



To: Development Permit Panel
From: Holger Burke
Acting Director of Development
Date: November 18, 2005
File: DP 05-293524
Re: **Application by Lawrence Doyle Architect Inc. for a Development Permit at 7360 Elmbridge Way**

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of 3 high rise residential towers with approximately 310 dwelling units, including 12 townhouses, with a 3 storey parkade, at 7360 Elmbridge Way on a site zoned Downtown Commercial District (C7); and
2. Vary the provisions of the Zoning and Development Bylaw No. 5300 to:
 - a) permit 63 parking spaces in tandem (126 total parking spaces);
 - b) reduce the manoeuvring aisle width from 7.5 m to 6.7 m; and
 - c) Increase the maximum height (of the elevator penthouse only) from 45 m to 45.5 m.

Holger Burke
Acting Director of Development

HB:ca
Att.

Staff Report

Origin

Lawrence Doyle Architect Inc. has applied to the City of Richmond for permission to develop 3 high rise residential towers with approximately 310 dwelling units, including 12 townhouses, with a 3-storey parkade with 530 parking spaces at 7360 Elmbridge Way. The site is zoned "Downtown Commercial District (C7)" and is currently vacant.

Development Information

Please refer to attached Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the north, Elmbridge Way and light industrial/retail uses zoned Limited Industrial Retail District (I4);
- To the east, existing residential tower and existing hotel zoned Downtown Commercial District (C7);
- To the south, proposed 3 tower residential development (Cressey) under DP 04- 287631 zoned Downtown Commercial District (C7) which has been approved by the Development Permit Panel but not issued by Council; and
- To the west, vacant site and existing hotel/residential suites across Alderbridge Way zoned Downtown Commercial District .

Rezoning and Public Hearing Results

This site did not require rezoning as the Downtown Commercial District (C7) zoning was already in place.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the Schedule 1: Section 9.2 General Guidelines and Section 9.3 Multiple-Family Residential Development Permit Guidelines; and Schedule 2, Section 2.10 City Centre Area Plan except for the zoning variances noted below.

Zoning Compliance/Variations (staff comments in **bold**)

The applicant requests to vary the provisions of the Zoning and Development Bylaw No. 5300 to:

- 1) permit 63 parking in tandem (126 total parking stalls);

(Staff support the proposed variance. Similar variance has been proposed for the residential development to the south (DP 04-287631). The tandem arrangement allows for a more efficient use of space and avoids a variance of the number of parking spaces. The project provides three (3) spaces above the Parking Bylaw requirement. The proposed variance has been reviewed and approved by the City's Transportation Department).

- 2) reduce the manoeuvring aisle width from 7.5 m to 6.7 m

(Staff support this request. A similar variance has been proposed for the residential development to the south (DP 04-287631) and granted elsewhere in the City. The reduction in manoeuvring aisle width does not negatively impact the project and allows for more efficient paving layout. The Transportation Department has reviewed the plans and supports this request).

- 3) Increase the maximum height (of the elevator penthouse only) from 45 m to 45.5 m

(Staff supports the proposed height variance. Only the elevator penthouse projects beyond the maximum permitted height to accommodate the mechanical equipment. The 0.5 m height variance will not have a negative impact on the adjacent development. The building is still well within the 47 m (based on geodetic datum) height allowed by Transport Canada for buildings under the flight path. Transport Canada has been notified of the variance and does not object.)

Advisory Design Panel Comments

The Advisory Design Panel was June 8, 2005. A copy of the relevant excerpt from the Advisory Design Panel Minutes is attached for reference (**Attachment 2**). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '**bold italics**'.

Analysis

Conditions of Adjacency

- The proposed siting of the towers has taken into consideration the impacts of the developments on the adjacent sites. In general, separations of a minimum of 24 m between towers have been provided for all the towers on the site, existing development to the east (7380 Elmbridge Way) and the proposed development to the south at 7371 Westminster Highway (DP 04-287631).
- In addition, the placement of two of the three proposed towers along Elmbridge Way and Alderbridge Way minimizes shadowing on the podium open space of the existing residential tower located at 7380 Elmbridge Way so as to minimize the impact on the liveability for the existing residents at 7380 Elmbridge Way.
- The developer of this development is cooperating with the developer of the proposed development across the lane to the south (at 7371 Westminster Highway) to create a "mews" character for the lane shared by both developments. The "mews" will be designed to have a minimum 7.4 m wide driving surface with sidewalks and street trees to create a very pleasant vehicle and pedestrian entrance along the lane. The existing neighbouring sites to the east will continue to enjoy pedestrian access along the lane. No vehicular access is permitted beyond the eastern boundary of these sites.
- The applicant has proposed a 0 m setback for the parking podium along the east side. The proposed parkade abuts the existing parkade of 7380 Elmbridge Way to minimize the creation of awkward interface with blank façade. A green wall (trellis with vines) is

proposed to be installed on the small portion of exposed parkade wall visible from the driveway of 7380 Elmbridge Way to make the façade more appealing.

- A parking lane will be created along Alderbridge Way to provide additional on street parking and to accommodate loading of large trucks from time to time. The sidewalk and boulevard will be secured as a Public-Rights-of-Passage Right-of-Way as part of the Servicing Agreement process.

Urban Design and Site Planning

- Tower A is located at the south east corner of Alderbridge Way and Elmbridge Way with its lobby fronting Elmbridge Way. Tower B fronts onto Elmbridge Way and is set back approximately 24.25 m from the existing tower at 7380 Elmbridge Way. Tower C faces south and fronts onto the land (mews) and is approximately 26.5 m from nearest residential tower proposed on 7371 Westminster Highway.
- Residential townhouses with individual street access are located along Elmbridge Way, Alderbridge Way and most of the mews to provide street animation and pedestrian friendly interface with the streets, as well as disguise the three-storey parkade behind.
- The site is affected by Airport Noise Contours. The development will be required to register a covenant to disclose noise restrictions and to engage an acoustical consultant to determine suitable construction details to address Section 9.2.5.B Noise Mitigation of the Development Permit Design Guidelines as part of Building Permit application.
- There is an existing row of street trees along Alderbridge Way which may be affected when the developer constructs the layby lane which would provide additional on-street parking and accommodate loading of large trucks. The applicant will work with the City to retain, relocate or replace these trees as part of the Servicing Agreement process.
- The applicant has committed to incorporate enhanced accessibility measures such as solid blocking behind walls for railings, wider hallways, etc., to all the units in response to Section 9.3.15 (Equitable Access) of the General Development Permit Design Guidelines to facilitate aging in place. Some of the unit types, such as 07, can be easily converted to be fully wheelchair accessible with minimum alterations to provide at least three fully accessible units.
- The proposed development meets the parking requirement. It provides 530 parking stalls (3 more than the required 527 spaces) including 126 spaces provided in tandem arrangement, 10 handicap accessible spaces and 65 visitor's parking spaces. The vehicular entrance is off the lane (mews) south of the site.
- The applicant proposes 266 bicycle parking/storage spaces, in support of the sustainable living principles promoted by this development to encourage alternate mode of transportation.
- Loading for SU-9 vehicles is accommodated in a layby along the lane. The proposed layby on Alderbridge Way will accommodate large semi-trailer moving trucks from time to time as required. The sidewalk and boulevard will be provided on the development site secured by a Public-Right-of-Passage (PROP) to be registered on title.
- The applicant has provided garbage and recycling facilities conveniently located adjacent to the lane in accordance with staff recommendation including garbage compactor, recycling carts and garbage dumpsters. In addition, the garbage/recycling room is equipped with an overhead door to the lane adjacent to the loading layby to facility garbage/recycling pick-up on collection day.
- The developer has committed to contribute \$175,273 or art projects of equivalent value toward the development of a Public Art project on-site. The applicant is currently working with staff to discuss Public Art project location, theme and selection process.

- Depending on market conditions, the proposed development may be constructed in two phases with Tower C as Phase 1 and Towers A and B being Phase 2.

Architectural Form and Character

- The massing and height of the building are generally in compliance with the applicable design guidelines.
- Applicant provided shadow diagrams (See Reference Plan A. 1.4) for the site and has satisfactorily demonstrated that the buildings are sited to minimize sun and shade impact on the surrounding developments.
- The proposed material, massing and character of the building are complimentary to the existing surrounding buildings.
- The proposed architectural materials included concrete with acrylic finish in combination with architectural reveals where applicable, aluminium framed double-glazed windows, aluminium guardrails and glass railings, and a limited use of spandrel glass.

Landscape Design and Open Space Design

- The lane will be designed cooperatively with the proposed development to the south as part of the Servicing Agreement process to create a mews like entry for vehicular access, with grassed boulevard, street trees, sidewalk, and additional planting in the individual fenced yards leading to the stacked townhouse units.
- The Servicing Agreement will include provisions to ensure that the developers and the strata corporation will be responsible for the maintenance of the “lane” (right-of-way) as part of the Right-of-Way Agreement.
- Special paving and a landscaped island has been incorporated into shared cul-de-sac at the end of the lane that serves as the principle vehicular entrance to the parkade for this project and 7371 Westminster Highway to the south.
- Street trees and grass boulevards are proposed along Elmbridge Way, Alderbridge Way and the lane. Special paving is proposed at the Elmbridge Way and Alderbridge Way corner, as well as at Alderbridge Way and the lane to mark the pedestrian crossing to improve safety.
- Green roofs (planted for aesthetic reasons and to retain and detain stormwater) are incorporated on the roofs of the stacked townhouse units. These portions of the roof are not accessible for “common use” by all residents to protect the privacy of the townhouse residents.
- The roof podium is fully landscaped to provide a variety of outdoor amenities including a outdoor pool and associated pool deck, lawn and gardens areas for different activities from active play/sport court, putting green, sun tanning lawn to gardens for quiet contemplation. A lounge garden as well as a dedicated children’s play area with play equipment and seating for adult supervision are provided in association with the centrally located common lounge for use by all residents.
- Indoor amenities include change rooms for the pool, lounge, media room and exercise room are provided on the podium level (4th floor) of Tower C for the use of all residents. In addition, one small amenity room is provided on the podium level of Tower A and B for the residents of those towers.
- The east side of the roof podium is heavily landscaped with trees and shrubs to provide privacy screening and separation from the existing landscaped podium roof of 7380 Elmbridge Way.

- The site was used as a temporary parking lot did not have any trees on the site. The applicant is proposing approximately 159 trees and significant number of shrubs, ground covers, vines, grasses, perennials and annuals in the landscape plan.
- The applicant will incorporate lighting into the landscape design to ensure adequate level of lighting for safety of use at night. Electrical drawings will be submitted as part of the Building Permit to incorporate the outdoor lighting into the outdoor landscaped areas.

Crime Prevention Through Environmental Design

- The applicant has committed to incorporating Crime Prevention Through Environment Design (CPTED) measures in the working Building Permit drawings to ensure safety. Measures include, but are not limited to:
 - Separating the residents' and the visitors' parking areas by installing overhead gates, ensure adequate surveillance, lighting, etc. in the parkade to encourage safety and to deter crime.
 - Locating mailboxes in plain view of the lobbies to increase natural surveillance.
 - Ensuring that the parkade is well-lit and minimizing opportunities for concealment by incorporating glazing in elevator and stair exit doors.

Utilities and Servicing

- The developer has submitted capacity analysis requested by the City Engineering Department. Staff are satisfied that there is sufficient technical information to determine capacity. The details of the required upgrading, if any, and the developer's costs will be resolved as part of the Servicing Agreement prior to the issuance of the Building Permit.

Conclusions

The proposed development has met the intent of the Official Community Plan (OCP) to create a highly liveable City Centre. Staff recommend approval of this Development Permit application.



Cecilia Achiam, MCIP, BCCLA
Urban Design Planner

CA:ca

Attachment 1: Development Application Data Sheet

Attachment 2: Advisory Design Panel Minutes and Applicant Responses

The following conditions are required to be met prior to forwarding this application to Council for approval:

- A Letter of Credit for landscaping will be required. The approximate value is \$584,255. The developer to contribute \$175,273, or Public Art of equivalent value to the development of a Public Art project on site.
- The applicant is to register a covenant on title for the disclosure that this site is impacted by the Noise Exposure Forecast Contours as noted in the City Centre Area Plan to the perspective purchasers.
- The applicant is to register on title the following Public Rights-of-Passage (P.R.O.P.) agreements:
 1. A minimum 6 m Public Rights-of-Passage (P.R.O.P.) Right-of-Way (R.O.W.) along the south edge. 6 m is the developer's portion of the lane; their site plan shows sidewalk plus a layby that will include additional P.R.O.P. including the cul-de-sac. North edge of R.O.W. to be at north edge of sidewalk. The Servicing Agreement will include provisions to ensure that the developers and the strata corporation will be responsible for the maintenance of the "lane" (right-of-way) as part of the Right-of-Way Agreement.

2. Approximately 2.5 m P.R.O.P. required along Alderbridge Way to accommodate layby plus possible additional corner cut - exact dimensions to be determined by the developer's Engineer.
- The applicant to discharge existing R.O.W. 's Plan 84477 (The City has no record of any utilities in this R.O.W. (LMP32531) and to register an agreement for a new lane R.O.W. to permit public access and utilities.

