foot turning circle within the working area of the kitchen or clarify if that is being achieved;

The entire design of BUH units and Level 1 has changed after the ADP meeting and this concern has been addressed.

- look at the proximity of the exit from the elevator to the top of the exit stairs on the podium level which could pose a safety concern for a person in wheelchair; review how those elements are related to one another; also look at the screening of exposed condensers in the area if they fit within the overall concept of the project;

In previous submissions the door of the elevator lobby was opening right in front of the top of the staircase. Now the position of this door has been changed to the side of the lobby and it opens on the podium pathway which does not pose any safety concern for a person on wheelchair. The condensers are well screened behind landscape planters.

- appreciate the provision of automated doors in certain locations of the building and not just at the main entrance; also appreciate the installation of wiring for automated door openers for entrances to units;

Noted.

- appreciate the accessibility of gathering places and common amenities such as garbage and recycling;

Noted.

- consider locating the two designated accessible parking stalls for BUH Units 101 and 102 to the northeast corner behind Unit 102 to make them more accessible to the two BUH units; also consider relocating the accessible visitor parking stall next to the accessible parking stall (i.e., stall number 20) to parking stall number 15; the proposal would eliminate the unnumbered stall on the northeast side but would enlarge the size of all accessible parking stalls in the proposed development;

The accessible parking for BUH Unit 1 and 2 are located right near there entrances in the new layout of level 1.

- consider installing doors swinging into the bedroom instead of into the washroom or installing pocket doors for the accessible washrooms of BUH units to enhance their accessibility to people in wheelchairs; updated,

The bathroom door opens towards the bedroom which addresses the concern in this comment.

- consider assigning mailboxes for BUH units which are between 57 cm to 110 cm from the ground level to make them accessible to people in wheelchairs;

Noted.

- appreciate the applicant for identifying CPTED strategies for the project;

Noted.

- the landscape design for the project will work well with the neighbourhood;

Noted.

- agree with the Panel comment regarding the second bedroom of BUH unit 101 not having access to a bathing space without going to the ensuite washroom for the master bedroom;

Updated.

- the location of the stove and refrigerator for A3 units are very close to each other, which could potentially impact the working of these appliances;

Updated.

- look at the door swings not only of the BUH units but also of the refrigerators to ensure ease of opening;

The entire design of BUH units and Level 1 has changed after the ADP meeting. This concern has been addressed in the new design.

- support the Panel comment that the targeted U-values for windows should be pushed further;

U value to decrease based on the Energy modelling and step code requirements.

- ensure accessibility of BUH units to adjacent open spaces;

The patio levels and the levels of the parkade have been kept at same levels as the BUH units for easy accessibility. Grade of all slopes/ ramps leading up to the BUH units is less than 5%.

- the aluminum and glass guardrails are very prominent and out of character, particularly in the courtyard as they are installed on the edge of the roof deck; support the Panel comment to recess the aluminum and glass guardrails if they will be retained or consider installing a picket style fence;

We have converted all railings to picket style fence and have not pushed the railing inwards. Pushing the railing inwards will result in reduction of roof top patio areas.

- the aluminum and glass guardrails on Level 2 appear too finicky and busy; a picket fence would be more appropriate or if the same materials for the guardrails are retained, consider recessing them back and not repeating them on the roof deck; and

All railings including guardrails converted to picket style railings.

- support the Panel comment that the architectural expression on Level 1 on the south and west elevations are out of character with the rest of the development; the brick works well in other elevations; however, consider strategically using brick, e.g. in the corners and under the stairs due to cost considerations or if not using brick, consider using an alternate material and colour that blends better with the rest of the development considering that the west elevation will become prominent when the future lane and sidewalk will be constructed.

The material is revised and brick added as per suggestion.

Panel Decision

It was moved and seconded

That DP 21-932383 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.

CARRIED



City of Richmond

Development Permit Considerations

Development Applications Department
6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 8951, 8971 Spires Road and 8991 Spires Gate

File No.: DP 21-932383

Prior to approval of the Development Permit, the developer is required to complete the following:

- 1. Receipt of a Letter of Credit for landscaping in the amount of \$187,615.31 (based on the costs estimate provided by a CSLA registered landscape Architect including 10% contingency).
2. City acceptance of the developer's offer to voluntarily contribute \$14,250 to the City's Tree Compensation Fund for the planting of replacement trees within the City.

Prior to Building Permit Issuance, the developer must complete the following requirements:

- 1. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
2. Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
3. If applicable, payment of latecomer agreement charges associated with eligible latecomer works.
4. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

Note:

- * This requires a separate application.
• Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.
All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.
The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.
• Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
• Applicants for all City Permits are required to comply at all times with the conditions of the Provincial Wildlife Act and Federal Migratory Birds Convention Act, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

Signed

Date



No. DP 21-932383

To the Holder: Flat Architecture Inc.
Property Address: 8951, 8971 Spires Road and 8991 Spires Gate
Address: 6321 King George Boulevard, Unit 209
Surrey, BC V3X 1G1

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a) Reduce the minimum lot width from 40 m to 33.5 m; and
 - b) Reduce the minimum lot area from 2,400 m² to 2,000 m².
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #46 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$187,615.31 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 21-932383

To the Holder: Flat Architecture Inc.
Property Address: 8951, 8971 Spires Road and 8991 Spires Gate
Address: 6321 King George Boulevard, Unit 209
Surrey, BC V3X 1G1

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO. ISSUED BY THE COUNCIL THE
DAY OF , .

DELIVERED THIS DAY OF , .

MAYOR

22 UNITS TOWNHOUSE DEVELOPMENT,

8951,8971 SPIRES ROAD,SPIRES GATE, RICHMOND,B.C

| PROJECT RECONCILIATION | | DP NO : 21-932383 | |
|--|---|--|------------------------|
| CIVIC ADDRESS: | | 8951, 8971 Spires RD & 8991 Spires Gate Richmond BC | |
| LOT AREA | | | |
| TOTAL: | 24,966.24 | SQ.FT. | 2319.44 m2 |
| DEDICATIONS: | 2,704.34 | SQ.FT. | 251.24 SQMT |
| NET AREA: | 22,261.90 | SQ.FT. | 2068.2 SQMT |
| ZONING | | | |
| CURRENT | RS1/E | | |
| PROPOSED | RTP4 | | |
| F.A.R CALCULATIONS | | | |
| FAR PROPOSED | | | 1.17 on net |
| FLOOR AREA (EXCLUDING PARKING) | | | |
| LEVELS | | RESIDENTIAL NET | |
| PARKADE LEVEL- LVL 1 | 4,249.00 | Sq.Ft. | 394.75 M2. |
| PODIUM LEVEL- LVL 2 | 9,835.00 | Sq.Ft. | 913.70 M2. |
| THIRD FLOOR- LVL 3 | 9,868.00 | Sq.Ft. | 916.77 M2. |
| FOURTH FLOOR- LVL4 | 4,688.00 | Sq.Ft. | 435.53 M2. |
| GROSS TOTAL AREA | 28,640.00 | Sq.Ft. | 2,660.75 M2. |
| Deduction of 10m2 per stair per unit for 20 units (see table on right) | 2,655.46 | Sq.Ft. | 246.70 M2. |
| NET TOTAL AREA | 25,984.54 | Sq.Ft. | 2,414.05 Sq.Ft. |
| OUTDOOR AMENITY SPACE: | | | |
| REQUIRED 6m2 per unit | | | 1420 ft2 (132 m2) |
| PLUS 10% OF NET SITE AREA | | | 2227 ft2 (206.9 m2) |
| TOTAL REQUIRED | | | 3647 ft2 (338.9 m2) |
| PROPOSED | | | 4430 ft2 (411.56 m2) |
| UNIT COUNT: | | | |
| 3 bed room Units | 18 | | |
| 2 Bedroom H/C accessible Units (BUH units) | 2 | | |
| 3 Bed TH units c/w Secondary Suite | 2 | | |
| Total No of Units | 22 | | |
| OFF STREET PARKING | | | |
| RESIDENCES: | | | SAY |
| REQUIRED | TOWNHOUSE 22 x 1.2 | = 26.4 SPACES | 27 SPACES |
| PROVIDED | | All Units to have Level 2 Charging Stations. | 31 SPACES |
| VISITORS | | | |
| REQUIRED | 22 X .2 | = 4.4 SPACES | 5 SPACES |
| PROVIDED | | | 5 SPACES |
| | TOTAL | | 36 SPACES |
| TANDEM PARKING SPACES | | | |
| Max 50 % of required spaces (50 % of 32) | 16 | | |
| PROVIDED | 16 | | |
| SMALL CAR SPACES: | | | |
| PROVIDED | | 2 Visitor and 8 Residential | |
| ACCESSIBLE PARKING SPACES: | | | |
| REQUIRED | 2 % of 33 spaces .66 spaces say 1 space | | |
| PROVIDED | | 3 Parking Spaces in total (2 for Accessible units+ 1 for Visitor) | |
| BICYCLE PARKING | | | |
| CLASS 1 | | | |
| REQUIRED | 22 X 1.25 | 27.5 | 28 SPACES |
| PROVIDED | | | 33 SPACES |
| CLASS 2 | | | |
| REQUIRED | 22 X .2 | 4.4 | 5 SPACES |
| PROVIDED | | | 5 SPACES |

| UNIT TYPES & AREAS | | | | | | | |
|--------------------|------------------|---------|---------|---------|------------------------|-----------------------|---------------------------|
| UNIT NO. | UNIT AREAS (FT2) | | | | TOTAL UNIT AREA IN FT2 | TOTAL UNIT AREA IN M2 | UNIT TYPE |
| | LEVEL1 | LEVEL2 | LEVEL3 | LEVEL4 | | | |
| 1 | 767.573 | 0 | 0 | 0 | 767.573 | 71.31 | 2 BEDROOM |
| 2 | 767.149 | 0 | 0 | 0 | 767.149 | 71.27 | 2 BEDROOM |
| 3 | 0 | 505.437 | 512 | 246.581 | 1264.018 | 117.43 | 3 BEDROOM |
| 4 | 0 | 477.66 | 536.137 | 260 | 1273.797 | 118.34 | 3 BEDROOM |
| 5 | 0 | 454.58 | 475.8 | 233.412 | 1163.792 | 108.12 | 3 BEDROOM |
| 6 | 0 | 477.66 | 536.137 | 260 | 1273.797 | 118.34 | 3 BEDROOM |
| 7 | 0 | 454.58 | 475.8 | 233.412 | 1163.792 | 108.12 | 3 BEDROOM |
| 8 | 0 | 454.8 | 475.77 | 224 | 1154.57 | 107.26 | 3 BEDROOM |
| 9 | | 535.4 | 554 | 269.13 | 1358.53 | 126.21 | 3 BEDROOM |
| 9A | 697.48 | 0 | 0 | 0 | 697.48 | 64.80 | 2 BEDROOM SECONDARY SUITE |
| 10 | 345.65 | 460.65 | 475.65 | 224 | 1505.95 | 139.91 | 3 BEDROOM |
| 11 | 0 | 460.65 | 475.65 | 224 | 1160.3 | 107.80 | 3 BEDROOM |
| 12 | 0 | 460.65 | 475.65 | 224 | 1160.3 | 107.80 | 3 BEDROOM |
| 13 | 345.65 | 460.65 | 475.65 | 224 | 1505.95 | 139.91 | 3 BEDROOM |
| 14 | | 505 | 522 | 250 | 1277 | 118.64 | 3 BEDROOM |
| 14A | 740.49 | 0 | 0 | 0 | 740.49 | 68.79 | 2 BEDROOM SECONDARY SUITE |
| 15 | 0 | 454 | 570 | 252.56 | 1276.56 | 118.60 | 3 BEDROOM |
| 16 | 0 | 444 | 470.65 | 219 | 1133.65 | 105.32 | 3 BEDROOM |
| 17 | 0 | 444 | 470.65 | 219 | 1133.65 | 105.32 | 3 BEDROOM |
| 18 | 0 | 444 | 470.65 | 219 | 1133.65 | 105.32 | 3 BEDROOM |
| 19 | 0 | 444 | 470.65 | 219 | 1133.65 | 105.32 | 3 BEDROOM |
| 20 | 0 | 444 | 470.65 | 219 | 1133.65 | 105.32 | 3 BEDROOM |
| 21 | 0 | 471.58 | 501.99 | 207.05 | 1180.62 | 109.68 | 3 BEDROOM |
| 22 | 0 | 483.2 | 512 | 246 | 1241.2 | 115.31 | 3 BEDROOM |

| UNIT STAIRCASES AND THEIR CUTOUTS ON HIGHEST STOREY DEDUCTIONS | | |
|--|---------------------------|---|
| UNIT NO. | STAIRCASE DEDUCTION IN M2 | STAIRCASE DEDUCTION ON HIGHEST STOREY IN M2 |
| 1 | 0.00 | 0.00 |
| 2 | 0.00 | 0.00 |
| 3 | 7.43 | 4.08 |
| 4 | 7.43 | 4.08 |
| 5 | 7.43 | 4.08 |
| 6 | 7.43 | 4.08 |
| 7 | 7.43 | 4.08 |
| 8 | 7.43 | 4.08 |
| 9 | 10 | 4.08 |
| 10 | 10 | 4.08 |
| 11 | 8.18 | 4.08 |
| 12 | 8.18 | 4.08 |
| 13 | 10 | 4.08 |
| 14 | 10 | 4.08 |
| 15 | 7.53 | 3.90 |
| 16 | 8.08 | 4.08 |
| 17 | 8.08 | 4.08 |
| 18 | 8.08 | 4.08 |
| 19 | 8.08 | 4.08 |
| 20 | 8.08 | 4.08 |
| 21 | 8.08 | 4.08 |
| 22 | 8.08 | 4.08 |
| TOTAL | 165.05 | 81.42 |
| GRAND TOTAL | | 246.47 |

DP NO : 21-932383



Unit 209- 6321 King George Bl
Surrey BC, V3X 1G1
www.flatarchitecture.ca
contact@flatarchitecture.ca

Ph: 604-503-4484

PROJECT INFO: 11 UNITS
Townhouse Development at 8951,
8971 Spires Rd., 8991 Spires Gate,
Richmond, BC
CLIENT:

DATE
31-Mar-23

PROJECT NO:
17-127

SCALE: DRAWN
As Noted R.W

| | | | |
|----|---------------|-----|----------|
| 1. | Issued For DP | R.W | 02/08/22 |
|----|---------------|-----|----------|

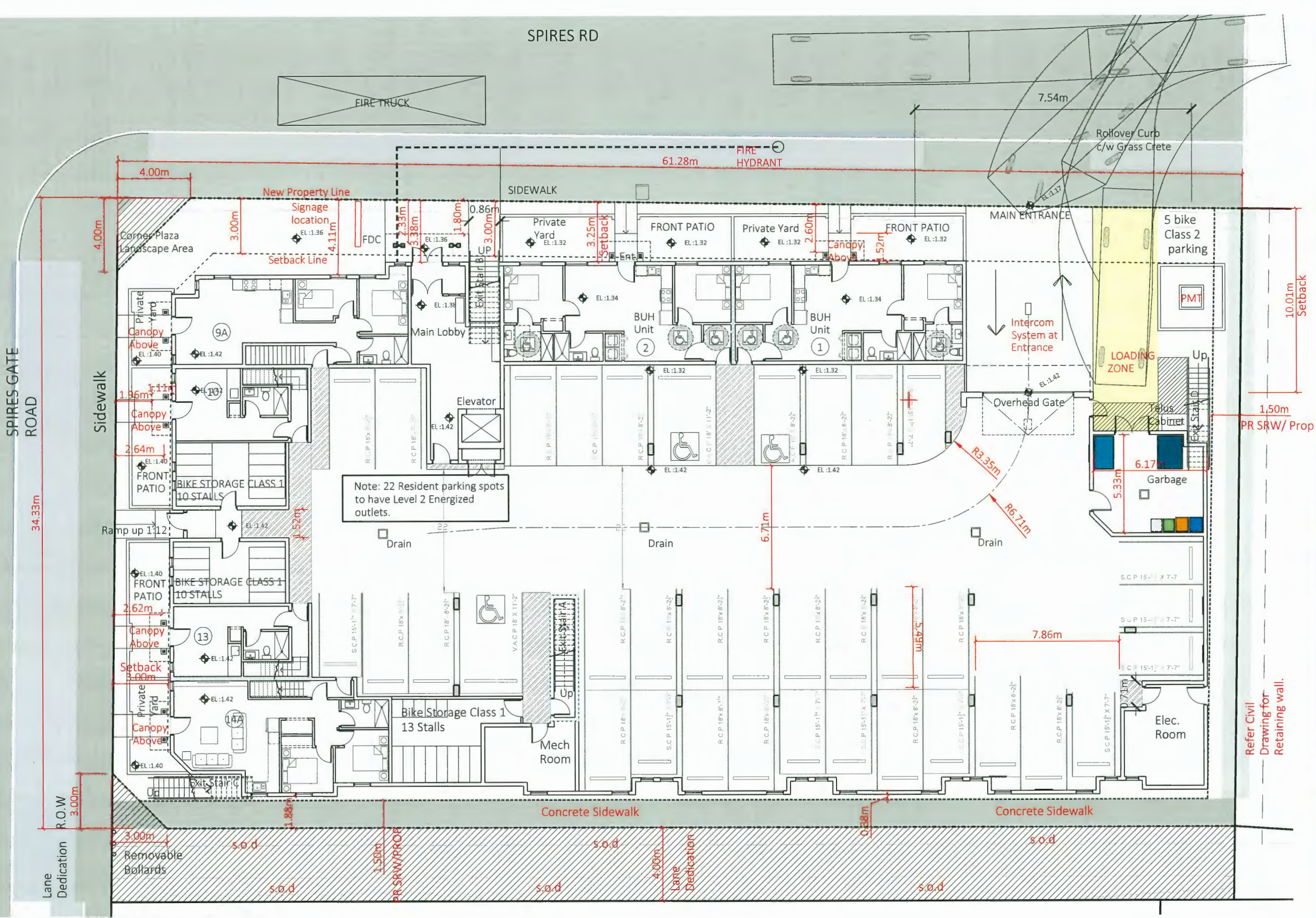
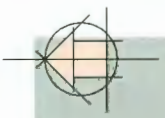
DATA SHEET

A0.1

DP 21-932383

Plan #1

April 20, 2023



Note: 22 Resident parking spots to have Level 2 Energized outlets.

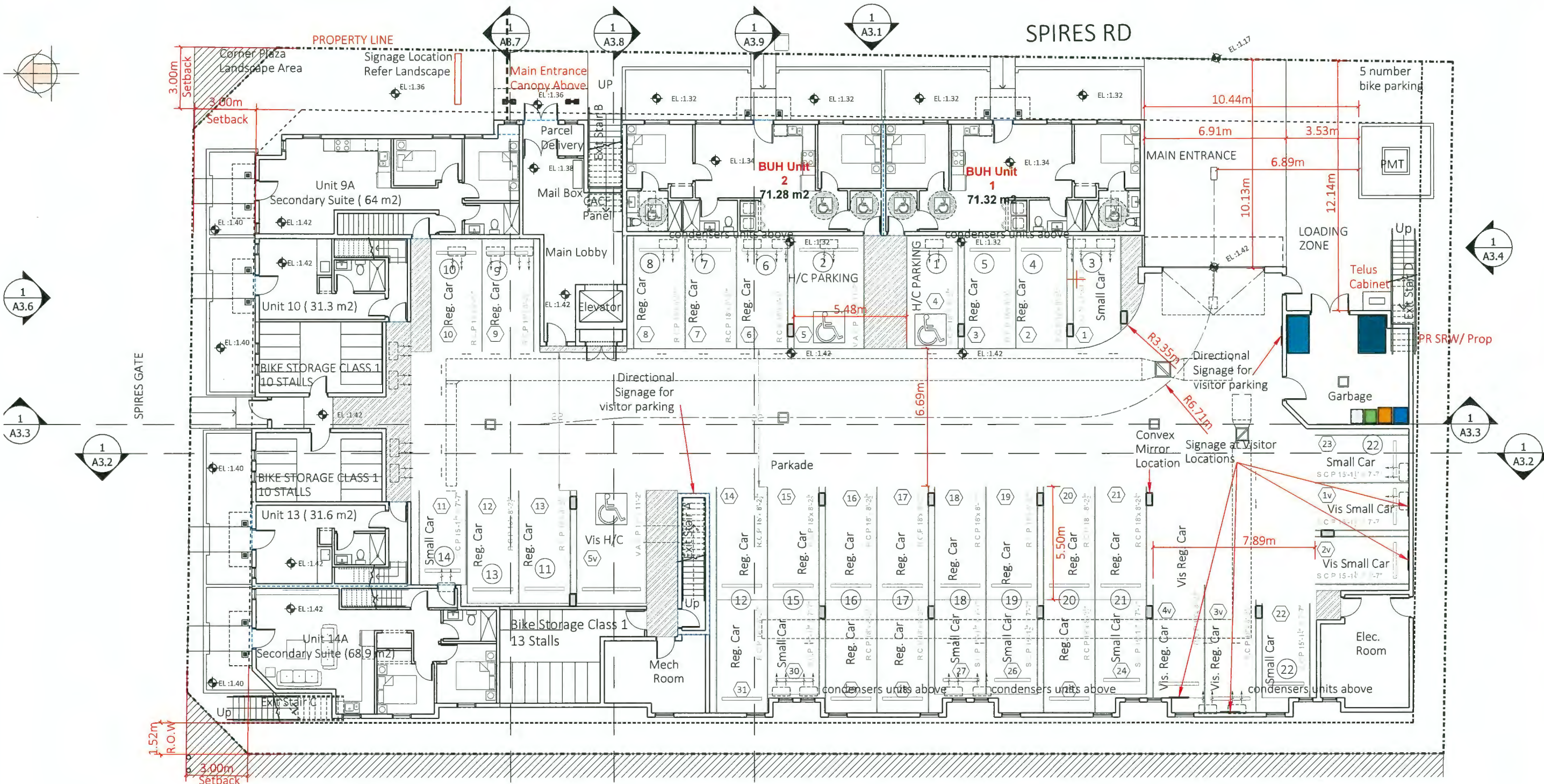
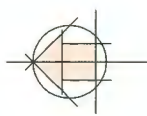
Refer Civil Drawing for Retaining wall.

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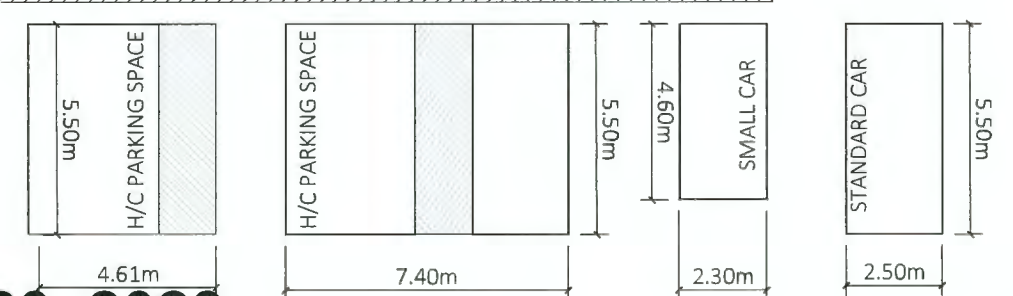
PROJECT INFO:
Townhouse Development at 8951,
8971 Spires Rd., 8991 Spires Gate,
Richmond, BC
CLIENT:
Juliana

DATE
23-Feb-23
PROJECT NO:
17-127
SCALE: As Noted
DRAWN BY: R.W

| REV | DESCRIPTION | BY | DATE |
|-----|---------------|-----|----------|
| 1. | Issued For DP | R.W | 02/08/22 |



1 PARKADE LEVEL PLAN
Scale: 1/16"=1'



DP 21-932383

Plan #3

April 20, 2023

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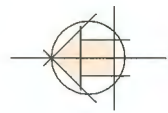
PROJECT INFO: 11 UNITS
Townhouse Development at 8951,
8971 Spires Rd., 8991 Spires Gate,
Richmond, BC
CLIENT: Juliana

DATE: 31-Mar-23
PROJECT NO: 17-127
SCALE: As Noted
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| REV | DESCRIPTION | BY | DATE |
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PARKADE LVL PLAN

A2.1



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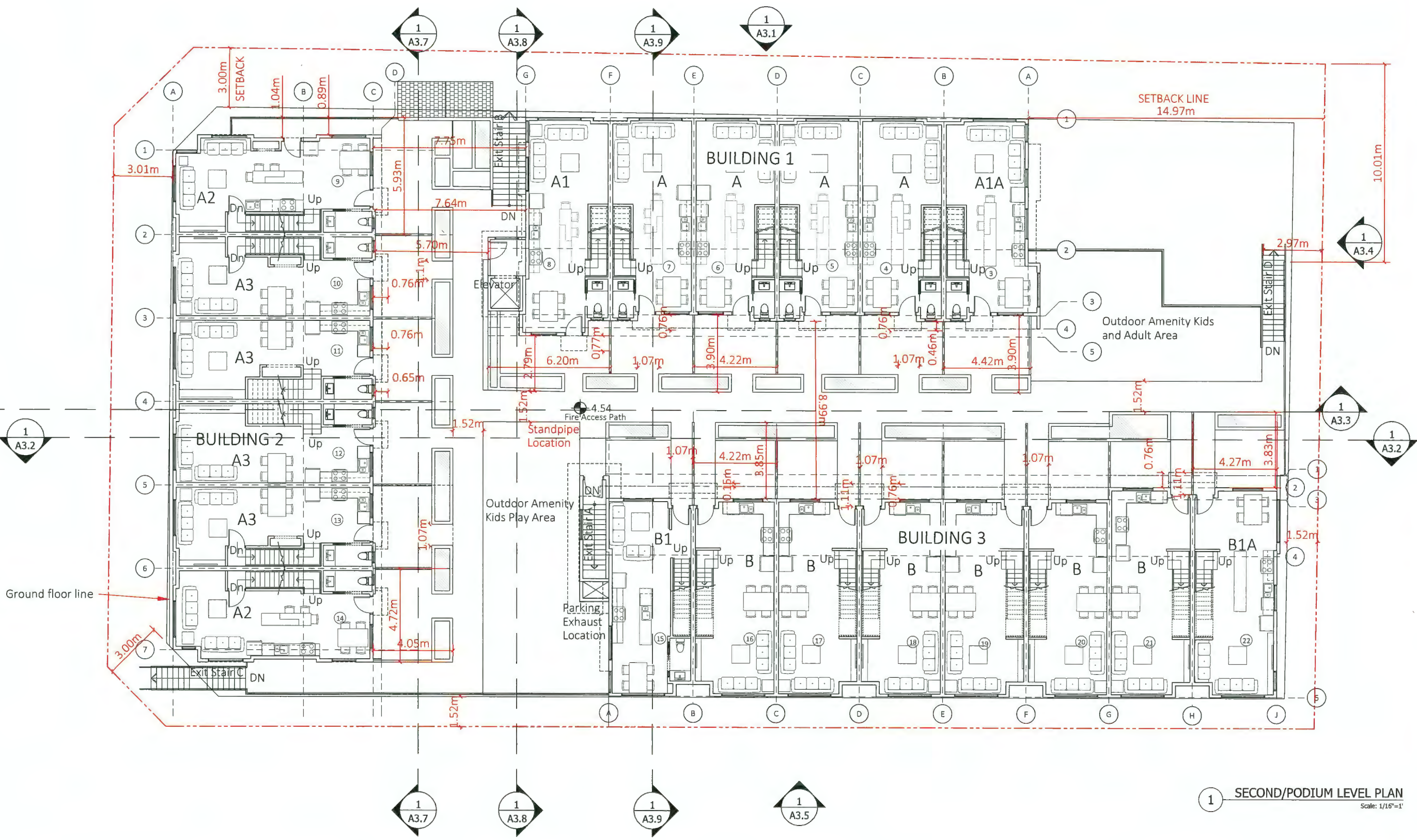
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Townhouse Development at 8951,
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Richmond, BC
CLIENT: Juliana

DATE: 31-Mar-23
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| REV | DESCRIPTION | BY | DATE |
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| 1. | Issued For DP | R.W | 02/08/22 |

PODIUM LEVEL PLAN

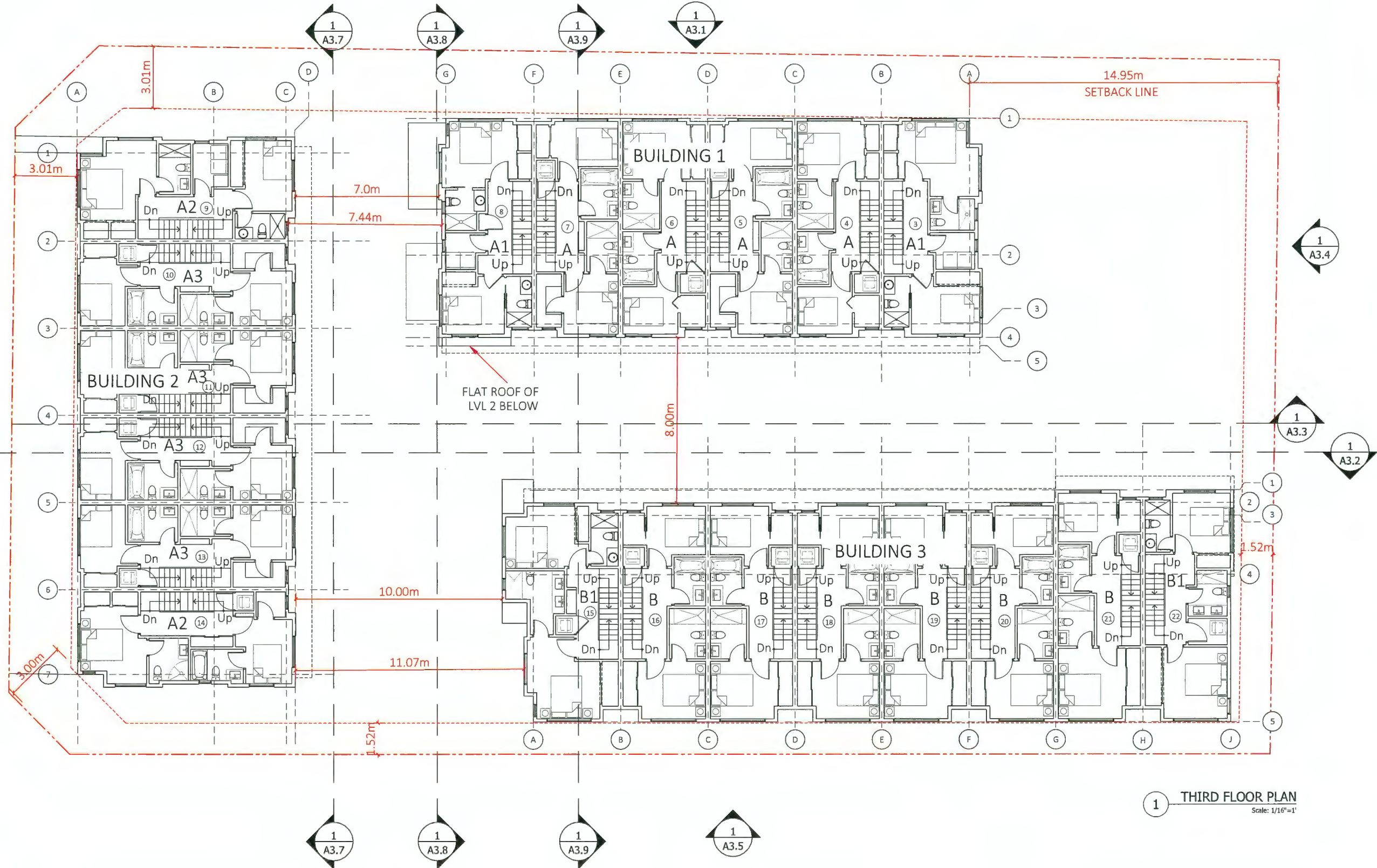
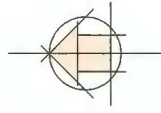
A2.2



DP 21-932383

Plan #4

April 20, 2023



1 THIRD FLOOR PLAN
Scale: 1/16"=1'



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SCALE: As Noted
DRAWN BY: R.W

| REV | DESCRIPTION | BY | DATE |
|-----|---------------|-----|----------|
| 1. | Issued For DP | R.W | 02/08/22 |

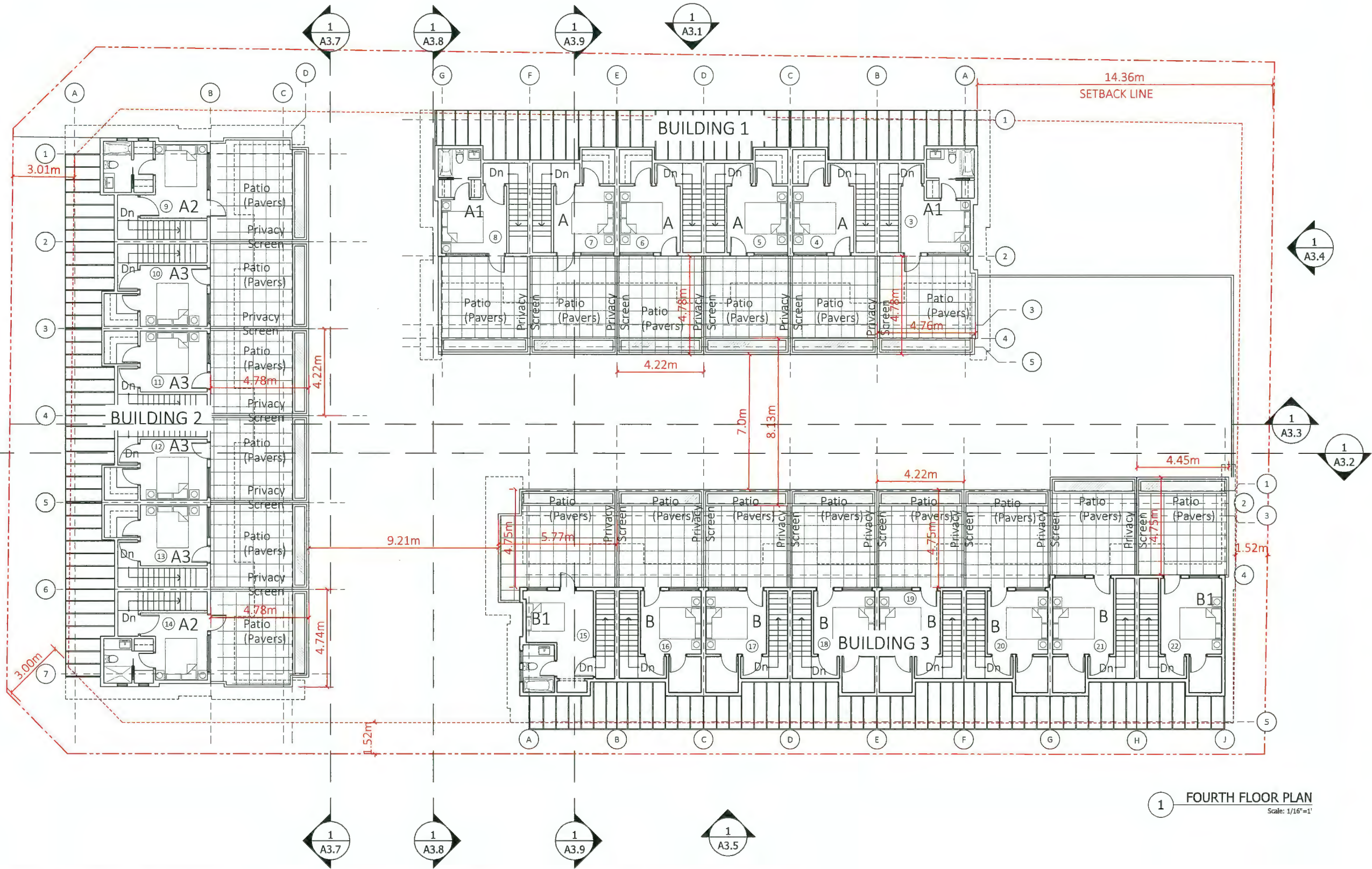
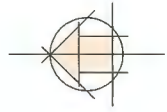
THIRD FLOOR PLAN

DP 21-932383

Plan #5

April 20, 2023

A2.3



1 FOURTH FLOOR PLAN
Scale: 1/16"=1'



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CLIENT: Juliana

DATE: 31-Mar-23
PROJECT NO: 17-127
SCALE: As Noted
DRAWN BY: R.W

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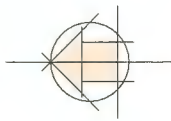
FOURTH FLOOR PLAN

DP 21-932383

Plan #6

April 20, 2023

A2.4



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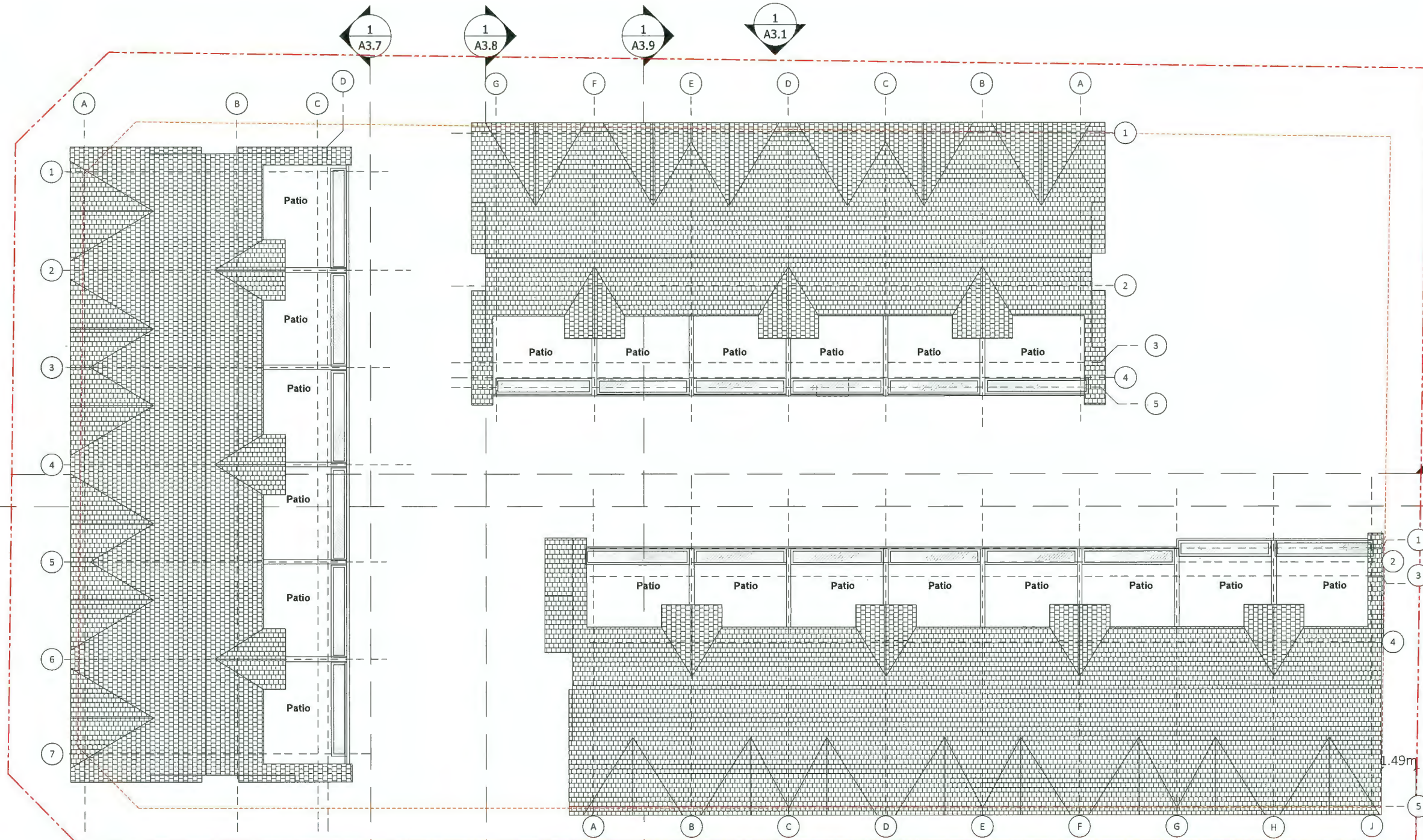
PROJECT INFO:
Townhouse Development at 8951,
8971 Spires Rd., 8991 Spires Gate,
Richmond, BC
CLIENT: Juliana

DATE
23-Feb-23
PROJECT NO:
17-127
SCALE: As Noted
DRAWN BY: R.W.

| REV | DESCRIPTION | BY | DATE |
|-----|---------------|------|----------|
| 1. | Issued For DP | R.W. | 02/08/23 |

ROOF PLAN

A2.5

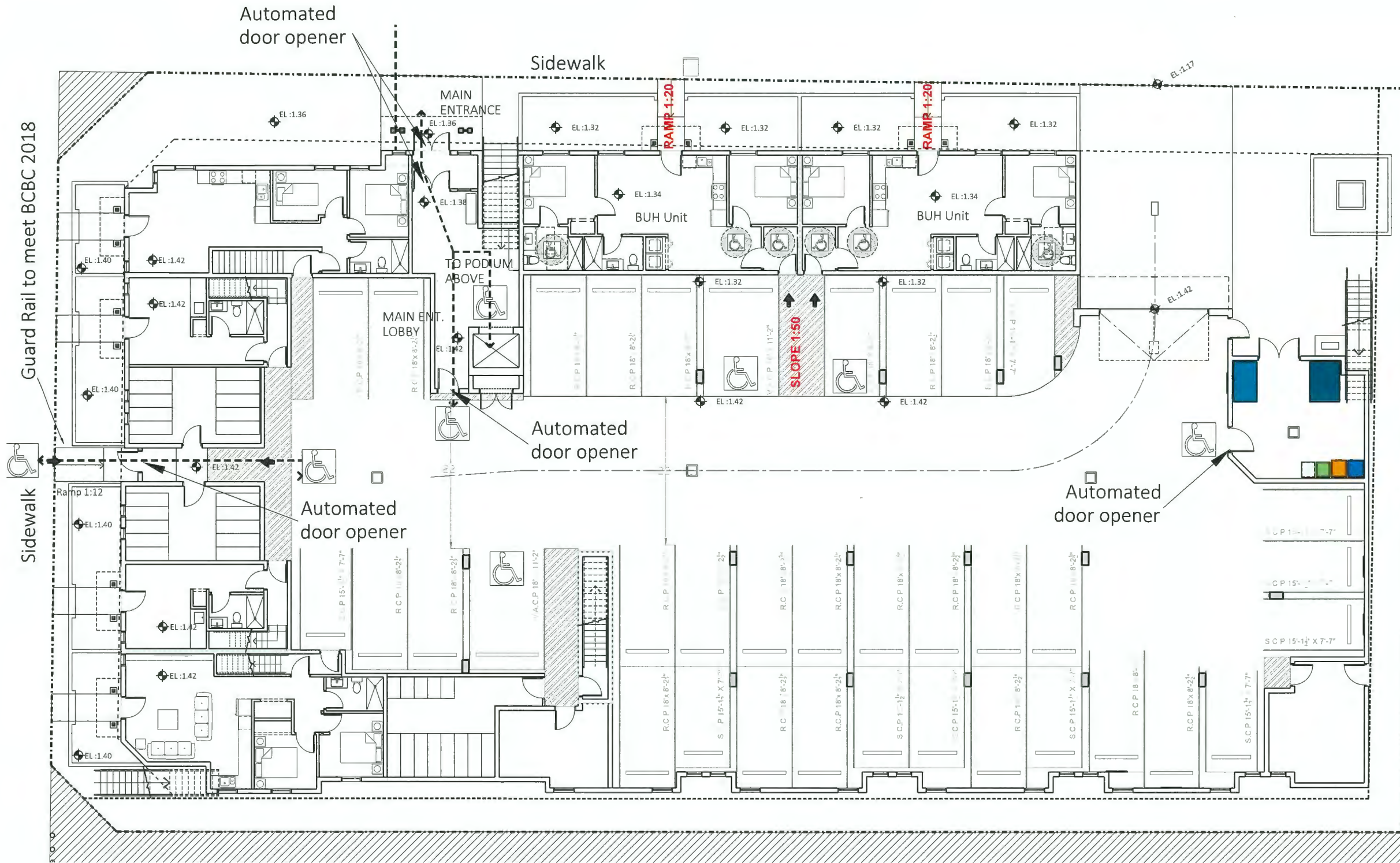
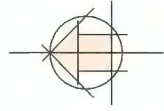


1 ROOF PLAN
Scale: 1/16"=1'

DP 21-932383

Plan #7

April 20, 2023



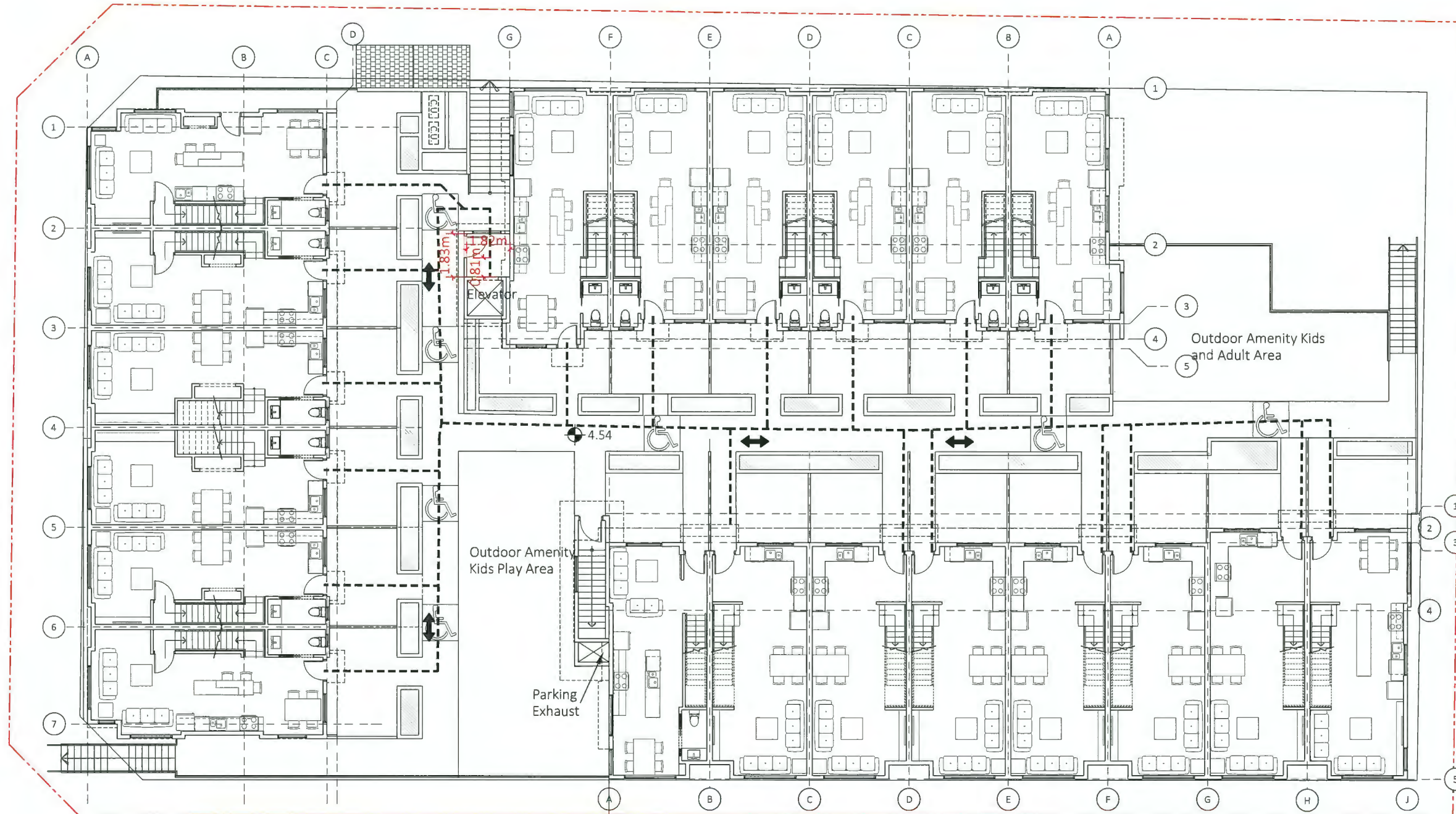
1 MAIN LEVEL PLAN
Scale: 1/16"=1'

PROJECT INFO:
Townhouse Development at 8951,
8971 Spires Rd., 8991 Spires Gate,
Richmond, BC
CLIENT:
Juliana

DATE
23-Feb-23
PROJECT NO:
17-127
SCALE: As Noted
DRAWN BY:
R.W

| REV | DESCRIPTION | BY | DATE |
|-----|---------------|-----|----------|
| 1. | Issued For DP | R.W | 02/09/23 |

ACCESSIBILITY PLAN
LEVEL 1



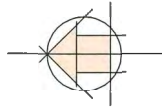
1 **PODIUM LEVEL PLAN**
Scale: 1/16"=1'

PROJECT INFO:
Townhouse Development at 8951,
8971 Spires Rd., 8991 Spires Gate,
Richmond, BC
CLIENT:
Juliana

DATE
23-Feb-23
PROJECT NO.:
17-127
SCALE: DRAWN BY:
As Noted R.W

| REV | DESCRIPTION | BY | DATE |
|-----|---------------|-----|----------|
| 1. | Issued For DP | R.W | 02/08/23 |

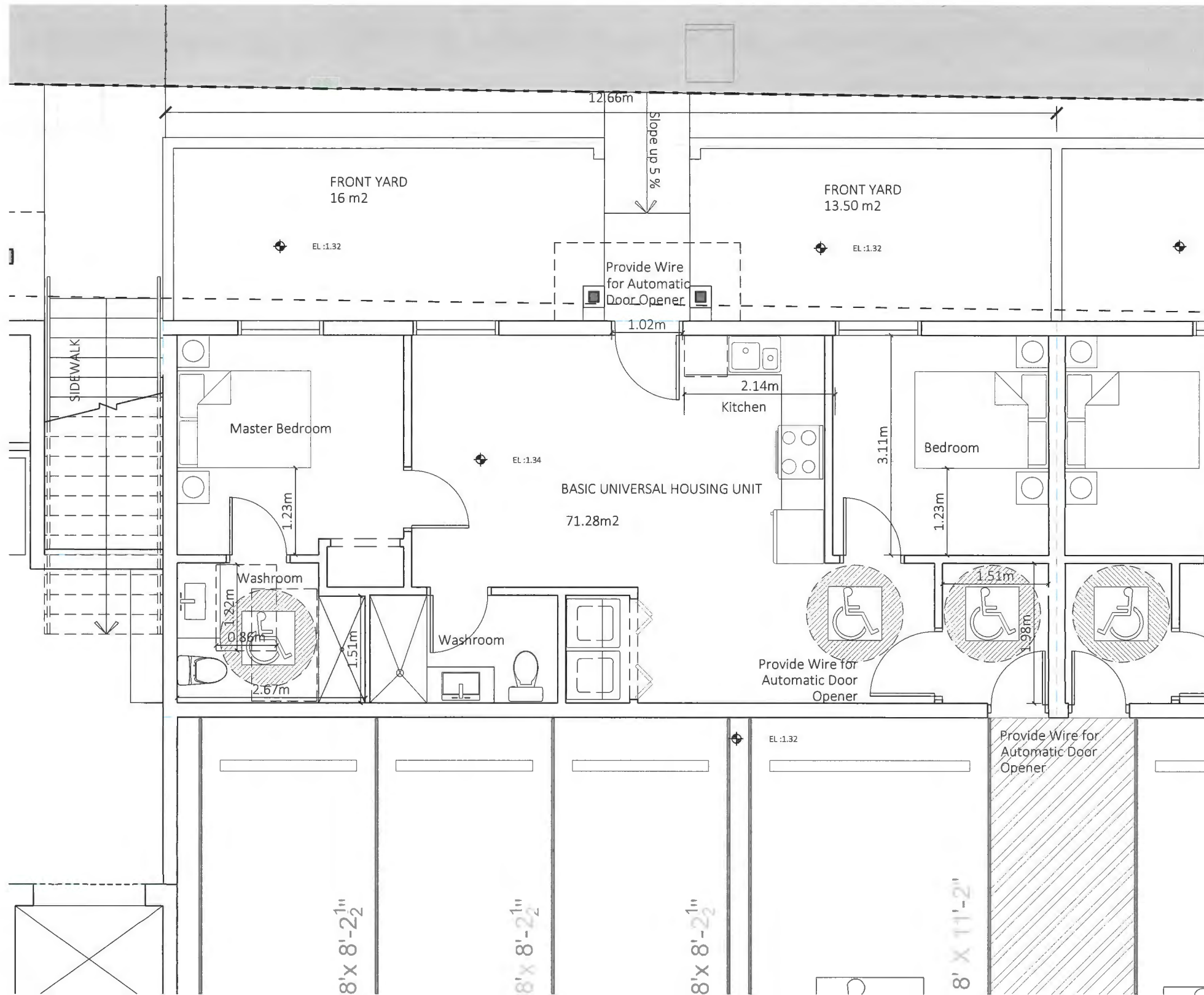
ACCESSIBILITY PLAN
PODIUM LVL



NOTE: THIS DESIGN COMPLIES WITH THE BUH GUIDELINES OF RICHMOND ZONING BY-LAWS.



1.5 M DIA CLEAR SPACE FOR ACCESSIBILITY



- FLOOR SURFACE:
- Floor finishes to be Slip Resistant
- DOORS AND DOORWAYS:
- All Exterior Doors to have flush threshold in BUH units
- All Doors to Accessible units to be min of 855mm
- Maneuvering space to meet BUH guidelines e.g 1220 on push side wih 600mm clearance on door handle side
- WINDOWS:
- one window is being provided to meet min sill height of 750mm in bedroom
- OUTLETS AND SWITCHES
- Outlets, Thermostats and switches to meet BUH guidelines
- BATHROOMS:
- one bathroom is being provided to meet the BUH guidelines in bedroom.



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DRAWN BY: R.W

| REV | DESCRIPTION | BY | DATE |
|-----|---------------|-----|----------|
| 1. | Issued For DP | R.W | 02/08/23 |

ACCESSIBLE UNIT PLAN

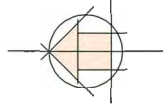
1 BUH- 2
Scale: 3/16"=1'

DP 21-932383

Plan #10

April 20, 2023

A2.12



NOTE: THIS DESIGN COMPLIES WITH THE BUH GUIDELINES OF RICHMOND ZONING BY-LAWS.



1.5 M DIA CLEAR SPACE FOR ACCESSIBILITY



FLAT ARCHITECTURE

Unit 209- 6321 King George Blvd
Surrey BC, V3X 1G1
www.flatarchitecture.ca
contact@flatarchitecture.ca

Ph: 604-503-4484

PROJECT INFO:
Townhouse Development at 8951,
8971 Spires Rd., 8991 Spires Gate,
Richmond, BC
CLIENT: Juliana

DATE
23-Feb-23

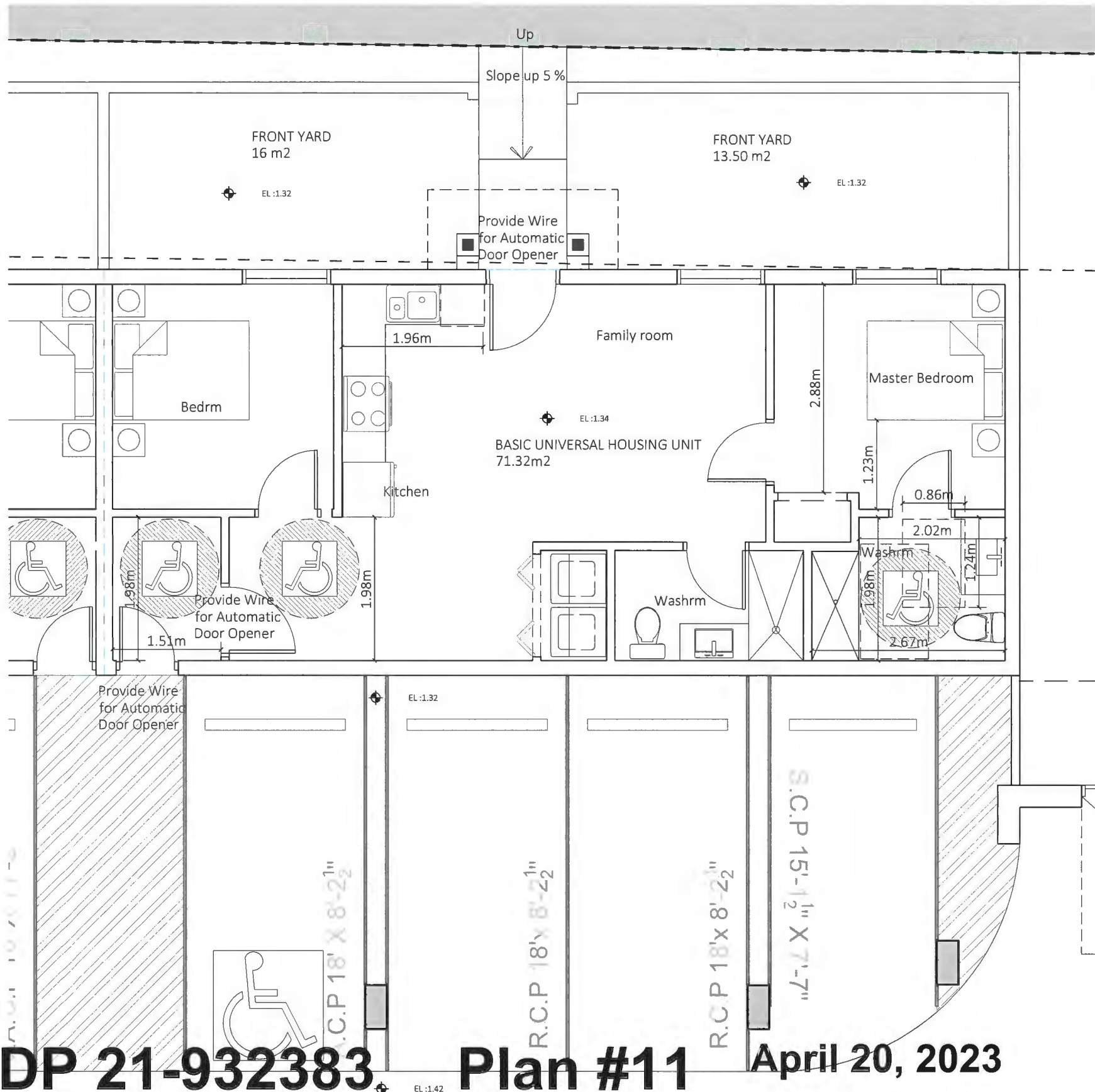
PROJECT NO:
17-127

SCALE: DRAWN BY:
As Noted R.W

| REV | DESCRIPTION | DATE |
|-----|---------------|----------|
| 1. | Issued For DP | 02/08/23 |

ACCESSIBLE UNIT PLAN

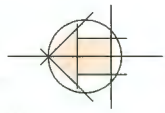
A2.13



- FLOOR SURFACE:
- Floor finishes to be Slip Resistant
- DOORS AND DOORWAYS:
- All Exterior Doors to have flush threshold in BUH units
 - All Doors to Accessible units to be min of 855mm
 - Maneuvering space to meet BUH guidelines e.g 1220 on push side with 600mm clearance on door handle side
- WINDOWS:
- one window is being provided to meet min sill height of 750mm in bedroom
- OUTLETS AND SWITCHES
- Outlets, Thermostats and switches to meet BUH guidelines
- BATHROOMS:
- one bathroom is being provided to meet the BUH guidelines in bedroom.