Prior to the Issuance of Building Permit:

- The applicant is to provide an acoustical report by a registered professional, qualified in acoustics, that the building design includes sufficient noise mitigation elements to ensure compliance with the standards set out in Section 5.4 Noise Management of the Richmond Official Community Plan (OCP).
- The developer is required to enter the City's standard Servicing Agreement for design and construction of all the noted off-site requirements as follows. Works include but are not limited to:
 1. Lane construction including roll curb and gutter, 1.5 m sidewalk, drainage and City Centre laneway lighting.
 2. Relocation of existing trees and street light on Alderbridge Way, via creation of layby, new 1.5 m boulevard and a new 1.5 m sidewalk; and
 3. Beautification frontage works on Elmbridge Way with 1.5 m sidewalk at property line, creation of grass and treed boulevard complete with City Centre street lighting.
 4. Any required servicing upgrades arising from the engineering capacity analysis.
 5. All works described in the Servicing Agreement are at the developer's sole cost (i.e. no Development Cost Charges (DCC) credit will be applicable).
- The applicant must submit a construction parking and traffic management plan to the Transportation Department to include: location for parking for services, deliveries and workers and loading, application for request for any lane closures (including dates, times, and duration), and proper construction traffic controls as per Traffic Control Manual for Works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
- The applicant to incorporate into the Building Permit drawings, enhanced accessibility features including the use of lever handles on all doors and faucets and backing blocks in the bathtubs in all the dwelling units in the high-rise tower including to facilitate mobility and aging in place.



City of Richmond

6911 No. 3 Road
 Richmond, BC V6Y 2C1
 (604) 276-4000

**Development Application
 Data Sheet**
 Development Applications Department

DP 05-293524

Attachment 1

Address: 7360 Elmbridge Way

Address: 7360 Elmbridge Way

Applicant: Lawrence Doyle Architect Inc. Owner: Onni Development (Elmbridge) Corp

Planning Area(s): 2.10 City Centre

Floor Area Gross: 28,990 m² Net: 27,138 m²

	Existing	Proposed
Site Area	9,064 m ²	9,046 m ²
Land Uses	Vacant	Multi-residential
OCP Designation	Mixed-use residential	Residential
Zoning:	C7	C7
Number of Units	0	310

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	3.0	3.0	None permitted
Lot Coverage:	Max. 90 %	23.3 % (excluding parking) 75% (including parking podium)	Complies
Setback – Front Yard (Elmbridge):	Min. 3 m	3.6 m (to bay window)	Complies
Setback – Side Yard (east):	Min. 0 m	12 m to tower 0 m to parking	Complies
Setback – Side Yard (west-Alderbridge Way):	Min. 3 m	6 m	Complies
Setback – Rear Yard (south-lane):	Min. 0 m	12.1 m	Complies (Note: lane is secured as a R.O.W., therefore no setback is required.)
Height (m):	Max. 45 m	45.5 m	Variance supported
Lot Size:	N/A	9,064 m ²	Complies

Off-street Parking Spaces – Resident/visitor	465 and 62	465 and 65	Complies
Off-street Parking Spaces – Accessible:	10	10	Complies
Off-street Parking Spaces – Total:	527	530	Complies
Tandem Parking Spaces:	N/a	126	Variance supported
Manoeuvring Aisle Width:	7.5 m	6.7m	Variance supported
Indoor Amenity Space:	100 m ²	670 m ²	Complies
Outdoor Amenity Space:	600 m ²	4020 m ²	Complies

**EXCERPT FROM THE MINUTES FROM
THE DESIGN PANEL MEETING**

Wednesday June 8, 2005 – 4:00 p.m.

Rm. M.1.003

RICHMOND CITY HALL

5. 3 High-rise Towers

Lawrence Doyle Architect
7360 Elmbridge Way
(Formal)

DP 05-293524

Ms. Cecilia Achiam reviewed the staff comments on the project, a copy of which are attached as Schedule 3 and form a part of these minutes.

Mr. Lawrence Doyle, architect, with the aid of a model and numerous display boards, reviewed the project.

Mr. Larry Diamond, landscape architect, reviewed the details of the landscape plan.

General questions put forth by the Panel included:

- the treatment of the wall along the lane. *A stainless steel growing system, with planters at the base for vines.*
- the conditions along Elmbridge Way. *Essential level grade and no pedestrian connection.*
- did low masonry walls separate the townhouses or just plants? *Plants and hedges.*
- the plant selection for the green roof. *Sedums and grasses.*

The comments of the Panel were as follows:

- very minor changes to the plan could provide for usable, accessible units. The scheme of the sidewalk edge of the building would be stronger if there was a hard element such as a low concrete/masonry wall edge. The relationship of the parking component next to Tower C was disjointed. The edge condition of how the tower engaged the parking component should be reviewed. Add rain protection of canopy that marked the buildings to the street.
- the character of the tops of the buildings had an opportunity to read stronger i.e. the spine element taken up to full height. The shape of the roof over the lounge space was somewhat foreign to the rest of the buildings – offered a chance for more consistency. The way the towers come down to intercept the podium worked well on the Elmbridge/Alderbridge corner but not so well on the other two towers – merge the two towers more significantly i.e. pull the horizontal elements across.
- the landscape at grade was solid. The elevation of the lane at the parkade was of concern – a vine would go a long way. The width of the curved façade was not of concern. The roof element could be articulated. The podium landscape was appreciated. The lounge area looked foreign – offered an opportunity for more fun.

- is there a way to green the blank concrete face facing east?
- keep the interior of the parkade well lit and bright.
- a great scheme from a landscape perspective. Provide a roof form that is more consistent with the building. Provide articulation between the public and private spaces. An opportunity existed for Public Art within the plaza space at the corner of Elmbridge and Alderbridge. The laneway could have a richer paving material to promote pedestrian friendliness. Introduce climbing elements on other portions of the wall. Provide lighting that is shielded from the street but provides adequate lighting in the parkade.

It was moved and seconded

That DP 05-293524 move forward subject to the following:

- design development to define a formal urban edge with landscape elements (e.g. low brick/concrete masonry wall) for the buildings at grade to delineate public and private realm. (fences & gates should be considered)
(Low walls and gates have been integrated).
- design development to the parkade on the lane to better integrate with the architectural expression of the buildings;
(Townhouse units have been added along the lane. The lanescape is similar to the streetscape.)
- design development to accentuate verticality by extending spine to the roof;
(The verticality of the buildings has been accentuated by architecturally strengthening a central vertical spine extending from the lobby entrance to the roof.)
- design development to roof form of the amenity building to compliment the architecture of the building;
(The roof of the amenity room (on parkade podium) has been redesigned to compliment the architecture of the building.)
- design development to strengthen the podium expression by extending horizontal elements/expression across the podium and incorporating the curved form of the building;
(The horizontality of the podium has been further developed, such as incorporating significant amount of floor to ceiling storefront type glazing, to read distinctly different from the vertical elements.)
- design development to further articulate the skyline and roof expression of the building;
(The applicant considered this comment and decided to maintain the “symmetry” of form to unify the three towers as opposed to creating different skylines. Staff is agreeable to this treatment.)
- design development to incorporate architectural articulation to eliminate the “blank” wall presentation to the existing neighbouring property to the east;
(Green trellis has been incorporated.)
- incorporate fully wheelchair accessible units into some of the units (consider ground floor units & corner units in the tower).
(Wheelchair accessible units and universal accessibility measures have been incorporated.)
- clarify green roof treatment on the town houses;
(The landscape plans have been revised to clarify the green roof treatment.)
- provide fence/wall detail separating the townhouse units;
(The landscape plans have been revised to include fence and wall details.)

- provide details of separation along the east wall adjacent to the existing residential tower on the podium level;

(Landscape planting is proposed to provide the visual and physical separation between the parkade podiums of the proposed development and the existing development to the east.)

- consider incorporating public art into the project particularly at the corner of Alderbridge and Elmbridge;

(The applicant is working with staff to locate public art. The developer will provide either a financial contribution or public art project as a condition of the development permit.)

- consider higher quality paving materials for the lane to create a “mews” expression; and

(The lane is being developed as a “mews” in cooperation with the development to the south.)

- incorporate lighting into the parkade.

(Lighting will be incorporated into the electrical plans as part of the Building Permit drawings.)

**CARRIED
Unanimous**



To the Holder: LAWRENCE DOYLE ARCHITECT INC.
Property Address: 7360 ELMBRIDGE WAY
Address: 200-1450 CREEKSIDE AVENUE
 VANCOUVER, BC
 V6J 5B3

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning and Development Bylaw No. 5300" is hereby varied to:
 1. permit 63 tandem spaces in tandem (126 total parking stalls);
 2. reduce the manoeuvring aisle width from 7.5 m to 6.7 m; and
 3. increase the maximum height (of the elevator penthouse only) from 45 m to 45.5 m
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #16 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required, including any necessary off-site servicing upgrades.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$584,255 to ensure that the landscaping of the development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 05-293524

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR

Development Permit
No. DP 05-293524

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

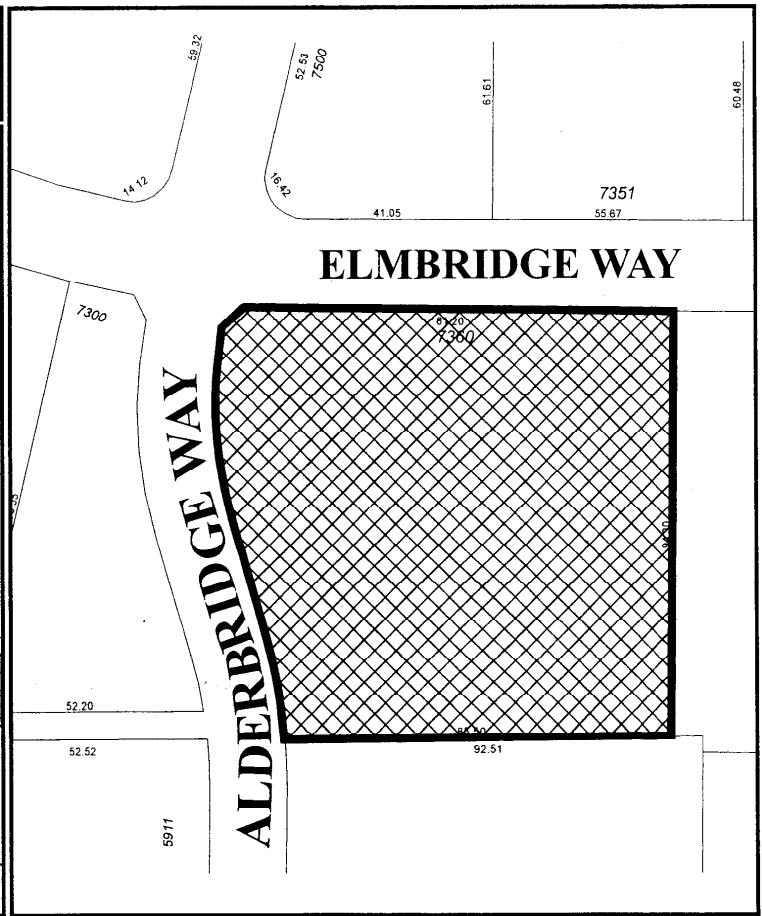
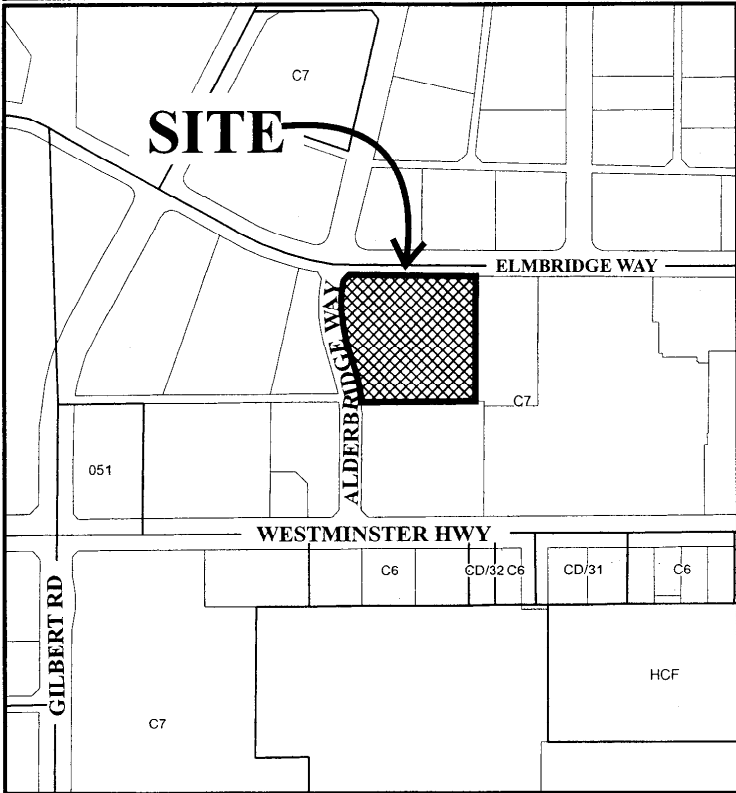
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond



DP 05-293524 SCHEDULE "A"

Original Date: 03/15/05

Revision Date:

Note: Dimensions are in METRES

ELMBRIDGE WAY DEVELOPMENT

Richmond, B.C.

DESIGN RATIONALE

DESIGN RATIONALE May 17/05

The site is located on the southeast corner of the intersection of Elmburgh Way and Richmond Road. The site is currently zoned R-1000 (Residential Single-Family) and is proposed to be rezoned to R-1000 (Residential Single-Family) to allow for the development of a residential development consisting of 12 townhomes. The site is bounded to the north by Richmond Road, to the east by Elmburgh Way, to the south by a residential lot, and to the west by a residential lot.

Notes:

1. The site is located on the southeast corner of the intersection of Elmburgh Way and Richmond Road. The site is currently zoned R-1000 (Residential Single-Family) and is proposed to be rezoned to R-1000 (Residential Single-Family) to allow for the development of a residential development consisting of 12 townhomes. The site is bounded to the north by Richmond Road, to the east by Elmburgh Way, to the south by a residential lot, and to the west by a residential lot.

LEGAL DESCRIPTION

LEGAL DESCRIPTION

LEGAL: LOTS 2, SECTION 8, BLOCK 4
RICHMOND (WEST SIDE)
PLAN (LAW/105)

CIVIC ADDRESS: 7360 ELMBRIDGE WAY
RICHMOND, B.C.

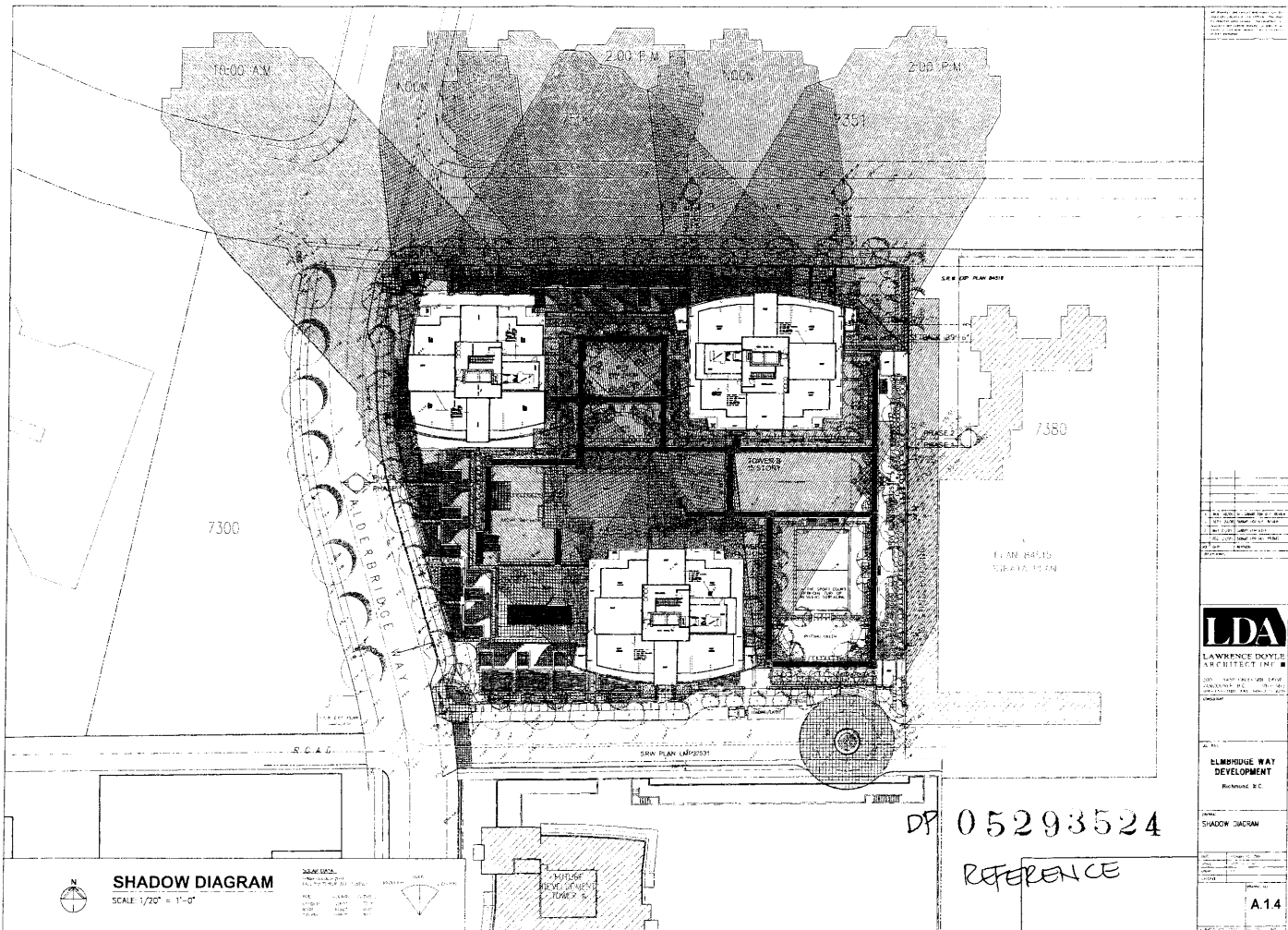
TOTAL SPREADSHEET: 87,314.67
F.A.R. 3.00
MAXIMUM AREA (F.A.R. 3.00) = 262,000.00

SUMMARY

Item #	DESCRIPTION	AREA (SQ. FT.)	PERCENTAGE	VALUE (\$)	PERCENTAGE	AREA (SQ. FT.)	PERCENTAGE	VALUE (\$)	PERCENTAGE
1	Site Area	87,314.67	100%	1,309,720.00	100%	87,314.67	100%	1,309,720.00	100%
2	Impervious Area	10,000.00	11.45%	150,000.00	11.45%	10,000.00	11.45%	150,000.00	11.45%
3	Permeable Area	77,314.67	88.55%	1,159,720.00	88.55%	77,314.67	88.55%	1,159,720.00	88.55%
4	Impervious Ratio	11.45%		150,000.00		11.45%		150,000.00	
5	Permeable Ratio	88.55%		1,159,720.00		88.55%		1,159,720.00	

USE	EXISTING	PROPOSED
RESIDENTIAL	0	12
COMMERCIAL	0	0
INDUSTRIAL	0	0
OFFICE	0	0
RETAIL	0	0
RESTAURANT	0	0
ENTERTAINMENT	0	0
RECREATION	0	0
OTHER	0	0
TOTAL	0	12

REQUIREMENT	EXISTING	PROPOSED	VARIANCE
FLOOR AREA RATIO	1.0	3.0	+2.0
LOT COVERAGE	10%	10%	0%
DENSITY (units/acre)	NA	138	+138
SETBACKS (Front)	NA	3.0m	+3.0m
SETBACKS (Side)	NA	3.0m	+3.0m
SETBACKS (Rear)	NA	3.0m	+3.0m
HEIGHT	NA	11.0m	+11.0m
SCREENING	NA	1.0m	+1.0m
SCREENING (Height)	NA	1.0m	+1.0m
SCREENING (Material)	NA	1.0m	+1.0m
SCREENING (Color)	NA	1.0m	+1.0m
SCREENING (Finish)	NA	1.0m	+1.0m
SCREENING (Maintenance)	NA	1.0m	+1.0m
SCREENING (Replacement)	NA	1.0m	+1.0m
SCREENING (Removal)	NA	1.0m	+1.0m
SCREENING (Installation)	NA	1.0m	+1.0m
SCREENING (Inspection)	NA	1.0m	+1.0m
SCREENING (Approval)	NA	1.0m	+1.0m
SCREENING (Permit)	NA	1.0m	+1.0m
SCREENING (Fees)	NA	1.0m	+1.0m
SCREENING (Timeline)	NA	1.0m	+1.0m
SCREENING (Compliance)	NA	1.0m	+1.0m
SCREENING (Enforcement)	NA	1.0m	+1.0m
SCREENING (Appeals)	NA	1.0m	+1.0m
SCREENING (Litigation)	NA	1.0m	+1.0m
SCREENING (Insurance)	NA	1.0m	+1.0m
SCREENING (Warranty)	NA	1.0m	+1.0m
SCREENING (Maintenance)	NA	1.0m	+1.0m
SCREENING (Replacement)	NA	1.0m	+1.0m
SCREENING (Removal)	NA	1.0m	+1.0m
SCREENING (Installation)	NA	1.0m	+1.0m
SCREENING (Inspection)	NA	1.0m	+1.0m
SCREENING (Approval)	NA	1.0m	+1.0m
SCREENING (Permit)	NA	1.0m	+1.0m
SCREENING (Fees)	NA	1.0m	+1.0m
SCREENING (Timeline)	NA	1.0m	+1.0m
SCREENING (Compliance)	NA	1.0m	+1.0m
SCREENING (Enforcement)	NA	1.0m	+1.0m
SCREENING (Appeals)	NA	1.0m	+1.0m
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SCREENING (Insurance)	NA	1.0m	+1.0m
SCREENING (Warranty)	NA	1.0m	+1.0m
SCREENING (Maintenance)	NA	1.0m	+1.0m
SCREENING (Replacement)	NA	1.0m	+1.0m
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SCREENING (Litigation)	NA	1.0m	+1.0m
SCREENING (Insurance)	NA	1.0m	+1.0m
SCREENING (Warranty)	NA	1.0m	+1.0m
SCREENING (Maintenance)	NA	1.0m	+1.0m
SCREENING (Replacement)	NA	1.0m	+1.0m
SCREENING (Removal)	NA	1.0m	+1.0m
SCREENING (Installation)	NA	1.0m	+1.0m
SCREENING (Inspection)	NA	1.0m	+1.0m
SCREENING (Approval)	NA	1.0m	+1.0m
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SCREENING (Enforcement)	NA	1.0m	+1.0m
SCREENING (Appeals)	NA	1.0m	+1.0m
SCREENING (Litigation)	NA	1.0m	+1.0m
SCREENING (Insurance)	NA	1.0m	+1.0m
SCREENING (Warranty)	NA	1.0m	+1.0m
SCREENING (Maintenance)	NA	1.0m	+1.0m
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SCREENING (Installation)	NA	1.0m	+1.0m
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SCREENING (Compliance)	NA	1.0m	+1.0m
SCREENING (Enforcement)	NA	1.0m	+1.0m
SCREENING (Appeals)	NA	1.0m	+1.0m
SCREENING (Litigation)	NA	1.0m	+1.0m
SCREENING (Insurance)	NA	1.0m	+1.0m
SCREENING (Warranty)	NA	1.0m	+1.0m
SCREENING (Maintenance)	NA	1.0m	+1.0m
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SCREENING (Enforcement)	NA	1.0m	+1.0m
SCREENING (Appeals)	NA	1.0m	+1.0m
SCREENING (Litigation)	NA	1.0m	+1.0m
SCREENING (Insurance)	NA	1.0m	+1.0m
SCREENING (Warranty)	NA	1.0m	+1.0m
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SCREENING (Appeals)	NA	1.0m	+1.0m
SCREENING (Litigation)	NA	1.0m	+1.0m
SCREENING (Insurance)	NA	1.0m	+1.0m
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SCREENING (Warranty)	NA	1.0m	+1.0m
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SCREENING (Enforcement)	NA	1.0m	+1.0m
SCREENING (Appeals)	NA	1.0m	+1.0m
SCREENING (Litigation)	NA	1.0m	+1.0m
SCREENING (Insurance)	NA	1.0m	+1.0m
SCREENING (Warranty)	NA	1.0m	+1.0m
SCREENING (Maintenance)	NA	1.0m	+1.0m
SCREENING (Replacement)	NA	1.0m	+1.0m
SCREENING (Removal)	NA	1.0m	+1.0m
SCREENING (Installation)	NA	1.0m	+1.0m
SCREENING (Inspection)	NA	1.0m	+1.0m
SCREENING (Approval)	NA	1.0m	+1.0m
SCREENING (Permit)	NA	1.0m	+1.0m
SCREENING (Fees)	NA	1.0m	+1.0m
SCREENING (Timeline)	NA	1.0m	+1.0m
SCREENING (Compliance)	NA	1.0m	+1.0m
SCREENING (Enforcement)	NA	1.0m	+1.0m
SCREENING (Appeals)	NA	1.0m	+1.0m
SCREENING (Litigation)	NA	1.0m	+1.0m
SCREENING (Insurance)	NA	1.0m	+1.0m
SCREENING (Warranty)	NA	1.0m	+1.0m
SCREENING (Maintenance)	NA	1.0m	+1.0m
SCREENING (Replacement)	NA	1.0m	+1.0m
SCREENING (Removal)	NA	1.0m	+1.0m
SCREENING (Installation)	NA	1.0m	+1.0m
SCREENING (Inspection)	NA	1.0m	+1.0m
SCREENING (Approval)	NA	1.0m	+1.0m
SCREENING (Permit)	NA	1.0m	+1.0m
SCREENING (Fees)	NA	1.0m	+1.0m
SCREENING (Timeline)	NA	1.0m	+1.0m
SCREENING (Compliance)	NA	1.0m	+1.0m
SCREENING (Enforcement)	NA	1.0m	+1.0m
SCREENING (Appeals)	NA	1.0m	+1.0m
SCREENING (Litigation)	NA	1.0m	