DP 21-932383 Plan #11 April 20, 2023

1 BUH- 1
Scale: 3/16"=1'



SPIRES ROAD

SPIRES ROAD

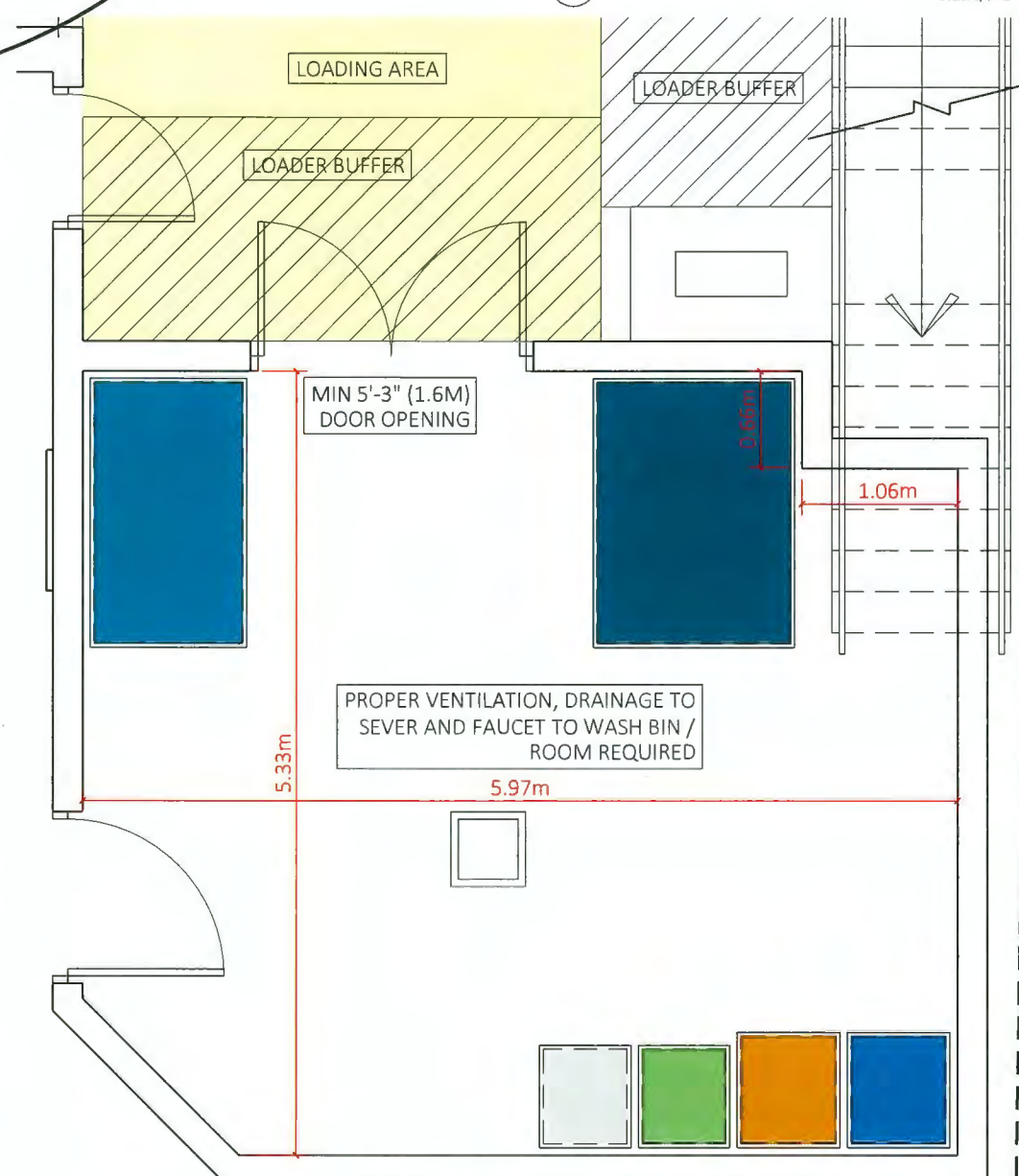
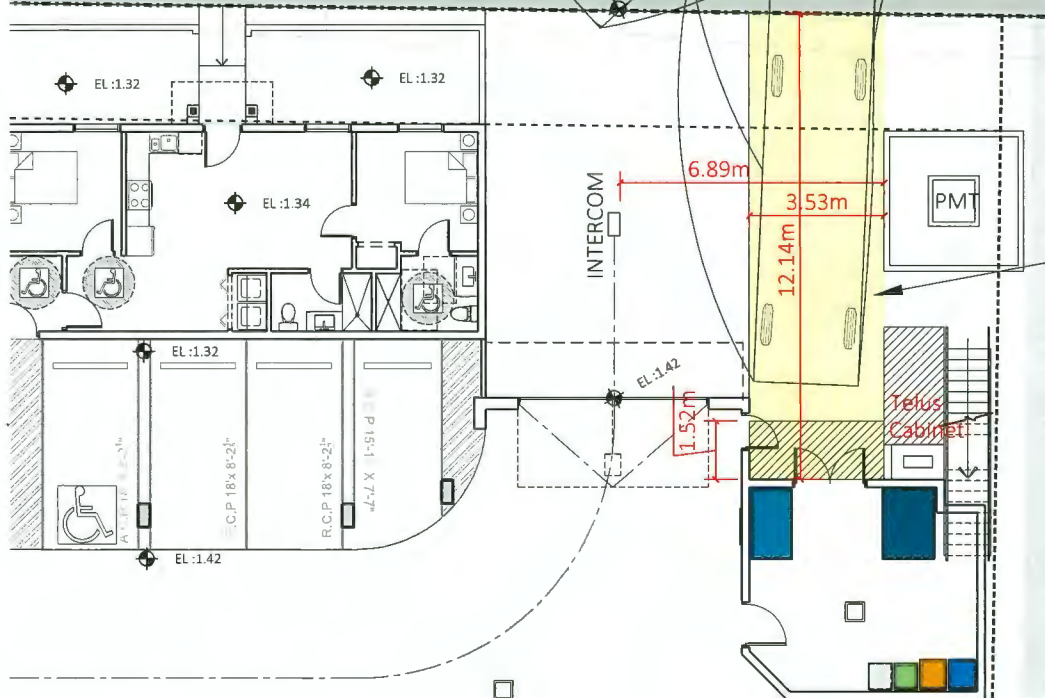
LEGEND

- TRUCK
- TRUCK REAR / SIDE LOADER BUFFER
- TRUCK PATH
- TRUCK ACCESS ROUTE
- LOADING SPACE
- CARDBOARD FRONT END CONTAINER
- GARBAGE (MODERATE RECYCLING) FRONT END CONTAINER
- GLASS JARS AND BOTTLES RECYCLING CART
- FOOD SCRAPS & YARD TRIMMING CART
- MIXED PAPER (WITH A CARDBOARD BIN) RECYCLING CART
- MIXED CONTAINERS RECYCLING CART

TRUCK SPECS
 SIZE: 10.67m LONG X 2.74m WIDE
 HEIGHT: 4.24m

LOADING AREA WHERE THE TRUCK WILL SERVICE BINS. CO LOCATED TO GARBAGE ROOM. OPEN TO SKY ABOVE (NO OBSTRUCTION)

1 GARBAGE COLLECTION ROOM DETAILS
 Scale: 1/4"=1'



1 LOADING/ GARBAGE TRUCK TURNING
 Scale: 1/16"=1'

MULTI FAMILY WASTE COLLECTION ROOM INFORMATION TABLE

| | | | | | | |
|---|-------------------------|-------------------------|--|---------------------|--------------------|-------------------------|
| SIZE PROVIDED | 328.9 FT2 | | 30.56 M2 | | | |
| LOCATION | GROUND LEVEL - AT GRADE | | | | | |
| ACCESS INFORMATION | OPEN TO RESIDENTS 24/7 | | | | | |
| NUMBER OF UNITS | 24 | | 20 TOWNHOUSES + 2 BUH UNITS + 2 SECONDARY SUITES | | | |
| BIN / CART TYPE | NO. OF BINS | FOOTPRINT OF 1 BIN (M2) | MANEUVER FACTOR | REQUIREMENT IN (M2) | COLLECTION SERVICE | WASTE SERVICES PROVIDED |
| 360 L | 1 | 0.57 | 2.25 | 1.283 | CITY | MIXED CONTAINERS |
| 360 L | 1 | 0.57 | 2.25 | 1.283 | CITY | NEWSPAPER, MIXED |
| 240 L | 1 | 0.43 | 2.25 | 0.968 | CITY | PAPER AND CARDBOARD |
| 240 L | 1 | 0.43 | 2.25 | 0.968 | CITY | GLASS |
| 1 X 3YD3 | 1 | 1.96 | 2.25 | 4.410 | CITY | FOOD SCRAPES |
| 1 X 4YD3 | 1 | 2.51 | 2.25 | 5.648 | CITY | CARDBOARD |
| TOTAL SPACE REQUIREMENT | | 14.558 | | | | GARBAGE |
| SPACE REQUIREMENT FOR STORAGE CAPACITY = NUMBER OF CONTAINERS X FOOTPRINT OF EACH CONTAINER X MANEUVER FACTOR | | | | | | |

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PROJECT INFO:
 Townhouse Development at 8951,
 8971 Spire Rd., 8991 Spire Gate,
 Richmond, BC
CLIENT:
 Juliana

DATE
 23-Feb-23
PROJECT NO:
 17-127
SCALE: As Noted
DRAWN BY: R.W

| REV | DESCRIPTION | DATE |
|-----|---------------|----------|
| 1. | Issued For DP | 10/06/22 |
| | R.W | |

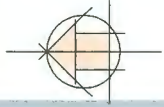
WASTE MANAGEMENT OVERLAY PLAN

DP 21-932383

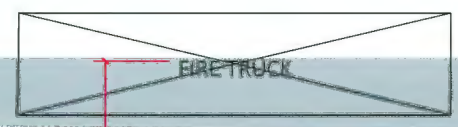
Plan #12

April 20, 2023

A1.7



SPIRES RD



Total Distance 30 M

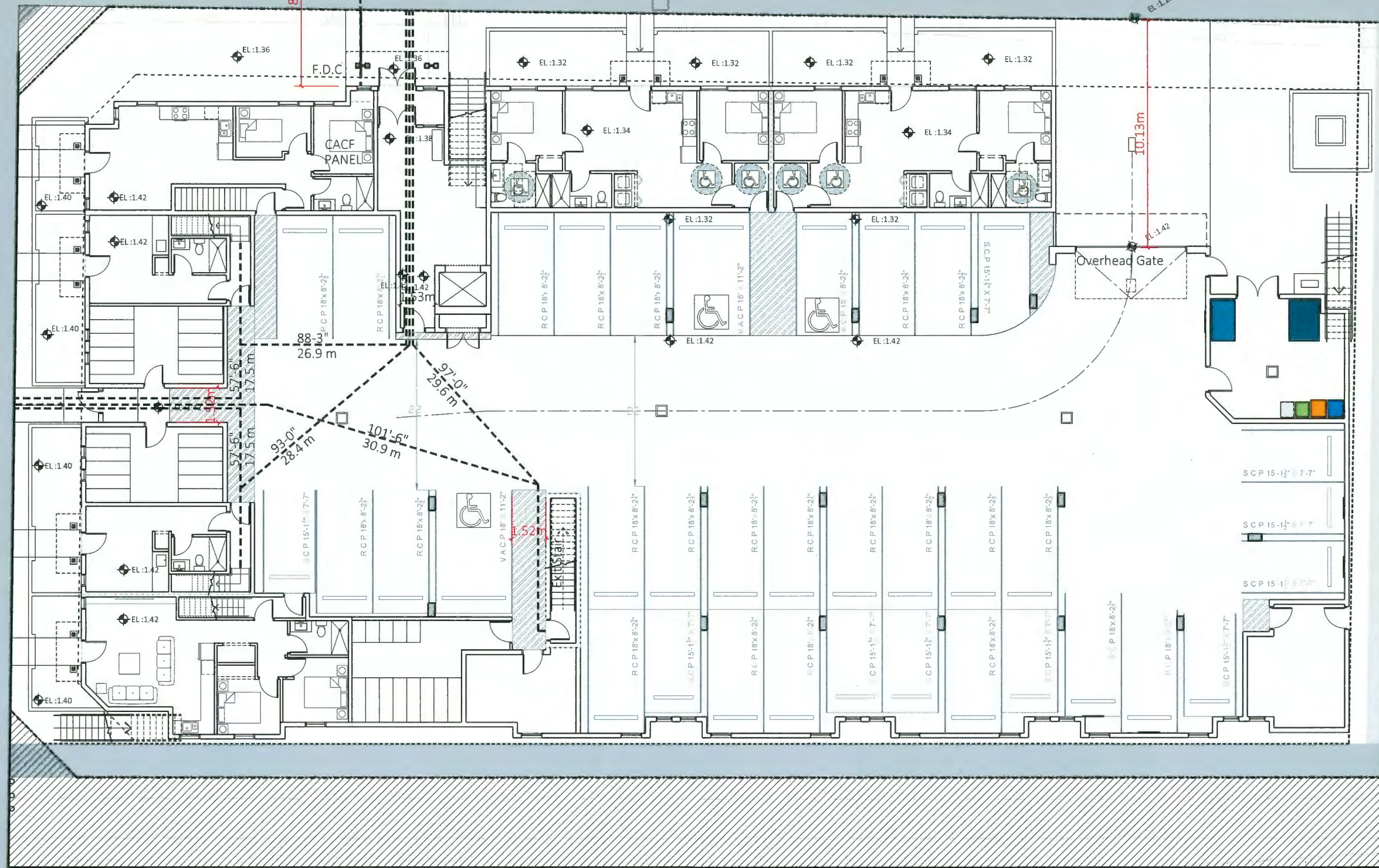
AT DRAIN

FIRE HYDRANT

SIDEWALK

Sidewalk

SPIRES GATE ROAD



1 FIRE DEPT. ACCESS/ EXISTING LEVEL 1
Scale: 1/16"=1'



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Ph: 604-603-4484

PROJECT INFO:
Townhouse Development at 8951,
8971 Spires Rd., 8991 Spires Gate,
Richmond, BC
CLIENT:
Juliana

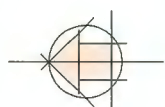
DATE
23-Feb-23
PROJECT NO:
17-127
SCALE: As Noted
DRAWN BY:
R.W

| REV | DESCRIPTION | BY | DATE |
|-----|---------------|-----|----------|
| 1. | Issued For DP | R.W | 02/08/23 |

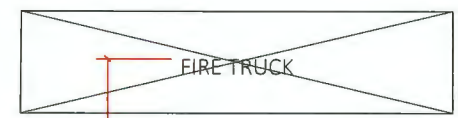
PARKADE - LVL 1
FIRE ACCESS PLAN

DP 21-932383 Plan #13 April 20, 2023

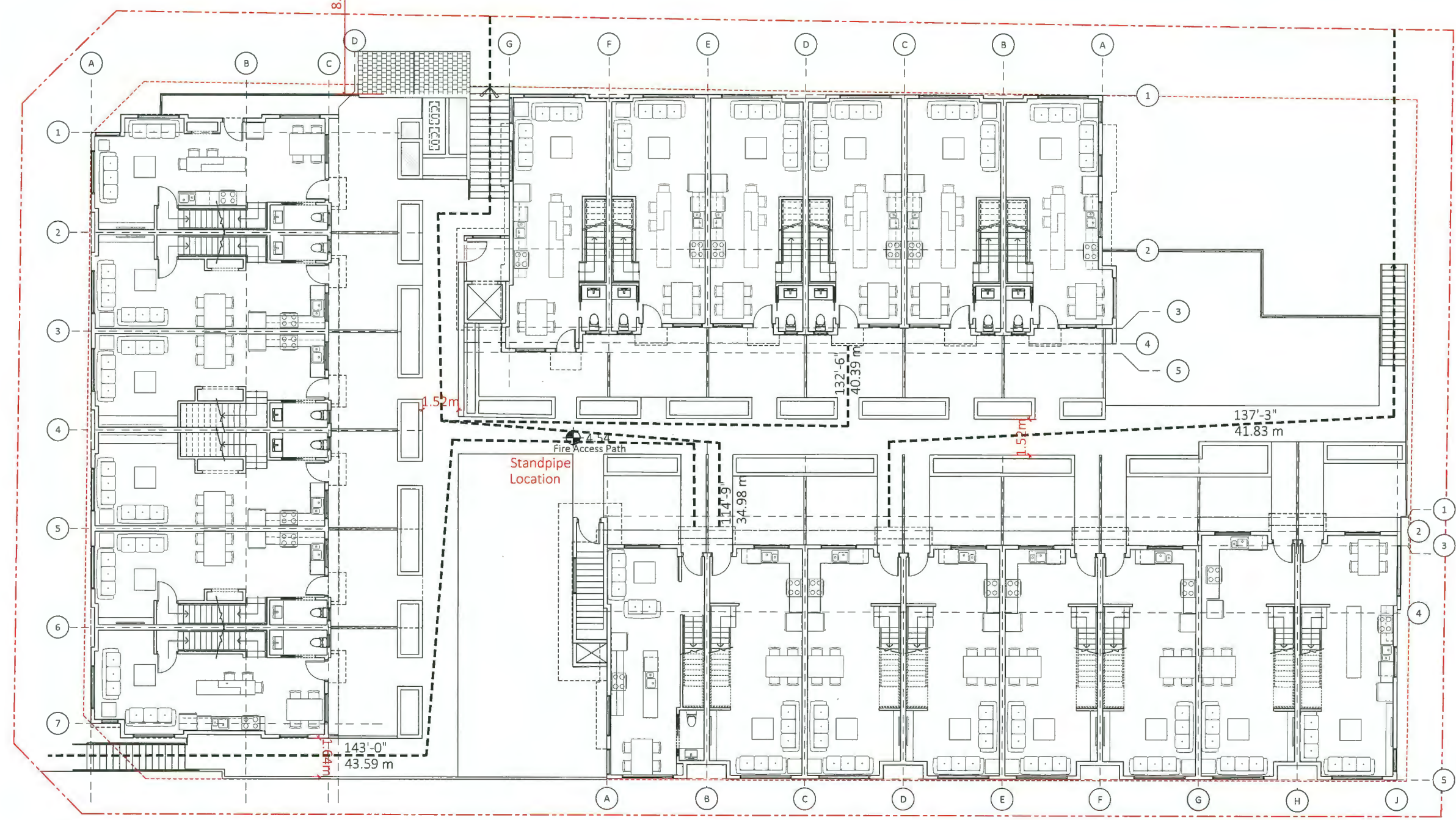
A1.8



SPIRES RD



SPIRES GATE ROAD



1 FIRE DEPT. ACCESS/ PODIUM - LEVEL 2
Scale: 1/16"=1'



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SCALE: As Noted
DRAWN BY: R.W

| REV | DESCRIPTION | BY | DATE |
|-----|---------------|-----|----------|
| 1. | Issued For DP | R.W | 02/08/22 |

PODIUM - LVL 2
FIRE ACCESS PLAN

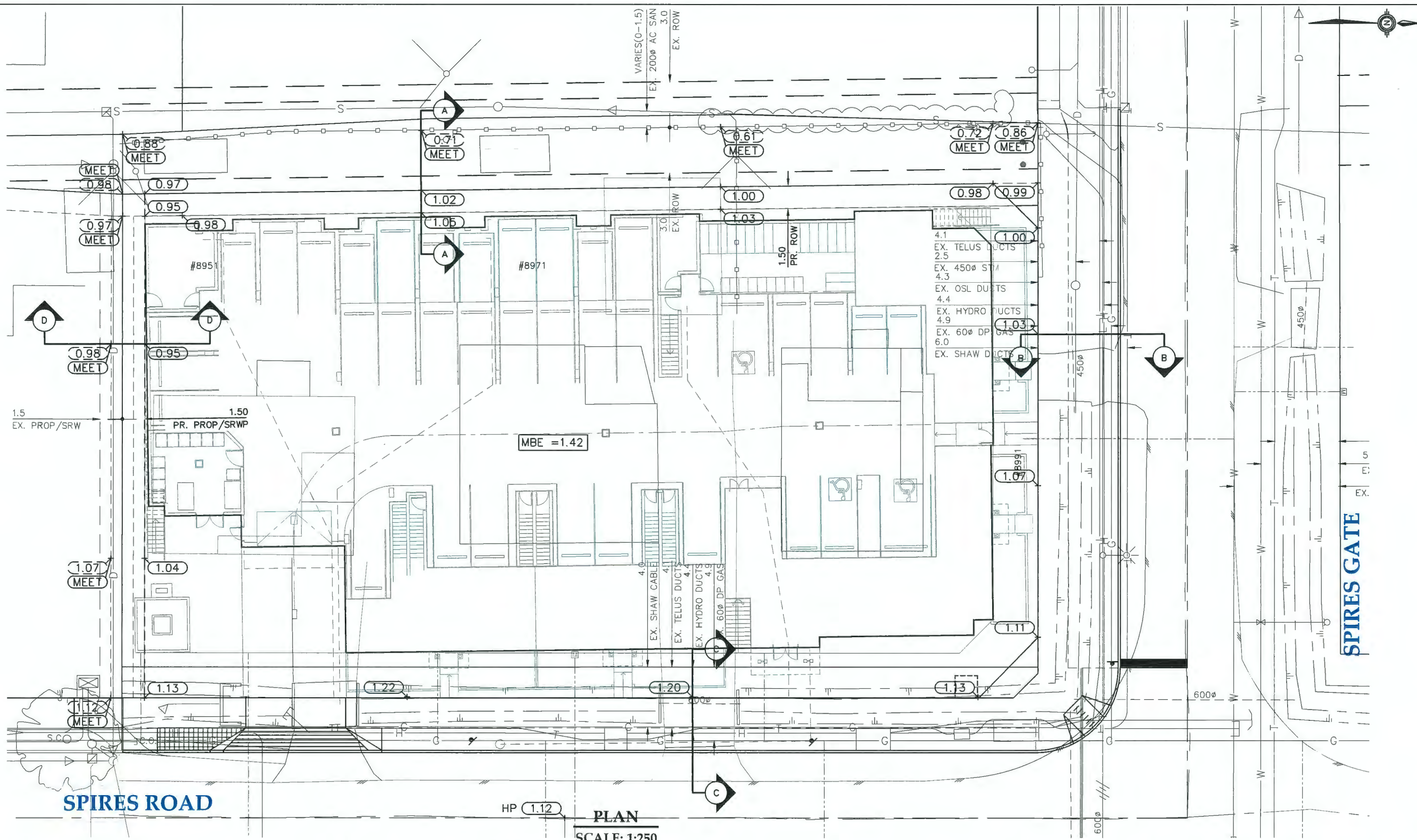
DP 21-932383

Plan #14

April 20, 2023

A1.9

R:\Projects\18051 - Flat Architecture (8951, 8971, 8991 Spires Rd., Richmond)\Design\Drawings\18051_LotGrading_Plan.dwg



PLAN
SCALE: 1:250

CoreConcept
CONSULTING LTD.
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#220-2639 Viking Way, Richmond, BC, V6V 3B7
www.coreconcept.com

FLAT ARCHITECTURE
Core Concept Consulting Project No. 18051

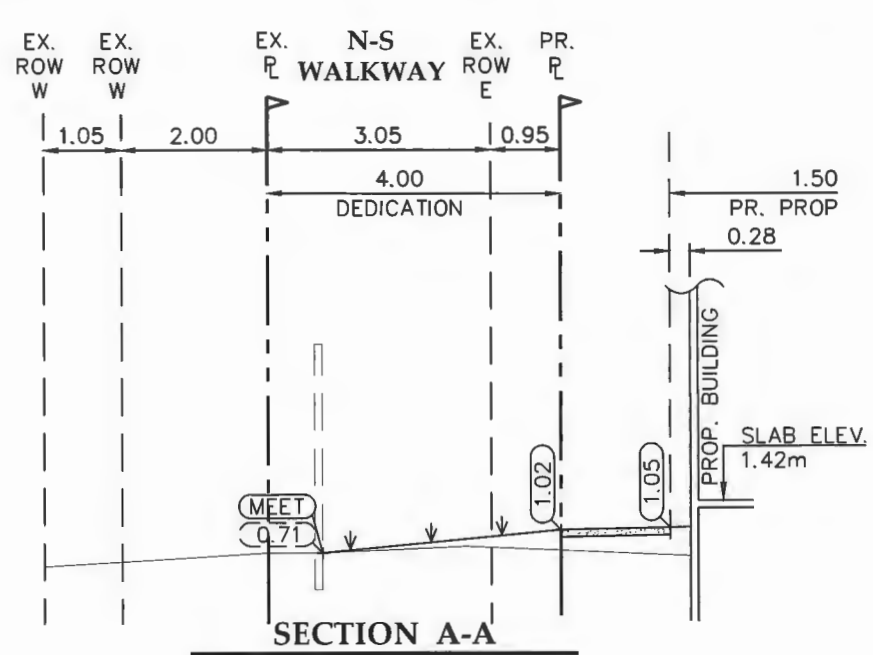
DP 21-932383

| REV'N | DATE | BY | CH. | DESCRIPTION |
|-------|-------------|----|-----|---------------|
| 0. | 17 FEB 2023 | JH | TS | ISSUED FOR DP |

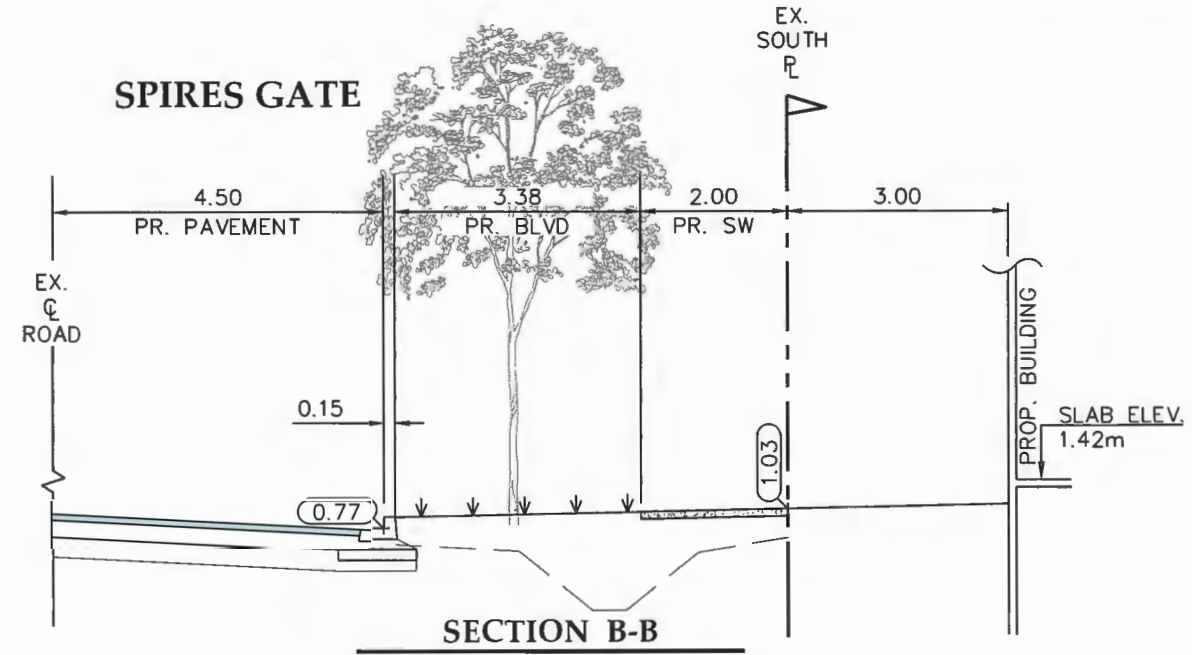
Plan #15 April 20, 2023

17 FEB 2023

| | | |
|--------------------------------|-----------------|-----------------|
| TITLE: LOT GRADING PLAN | | |
| 8951, 8971, 8991 SPIRES ROAD | | |
| DESIGN: JH | DWG. No.: . | |
| DRAWN: HH | SCALE: 1 : 250 | DATE: APR 2018 |
| CHECKED: NMM | SEC. No.: 9-4-6 | SHT No.: 1 OF 2 |
| ENGINEER: TS | | |



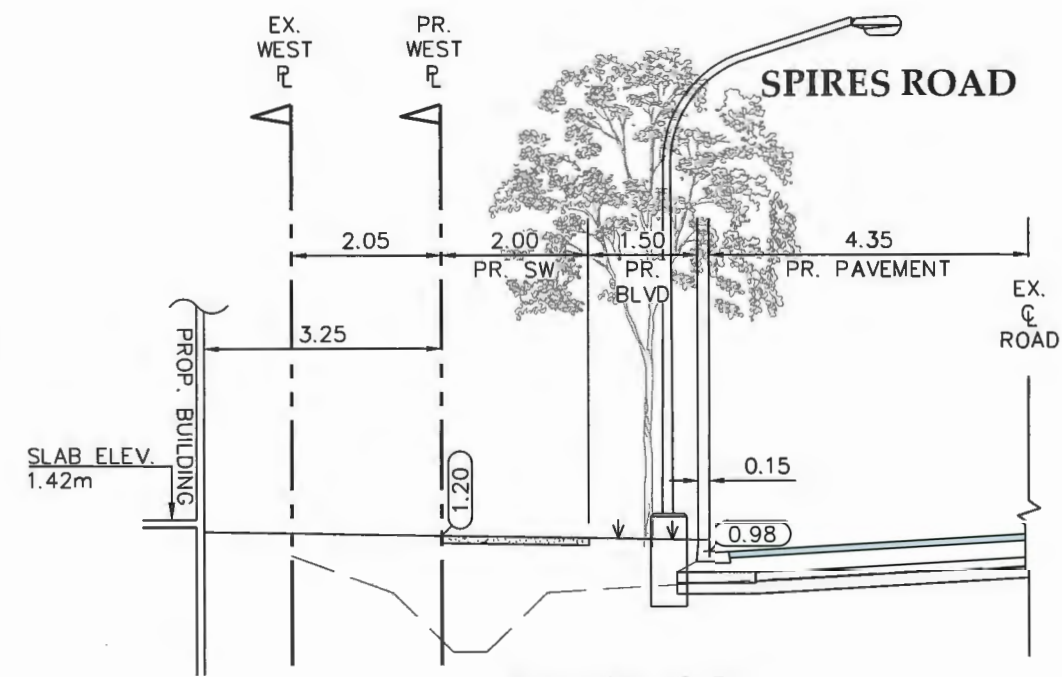
SECTION A-A
SCALE: 1 : 100 HOR., NTS VER.