SHADOW DIAGRAM
SCALE 1/20" = 1'-0"

DATE	BY	REVISION
12/15/11	LD	ISSUED FOR PERMIT
12/15/11	LD	ISSUED FOR PERMIT
12/15/11	LD	ISSUED FOR PERMIT
12/15/11	LD	ISSUED FOR PERMIT

DP 05293524
REFERENCE

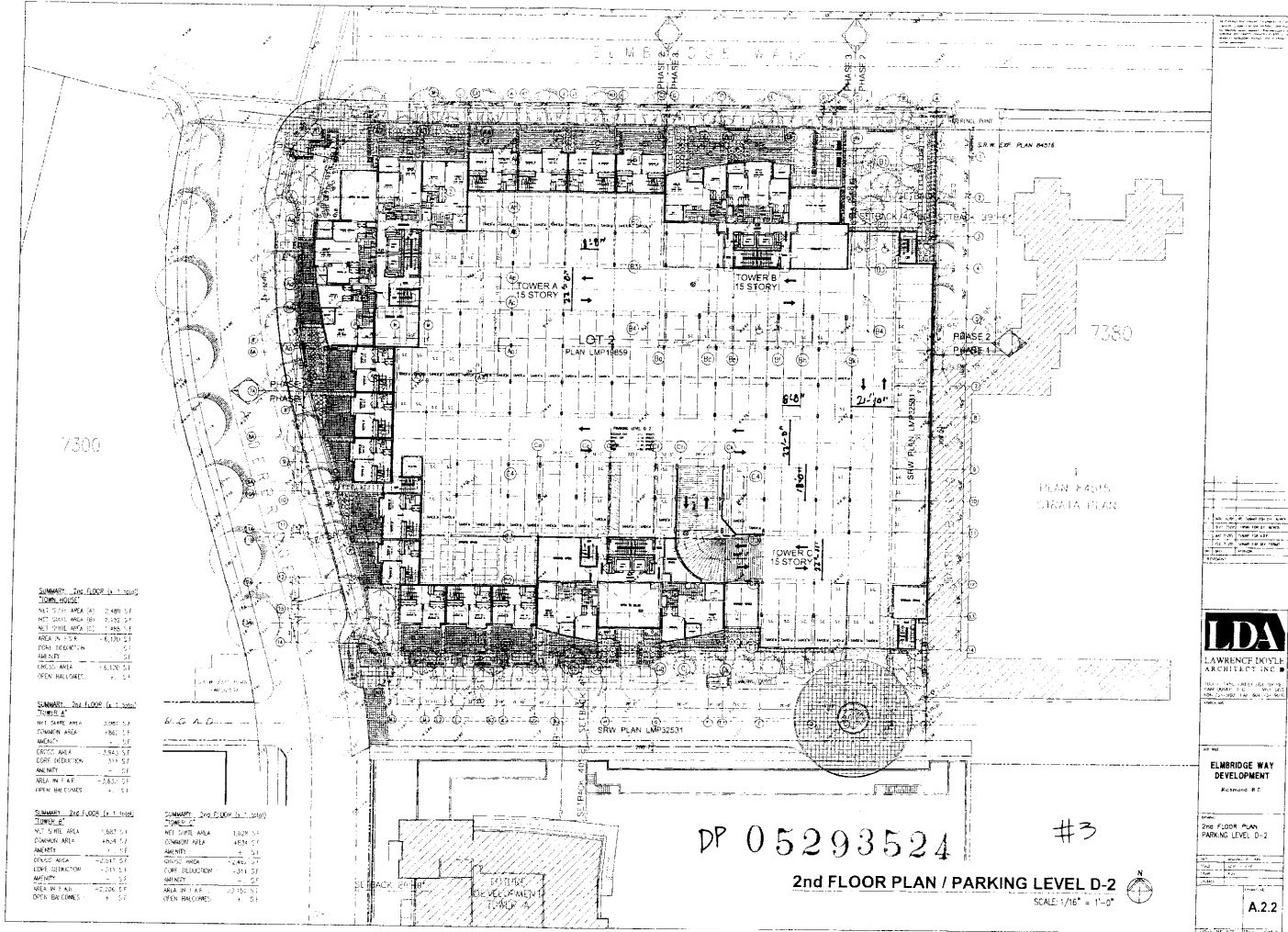


LDA
LAWRENCE DOYLE
ARCHITECT INC.

BLMHOUSE WAY
DEVELOPMENT
RICHMOND, B.C.

SHADOW DIAGRAM

A.14



SUMMARY - 2nd FLOOR (A - 15 STORIES)

TOWER A	
NET GROSS AREA	2,488 S.F.
NET GROSS AREA	2,432 S.F.
NET GROSS AREA	2,432 S.F.
AREA IN T.A.B.	2,432 S.F.
OPEN DECK/STAIR	5 S.F.
MECH.	5 S.F.
GRASS AREA	18,126 S.F.
OPEN BALCONY	4 S.F.

SUMMARY - 2nd FLOOR (B - 15 STORIES)

TOWER B	
NET GROSS AREA	2,488 S.F.
TOWER B AREA	1,800 S.F.
MECH.	5 S.F.
GRASS AREA	18,126 S.F.
OPEN DECK/STAIR	5 S.F.
MECH.	5 S.F.
AREA IN T.A.B.	2,432 S.F.
OPEN BALCONY	4 S.F.

SUMMARY - 2nd FLOOR (C - 15 STORIES)

TOWER C	
NET GROSS AREA	2,488 S.F.
TOWER C AREA	1,800 S.F.
MECH.	5 S.F.
GRASS AREA	18,126 S.F.
OPEN DECK/STAIR	5 S.F.
MECH.	5 S.F.
AREA IN T.A.B.	2,432 S.F.
OPEN BALCONY	4 S.F.

SUMMARY - 2nd FLOOR (D - 15 STORIES)

TOWER D	
NET GROSS AREA	2,488 S.F.
TOWER D AREA	1,800 S.F.
MECH.	5 S.F.
GRASS AREA	18,126 S.F.
OPEN DECK/STAIR	5 S.F.
MECH.	5 S.F.
AREA IN T.A.B.	2,432 S.F.
OPEN BALCONY	4 S.F.

DP 05293524 #3

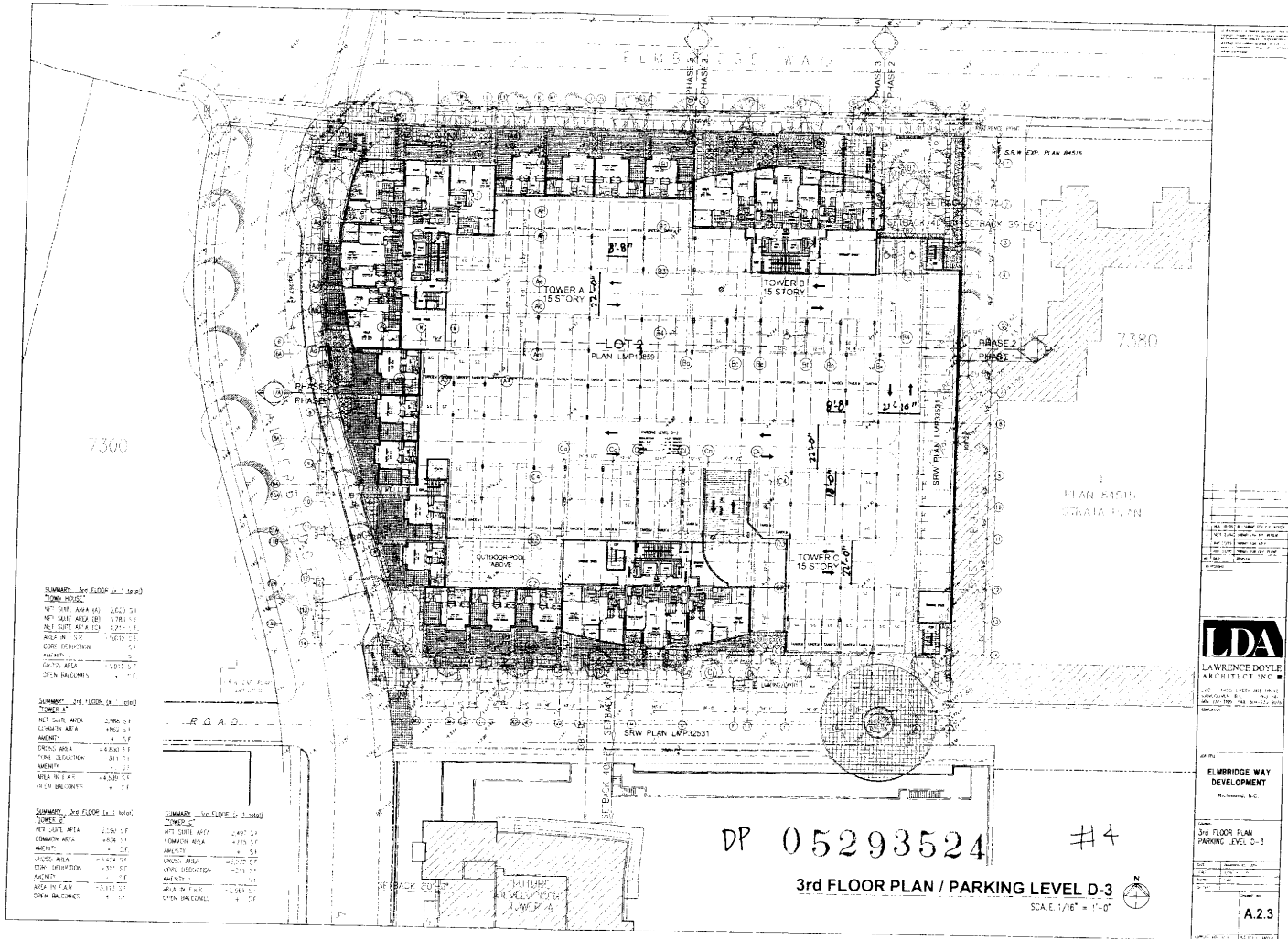
2nd FLOOR PLAN / PARKING LEVEL D-2
SCALE: 1/16" = 1'-0"

LDA
LAWRENCE DRYE ARCHITECT, INC.

ELBRIDGE WAY DEVELOPMENT
SHEET #2

2nd FLOOR PLAN
PARKING LEVEL D-2

A.22



SUMMARY - 3RD FLOOR (A, B, C) (1-2010)

NET GROSS AREA	2520.51
NET GROSS AREA (A)	1790.51
NET GROSS AREA (B)	1225.51
NET GROSS AREA (C)	504.50
CONC. FLOORING	1.0
MECHAN.	1.0
GRASS AREA	11,017.57
OPEN BALCONIES	1.0

SUMMARY - 3RD FLOOR (A, B, C) (1-2010)

NET GROSS AREA	2520.51
CONC. FLOORING	1.0
MECHAN.	1.0
GRASS AREA	11,017.57
OPEN BALCONIES	1.0

SUMMARY - 3RD FLOOR (A, B, C) (1-2010)

NET GROSS AREA	2520.51
CONC. FLOORING	1.0
MECHAN.	1.0
GRASS AREA	11,017.57
OPEN BALCONIES	1.0

SUMMARY - 3RD FLOOR (A, B, C) (1-2010)

NET GROSS AREA	2520.51
CONC. FLOORING	1.0
MECHAN.	1.0
GRASS AREA	11,017.57
OPEN BALCONIES	1.0

DP 05293524 #4

3rd FLOOR PLAN / PARKING LEVEL D-3

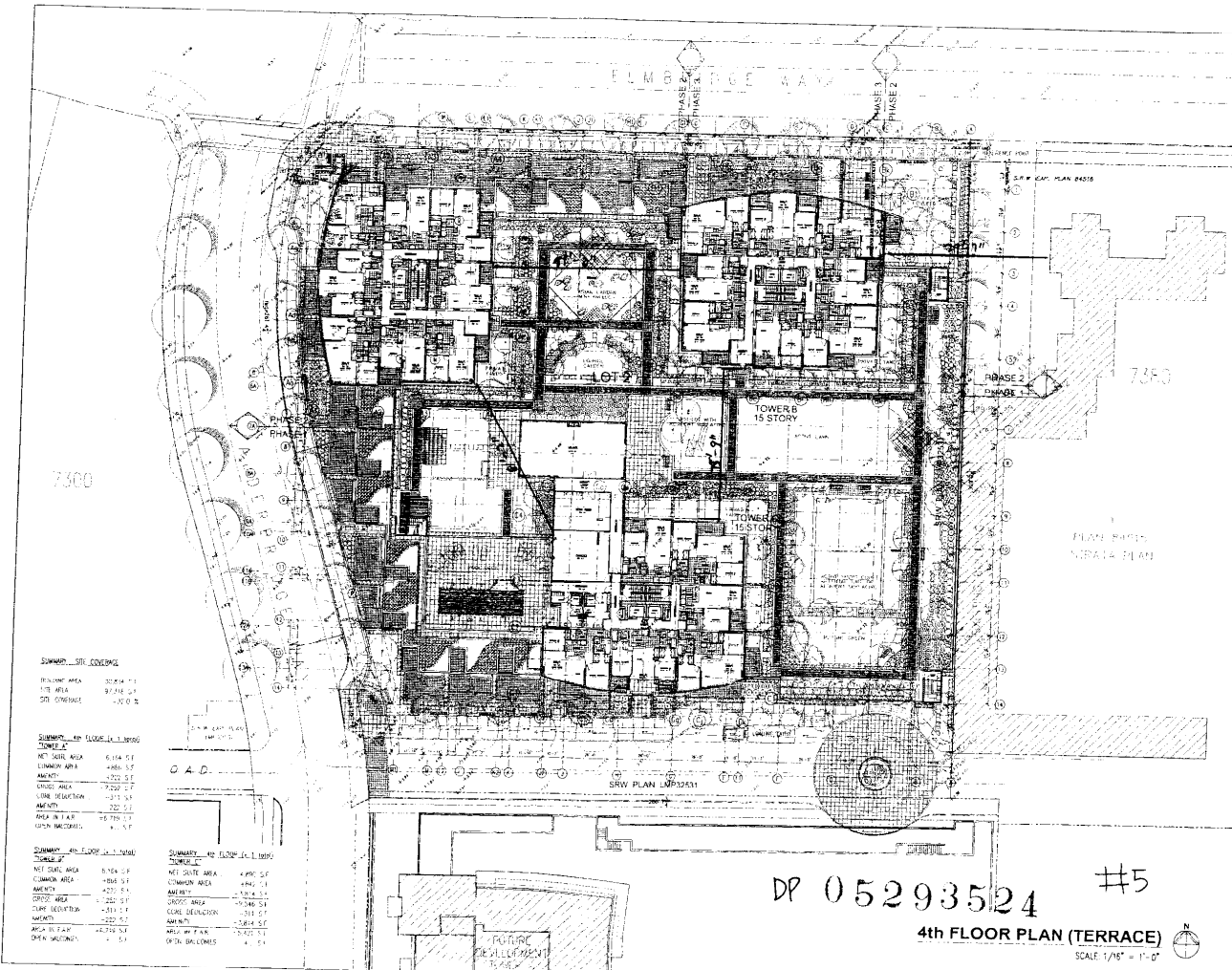
SCALE: 1/8" = 1'-0"



ELM BRIDGE WAY DEVELOPMENT
REVISION: B.C.

3RD FLOOR PLAN
PARKING LEVEL D-3

A.2.3



SUMMARY - 5TH FLOOR
 BUILDING AREA 33,814 S.F.
 178 UNITS 8,716 S.F.
 STAIR CORRIDORS 1,300 S.F.

SUMMARY - 4TH FLOOR (A, B, 10000)
 CORRIDOR 1,200 S.F.
 NET SUITE AREA 6,114 S.F.
 LUNAROV AREA 4,480 S.F.
 AMENITY 4,220 S.F.
 CLOSET AREA 7,220 S.F.
 CORE REDUCTION 2,111 S.F.
 AMENITY 200 S.F.
 AREA IN T.A.R. 10,770 S.F.
 OPEN BALCONIES 4,111 S.F.

SUMMARY - 4TH FLOOR (A, B, 10000)
 CORRIDOR 1,200 S.F.
 NET SUITE AREA 6,114 S.F.
 COMMON AREA 4,480 S.F.
 AMENITY 4,220 S.F.
 CLOSET AREA 7,220 S.F.
 CORE REDUCTION 2,111 S.F.
 AMENITY 200 S.F.
 AREA IN T.A.R. 10,770 S.F.
 OPEN BALCONIES 4,111 S.F.

SUMMARY - 4TH FLOOR (A, B, 10000)
 CORRIDOR 1,200 S.F.
 NET SUITE AREA 6,114 S.F.
 COMMON AREA 4,480 S.F.
 AMENITY 4,220 S.F.
 CLOSET AREA 7,220 S.F.
 CORE REDUCTION 2,111 S.F.
 AMENITY 200 S.F.
 AREA IN T.A.R. 10,770 S.F.
 OPEN BALCONIES 4,111 S.F.

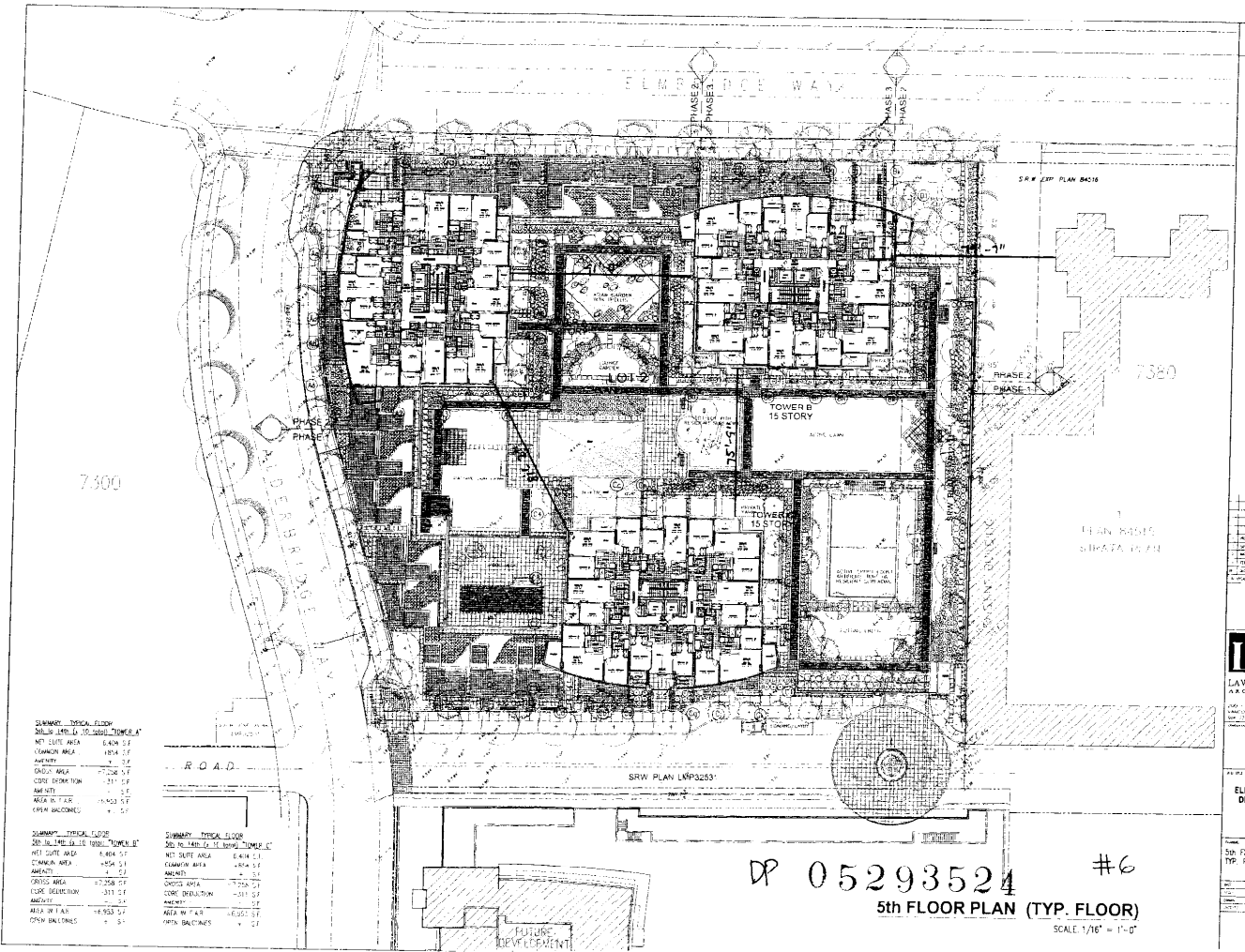
DP 05293524 #5

4th FLOOR PLAN (TERRACE)
 SCALE 1/8" = 1'-0"



ELMBRIDGE WAY DEVELOPMENT
 PHASE 2, B.C.

4th FLOOR PLAN
 A.2.4



SUMMARY - TYPICAL FLOOR
 NET SUITE AREA 6,424 S.F.
 NET SUITE AREA 6,424 S.F.
 CLERK AREA 454 S.F.
 AMENITY 2 S.F.
 CORE AREA 7,728 S.F.
 CORE STRUCTURE 311 S.F.
 AREA IN TOWER 11 S.F.
 AREA IN TOWER 11,523 S.F.
 OPEN BALCONIES 4 S.F.

SUMMARY - TYPICAL FLOOR
 NET SUITE AREA 6,424 S.F.
 NET SUITE AREA 6,424 S.F.
 CLERK AREA 454 S.F.
 AMENITY 2 S.F.
 CORE AREA 7,728 S.F.
 CORE STRUCTURE 311 S.F.
 AREA IN TOWER 11 S.F.
 AREA IN TOWER 11,523 S.F.
 OPEN BALCONIES 4 S.F.

SUMMARY - TYPICAL FLOOR
 NET SUITE AREA 6,424 S.F.
 NET SUITE AREA 6,424 S.F.
 CLERK AREA 454 S.F.
 AMENITY 2 S.F.
 CORE AREA 7,728 S.F.
 CORE STRUCTURE 311 S.F.
 AREA IN TOWER 11 S.F.
 AREA IN TOWER 11,523 S.F.
 OPEN BALCONIES 4 S.F.

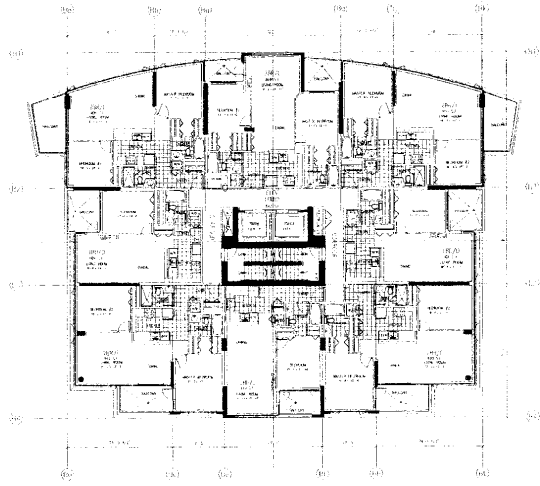
DP 05293524 #6
5th FLOOR PLAN (TYP. FLOOR)
 SCALE 1/16" = 1'-0"

LDA
 LAWRENCE DOYLE
 ARCHITECT INC.

**ELMIDGE WAY
 DEVELOPMENT**
 RICHMOND, B.C.

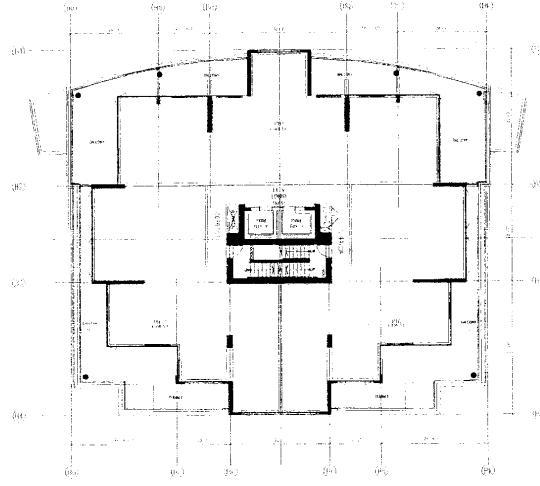
5th FLOOR PLAN
 TYP. FLOOR

A.2.5



GRAND	1000
NET GROSS AREA	65,000
COMMON AREA	10,000
AMENITY	2,000
GALE AREA	1,000
LOBBY RECEPTION	1,000
MEETING	1,000
CONFERENCE	1,000
RECEPTION	1,000

TYPICAL FLOOR PLAN
5th-14th FLOOR PLANS (10x Total)
 SCALE 1/8" = 1'-0"



GRAND	1000
NET GROSS AREA	10,000
COMMON AREA	1,000
AMENITY	1,000
GALE AREA	1,000
LOBBY RECEPTION	1,000
MEETING	1,000
CONFERENCE	1,000
RECEPTION	1,000

PENTHOUSE FLOOR PLAN
15th FLOOR PLANS (1x Total)
 SCALE 1/8" = 1'-0"

DP 05293524

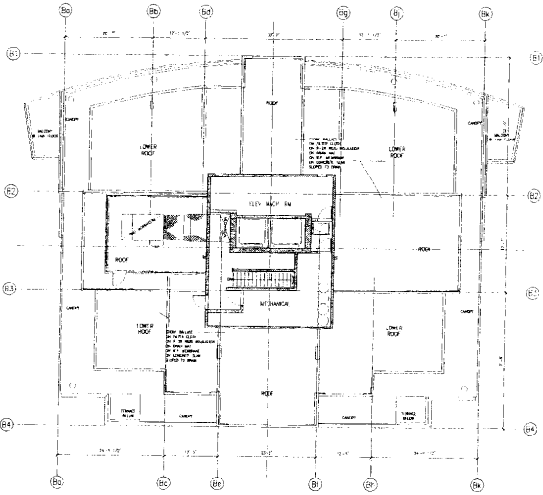
REFERENCE

LDA
 LAWRENCE DOYLE ARCHITECT INC.