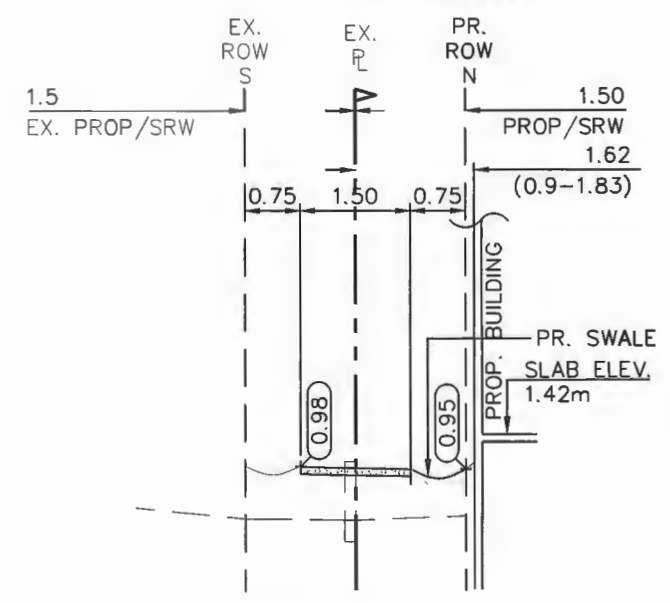
SECTION B-B
SCALE: 1 : 100 HOR., NTS VER.

| | |
|-----------------------------------|---------|
| PROPOSED SITE GRADES: | |
| NW CORNER | = 0.99m |
| NE CORNER | = 1.12m |
| SW CORNER | = 0.95m |
| SE CORNER | = 1.13m |
| BUILDING 1 SLAB | = 1.42m |
| BUILDING 2 SLAB | = 1.42m |
| BUILDING 3 SLAB | = 1.42m |
| BUILDING 4 SLAB | = 1.42m |
| PARKADE SLAB AVERAGE | = 1.42m |
| PROPOSED AVERAGE SITE GRADE | = 1.25m |
| EXISTING SITE GRADES: | |
| NW CORNER | = 0.56m |
| NE CORNER | = 0.52m |
| SW CORNER | = 0.48m |
| SE CORNER | = 0.34m |
| EXISTING AVERAGE SITE GRADE | = 0.48m |
| MAX ROAD CENTERLINE GRADE: | |
| MAX | = 1.12m |

| | |
|-----------------------------------|---|
| PROPOSED SITE FILL VOLUME: | |
| SITE AREA | = 1958m ² |
| EXISTING AVERAGE SITE GRADE | = 0.48m |
| PROPOSED AVERAGE SITE GRADE | = 1.25m |
| FILL VOLUME | = (1.25m - 0.48m) * 1958m ² = 1528.5m ³ |



SECTION C-C
SCALE: 1 : 100 HOR., NTS VER.



SECTION D-D
SCALE: 1 : 100 HOR., NTS VER.

CoreConcept CONSULTING LTD.
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FLAT ARCHITECTURE
Core Concept Consulting Project No. 18051

| REV'N | DATE | BY | CH. | DESCRIPTION |
|-------|-------------|----|-----|---------------|
| 0. | 17 FEB 2023 | JH | TS | ISSUED FOR DP |

17 FEB 2023

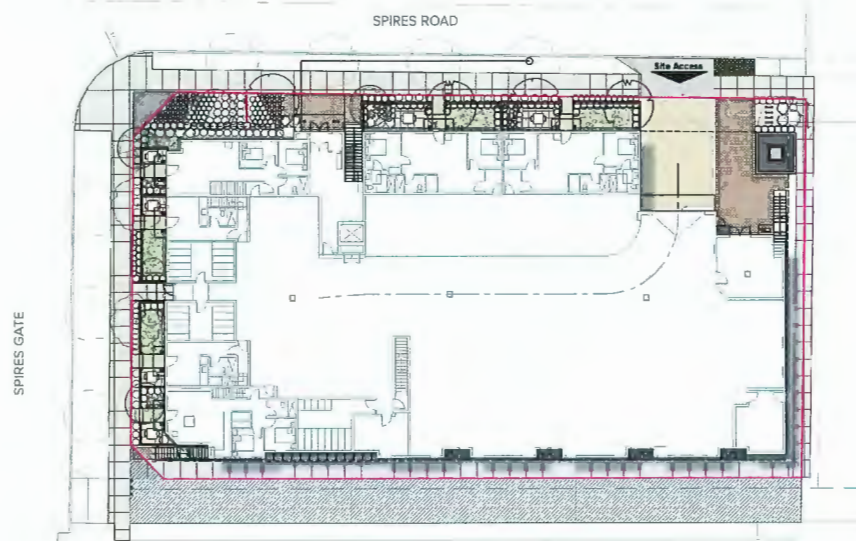
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|--------------------------------|-----------------|-----------------|
| TITLE: LOT GRADING PLAN | | |
| 8951, 8971, 8991 SPIRES ROAD | | |
| DESIGN: JH | | |
| DRAWN: HH | DWG. No.: . | |
| CHECKED: NMM | SCALE: AS SHOWN | DATE: APR 2018 |
| ENGINEER: TS | SEC. No.: 9-4-6 | SHT No.: 2 OF 2 |

DP 21-932383

Plan #16

April 20, 2023

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1 Key Plan-Street Level
Scale: 1:300



2 SOME PROPOSED PLANTS

DESIGN RATIONALE AND SUMMARY

Being an infill development among a mix of other townhouse complexes and rapidly evolving residential lots, the contextual treatment demands sensitivity and appropriate placement of elements.

We are proposing a relatively simple mix of surfaces and their configuration owing to a very small scale of such surfaces such as pathways to the units and the driveways. We have chosen to limit our selection to 2 or 3 chief finishes and reserved a more complex hierarchy of surfaces for the deck level.

The planting on the boulevard edges has been very carefully configured with some matching trees of the surrounding boulevardscape and what might be contextually appropriate with scale and available right of way. Similarly, being cognizant of the space requirements for the deck level planting, we have chosen to limit the trees and place the built up planters to the perimeter where possible for structural reasons. The trees selected for the internal layout are small and relatively less in number.

This development is amidst a rapidly changing area where a number of developments have sprung up in the past few years. Our design concept advocates a sensitive scheme that merges with the general transformation of the area.

The multi-user nature of the residential development demands privacy for the various units and their accessible spaces. The element used to define these spaces (private patios from one another) are emerald cedar (Thuja occidentalis smaragd) and Taxus. These columnar hedge plants are used in tandem with smaller hedging material such as the Spiraea and the flowering perennials to allow for multiple layers of textural relief.

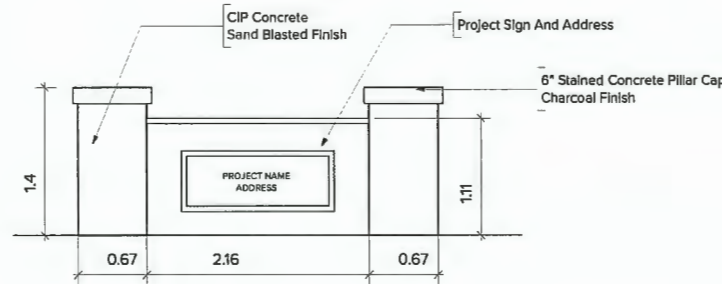
The north east corner of the site, and the area by main lobby are treated with multiple layers of ornamental grasses and flowering perennials which are placed in a way that emphasizes the project signage and create a welcoming landscape for those entering the site and building. Some of the proposed plants are PENNISETUM HAMELN, BLUE OAT GRASS and Hemerocallis lilioasphodelus, in addition to a Taxus buffer in the background to provide privacy for adjacent unit.

Vines and trellises are proposed along the west side of the building providing additional visually appealing green elements to the building to be enjoyed by pedestrians.

Outdoor Spaces

The outdoor amenity has been designed with a linear two zone concept. The main constituents are the Social recreational area and a playground. The social area has been augmented with an outdoor kitchen and sustainable elements like the garden plots. These are placed with raised planters c/w spout and work bench for the residents use at the deck level.

Further, we have proposed use of native plants requiring lower water intake and offering trees that encourage bird habitat such as the 'Bitter Cherry' towards the lane.



3 PROJECT SIGNAGE DETAIL (F2)
Scale: NTS

GENERAL NOTES

All materials and workmanship to CLS Standards, latest edition. Soil depths and subgrade preparation, soil quality and plant sizes to meet or exceed that standard.

Plant sizes in this list are specified according to the BC Landscape Standard's latest edition. Container sizes are specified as per 'CNTA Standards'. Both plant size and container size are the minimum acceptable sizes. The installers are advised to search and review, make plant material available to the Landscape Architect for optional review at the source of supply. Area of search to include Lower Mainland and Fraser Valley. 'Substitutions' must obtain written approval from the Landscape Architect prior to making any substitutions to specified material. Unapproved substitutions will be rejected. Allow a minimum of five working days prior to delivery for request to substitute. Substitutions are subject to the Landscape Standard.

All plant material must be provided from the certified 'Disease Free' nursery. All plant material must conform to the latest edition of the 'BC Landscape Standard'. Provide certification upon request. All landscaping and landscape materials to conform to the latest edition of the CLS standards.

| Min. growing medium depths over prepared subgrade shall be: | |
|---|---------------------------|
| Lawn areas | 300mm |
| Ground Cover Areas | 450mm |
| Shrub Areas | 450mm |
| Tree Pits | 300mm (around root balls) |

Growing medium shall have physical and chemical properties as described in the standards for 'Ground' areas, except for the areas over structures where the medium shall conform to the requirements for level 1 applications. Processing and mixing of the growing medium shall be done off-site using a mechanized screening process. Proposed growing medium shall be tested by a recognized laboratory. The contractor shall guarantee that the soil submitted for testing is a sample representative of the soil to be used at the site.

On-Site or Imported soils shall satisfy the requirements of the standards for growing medium. Soils shall be virtually free from subsoil, wood including woody plant parts, weed or reproductive parts of the weeds, plant pathogenic organisms, toxic material, stones over 30mm, and foreign objects.

All planting beds shall receive min. 50mm bark mulch.

The contractor shall maintain clean working conditions, remove all refuse and debris and present the site in a safe and clean condition upon completion of all works.

All the Planters are fixed not removable.

Plant species and varieties may not be substituted without the approval of the Landscape architect.

All plant material to be warranted for one year from date of substantial completion.

All wood fences to be cedar, with one coat of clear penetrating preservative.

All planted areas to be equipped with automatic irrigation system.

Automatic zoned irrigation system to be provided with following primary zones,

- Street level boulevard areas including the ROW's, setbacks not part of private yards, driveway access etc. These include chiefly Inground planting.
- Podium level public areas. This includes planting in planter beds and on slab.
- Individual yards on site level. Mainly Inground planting.
- Individual yards on podium level. Mainly planter.
- All amenity areas on podium level. Mainly planter beds.

These have been carefully chosen to address the varying volume of growing medium to be catered for and will employ suitable heads and discharge.

Landscape Plans are prepared based on latest architecture drawings Revision no. 3 on 30 March 2022.

SEE L8 FOR SOIL VOLUME CALCULATION OF PODIUM LEVEL PLANTER.

SEE L5 FOR PLANTER HEIGHT OF PODIUM LEVEL.

SEE PAVING/SITE FURNISHING LEGENDS ON L4.

SEE L8 FOR SOIL VOLUME CALCULATION AND PLANTER HEIGHT OF ROOFTOP PLANTERS.



ARCHITECTURE PANEL INC.

ARCHITECTURE | LANDSCAPE ARCHITECTURE | URBAN DESIGN

Unit 206, 1493 Foster Street, White Rock, BC | 6047831450 | ruchir@architecturepanel.com

These Drawings and the design are and at all times remain the exclusive property of Design Panel Inc. and cannot be used without the Landscape Architects' written consent. Contractor is responsible for verification of all dimensions, elevations and other datum on drawings. Any discrepancies to be reported immediately to the Landscape Architect. Any changes made without the Landscape Architect's written consent shall be the contractor's sole responsibility. Do not scale drawings. Dimensions govern. © Design Panel Inc. All rights reserved.

Project
**8951, 8971 Spires Rd,
8991 Spires Gate**

Owner

Sheet Title
KEY PLAN

Total Sheets
18

Drawn By
SD

Reviewed By
RD

Sheet No.
L1

Checked By
RD

Status

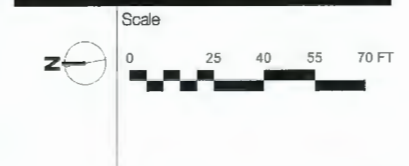
Contractors

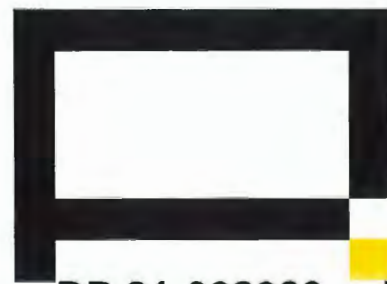
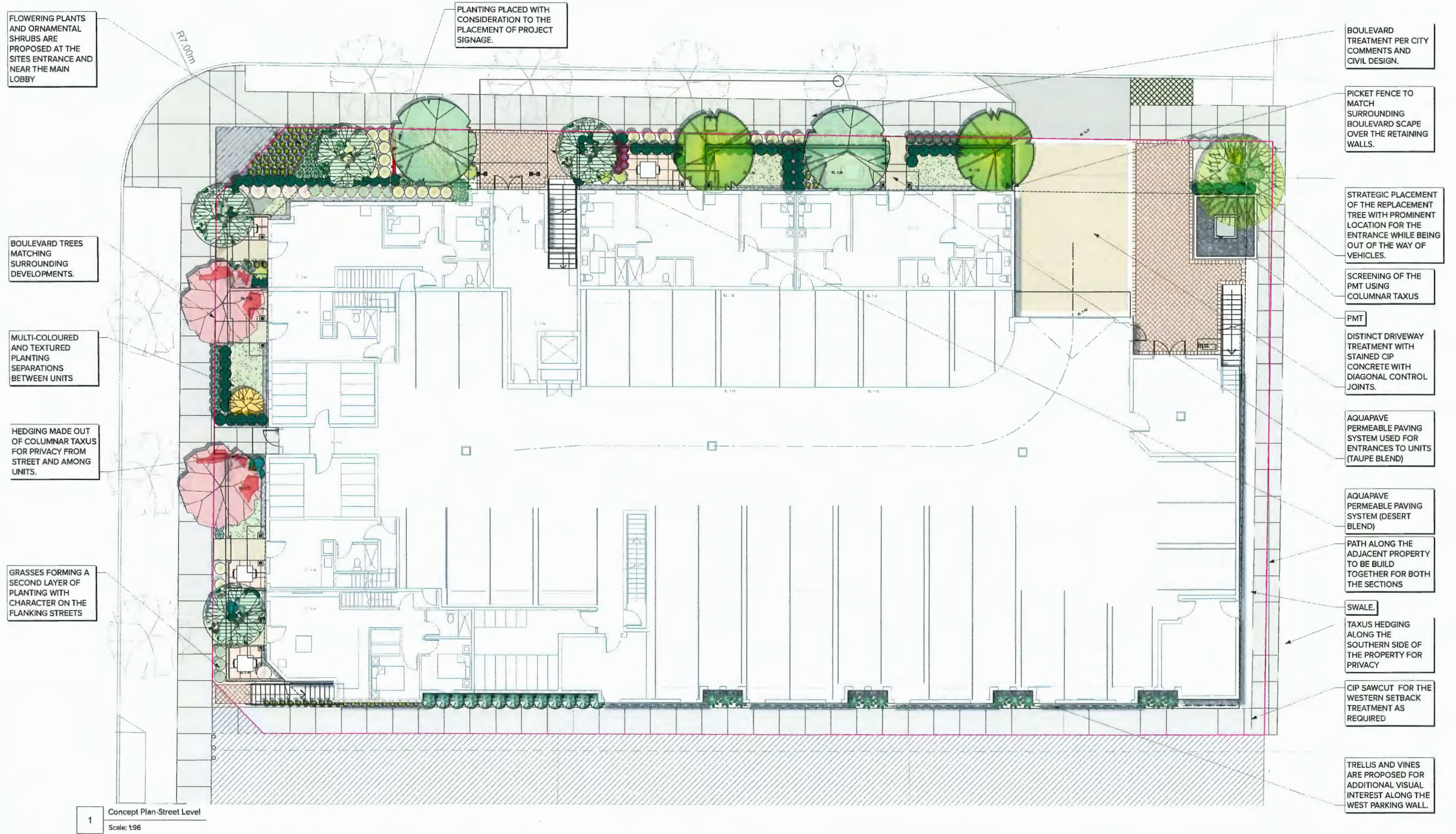
AHJ
City of Richmond

Consultants
FLAT Architecture

Documents
DP Application

| No | Date | Issue Notes |
|----|----------|-----------------|
| K | 05-04-22 | DP Resubmission |
| L | 05-07-22 | DP Resubmission |
| M | 03-10-22 | DP Resubmission |
| N | 27-10-22 | DP Resubmission |
| O | 20-01-23 | DP Resubmission |
| P | 21-03-23 | DP Resubmission |
| Q | 03-04-23 | DP Resubmission |





ARCHITECTURE PANEL INC.
 ARCHITECTURE | LANDSCAPE ARCHITECTURE | URBAN DESIGN

Unit 206, 1493 Foster Street, White Rock, BC | 6047831450 | rich@architecturepanel.com

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Project
**8951, 8971 Spires Rd,
 8991 Spires Gate**

Owner

Sheet Title
CONCEPT (SITE)

Total Sheets
18

Drawn By
SD

Reviewed By
RD

Sheet No.
L2

Checked By
RD

Status
REZONING

Contractors

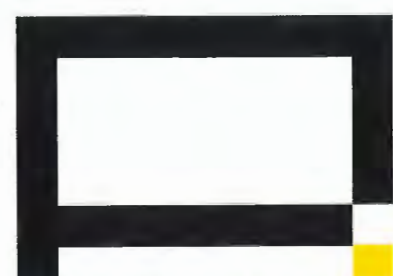
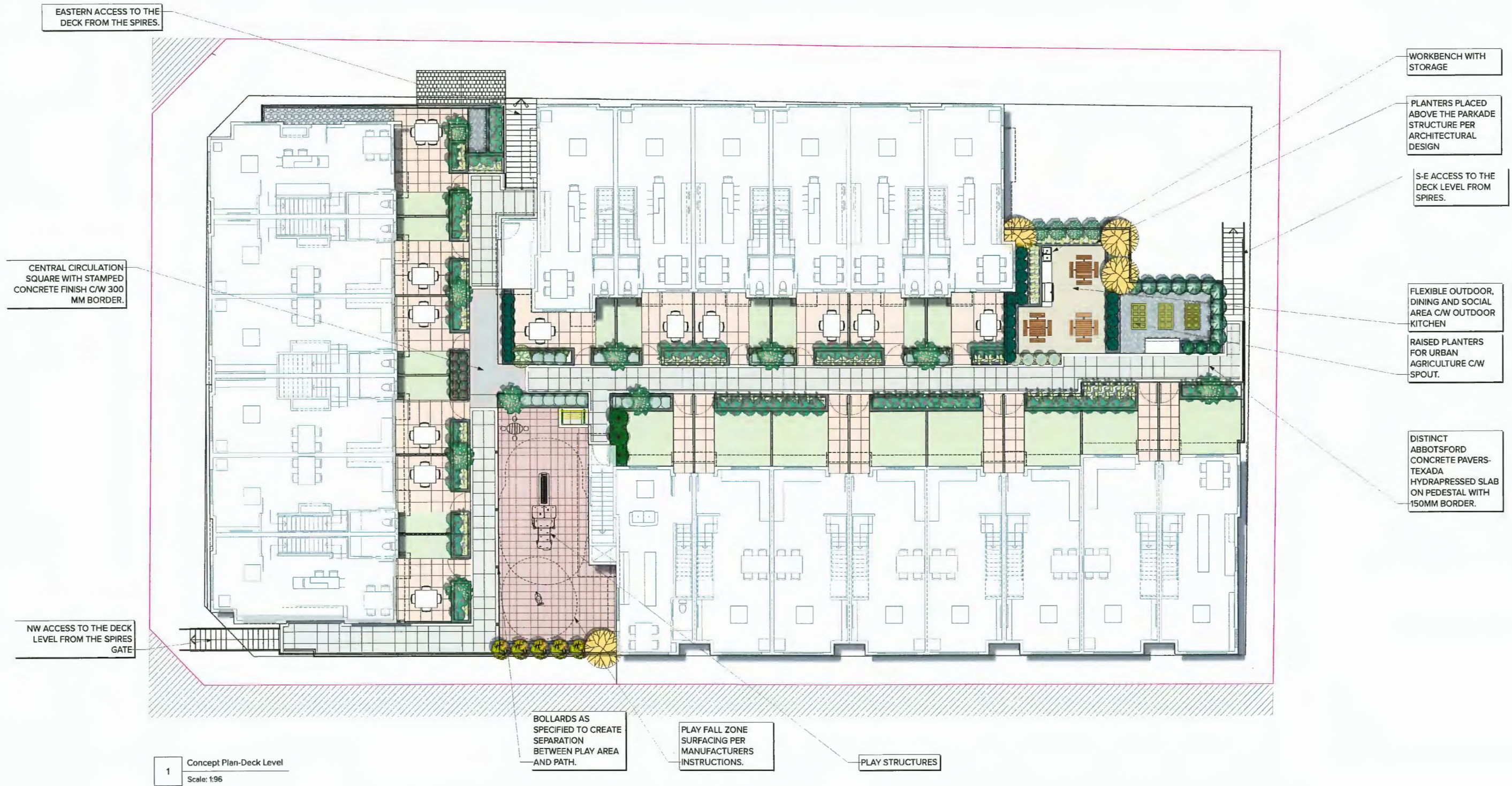
AHJ
City of Richmond

Consultants
FLAT Architectural Inc.

Documents
DP Application

| No | Date | Issue Notes |
|----|----------|-----------------|
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| P | 21-03-23 | DP Resubmission |
| Q | 03-04-23 | DP Resubmission |



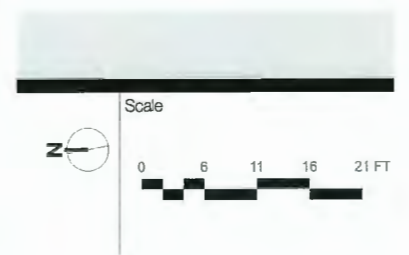


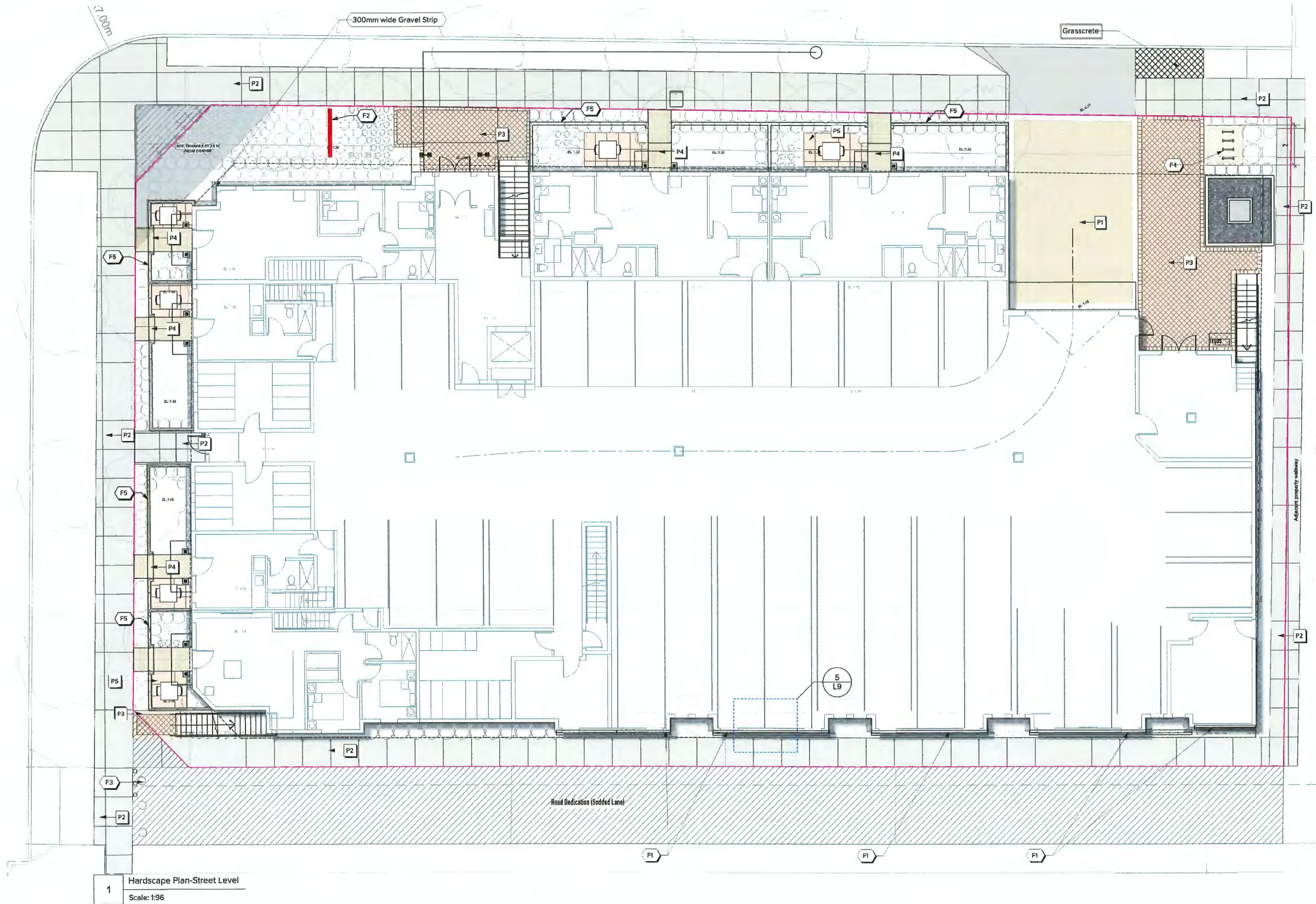
ARCHITECTURE PANEL INC.
 ARCHITECTURE | LANDSCAPE ARCHITECTURE | URBAN DESIGN
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Project
**8951, 8971 Spires Rd,
 8991 Spires Gate**
 Owner
 Sheet Title
CONCEPT(DECK LEVEL)

| | | | |
|--------------------|--------------------|--|---------------------------------------|
| Total Sheets 18 | Sheet No. L3 | Contractors AHJ City of Richmond | Consultants FLAT Architecture Inc. |
| Drawn By SD | Checked By RD | Documents DP Application | |
| Reviewed By RD | Status REZONING | | |

| No | Date | Issue Notes |
|----|----------|-----------------|
| K | 05-04-22 | DP Resubmission |
| L | 05-07-22 | DP Resubmission |
| M | 03-10-22 | DP Resubmission |
| N | 27-10-22 | DP Resubmission |
| O | 20-01-23 | DP Resubmission |
| P | 21-03-23 | DP Resubmission |
| Q | 03-04-23 | DP Resubmission |

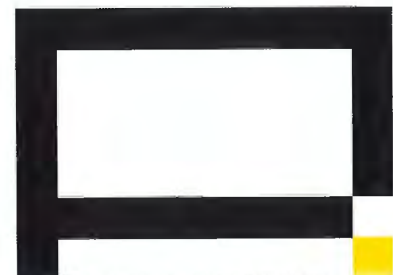




- Paving Legend**
- P1 Distinct driveway entrance with diagonal control joints. CIP Concrete with Integral Colour Light Broom Finish
 - P2 CIP Concrete Light Broom Finish
 - P3 Permeable Aquapave System Old Country Style Abbotsford Pavers. Colour (Taupe Blend), Unbroken, diagonal c/w 6" bdr.(L10/4)
 - P4 Permeable Aquapave System Old Country Style Abbotsford Pavers. Colour (Desert Blend), Unbroken (L10/4)
 - P5 Abbotsford Concrete Slab - Texada Hydrapressed slab on pedestal Desert Sand Finish. (L5/3)
 - P6 Fall Zone Spec. Playfall safety surfacing tiles per manufacturer. Terra Cotta (See manufacturer's detail) (L5/2)
 - P7 Stamped Concrete. Placed and stamped in Situ. Colour 'Charcoal' c/w 12" border.
 - P8 Abbotsford Concrete Slab - Texada Hydrapressed slab on pedestal Natural Finish c/w 6" Charcoal border. (L5/3)

- Site Furnishing Legend**
- F1 Wall Trellis for the vines. See Detail (L10/5)
 - F2 Project Sign Wall. CIP Concrete. Sand Blasted Finish (L1/03)
 - F3 Controlled Bollard as per architectural
 - F4 Urban rack's bike rack See Attached Brochure (L12/3)
 - F5 4' high Metal fence See Attached Brochure (L13/4)
 - F6 MAGLIN SQUARE BOLLARD See Attached Brochure (L10/8)
 - F7 Entrance gate for the unit
 - F8 8" Thick Built In planters (Per Engg. Design) with CIP sandblasted finish. See detail on (L13/5)
 - F9 MAGLIN Outdoor Picnic Table See Attached Brochure (L12/2)
 - F10 Vegetable planters fabricated on Aluminum Frames. See Details (L10/2)
 - F11 Maglin Fence between the units, Black Matte Finish, Pattern option: Kaleidoscope. See Details (L10/7)
 - F12 MAGLIN Outdoor Bench See Attached Brochure (L12/1)
 - F13 BBQ setup with sink on counter
 - F14 Workbench with storage below for vegetable planter. See Detail (L13/1)
 - F15 Partition design
 - F16 Kompan Kids table with sitting (L11/3)
 - F17 Kompan Play Tower with ADA Stairs (L11/1)
 - F18 Kompan Stinger (L11/2)

1 Hardscape Plan-Street Level
Scale: 1:96

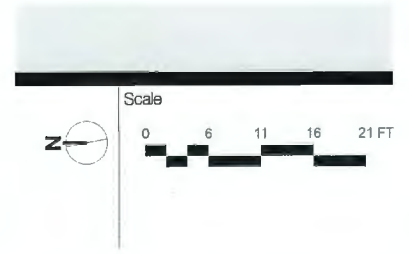


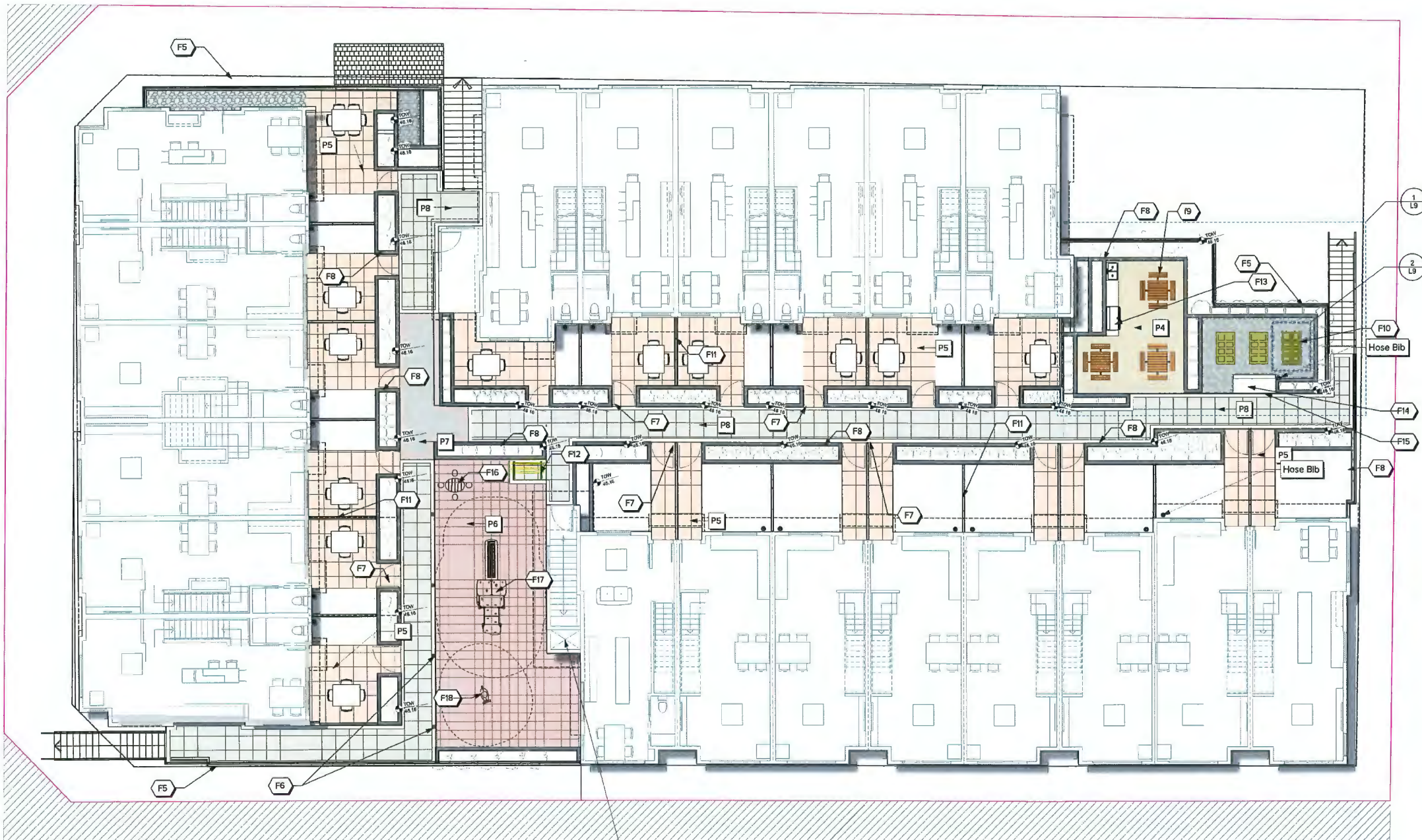
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Project
**8951, 8971 Spires Rd,
8991 Spires Gate**
Owner
Sheet Title
**HARDSCAPE/SITE
FURNISHINGS**

Total Sheets
18
Sheet No.
L4
Contractors
**AHJ
City of Richmond**
Consultants
FLAT Architecture Inc.
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1 Hardscape Plan- Deck Level
Scale: 1:96

SEE PAVING/SITE FURNISHING LEGENDS ON L4.
SEE L8 FOR SOIL VOLUME CALCULATION OF PODIUM LEVEL PLANTERS
SEE L9 FOR PLANTER HEIGHT OF ROOF LEVEL.