PROJECT: ELBRIDGE WAY DEVELOPMENT
 SHEET: A.3.2

DATE: 05/29/24

SCALE: 1/8" = 1'-0"



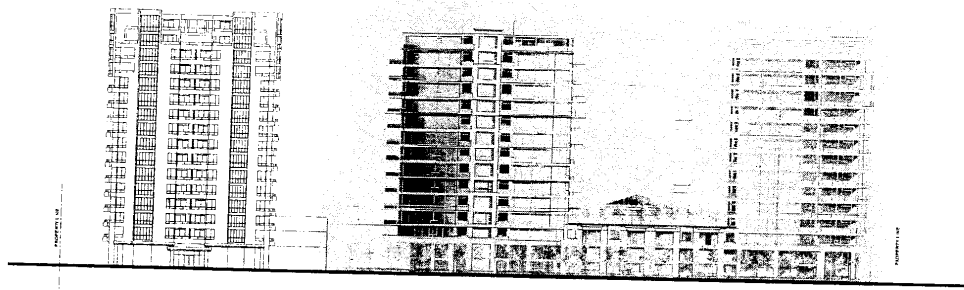
ROOF PLAN
SCALE: 1/8" = 1'-0"

MACH. ROOM ROOF PLAN
SCALE: 1/8" = 1'-0"

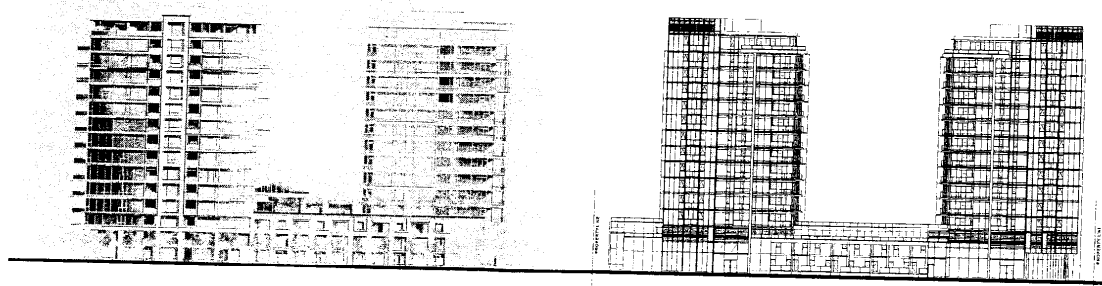
DP 05293524

REFERENCE

<p>LDA LAWRENCE DOYLE ARCHITECT INC.</p> <p>200 N. LINDEN ST. SUITE 200 RICHMOND, VA 23260 TEL: 804.771.1111 WWW.LDA-VA.COM</p>	
<p>ELBRIDGE WAY DEVELOPMENT Richmond, B.C.</p>	
<p>PROJECT: ROOF PLAN AND MACH. ROOM ROOF PLAN</p>	<p>DATE: 10/12/11</p>
<p>SCALE: 1/8" = 1'-0"</p>	<p>NO. 10</p>
<p>A.3.3</p>	



NORTH CONTEXT ELEVATION
SCALE: 1" = 20'-0"

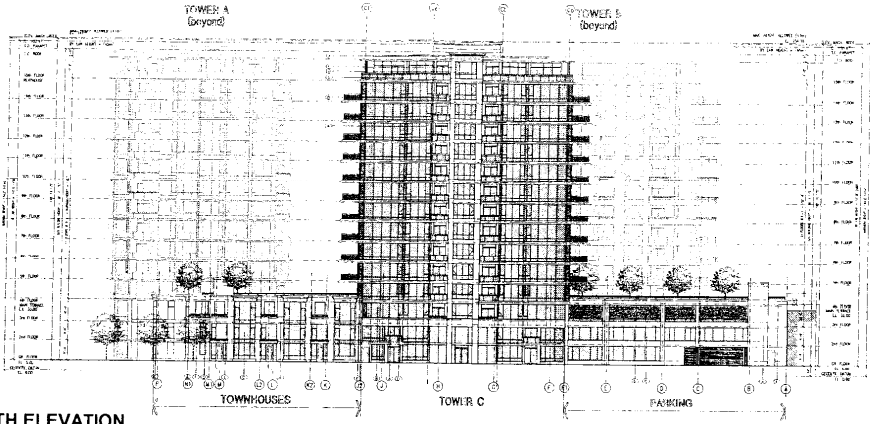


WEST CONTEXT ELEVATION
SCALE: 1" = 20'-0"

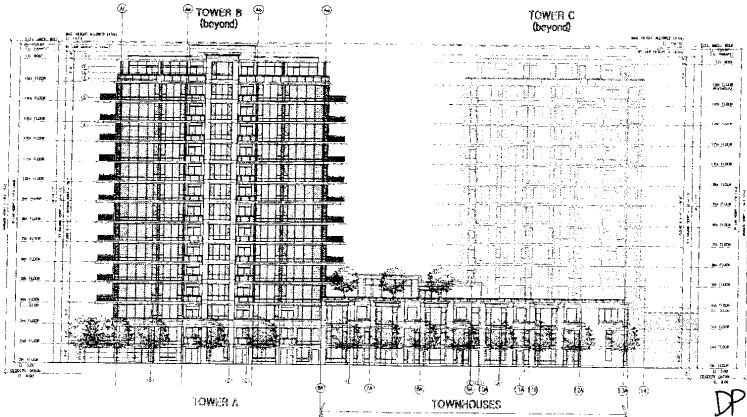
DP 05293524 REFERENCE

<p>DATE: 05/11/11 DRAWN BY: [illegible] CHECKED BY: [illegible] PROJECT: [illegible] SHEET: [illegible]</p>
<p>LDA LAWRENCE DOYLE ARCHITECT INC.</p>
<p>200 - 1400 CHESTER STREET DORCHESTER, MA 01918 TEL: 617-288-1100 FAX: 617-288-1101 WWW: LDA.COM</p>
<p>PROJECT: ELBRIDGE WAY DEVELOPMENT DORCHESTER, MA</p>
<p>DATE: 05/11/11 TIME: 10:00 AM DRAWN BY: [illegible] CHECKED BY: [illegible] PROJECT: [illegible] SHEET: [illegible]</p>
<p>NORTH & WEST CONTEXT ELEVATIONS</p>
<p>A.4.1</p>

02/06/2015
 1. ARCHITECTURAL ELEVATION
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SOUTH ELEVATION
 SCALE: 1/16" = 1'-0"



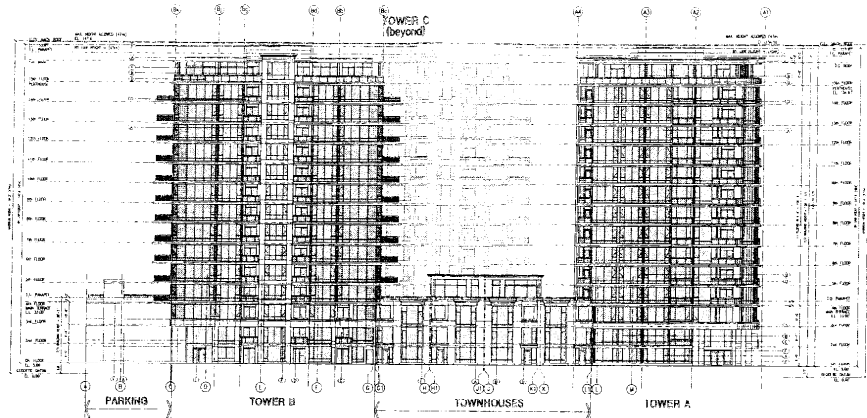
WEST ELEVATION
 SCALE: 1/16" = 1'-0"

DP 05293524

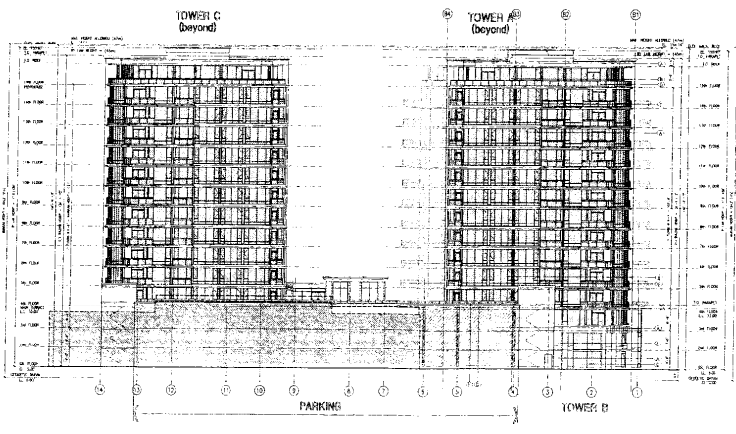
#7

LDA LAWRENCE DOYLE ARCHITECT, INC. <small>INCORPORATED IN THE STATE OF MASSACHUSETTS</small> <small>100 STATE STREET, SUITE 200, BOSTON, MASSACHUSETTS 02109</small> <small>TEL: 617.552.3000 FAX: 617.552.3001</small> <small>WWW.LDA-ARCHITECT.COM</small>	
ELBRIDGE WAY DEVELOPMENT <small>Waltham, MA</small>	
SOUTH & WEST ELEVATIONS	
DATE: 02/06/2015 TIME: 10:00 AM DRAWN BY: [Name] CHECKED BY: [Name]	SHEET NO. A.5.2 TOTAL SHEETS: [Total]

- 1. EXISTING CONDITIONS
- 2. EXISTING CONDITIONS WITH PROPOSED CHANGES
- 3. PROPOSED CONDITIONS
- 4. PROPOSED CONDITIONS WITH PROPOSED CHANGES
- 5. PROPOSED CONDITIONS WITH PROPOSED CHANGES AND FINISHES



NORTH ELEVATION
SCALE: 1/16" = 1'-0"

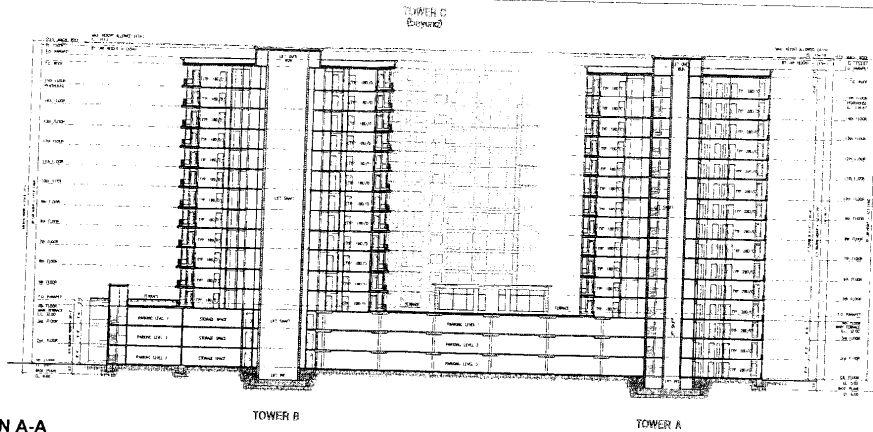


EAST ELEVATION
SCALE: 1/16" = 1'-0"

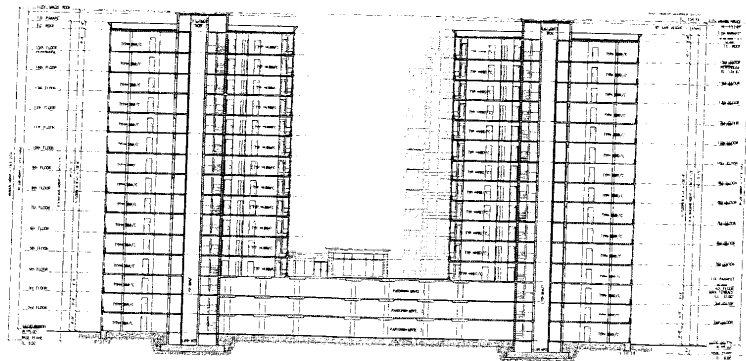
DP 05293524

#7A

<p>LDA LAWRENCE DOYLE ARCHITECT INC.</p> <p>100 - 1000 CENTER STREET, SUITE 200 ANN ARBOR, MI 48106-1000 TEL: 734.769.1234 FAX: 734.769.1235</p>	
<p>PROJECT: ELBRIDGE WAY DEVELOPMENT PHASE: B & C</p>	
<p>DATE: NORTH & EAST ELEVATIONS</p>	
<p>SCALE: A.5.1</p>	



SECTION A-A
SCALE: 1/16" = 1'-0"



SECTION B-B
SCALE: 1/16" = 1'-0"

PP 05293524

#8

LAWRENCE DOYLE ARCHITECT INC.
 100 - MAPLE STREET, SUITE 200
 CAMBRIDGE, MA 02142
 TEL: 617.452.2200 FAX: 617.452.2201
 WWW.LDA-ARCHITECT.COM

LDA
 LAWRENCE DOYLE ARCHITECT INC.