When kids play, they also fall, and that's where PlayFall® comes to the rescue. PlayFall® is designed to meet stringent ASTM requirements for playground fall protection and is available in a variety of thicknesses to match the fall heights of most play equipment and events.

Don't play on anything less!



PlayFall® Tile Details

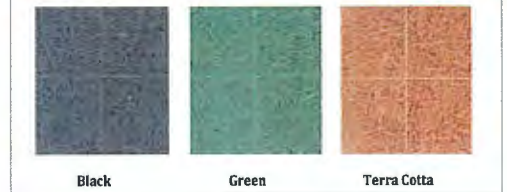
- Tiles are 2' x 2' and feature a 1" x 1" cross-hatch surface pattern
- Available in 1.75" thickness with PlayPad underlays
- Slip resistant
- Minimal maintenance
- Porous for effective drainage
- Quick interlocking installation with plastic pins and minimal adhesive
- Made from 100% recycled SBR truck tire rubber buffings and granules in a non-toxic polyurethane binder

PlayPad Details

- Pads are 4' x 5'
- Thickness options: 1" or 2"
- PlayPad products are made from 100% recycled materials
- 100% nonwoven Geotextile
- Non-toxic and environmentally friendly
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- Long lifespan and stability
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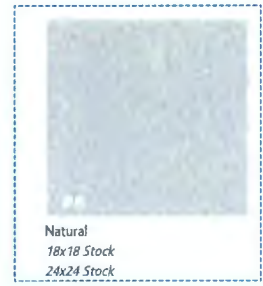
Drop Height Configurations
- Tested to ASTM F1292-18 Impact Attenuation Requirements -

| Fall Height | Configuration Required |
|-------------|--|
| 4' | 1.75" PlayFall® Tile |
| 6' | 1.75" PlayFall® Tile + 1.0" PlayPad |
| 8' | 1.75" PlayFall® Tile + 2.0" PlayPad |
| 10' | 1.75" PlayFall® Tile + 1.0" PlayPad + 2.0" PlayPad |



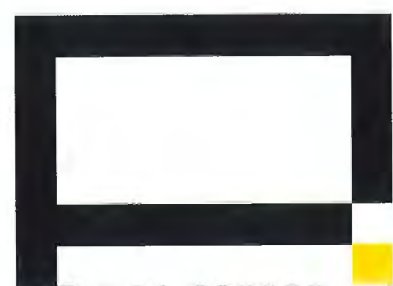
North West Rubber Ltd 33850 Industrial Avenue Abbotsford, BC Canada V2S 7T9 T 604.859.2022 F 604.859.2009 TF 1.800.663.8724
Revised May 1, 2019

2 PLAYFALL SAFETY SURFACING TILES (P6)
Scale: NTS



Shapes and Sizes
Standard sizes:
• 610mm x 305mm x 50mm (24" x 12" x 2") - Special Order
• 610mm x 610mm x 50mm (24" x 24" x 2")
• 457mm x 457mm x 40mm (18" x 18" x 1-5/8")
Colours for Texada Hydra Pressed Slab

3 Abbotsford Concrete Slab - Texada Hydrapressed slab on pedestal(P8 & P5)
Scale: NTS



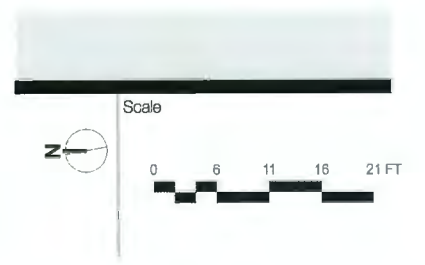
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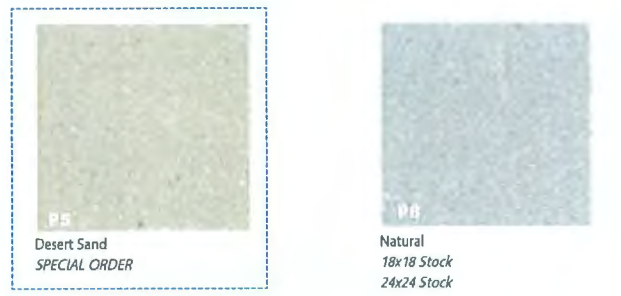
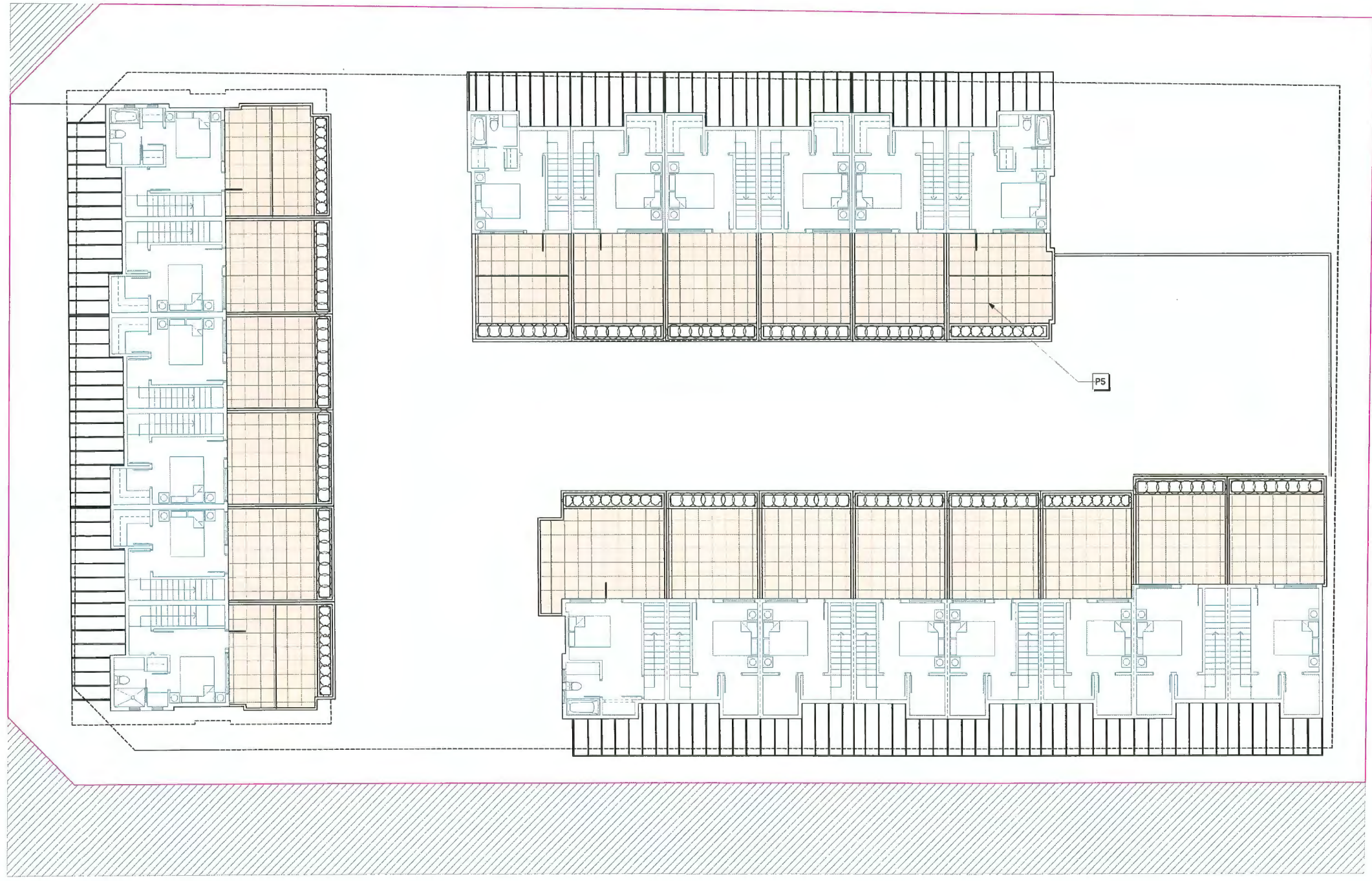
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Sheet Title
HARDSCAPE DECK LEVEL

Total Sheets
18
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Shapes and Sizes

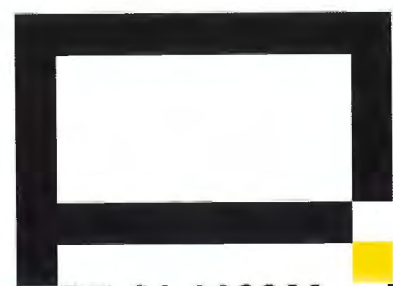
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 - 610mm x 610mm x 50mm (24" x 24" x 2")
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Colours for Texada Hydra Pressed Slab

2 Abbotsford Concrete Slab - Texada Hydrapressed slab on pedestal(P8 & P5).
Scale: NTS

1 Planting Plan-Roof Level
Scale: 1:96

A smart irrigation system will be provided to cover all common landscaping areas.



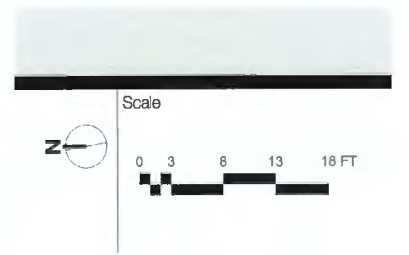
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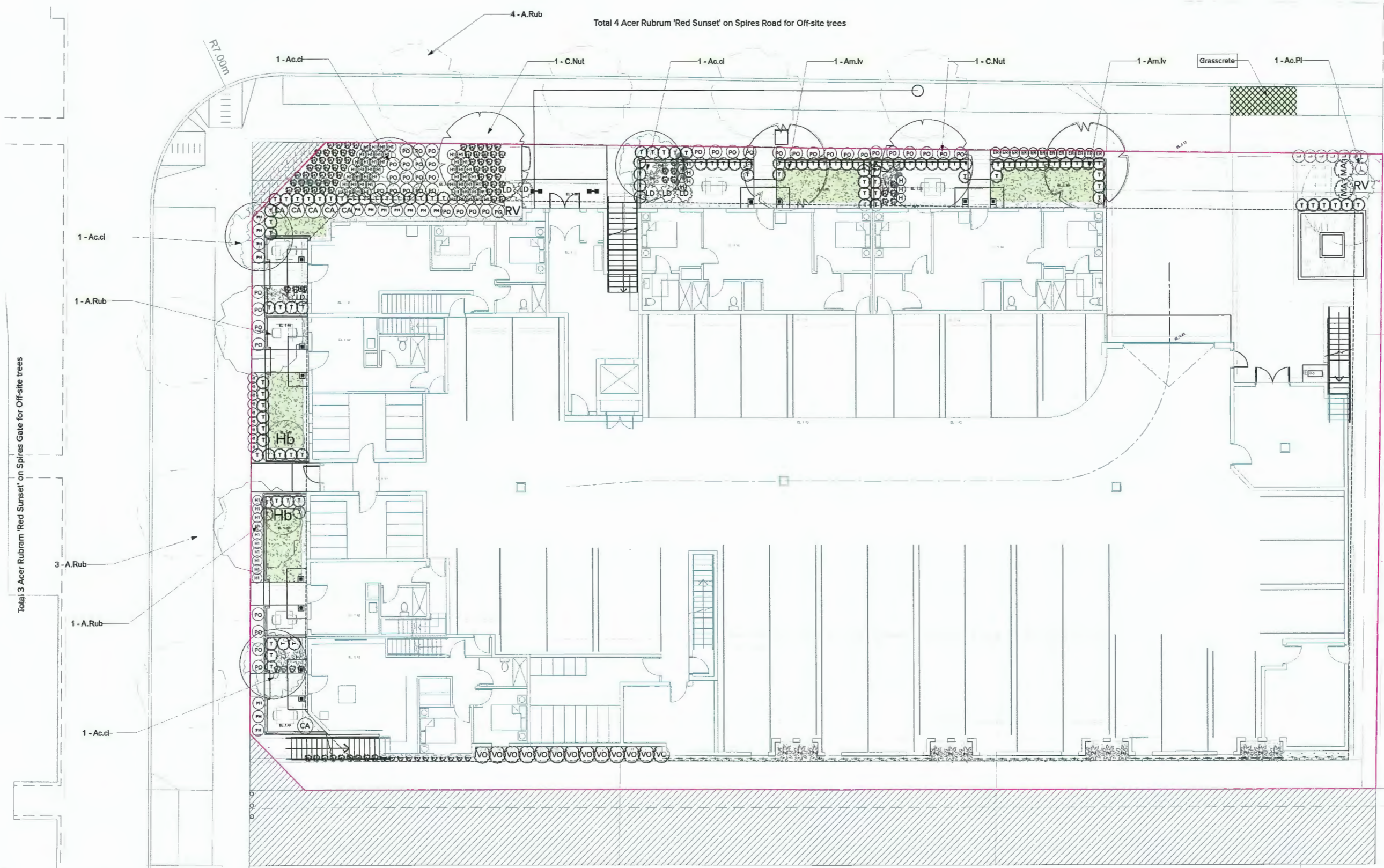
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April 20, 2023

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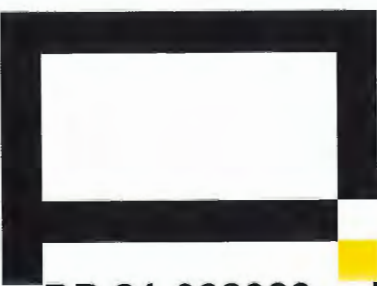


DP 21-932383 Plan #23



1 Planting Plan-Street Level
Scale: 1/96

See Plant Schedules, tables and descriptions on L9



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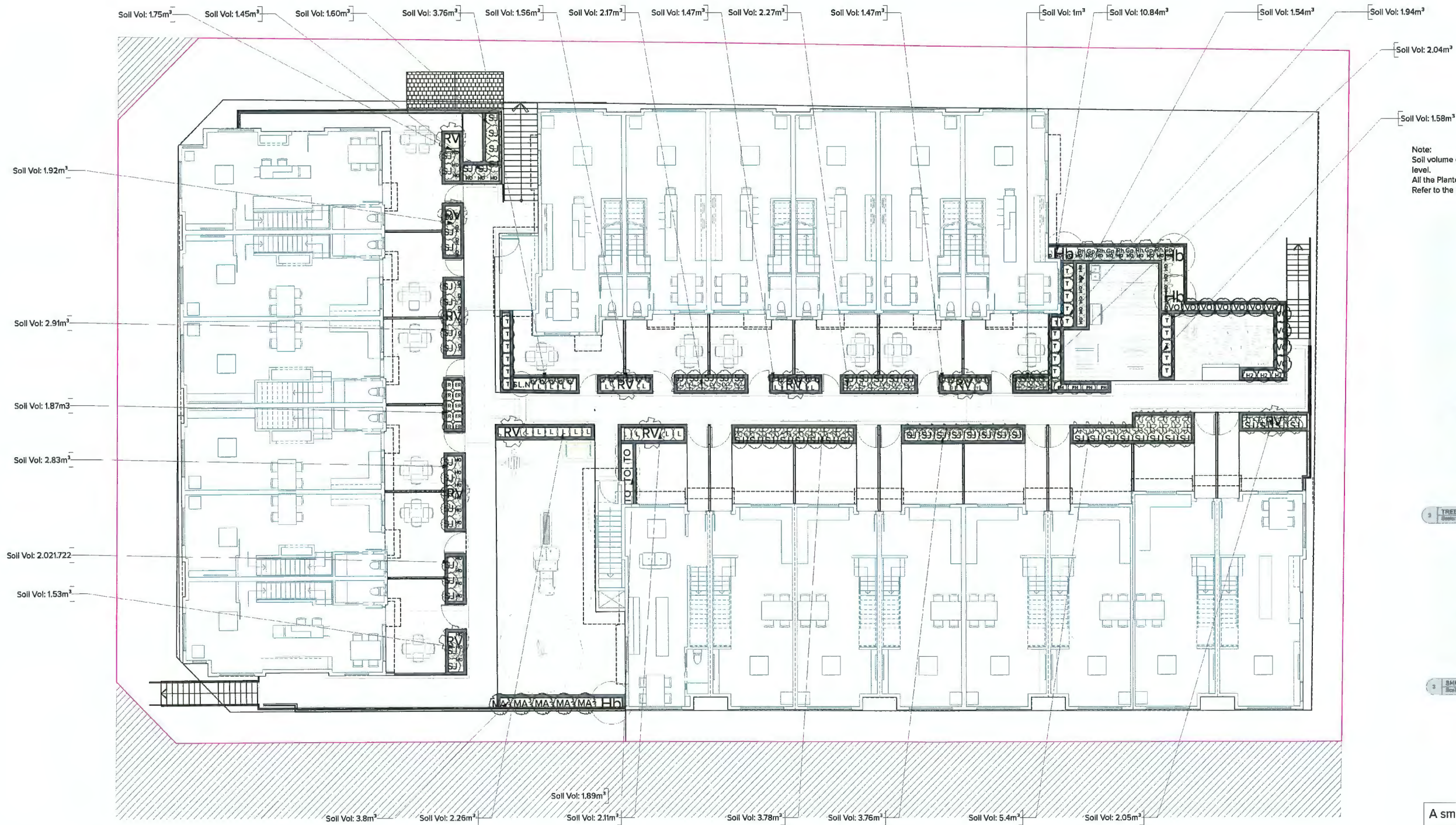
Project
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Owner
Sheet Title
PLANTING STREET LEVEL

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18
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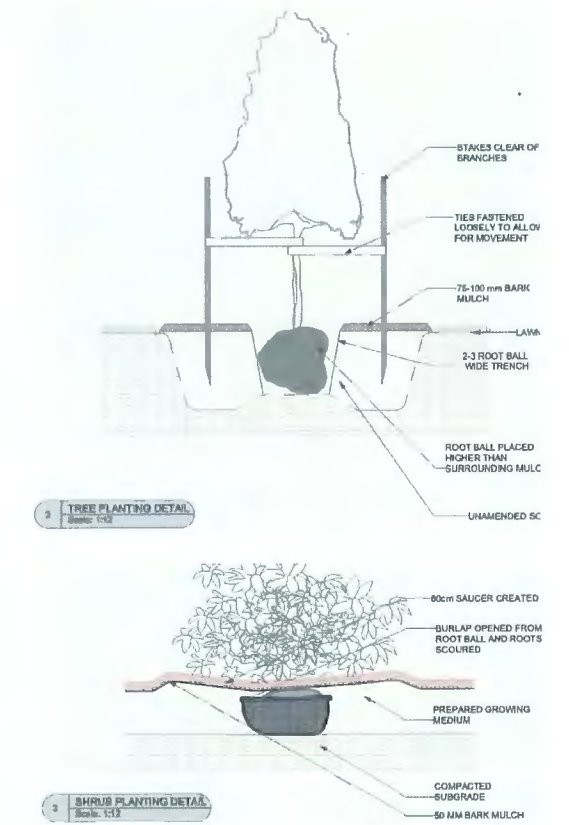
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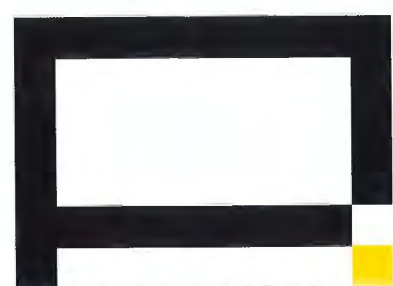
Note:
Soil volume calculations are based on the relevant height of the planters at the deck level.
All the Planters are 750mm high and 300mm deep from the deck finish level.
Refer to the Planter detail on L13.



A smart irrigation system will be provided to cover all common landscaping areas.

See Plant Schedules, tables and descriptions on L9

1 Planting Plan-Deck Level
Scale: 1:96

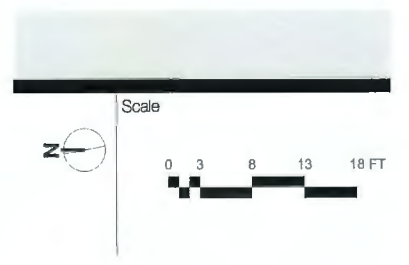


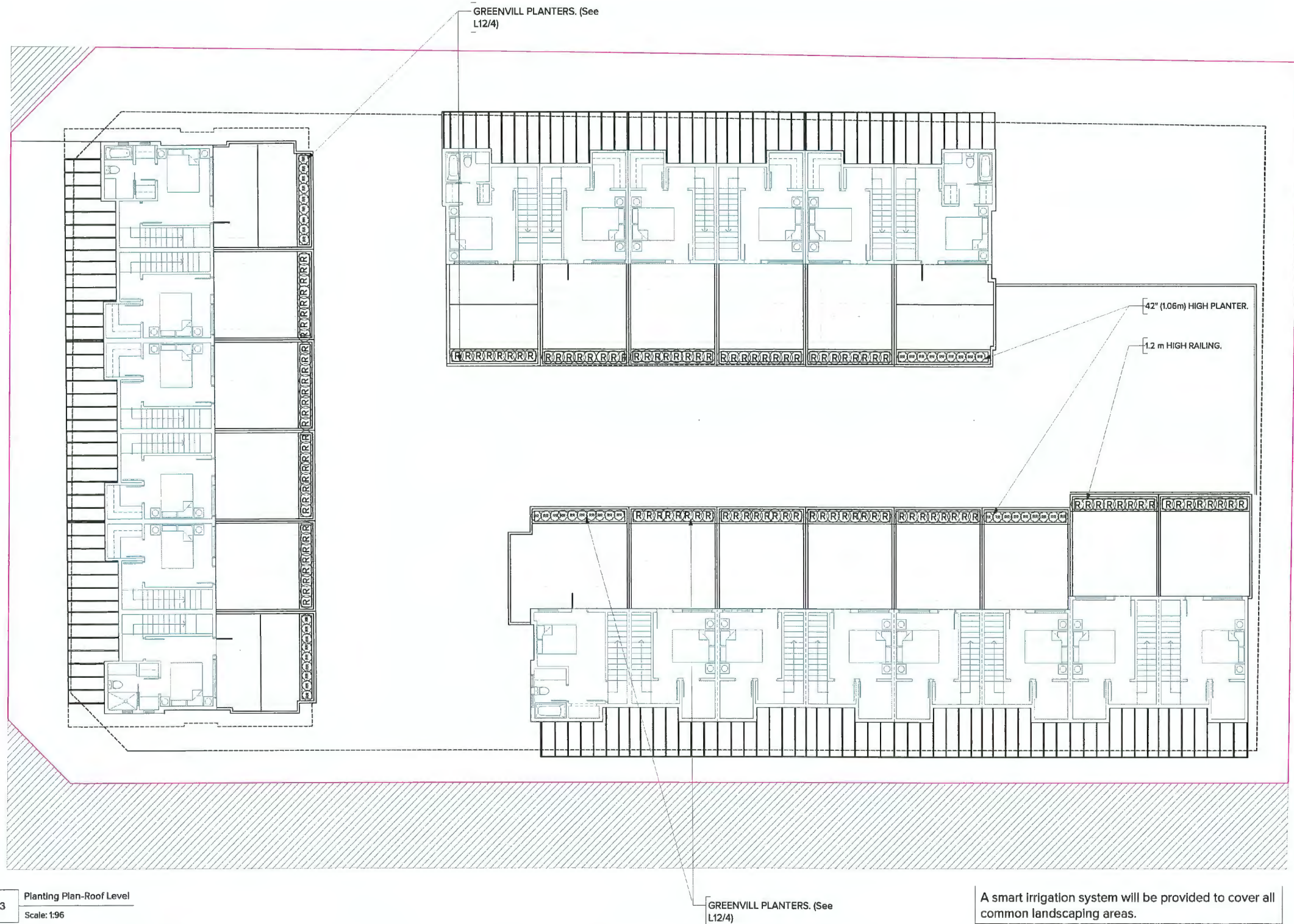
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3 Planting Plan-Roof Level
Scale: 1/96

A smart irrigation system will be provided to cover all common landscaping areas.

List of Shrubs- Ground Level

| Image | ID | Quantity | Latin Name | Common Name | Scheduled Size |
|-------|-------|----------|--|----------------------------------|----------------|
| | CA | 8 | Calamagrostis x acutiflora 'Kari Foerster' | Foerster's Feather Reed Grass | #2 pot |
| | PA1 | 14 | Pennisetum alopecuroides 'Hameln' | Hameln Dwarf Fountain Grass | #2 pot |
| | PO | 45 | Pennisetum orientale | Oriental Fountain Grass | #3 pot |
| | E.R | 12 | Echinacea 'Rosita' | Purple coneflower Rosita (dwarf) | #1 pot |
| | HS | 70 | Helictotrichon sempervirens | Blue Oat Grass | #1 pot |
| | Tx | 102 | Taxus sp | Yew, hedge variety | 1.5 m. ht. |
| | L.Dn | 5 | Ligularia dentata 'Brit Marie Crawford' | Brit Marie Crawford Ligularia | #1 pot |
| | HL | 102 | Hemerocallis x 'Lemon Yellow' or vars | Lemon Yellow Daylily | #1 pot |
| | Hv | 10 | Heuchera vars | Coral bells | #1 pot |
| | Po.m | 16 | Polystichum munitum | swordfern | #2 pot |
| | RV | 2 | Rhododendron Vulcan | Red Rhododendron | #7 pot |
| | M.Aqf | 2 | Mahonia aquafolium | Oregon grape | #3 pot |
| | lav | 8 | Lavendula vars | Lavender | #1 pot |
| | Hb | 2 | Hibiscus syriacus 'Lucy' | Lucy Rose Of Sharon | 1.5 m. ht. |
| | Ak.q | 48 | Akebia quinata | Chocolate vine | #3 pot staked |
| | vo.th | 13 | Vaccinium ovatum | evergreen huckleberry | #3 pot |
| | PM | 4 | Polystichum munitum | swordfern | #3 pot |
| | LD | 1 | Ligularia dentata 'Brit Marie Crawford' | Brit Marie Crawford Ligularia | #1 pot |

List of Trees- Ground Level

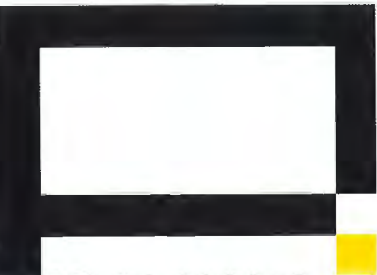
| Image | ID | Quantity | Latin Name | Common Name | Scheduled Size |
|-------|-------|----------|------------------------------|------------------------|-----------------|
| | A.Rub | 2 | Acer rubrum 'Red Sunset' | Red Sunset Red Maple | 8cm. cal. |
| | C.Nut | 2 | Coronus nuttallii 'National' | National Dogwood | 4.0 m. H. clump |
| | Ac.PI | 1 | Acer palmatum | Japanese Maple | 8cm. cal. |
| | Am.lv | 2 | Amelanchier laevis | Allegheny Serviceberry | 8cm. cal. |
| | Ac.ci | 4 | Acer circinatum | Vine maple | 4m ht. |

List of Shrubs- Podium Level

| Image | ID | Quantity | Latin Name | Common Name | Scheduled Size |
|-------|-------|----------|---------------------------------------|----------------------------------|----------------|
| | SLN | 1 | Salix purpurea 'Nana' | Dwarf Arctic Blue Leaf Willow | #3 pot |
| | HA | 51 | Hosta x 'Blue Angel' | Blue Angel Plantain Lily | #1 pot |
| | Tx | 22 | Taxus sp | Yew, hedge variety | 1.5 m. ht. |
| | E.R | 10 | Echinacea 'Rosita' | Purple coneflower Rosita (dwarf) | #1 pot |
| | HL | 23 | Hemerocallis x 'Lemon Yellow' or vars | Lemon Yellow Daylily | #1 pot |
| | SJ | 86 | Skimmia japonica | Japanese Skimmia | #2 pot |
| | HP | 85 | Hosta x 'Patriot' | Patriot Plantain Lily | #3 pot |
| | L | 11 | Lavendula vars | Lavender | #1 pot |
| | Rh.Gp | 5 | Rhododendron 'Gumpo Pink' | Pink Gumpo Azalea | #7 pot |
| | VO | 11 | Vaccinium ovatum 'Thunderbird' | evergreen huckleberry | #3 pot |
| | TO | 3 | Thuja occidentalis 'Emerald' | Emerald Cedar | 1.5 m. ht. |
| | PA1 | 4 | Pennisetum alopecuroides 'Hameln' | Hameln Dwarf Fountain Grass | #2 pot |
| | RV | 11 | Rhododendron Vulcan | Red Rhododendron | #7 pot |
| | MA | 5 | Mahonia aquafolium | Oregon grape | #3 pot |
| | Hb | 4 | Hibiscus syriacus 'Lucy' | Lucy Rose Of Sharon | 1.5 m. ht. |
| | H2 | 3 | Bergenia cordifolia | Heartleaf Bergenia | #1 pot |

List of Shrubs- Roof Level

| Image | ID | Quantity | Latin Name | Common Name | Scheduled Size |
|-------|----|----------|-------------------------|----------------------------|----------------|
| | RR | 46 | Rosa rugosa 'Champlain' | Champlain Hardy Shrub Rose | #2 pot |
| | R | 120 | Rosa Nulkane | Nooka Rose | #2 pot |



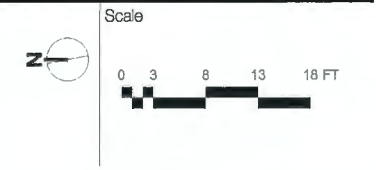
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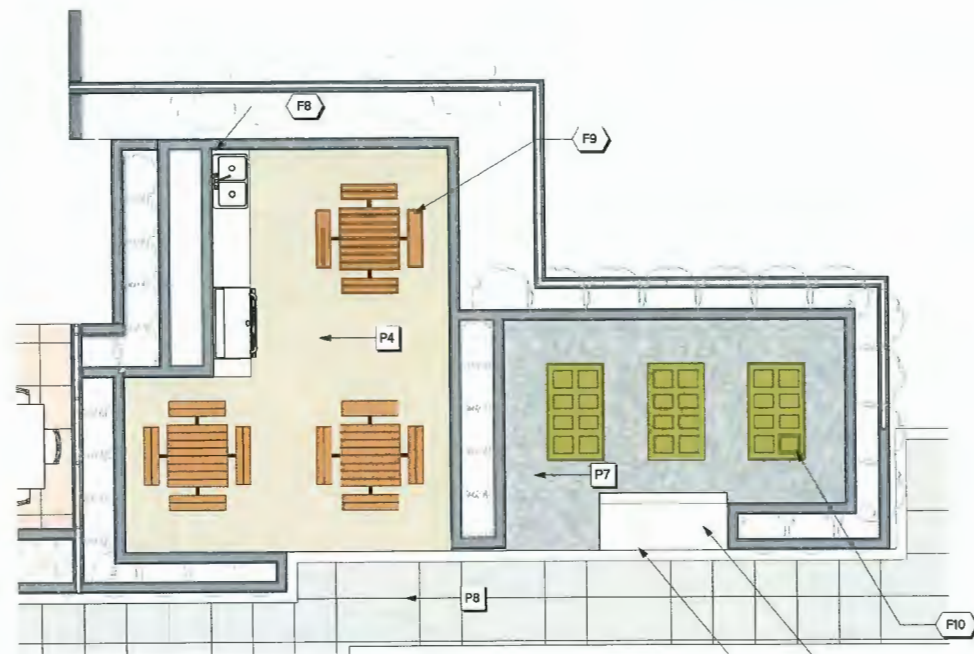
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PLANTING ROOF LEVEL

Total Sheets
18
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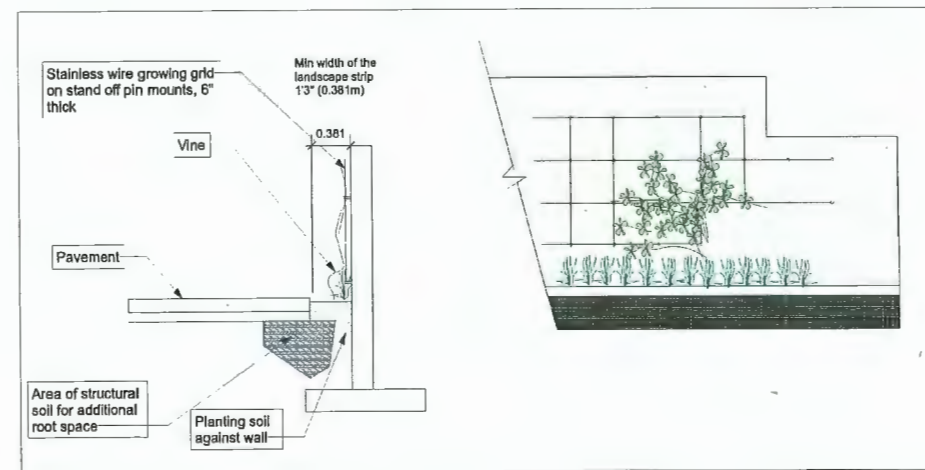
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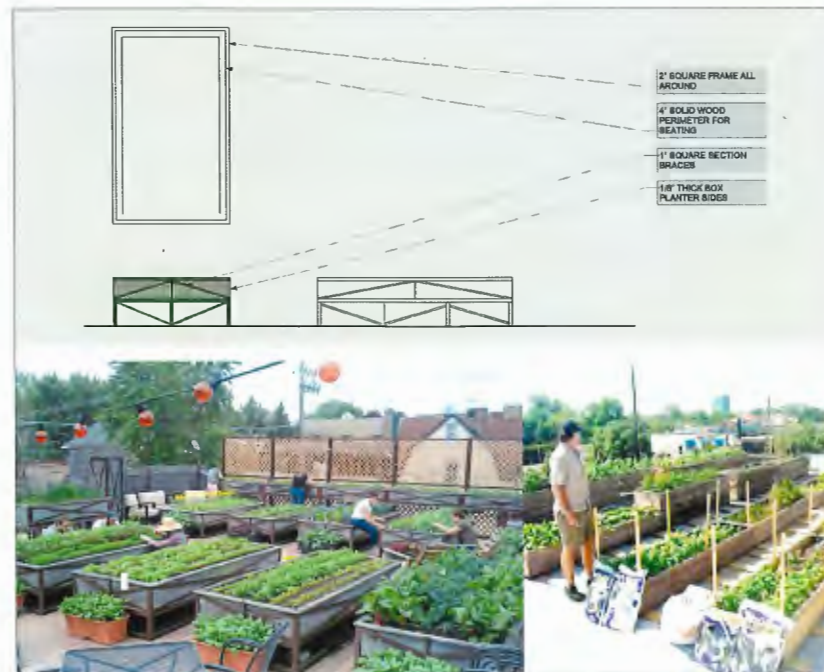


1 Amenity Detail
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SEE PAVING/SITE FURNISHING LEGENDS ON L4.



5 Schematic Representation of Planting (F1)
Scale: NTS



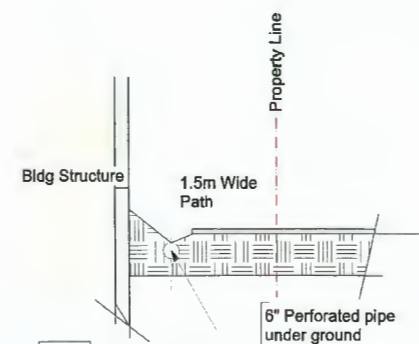
2 Raised Vegetable Planter Detail (F10)
Scale: NTS



3 Abbotsford AquaPave Taupe Blend (P3)
Scale: NTS

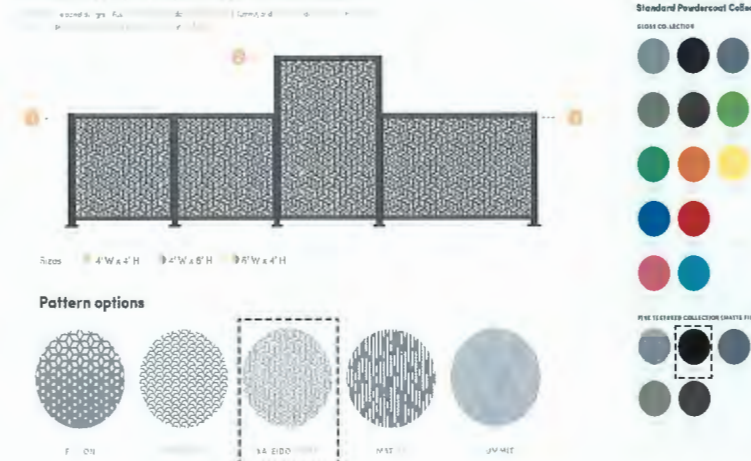


4 Abbotsford AquaPave Desert Sand Blend (P4)
Scale: NTS



6 SWALE DETAIL
Scale: NTS

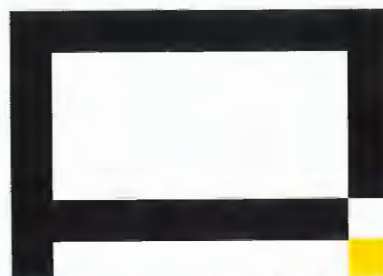
DESIGN WITH THE FLEXX COLLECTION BY MAGLIN



7 4' High Maglin Flexx Fence (F11,F15)
Scale: NTS



8 PROPOSED SQUARE BOLLARDS (F6)
Scale: NTS



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18

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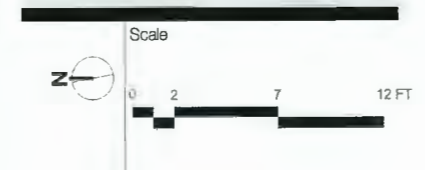
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| L | 05-07-22 | DP Resubmission |
| M | 03-10-22 | DP Resubmission |
| N | 27-10-22 | DP Resubmission |
| O | 20-01-23 | DP Resubmission |
| P | 21-03-23 | DP Resubmission |
| Q | 03-04-23 | DP Resubmission |



Play Tower with ADA Stairs

PCM100131

KOMPAN!
Let's play

| | |
|-----------------------------|----------------|
| Item no. | PCM100131-0901 |
| General Product Information | |
| Dimensions LxWxH | 411x130x221 cm |
| Age group | 2 - 5 |
| Play capacity (users) | 7 |
| Colour options | |

The fantastic play tower will inspire young children to play actively, using their muscles to climb to the top and slide to the ground, again and again. The slide provides an age-appropriate access to the tower that strengthens leg muscles and helps to develop skills at climbing stairs, an important everyday task. The playhouse also offers a space for creative and imaginative play themes. The windows encourage children to seek out their friends from on top of the tower, and to imagine that they are in a tree house or a look-out. Active and physical imaginative play helps to support children's creativity and thinking. The study desk on the side of the structure is an additional place for meeting and creating.

together, supporting social skills. Sliding supports posture and balance, all important skills for young children as they grow, and great physical fun.

1 / 9/19/2022 Date is subject to change without prior notice

Play Tower with ADA Stairs

PCM100131

* Max fall height | ** Total height | *** Safety surfacing area

5 / 9/30/2022 Date is subject to change without prior notice

1 KOMPAN PLAY TOWER WITH ADA STAIRS (F17)
Scale: NTS

Stinger

ELE400020

KOMPAN!
Let's play

| | |
|-----------------------------|---------------|
| Item no. | ELE400020-01E |
| General Product Information | |
| Dimensions LxWxH | 78x37x70 cm |
| Age group | 2 - 5 |
| Play capacity (users) | 1 |
| Colour options | |

The Stinger with its whimsical, rodeo look attracts toddlers for a shorter or longer ride, again and again. Apart from its appealing shapes, the Stinger offers tactile variation with its rubber hand holds and smooth body. Tactile richness is the main medicine, especially for younger children. It supports their understanding of material characteristics such as weight, smoothness, temperature and flexibility. The slightly sloped seat provides a seating destination which ensures hours, years and decades of fun. The soothing, rocking movement of the Stinger instils the sense of balance and the spatial awareness. These are both crucial for body confidence, e.g. fall prevention. A well-developed sense of balance is fundamental for the ability to sit still and concentrate. The Stinger offers children more than a mere fun ride.

1 / 9/19/2022 Date is subject to change without prior notice

Stinger

ELE400020

* Max fall height | ** Total height | *** Safety surfacing area

5 / 9/19/2022 Date is subject to change without prior notice

2 KOMPAN STINGER (F18)
Scale: NTS

Kids Table with 4 Sitting Poles

NRO212

KOMPAN!
Let's play

2 / 5/4/2022 Date is subject to change without prior notice

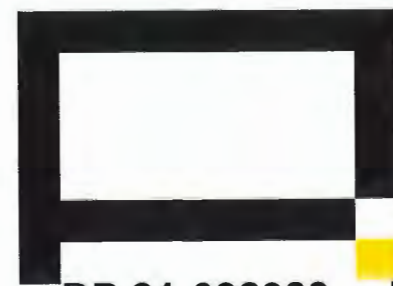
Kids Table with 4 Sitting Poles

NRO212

* Max fall height | ** Total height | *** Safety surfacing area

5 / 5/4/2022 Date is subject to change without prior notice

3 KIDS TABLE WITH SITTING (F16)
Scale: NTS



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ARCHITECTURE | LANDSCAPE ARCHITECTURE | URBAN DESIGN

Unit: 206, 1493 Foster Street, White Rock, BC | 6047831450 | rich@architecturepanel.com

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Project
**8951, 8971 Spires Rd,
8991 Spires Gate**

Owner


Sheet Title
DETAILS-2

| | | | |
|--------------------|--------------------|---------------------------------|--|
| Total Sheets 18 | Sheet No. L11 | Contractors City of Richmond | Consultants FLAT Architectural Inc. |
| Drawn By SD | Checked By RD | AHJ City of Richmond | Documents DP Application |
| Reviewed By RD | Status REZONING | | |

| No | Date | Issue Notes |
|----|----------|-----------------|
| K | 05-04-22 | DP Resubmission |
| L | 05-07-22 | DP Resubmission |
| M | 03-10-22 | DP Resubmission |
| N | 27-10-22 | DP Resubmission |
| O | 20-01-23 | DP Resubmission |
| P | 21-03-23 | DP Resubmission |
| Q | 03-04-23 | DP Resubmission |

Scale

MLB870-W **870 SERIES**

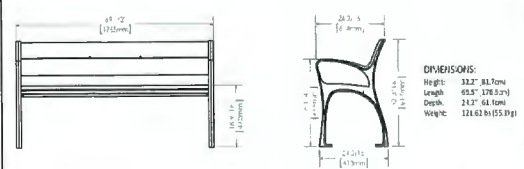


MATERIALS: Bench ends are made from solid cast aluminum. The seat employs birch wood slats.

FINISH: All steel components are protected with E-Coat anti-rust primer. The Maglin Powdercoat System provides a durable finish on all metal surfaces.

INSTALLATION: The bench is delivered pre-assembled. (6x5") are provided in each foot for securing to base.

ID SPECIFY: Select: MLB870-W
Options:
- Powdercoat Color



DIMENSIONS:
Height: 32.2" (819mm)
Length: 47.2" (1195mm)
Depth: 24.5" (619mm)
Weight: 121.62 lb (55.19 kg)

MAGLIN

For drawings, specifications, design and details on this page, please refer to the project of Maglin Site Furniture Inc. All material used is subject to Maglin's standard terms and conditions. Maglin Site Furniture Inc. is not responsible for any errors or omissions in these drawings.

1 PROPOSED OUTDOOR BENCH (F12)
Scale: NTS

Equiparc



EP 2886 Picnic table

SPECIFICATIONS

Frame: Tubing, flat end angles made of steel
Finish: Hot-dipped galvanized
Planks: 31mm X 152mm (2" X 6")
Fasteners: Hot-dipped galvanized

COVERINGS

| | | | |
|------|-------------------------|-----|--------------------|
| YRPU | Gray recycled plastic | DFF | Select Douglas fir |
| SRPU | Sand recycled plastic | JAT | Jatoba |
| ORPU | Olive recycled plastic | IPE | Ipe |
| CRPU | Cedar recycled plastic | HWA | Select hardwood |
| WRPU | Walnut recycled plastic | AL | Painted aluminium |

OPTIONS

QP Galvanized and painted frame
HAND-RS Removal of a seat for wheelchair access
PARASOL Modified for parasol

Depth or Length: 2010mm (79") Height: 749mm (29 1/2") Weight: 182 kg (400 lbs)

This table must be anchored.
Our warranty applies when our product is properly assembled and anchored.

ANCHORS

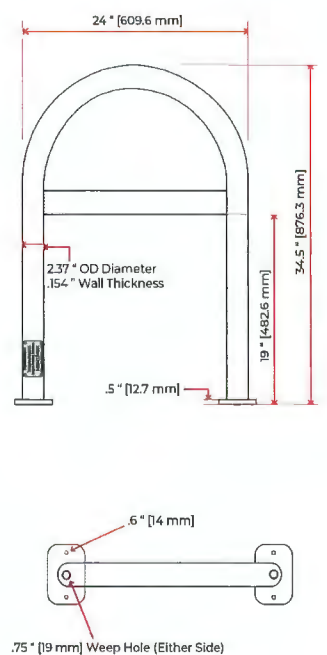
QS 8 stainless steel hook bolts
QAV 8 drop-in anchors with stainless steel tie-roof bolts

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T: 1 800 863 8584 www.equiparc.com 1081, rue Saint-Jacques 100, rue Saint-Jacques
F: 1 514 346 2154 info@equiparc.com Saint-Jacques-Oratoire, QC Canada H2K 1K1

2 PROPOSED OUTDOOR DINING SET (F9)
Scale: NTS

Urban Staple **URBAN RACKS**
INNOVATIVE | BICYCLE PARKING



Specifications

Spacing:
Recommended Spacing: 36" (762 mm)
Minimum Spacing: 24" (610 mm)

Weight:
Total Weight: 32 lbs (14.5kg)

Materials:
Assembly Material: Schedule 40 Steel
Pipe Diameter: 2.37" (60.2 mm)
Pipe Wall Thickness: 0.154" (3.91 mm)
Post-consumer recycled content: 70-90%
Pre-consumer recycled content: 5-7%

As it is a structure:
Optional Tamper-proof Security Anchors

Available Finishes:
Powder Coated
Hot-Dipped Galvanized
304 Stainless Steel
Dacromet

Customization Available

These drawings are not for construction purposes and are for information purposes only. All information contained herein was current at the time of development but must be reviewed and confirmed by Urban Racks to be considered accurate.

urbanracks.com | 777 8681 | info@urbanracks.com

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3 PROPOSED BIKE RACK (F4)
Scale: NTS

Perth

6905036
L 38" | W 16" | H 42"
L 914mm | W 406mm | H 1067mm

6905048
L 48" | W 16" | H 42"
L 1219mm | W 406mm | H 1067mm



Available in: 

Artificial Grass

4 PROPOSED ROOF PLANTERS
Scale: NTS

SEE PAVING/SITE FURNISHING LEGENDS ON L4.

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ARCHITECTURE | LANDSCAPE ARCHITECTURE | URBAN DESIGN

Unit 206, 1493 Foster Street, White Rock, BC | 6047831450 | rich@architecturepanel.com

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DP 21-932383 **Plan #29**

Project: **8951, 8971 Spires Rd, 8991 Spires Gate**

Owner: _____

Sheet Title: **DETAILS-3**

Total Sheets: **18**

Sheet No.: **L12**

Contractors: **AHJ City of Richmond**

Consultants: **FLAT Architecture Inc.**

Drawn By: **SD**

Checked By: **RD**

Reviewed By: **RD**

Status: **REZONING**

Documents: **DP Application**

April 20, 2023

| No | Date | Issue Notes |
|----|----------|-----------------|
| K | 05-04-22 | DP Resubmission |
| L | 05-07-22 | DP Resubmission |
| M | 03-10-22 | DP Resubmission |
| N | 27-10-22 | DP Resubmission |
| O | 20-01-23 | DP Resubmission |
| P | 21-03-23 | DP Resubmission |
| Q | 03-04-23 | DP Resubmission |

Scale



WORKBENCH WITH STORAGE
Global industrial

This sturdy workbench features an independently locking drawer and cabinet that secures supplies and tools. This all-welded drawer pedestals have full-width aluminum drawer handles and nylon drawer rollers for smooth opening. Secure supplies and tools with this sturdy workbench with independently locking drawer and cabinet. The drawers measure 13"W x 17-3/4"D and have weight capacity of 66 lbs per drawer. It includes four 5-1/2"H drawers and two 12"H drawers. The cabinet has a locking door and an adjustable shelf. The pedestals measure 15-3/4"W x 20"D x 32"H and can be arranged to suit your needs. It has a durable gray powder-coated finish. The workbench includes 1-3/4" thick maple butcher block top. It is easy to assemble.

ASSEMBLY

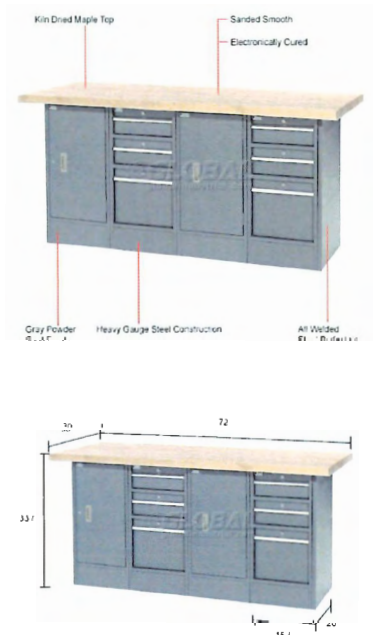
Product Details

| | |
|--------------------------|---------------------|
| Leg type | Fixed |
| Assembly required | Yes |
| File type | System |
| Type | Country Workbench |
| Top Material | Maple Butcher Block |
| Brand | Global Industrial |
| Leg Style | Pedestal Leg |
| Style | 6 Drawers 2 Lockers |
| Manufacturer Part Number | 291150 |
| Color Family | Gray |

Weights & Dimensions

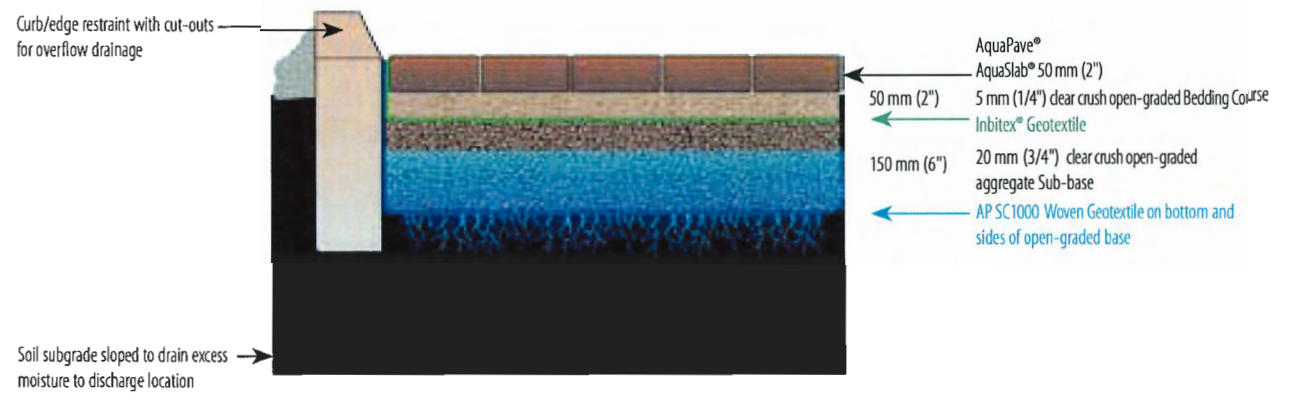
| | |
|-----------------|-----------------------|
| Depth | 30 IN (76.2 cm) |
| Width | 72 IN (182.88 cm) |
| Height | 32 IN (81.28 cm) |
| Weight Capacity | 4000 LBS (1818.35 kg) |
| Weight | 305 LBS (138.3 kg) |

1 Workbench with Storage (F14)
Scale: NTS

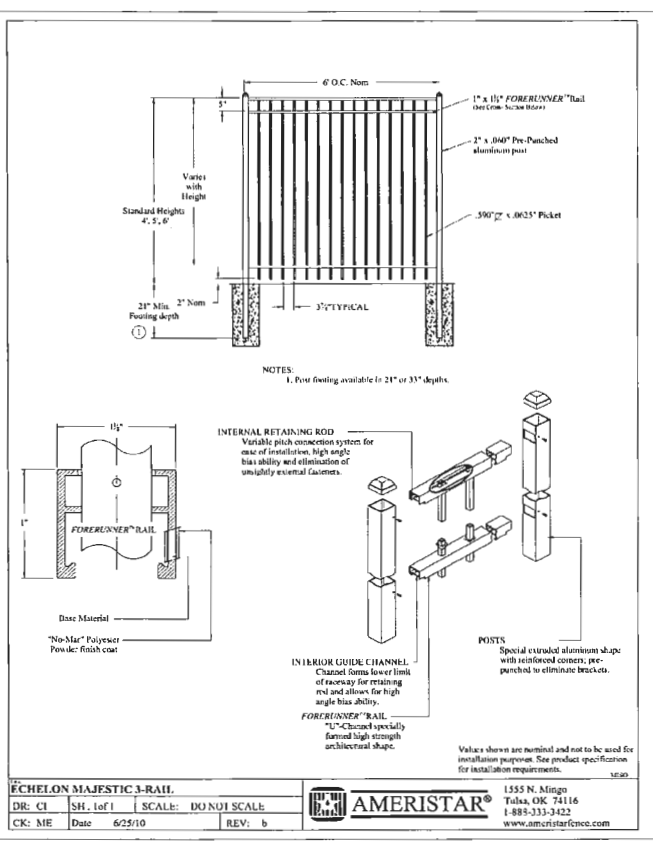


3 Equiparc picnic table (F9)
Scale: NTS

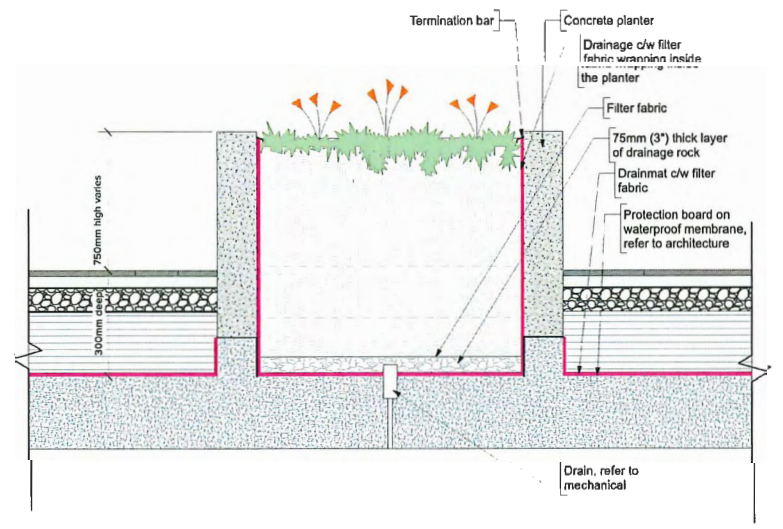
Typical Residential Driveway/Sidewalk Construction



2 AquaPave Typical System Detail
Scale: NTS

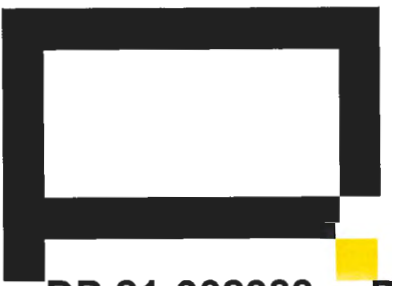


4 4' High Metal Fence detail (F5)
Scale: Actual Size



5 CIP Planter Detail on Slab (F8)
Scale: 1:128

SEE PAVING/SITE FURNISHING LEGENDS ON L4.



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Unit 206, 1493 Foster Street, White Rock, BC | 6047831450 | ruchir@architecturepanel.com
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Project: **8951, 8971 Spires Rd, 8991 Spires Gate**
Owner:
Sheet Title: **DETAILS-4**

| | | | |
|--------------------|--------------------|---------------------------------|--|
| Total Sheets 18 | Sheet No. L13 | Contractors City of Richmond | Consultants FLAT Architectural Inc. |
| Drawn By SD | Checked By RD | Documents DP Application | |
| Reviewed By RD | Status REZONING | | |

| No | Date | Issue Notes |
|----|----------|-----------------|
| K | 05-04-22 | DP Resubmission |
| L | 05-07-22 | DP Resubmission |
| M | 03-10-22 | DP Resubmission |
| N | 27-10-22 | DP Resubmission |
| O | 20-01-23 | DP Resubmission |
| P | 21-03-23 | DP Resubmission |
| Q | 03-04-23 | DP Resubmission |

Scale

DESIGN RATIONALE OF SELECTED LIGHTING

On the entrance of the site from East, we want warm, inviting and calm appearance of the site and did not want too many distractions. So, there are wall light mounted at the entrance of the unit at planter wall to create inviting atmosphere for residents. These fixtures has potential for louvered shades to eliminate glare. At the corner of SE bicycle parking is screened from the street walkway and provided with bollard light for safe space and maneuver for cyclists as well as it can provide sufficient lighting to the wheelchair ramp. Rest of the illumination on the East of the site are provided by the building light and wall mounted lights at the exterior walls.

The same concept applied on the North side of the site and wall mounted lights are mounted on building walls.