ELMBRIDGE WAY DEVELOPMENT
 RICHMOND B.C.

SECTIONS
 A-A & B-B

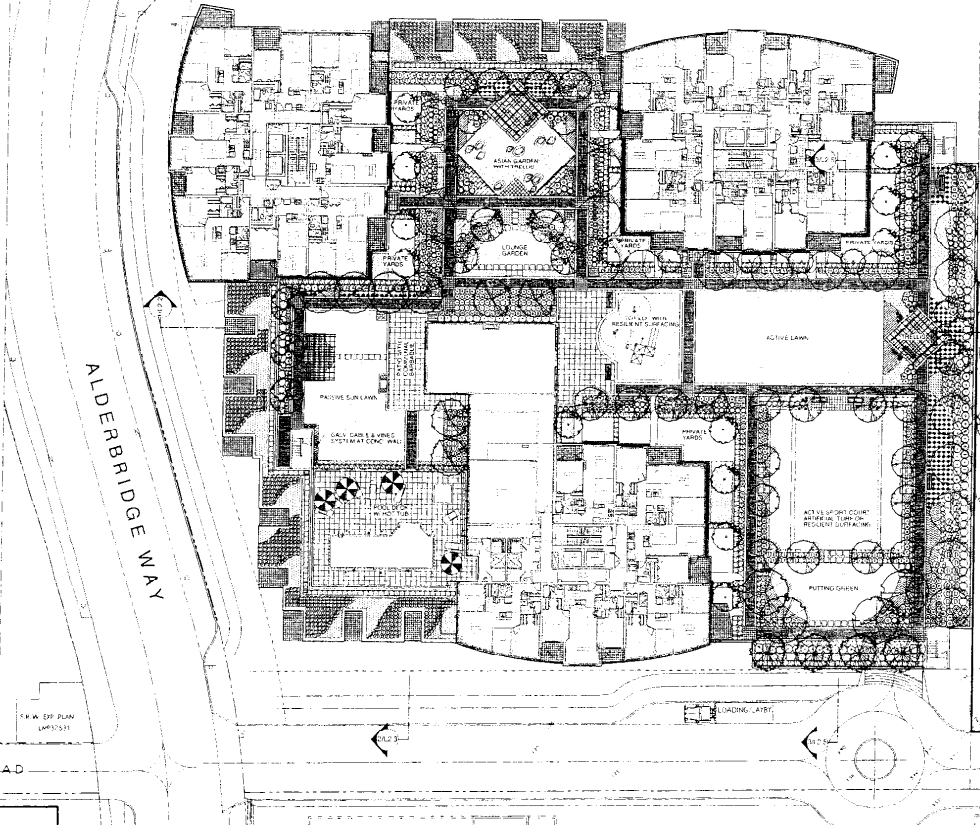
A.6.1

ELM BRIDGE WAY

ALDER BRIDGE WAY

S.W. 1/4 PLAN BASE

7380



EXISTING BUILDING

ITEM	DESCRIPTION	QTY	UNIT	PRICE
1	ASPHALT DRIVE	100	sq. ft.	1.50
2	CONCRETE DRIVE	50	sq. ft.	2.50
3	GRAVEL DRIVE	200	sq. ft.	0.50
4	LANDSCAPING	100	sq. ft.	10.00
5	PAVING	100	sq. ft.	1.00
6	SEWER	100	sq. ft.	1.00
7	WATER	100	sq. ft.	1.00
8	ELECTRICAL	100	sq. ft.	1.00
9	MECHANICAL	100	sq. ft.	1.00
10	PLUMBING	100	sq. ft.	1.00
11	PAINT	100	sq. ft.	1.00
12	ROOFING	100	sq. ft.	1.00
13	FOUNDATION	100	sq. ft.	1.00
14	CONCRETE	100	sq. ft.	1.00
15	ASPHALT	100	sq. ft.	1.00
16	GRAVEL	100	sq. ft.	1.00
17	LANDSCAPING	100	sq. ft.	10.00
18	PAVING	100	sq. ft.	1.00
19	SEWER	100	sq. ft.	1.00
20	WATER	100	sq. ft.	1.00
21	ELECTRICAL	100	sq. ft.	1.00
22	MECHANICAL	100	sq. ft.	1.00
23	PLUMBING	100	sq. ft.	1.00
24	PAINT	100	sq. ft.	1.00
25	ROOFING	100	sq. ft.	1.00
26	FOUNDATION	100	sq. ft.	1.00
27	CONCRETE	100	sq. ft.	1.00
28	ASPHALT	100	sq. ft.	1.00
29	GRAVEL	100	sq. ft.	1.00
30	LANDSCAPING	100	sq. ft.	10.00

NOT FOR CONSTRUCTION

ELM BRIDGE
Richmond, BC

7380

NOT FOR CONSTRUCTION

ELM BRIDGE
Richmond, BC

LDI
group of companies

LDA
LAWRENCE
ARCHITECT INC.

SHERPAMON
LANDSCAPE ARCHITECTURE & PLANNING

Preliminary
Landscape Plan
Podium Level

L1.1

DP 05293524 #3

ELM BRIDGE WAY

ALDER BRIDGE WAY

LANE

7380

1
PLAN 84515
STRATA PLAN

05293524

#10

ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND OTHER AGENCIES.
 THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND OTHER AGENCIES.
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- 1. SITE PLAN
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NOT FOR CONSTRUCTION

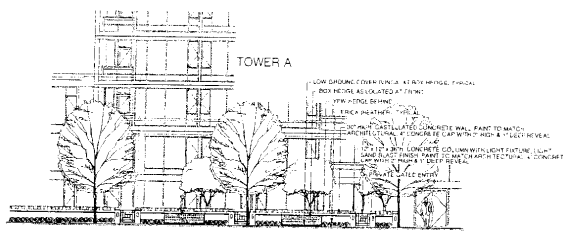
ELM BRIDGE
Richmond, BC



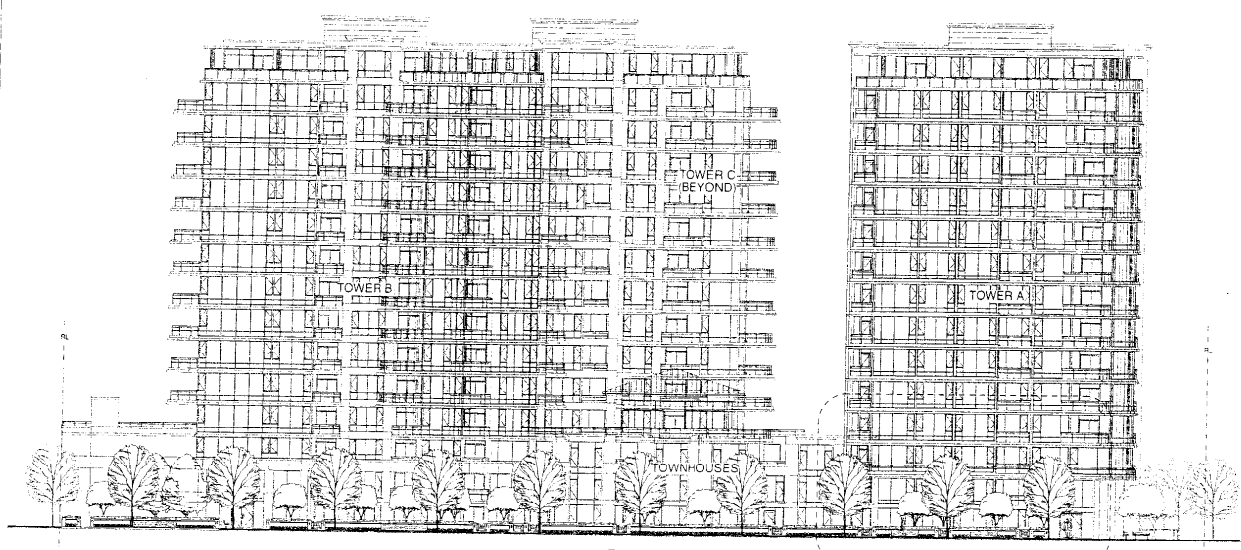
Preliminary
Landscape Plan
Ground Level

L1.2

DATE	PROJECT NUMBER
12/10/20	048-010
DESIGNER	DATE
PROJECT MANAGER	12/10/20



6 ELMBRIDGE ELEVATION ZOOM AREA
 Scale 1:100



5 ELMBRIDGE ELEVATION
 Scale 1:100

ELMBRIDGE WAY

SEE B1.2.1

DP 05293524 #11

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NO.	DATE	DESCRIPTION
1		PRELIMINARY DESIGN
2		DEVELOPMENT PERMIT APPLICATION
3		DEVELOPMENT PERMIT APPLICATION
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NOT FOR CONSTRUCTION

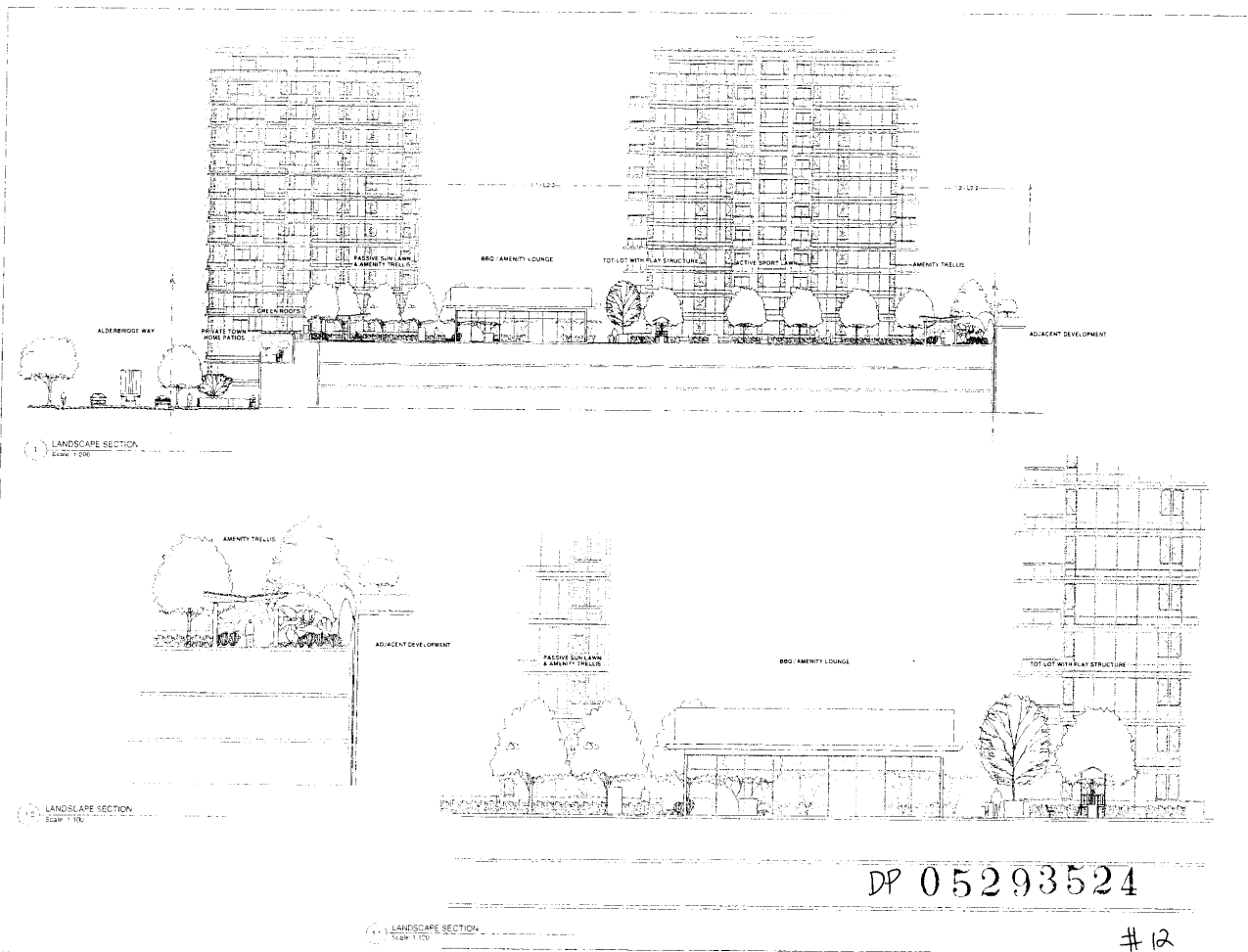
ELMBRIDGE
 Richmond, BC



ELEVATION AT ELMBRIDGE WAY

L2.1

LOCAL	PROJECT NUMBER
1150	04-001
DATE	DATE
11/10	02/04/2004



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- 1. SITE PLAN
- 2. CONCEPT PLAN
- 3. PRELIMINARY LAYOUT
- 4. PRELIMINARY DESIGN
- 5. PRELIMINARY CONSTRUCTION
- 6. PRELIMINARY CONTRACT
- 7. PRELIMINARY PERMITS
- 8. PRELIMINARY BIDDING
- 9. PRELIMINARY CONSTRUCTION
- 10. PRELIMINARY COMPLETION