Lane along the west and south property line with 1.5m walkway is illuminated with wall mounted lights on the building which provide smooth transition and ample lighting for pedestrian for crossing. The step lights are proposed at the stairs going to the deck level for smooth transition.

The main design criteria followed for lighting are as follows:

*Landscape lights are provided only where building mounted lights are incapable of illuminating any external spaces.

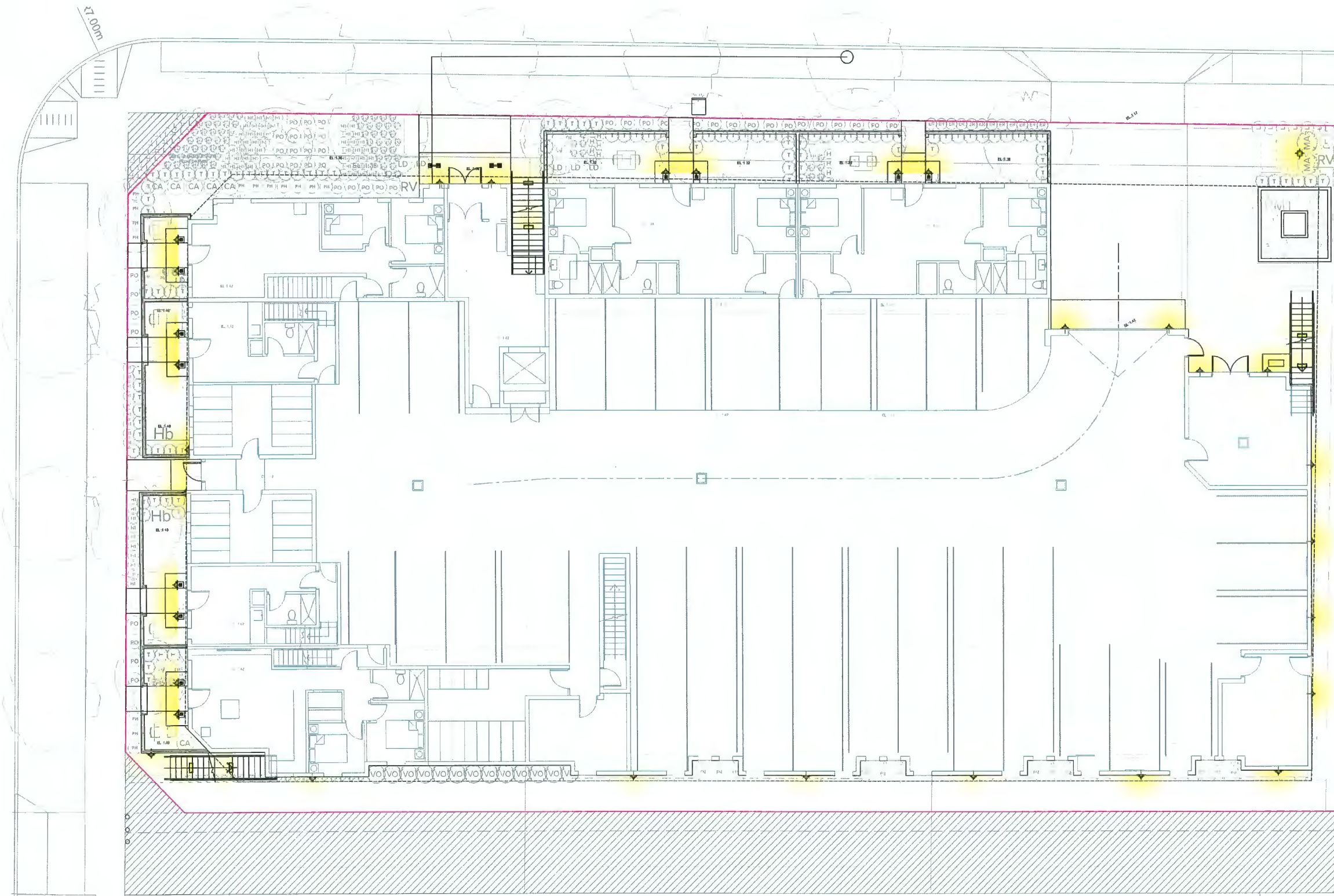
*Most landscape lights used are indirect and do not offer any unwanted glare with build in anti glare shading systems.

*No direct lighting fixtures are placed anywhere on the suite that offer security and reduce light pollution.

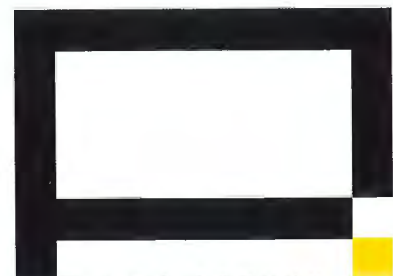
-  Step Light
-  Wall Mounted Light
-  Bollard Light



2 Wall Mounted Light
Scale: NTS



1 Lighting Plan-Street Level
Scale: 1:96



ARCHITECTURE PANEL INC.

ARCHITECTURE | LANDSCAPE ARCHITECTURE | URBAN DESIGN

Unit 206, 1493 Foster Street, White Rock, BC | 6047831450 | ruchlr@architecturepanel.com

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Project
**8951, 8971 Spires Rd,
8991 Spires Gate**

Owner

Sheet Title
LIGHTING PLAN (SITE)

Total Sheets
18

Drawn By
SD

Reviewed By
RD

Sheet No.
L14

Checked By
RD

Status
REZONING

Contractors

AHJ
City of Richmond

Consultants
FLAT Architecture Inc.

Documents
DP Application

| No | Date | Issue Notes |
|----|----------|-----------------|
| K | 05-04-22 | DP Resubmission |
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| P | 21-03-23 | DP Resubmission |
| Q | 03-04-23 | DP Resubmission |



DESIGN RATIONALE OF DECK LEVEL

At the podium level, there is enough light just beside the stairs on NW as well as SE corner. Which helps to provide illumination for movement and by the help of wall where lighting fixtures mounted will eventually helps to reduce the back spill in this case. North facing units backyard at podium level are illuminated by the building lights and the path to access those units are illuminated with wall mounted lights at the center of the planter wall through the east access of the stairs. At the pathway from NW to East stairs access there would be minimum light spill because of the reflectance of the adjacent objects.

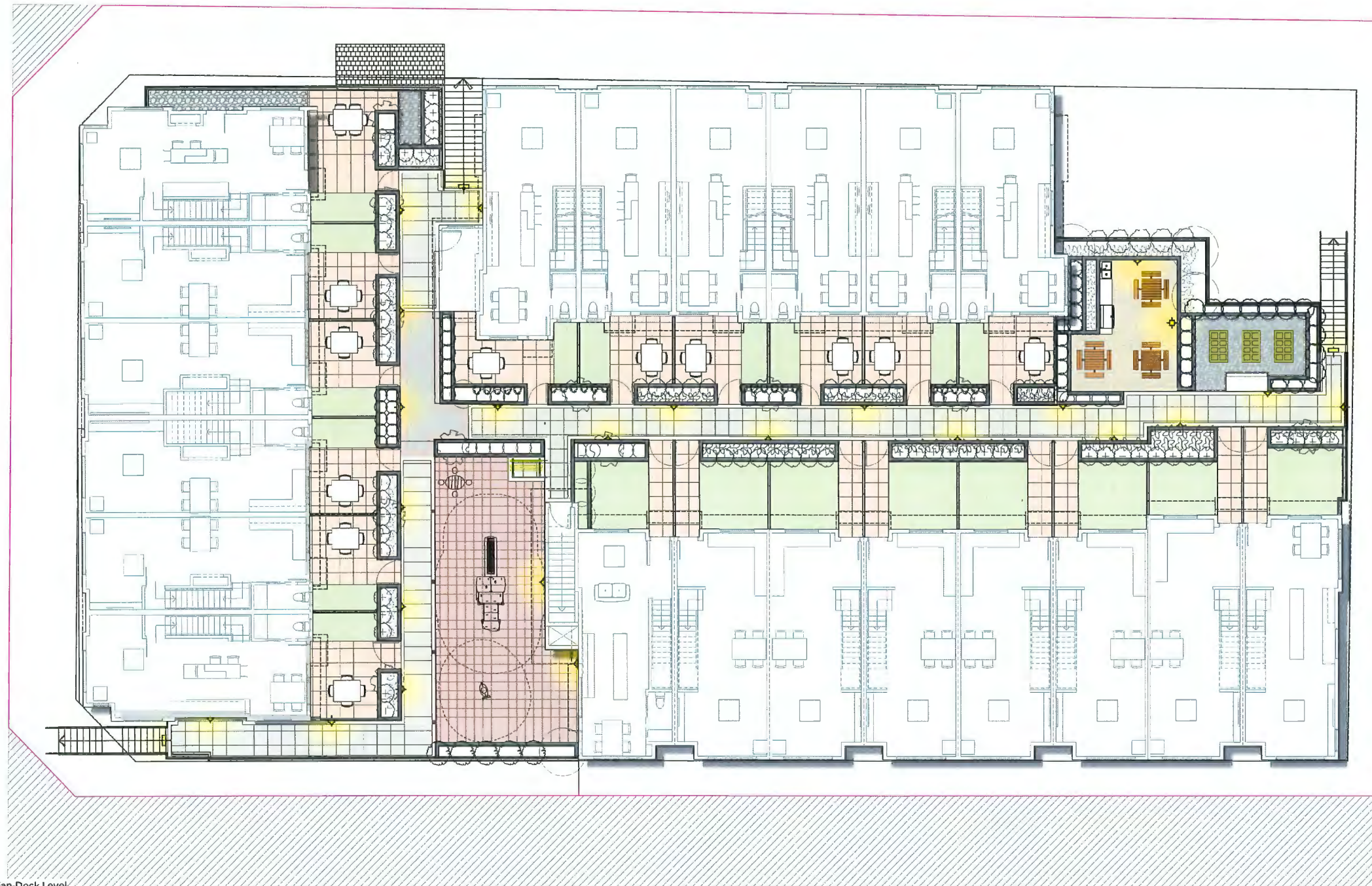
To aid the process of enhancing outdoor gathering area there are two bollards lights which can illuminate the fire pit as well as the entrance pathway. Moreover, wall mounted light has been selected for adornment of kitchen seating area.




The main design criteria followed for lighting are as follows:

*Landscape lights are provided only where building mounted lights are incapable of illuminating any external spaces.

*Most landscape lights used are indirect and do not offer any unwanted glare with build in anti glare shading systems.

*No direct lighting fixtures are placed anywhere on the suite that offer security and reduce light pollution.



-  Step Light
-  Wall Mounted Light
-  Bollard Light



WALL MOUNTED LIGHT:
CYPHER CY2-RADIUS CURVE



BOLLARD LIGHT:
PROVIDENCE BOLLARD LIGHTING



STEP LIGHT:
ALCON LIGHTING

1 Lighting Plan-Deck Level
Scale: 1:96

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Project
**8951, 8971 Spires Rd,
8991 Spires Gate**

Owner

Sheet Title
**LIGHTING PLAN (DECK
LEVEL)**

Total Sheets
18

Drawn By
SD

Reviewed By
RD

Sheet No.
L15

Checked By
RD

Status
REZONING

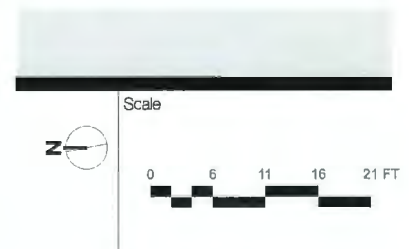
Contractors

AHJ
City of Richmond

Consultants
FLAT Architectural Inc.

Documents
DP Application

| No | Date | Issue Notes |
|----|----------|-----------------|
| K | 05-04-22 | DP Resubmission |
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| O | 20-01-23 | DP Resubmission |
| P | 21-03-23 | DP Resubmission |
| Q | 03-04-23 | DP Resubmission |





1 TRIM BOARDS / POSTS - WOOD
PAINT TO MATCH AGED PEWTER



2 ASPHALT SHINGLES -
TIMBERLINE HD PEWTER GRAY



3 EXTERIOR HIGH DENSITY FIBRE
CEMENT BOARD C/W EASY TRIMS TO
MATCH
COLOR : AGED PEWTER

4 TRADITIONAL 3 COAT STUCCO
SYSTEM : ARCTIC WHITE



5 MIDNIGHT SKY
BRICK VENEER BY MUTUAL MATERIALS



6 FASCIA AND BARGE BOARD : WOOD
SHERWIN WILLIAMS ELLIE GRAY



7 VINYL WINDOWS- BLACK COLOUR
C/W BLACK FRAME WITH MUNTINS

- PARKADE GATE AND SERVICE DOORS : METAL DOOR- FINISH - BLACK COLOUR
- R.W.L / GUTTERS : GENTEK METTALIC GREY 5P4
- SOFFIT : VINYL WHITE
- RAILING : ALUMINUM PIQUET RAILING - FINISH - BLACK COLOUR

PROJECT INFO:
Townhouse Development at 8951,
8971 Spires Rd., 8991 Spires Gate,
Richmond, BC
CLIENT:
Juliana

DATE
23-Feb-23

PROJECT NO:
17-127

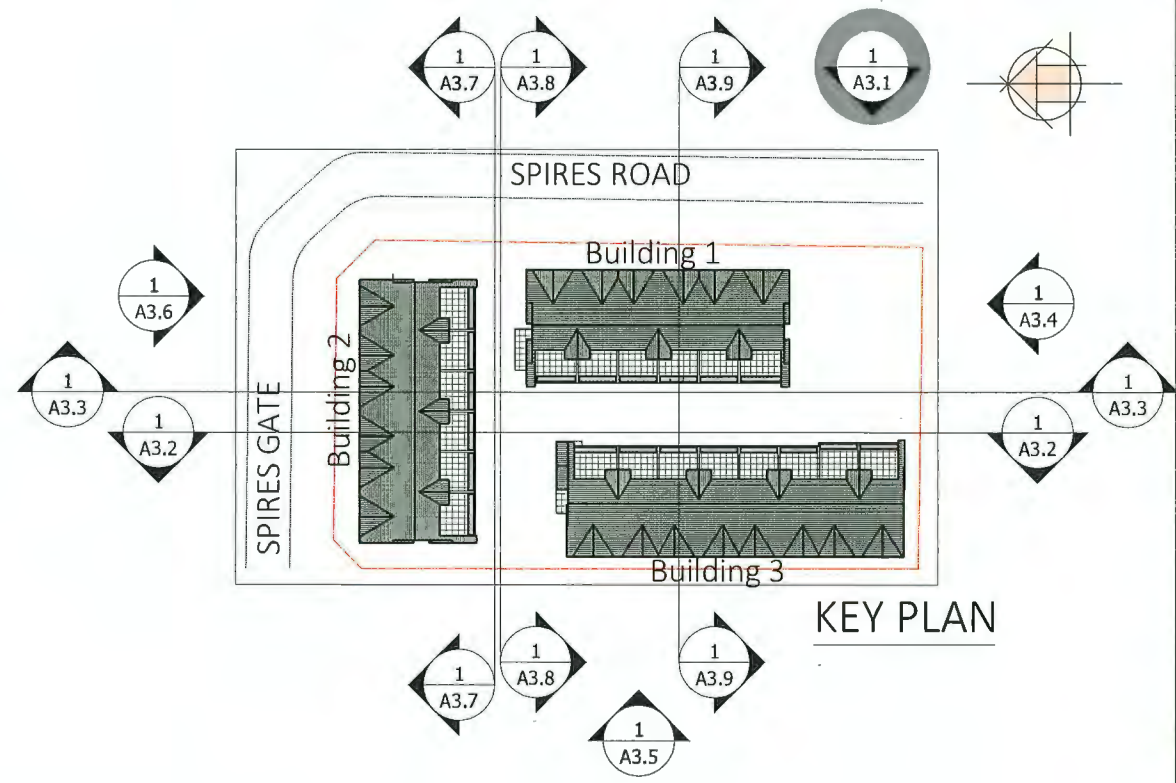
SCALE: DRAWN BY:
As Noted R.W

| REV | DESCRIPTION | BY | DATE |
|-----|---------------|-----|----------|
| 1. | Issued For DP | R.W | 02/08/23 |

MATERIAL BOARD

MATERIAL BOARD PLAN

| TAG NO | DESCRIPTION |
|--------|---|
| 1 | TRIM BOARDERS/POSTS: PAINT TO MATCH AGED PEWTER |
| 2 | ASPHAL SHIRINGLES: TIMBERLINE HD PEWTER GRAY |
| 3 | EXTERIOR HIGH DENSITY FIBRE CEMENT BOARD C/W EASY TRIMS TO MATCH: AGED PEWTER |
| 4 | TRADITIONAL 3 COAT STUCCO SYSTEM: ARCTIC WHITE |
| 5 | MIDNIGHT SKY : MUTUAL MATERIALS |
| 6 | FASCIA AND BARGE BOARD: SHERWIN WILLIAM ELLIE GRAY |
| 7 | BLACK WINDOWS C/W BLACK FRAME WITH MUNTINS |
| 8 | REFER LANDSCAPE DWGS FOR PLANTING/VINES |
| 9 | PAVERS: REFER LANDSCAPE DWGS |



DP 21-932383

Plan #34

April 20, 2023

1 EAST ELEVATION/ SPIRES RD
Scale: 1/16"=1'



Unit 209- 6321 King George Blvd
Surrey BC, V3X 1G1
www.flatarchitecture.ca
contact@flatarchitecture.ca
Ph: 604-503-4484

PROJECT INFO:
Townhouse Development at 8951,
8971 Spires Rd., 8991 Spires Gate,
Richmond, BC
CLIENT: Juliana

DATE: 29-Mar-23
PROJECT NO: 17-127
SCALE: As Noted
DRAWN BY: R.W

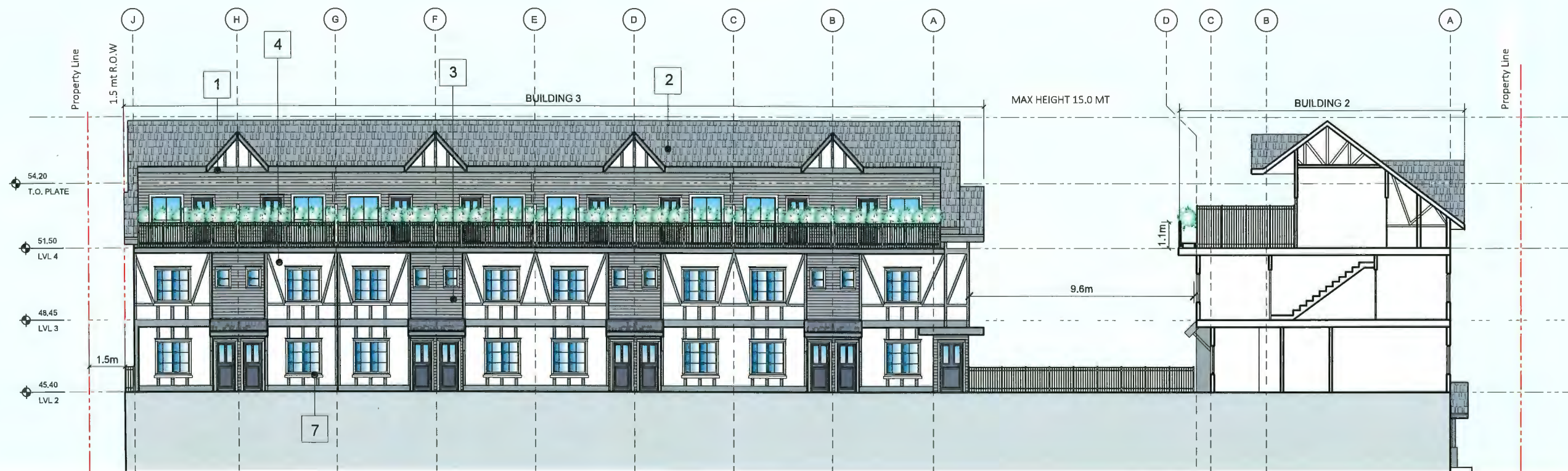
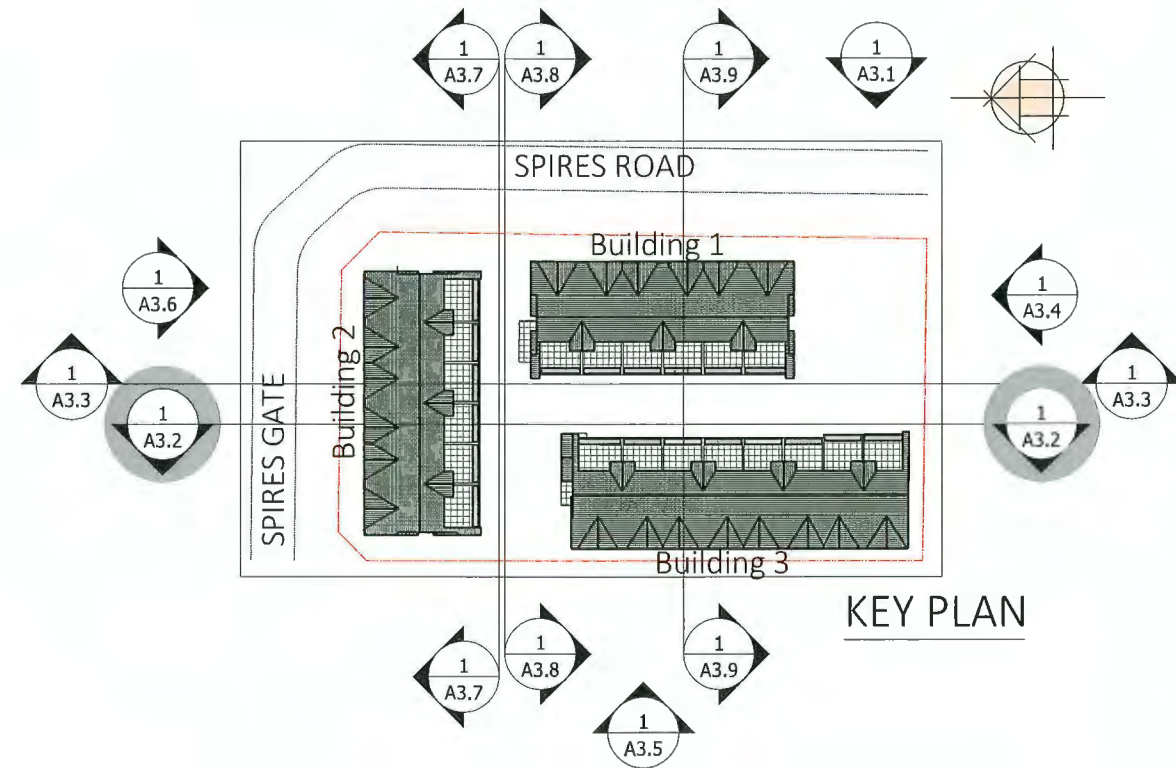
| REV | DESCRIPTION | DATE |
|-----|---------------|----------|
| 1. | Issued For DP | 02/08/22 |

ELEVATIONS

A3.1

MATERIAL BOARD PLAN

| TAG NO | DESCRIPTION |
|--------|---|
| 1 | TRIM BOARDERS/POSTS: PAINT TO MATCH AGED PEWTER |
| 2 | ASPHAL SHIRINGLES: TIMBERLINE HD PEWTER GRAY |
| 3 | EXTERIOR HIGH DENSITY FIBRE CEMENT BOARD C/W EASY TRIMS TO MATCH: AGED PEWTER |
| 4 | TRADITIONAL 3 COAT STUCCO SYSTEM: ARCTIC WHITE |
| 5 | MIDNIGHT SKY : MUTUAL MATERIALS |
| 6 | FASCIA AND BARGE BOARD: SHERWIN WILLIAM ELLIE GRAY |
| 7 | BLACK WINDOWS C/W BLACK FRAME WITH MUNTINS |
| 8 | REFER LANDSCAPE DWGS FOR PLANTING/VINES |
| 9 | PAVERS: REFER LANDSCAPE DWGS |

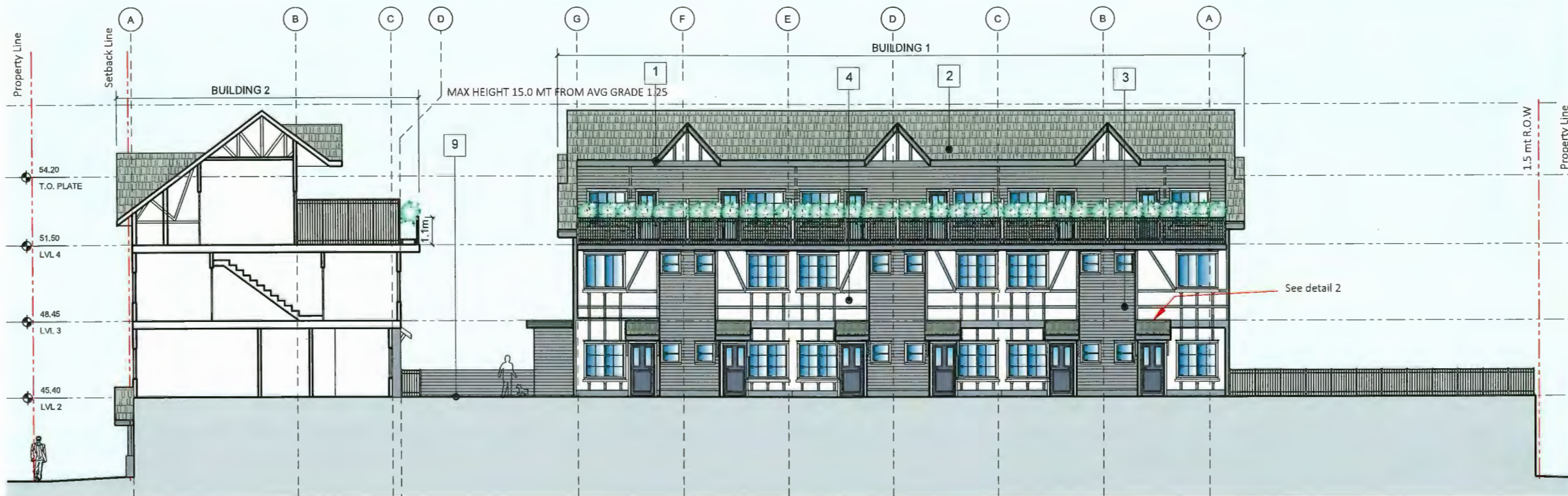
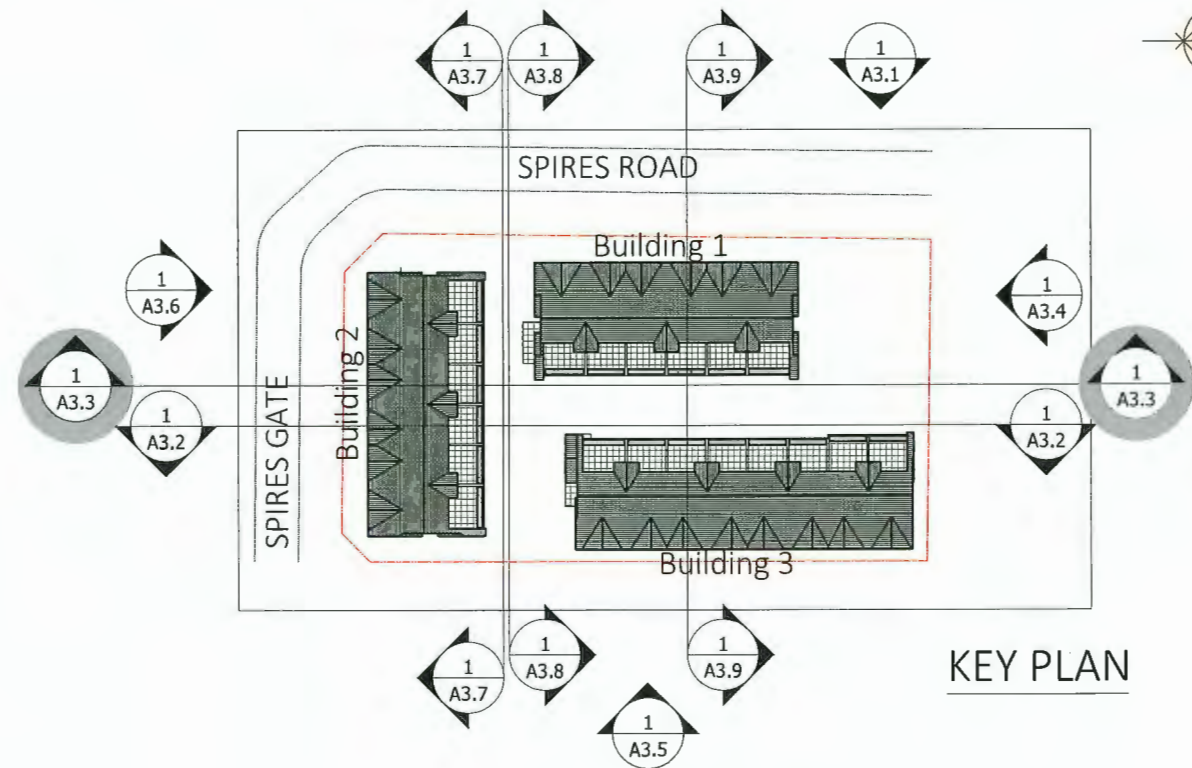
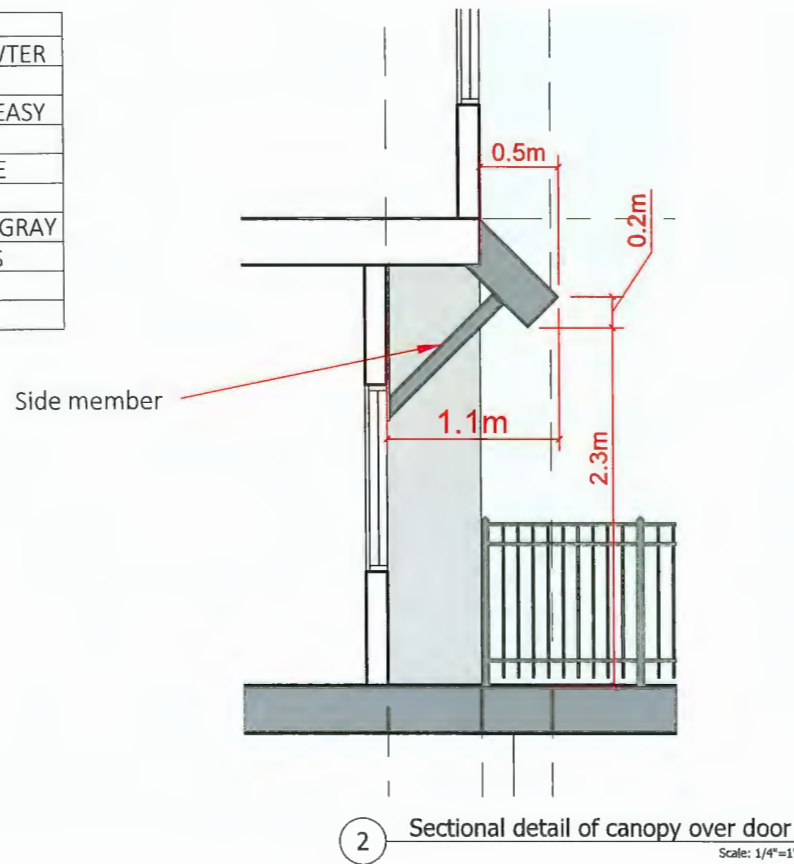


1 PODIUM LEVEL ELEVATION
Scale: 1/16"=1'

| REV | DESCRIPTION | DATE | BY |
|-----|---------------|----------|-----|
| 1. | Issued For DP | 02/09/22 | R.W |

MATERIAL BOARD PLAN

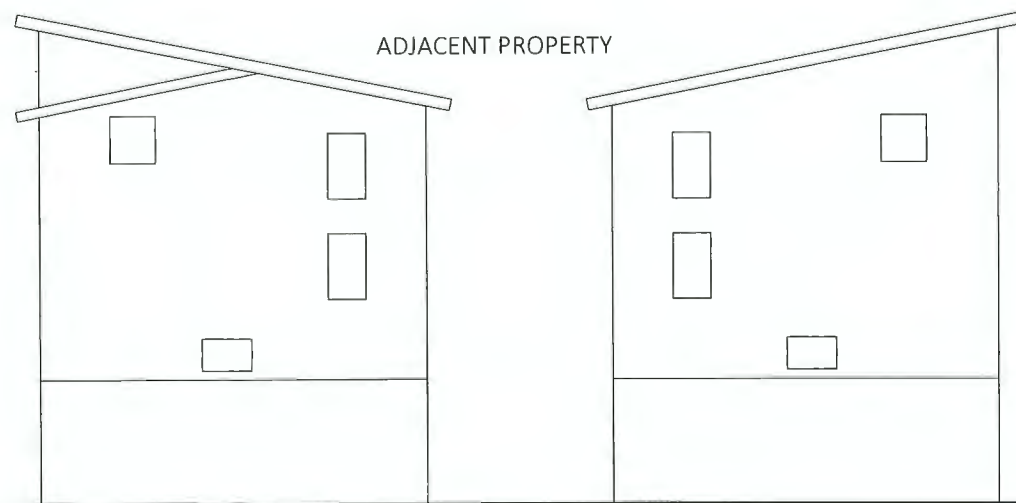
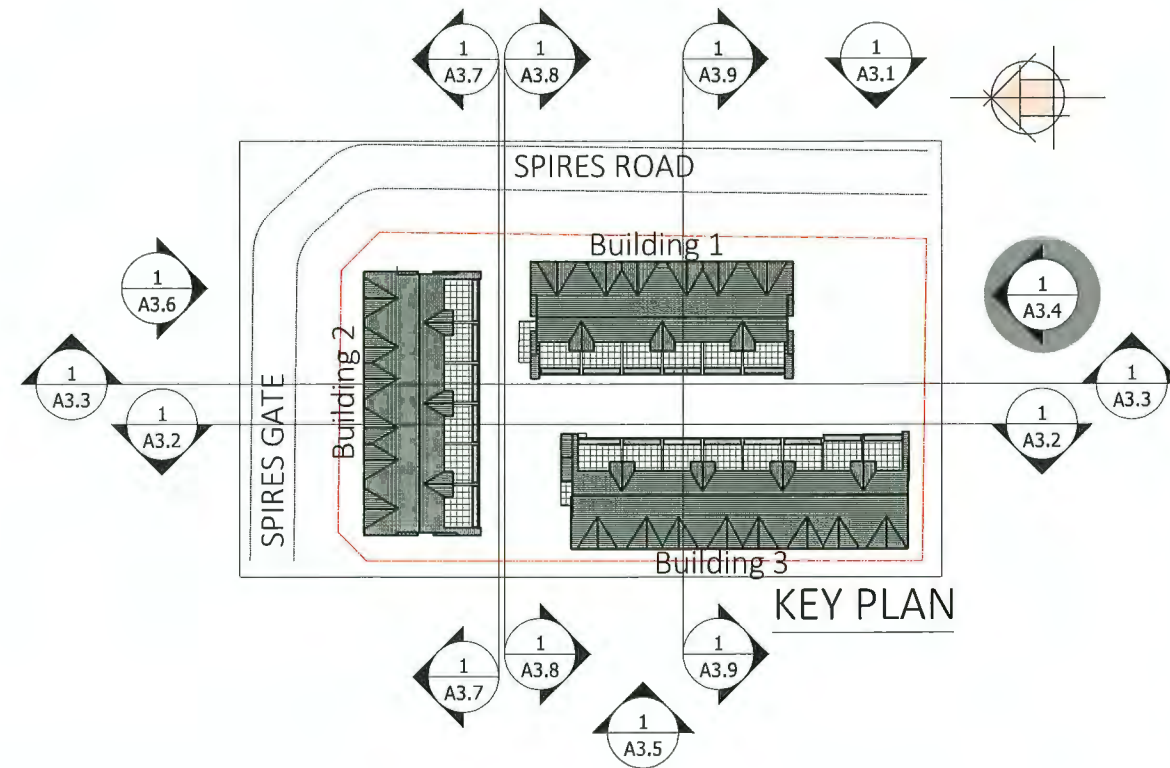
| TAG NO | DESCRIPTION |
|--------|---|
| 1 | TRIM BOARDERS/POSTS: PAINT TO MATCH AGED PEWTER |
| 2 | ASPHAL SHIRINGLES: TIMBERLINE HD PEWTER GRAY |
| 3 | EXTERIOR HIGH DENSITY FIBRE CEMENT BOARD C/W EASY TRIMS TO MATCH: AGED PEWTER |
| 4 | TRADITIONAL 3 COAT STUCCO SYSTEM: ARCTIC WHITE |
| 5 | MIDNIGHT SKY : MUTUAL MATERIALS |
| 6 | FASCIA AND BARGE BOARD: SHERWIN WILLIAM ELLIE GRAY |
| 7 | BLACK WINDOWS C/W BLACK FRAME WITH MUNTINS |
| 8 | REFER LANDSCAPE DWGS FOR PLANTING/VINES |
| 9 | PAVERS: REFER LANDSCAPE DWGS |



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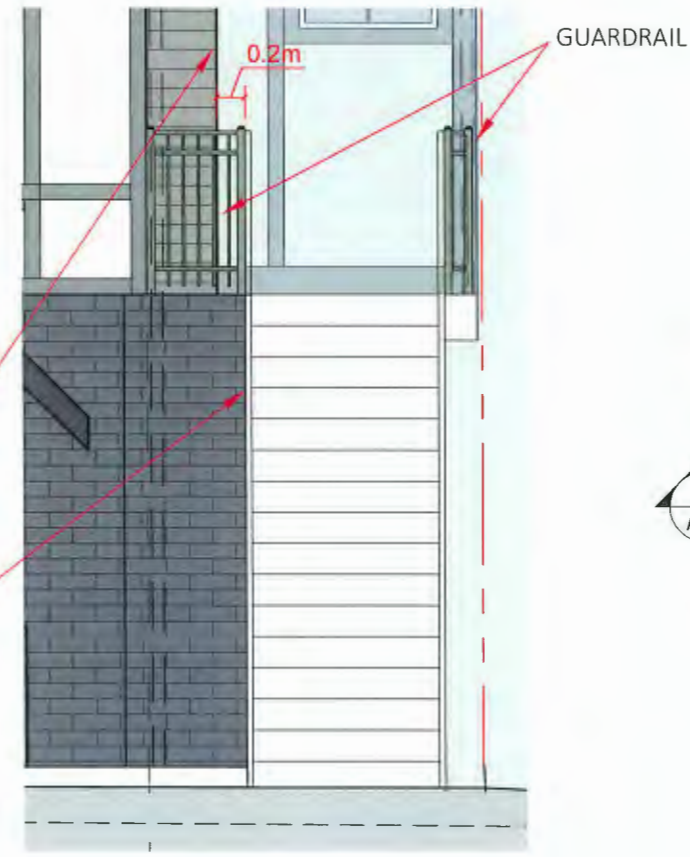
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MATERIAL BOARD PLAN

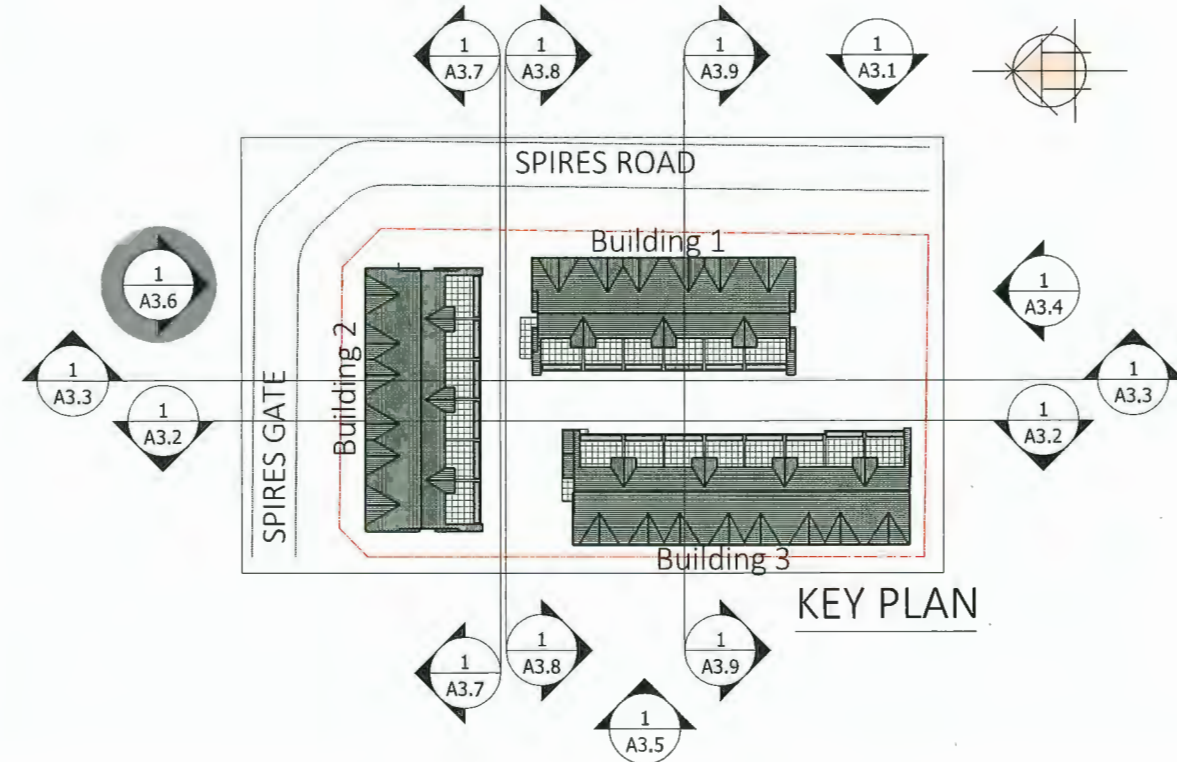
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POSITION OF PODIUM (LVL-2) WALL

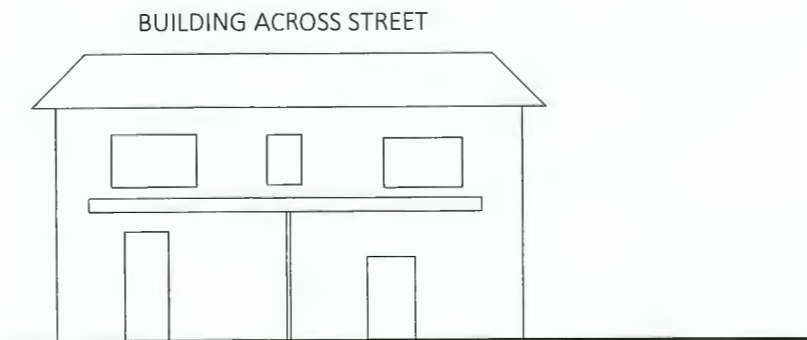
POSITION OF LVL- 1 WALL



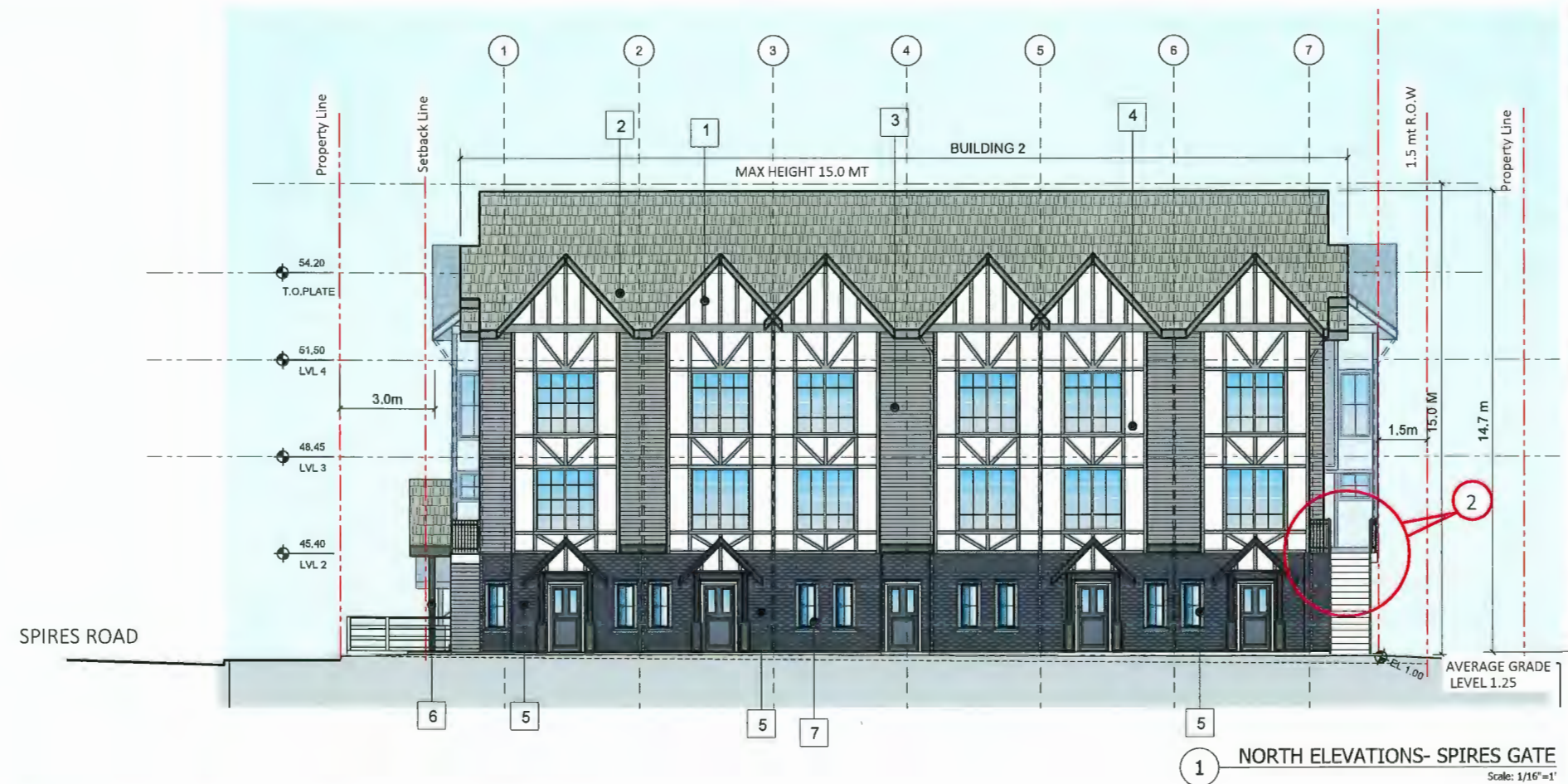
2 DETAIL- wall near exit stair C
Scale: 1/4"=1'



KEY PLAN



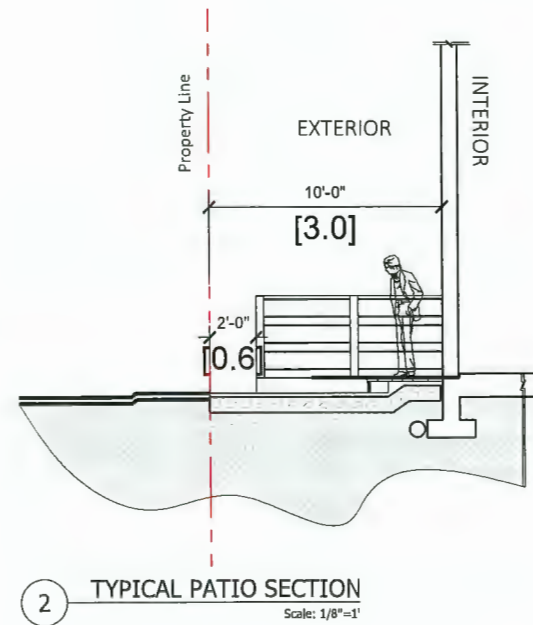
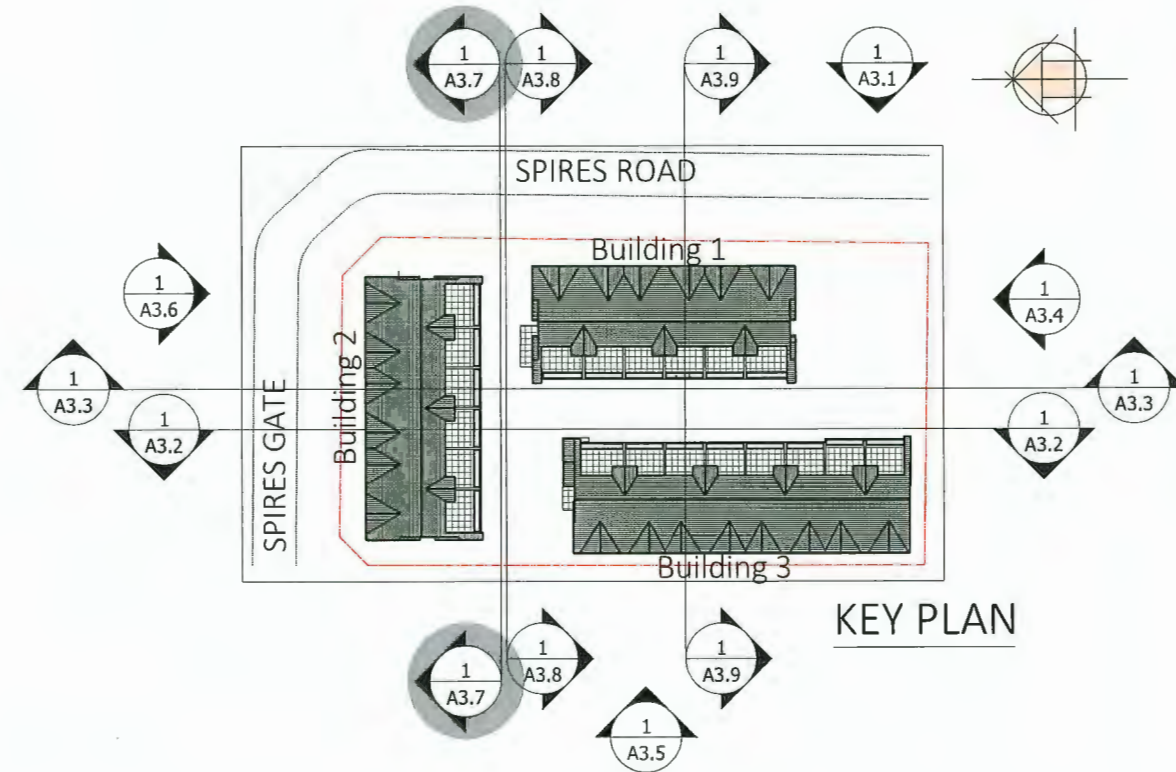
BUILDING ACROSS STREET



1 NORTH ELEVATIONS- SPIRES GATE
Scale: 1/16"=1'

| REV | DESCRIPTION | BY | DATE |
|-----|---------------|-----|----------|
| 1. | Issued For DP | R.W | 02/08/23 |

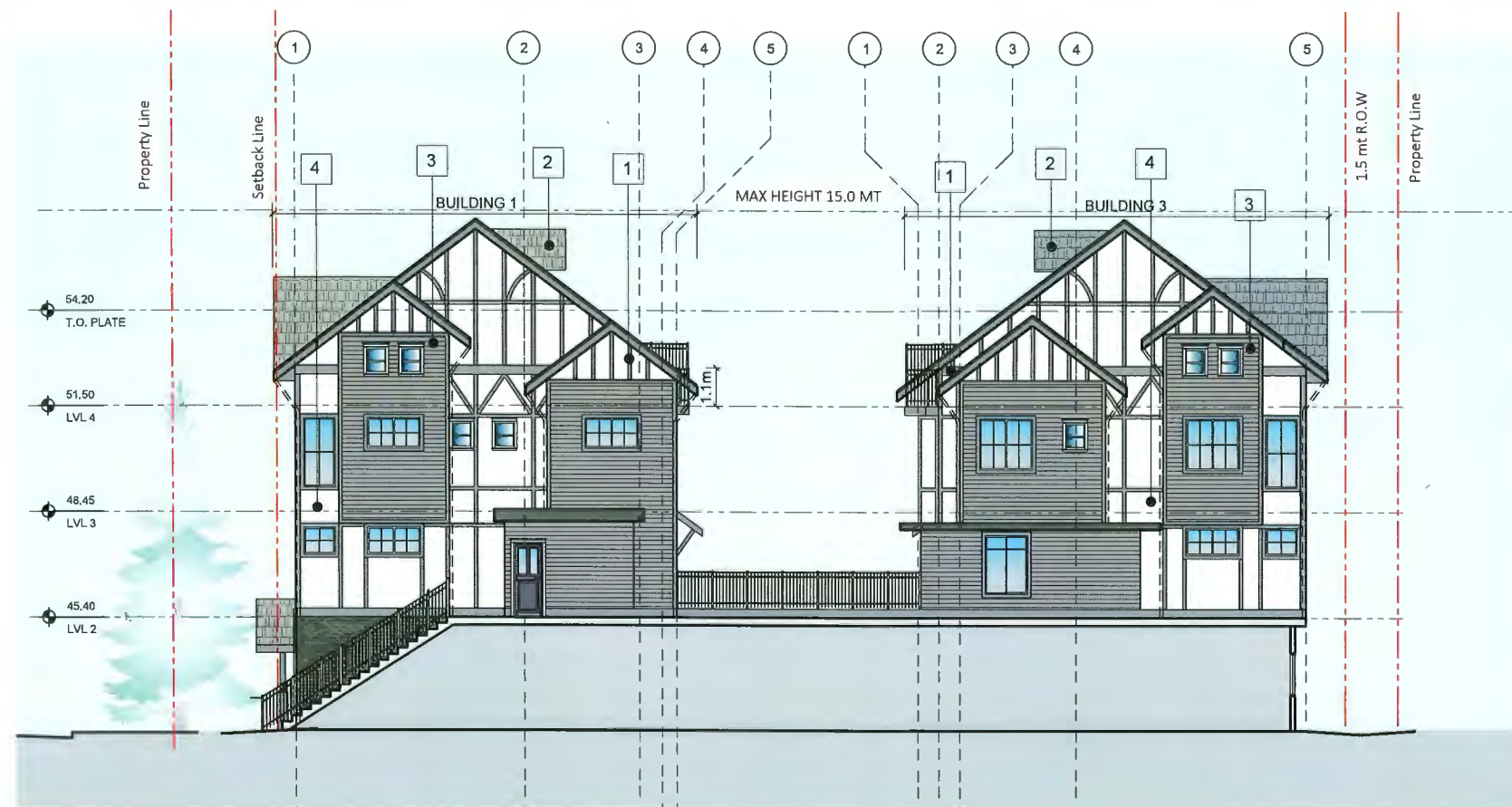
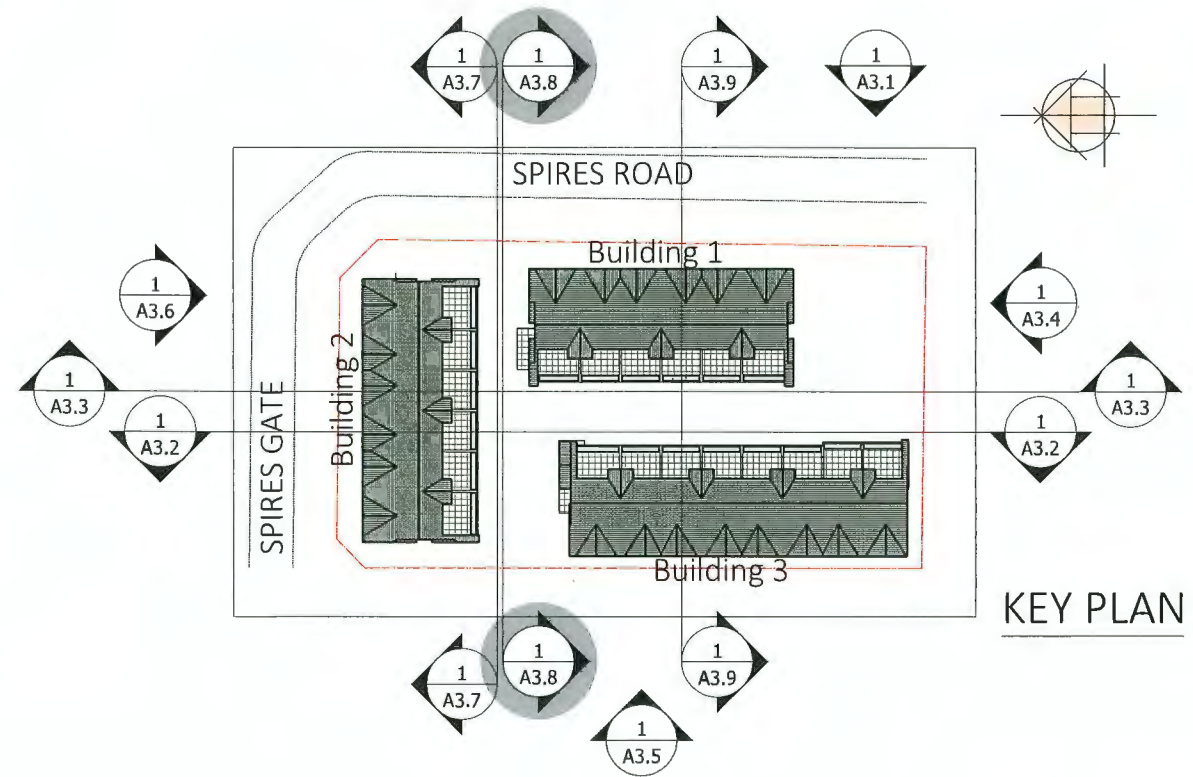
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MATERIAL BOARD PLAN

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1 North Elevation
Scale: 1/16" = 1'



FLAT!
ARCHITECTURE

Unit 209- 6321 King George Blvd
Surrey BC, V3X 1G1
www.flatarchitecture.ca
contact@flatarchitecture.ca

Ph: 604-503-4484

PROJECT INFO:
Townhouse Development at 8951,
8971 Spires Rd., 8991 Spires Gate,
Richmond, BC
CLIENT:
Juliana

DATE
23-Feb-23

PROJECT NO:
17-127

SCALE: As Noted
DRAWN BY: R.W

| REV | DESCRIPTION | DATE | BY |
|-----|---------------|----------|-----|
| 1. | Issued For DP | 02/08/22 | R.W |

NORTH ELEVATIONS

A3.8



1 VIEW FROM SPIRES RD
Scale: N.T.S.

PROJECT INFO:
Townhouse Development at 8951,
8971 Spires Rd., 8991 Spires Gate,
Richmond, BC
CLIENT:
Juliana

DATE
23-Feb-23

PROJECT NO:
17-127

SCALE: As Noted
DRAWN BY: R.W

| REV | DESCRIPTION | BY | DATE |
|-----|---------------|-----|----------|
| 1. | Issued For DP | R.W | 02/08/23 |
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3D VIEW

A4.1



1 VIEW FROM CORNER OF SPIRES GATE AND SPIRES RD
Scale: N.T.S.

PROJECT INFO:
Townhouse Development at 8951,
8971 Spires Rd., 8991 Spires Gate,
Richmond, BC
CLIENT:
Juliana

DATE
23-Feb-23

PROJECT NO:
17-127

SCALE: DRAWN BY:
As Noted R.W

| REV | DESCRIPTION | BY | DATE |
|-----|---------------|-----|----------|
| 1. | Issued For DP | R.W | 02/08/23 |

3D VIEW

A4.2



DP 21-932383

Plan #45

April 20, 2023

1 VIEW FROM PODIUM
Scale: N.T.S.



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ARCHITECTURE

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PROJECT INFO:
Townhouse Development at 8951,
8971 Spires Rd., 8991 Spires Gate,
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CLIENT:
Juliana

DATE
23-Feb-23

PROJECT NO:
17-127

SCALE: As Noted
DRAWN BY: R.W

| REV | DESCRIPTION | BY | DATE |
|-----|---------------|-----|----------|
| 1. | Issued For DP | R.W | 02/06/23 |
| | | | |
| | | | |
| | | | |

3D VIEW

A4.3



1 VIEW FROM NORTHWEST CORNER
Scale: N.T.S.



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ARCHITECTURE

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Ph: 604-503-4484

PROJECT INFO:
Townhouse Development at 8951,
8971 Spire Rd., 8991 Spire Gate,
Richmond, BC
CLIENT:
Juliana

DATE
23-Feb-23

PROJECT NO:
17-127

SCALE: DRAWN BY:
As Noted R.W

| REV | DESCRIPTION | BY | DATE |
|-----|---------------|-----|----------|
| 1. | Issued For DP | R.W | 02/08/23 |

3D VIEW

A4.4