NOT FOR CONSTRUCTION

ELM BRIDGE
Richmond, BC



Landscape Sections

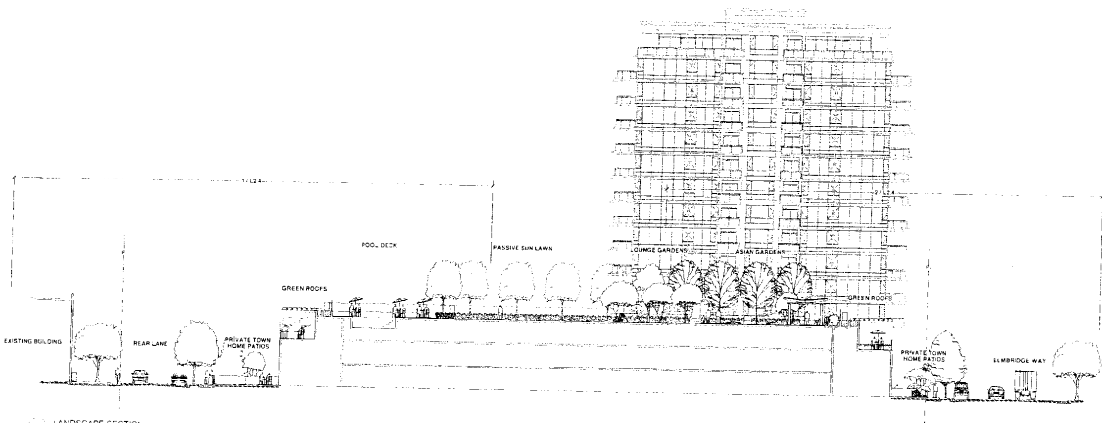
DP 05293524

L2.2

SCALE: AS SHOWN
DATE: DECEMBER 2004

#12

LANDSCAPE SECTION
ELEV. 1:100



LANDSCAPE SECTION
SCALE 1:200

05293524
#13

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1	PREPARED FOR	ONNI GROUP INC.
2	PROJECT NO.	05293524
3	PROJECT NAME	ELMBROOK
4	PROJECT ADDRESS	1000 ELMBROOK WAY, RICHMOND BC
5	DATE	2024.01.15
6	SCALE	AS SHOWN
7	PROJECT NO.	05293524
8	PROJECT NAME	ELMBROOK
9	PROJECT ADDRESS	1000 ELMBROOK WAY, RICHMOND BC
10	DATE	2024.01.15
11	SCALE	AS SHOWN

NOT FOR CONSTRUCTION

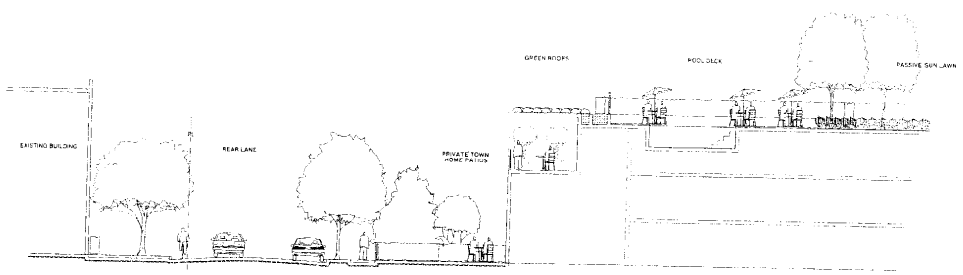
ELMBROOK
Richmond BC



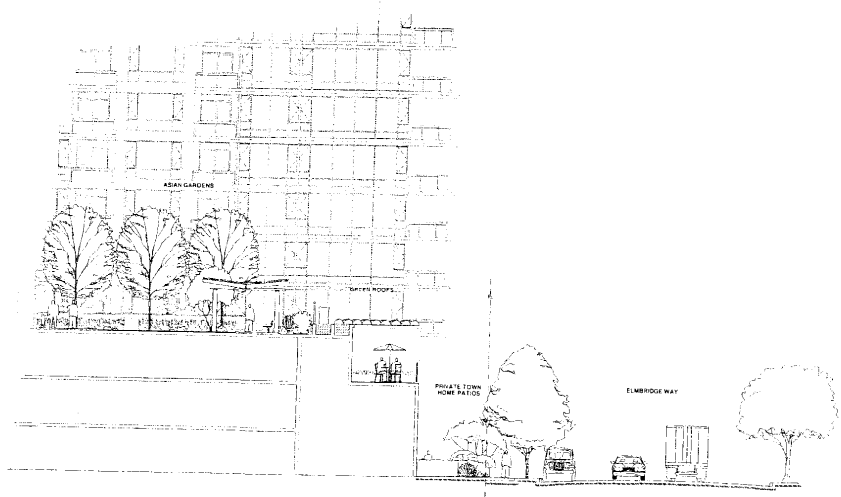
Landscaping
Landscape Sections

L2.3

DATE	1300	PROJECT NO.	05293524
SCALE	AS SHOWN	DATE	2024.01.15



LANDSCAPE SECTION
Scale: 1:100



LANDSCAPE SECTION
Scale: 1:100

DP 05293524 #14

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1	DESIGN DEVELOPMENT
2	SCHEMATIC DESIGN
3	PRELIMINARY DESIGN
4	FINAL DESIGN
5	CONSTRUCTION DOCUMENTS
6	CONSTRUCTION ADMINISTRATION
7	POST-CONSTRUCTION SERVICES
8	ARCHITECTURAL RECORDS
9	LANDSCAPE ARCHITECTURE
10	PLANNING
11	INTERIOR DESIGN
12	EXTERIOR DESIGN
13	ENVIRONMENTAL DESIGN
14	CONSTRUCTION MANAGEMENT
15	OPERATIONAL MANAGEMENT
16	RESEARCH
17	CONSULTING
18	TEACHING
19	RESEARCH ASSISTANT
20	DESIGN ASSISTANT
21	PROJECT MANAGER
22	PROJECT COORDINATOR
23	PROJECT ASSISTANT
24	PROJECT SUPPORT
25	PROJECT ADMINISTRATION
26	PROJECT CLERK
27	PROJECT RECEPTIONIST
28	PROJECT SECURITY
29	PROJECT MAINTENANCE
30	PROJECT CLEANING
31	PROJECT PAINTING
32	PROJECT CARPENTRY
33	PROJECT ELECTRICITY
34	PROJECT PLUMBING
35	PROJECT MECHANICAL
36	PROJECT ROOFING
37	PROJECT GLAZING
38	PROJECT METALWORK
39	PROJECT WOODWORK
40	PROJECT PAINTING & FINISHES
41	PROJECT FLOORING
42	PROJECT WALLS & CEILING
43	PROJECT DOORS & WINDOWS
44	PROJECT STAIRS
45	PROJECT ELEVATORS
46	PROJECT ESCALATORS
47	PROJECT RAMP
48	PROJECT CURB CUT
49	PROJECT DRIVEWAY
50	PROJECT SIDEWALK
51	PROJECT BIKEWAY
52	PROJECT TRAIL
53	PROJECT PATH
54	PROJECT BRIDGE
55	PROJECT TUNNEL
56	PROJECT UNDERPASS
57	PROJECT OVERPASS
58	PROJECT VIADUCT
59	PROJECT CULVERT
60	PROJECT RETAINING WALL
61	PROJECT EROSION CONTROL
62	PROJECT SLOPE STABILIZATION
63	PROJECT DRAINAGE
64	PROJECT IRRIGATION
65	PROJECT WATER SUPPLY
66	PROJECT SEWER
67	PROJECT SANITATION
68	PROJECT WASTE MANAGEMENT
69	PROJECT AIR QUALITY
70	PROJECT NOISE
71	PROJECT VIBRATION
72	PROJECT CLIMATE
73	PROJECT ENERGY
74	PROJECT SUSTAINABILITY
75	PROJECT WELL-BEING
76	PROJECT COMMUNITY
77	PROJECT CULTURE
78	PROJECT HISTORY
79	PROJECT HERITAGE
80	PROJECT LANDSCAPE
81	PROJECT PLANTING
82	PROJECT TREES
83	PROJECT SHRUBS
84	PROJECT FLOWERS
85	PROJECT VEGETATION
86	PROJECT SOILS
87	PROJECT ROCKS
88	PROJECT WATER
89	PROJECT AIR
90	PROJECT LIGHT
91	PROJECT SOUND
92	PROJECT SMELL
93	PROJECT TOUCH
94	PROJECT TASTE
95	PROJECT FEEL
96	PROJECT THINK
97	PROJECT BELIEVE
98	PROJECT KNOW
99	PROJECT DO
100	PROJECT BE

NOT FOR CONSTRUCTION

ELMBRIDGE
Richmond BC

onni
BY THE WAY OF COMMUNITY

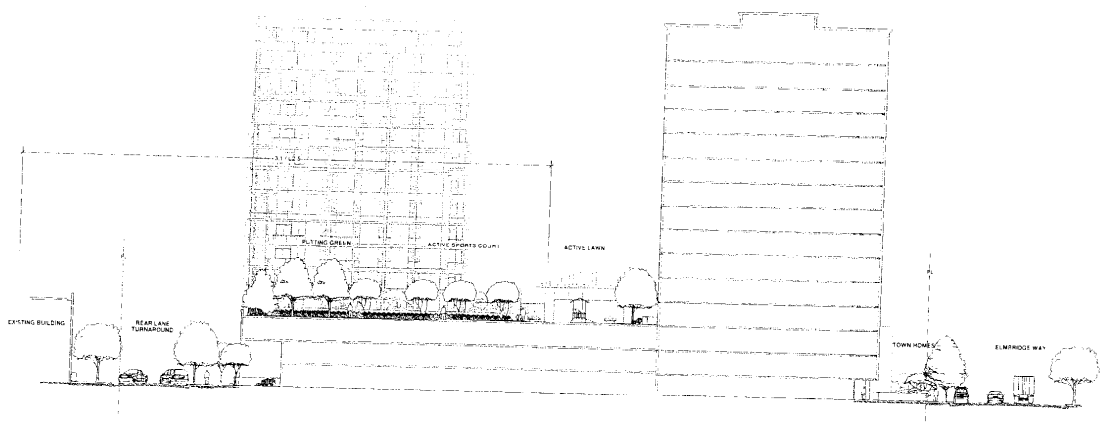
LDA
LANDSCAPE DESIGN
ARCHITECTURE & PLANNING

LANDSCAPE ARCHITECTURE & PLANNING

Landscape Sections

L2.4

SCALE: 1:100	PROJECT NUMBER: 05293524
DRAWN: [Name]	CHECKED: [Name]
DATE: [Date]	DATE: [Date]
BY: [Name]	DATE: [Date]



03 LANDSCAPE SECTION
Scale: 1:100



01 LANDSCAPE SECTION
Scale: 1:100

DP 05293524 #15

NOT FOR CONSTRUCTION

ELMBRIDGE
Richmond BC

onni
group of companies

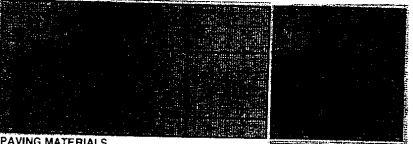
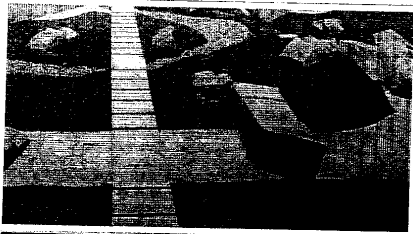
LDA
LAWRENCE DAVID
ARCHITECTS INC

SEARA GROUP
Landscape Architecture & Planning

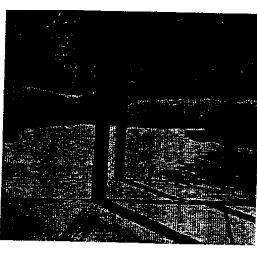
Landscape Sections

L2.5

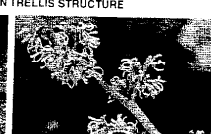
DATE	PROJECT NUMBER
AS SHOWN	24-602
DATE	DATE
20	10
20	10
20	10



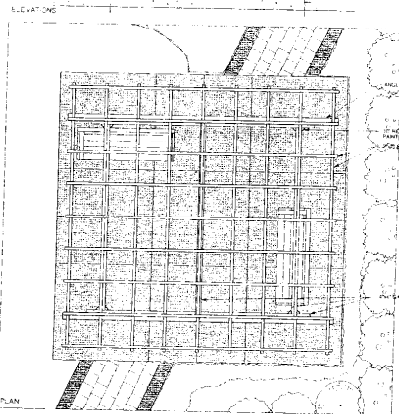
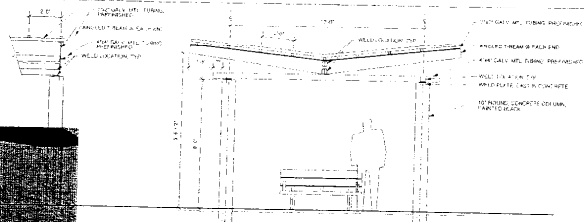
PAVING MATERIALS



POOL AND GARDEN PRECEDENT IMAGES



PLANT MATERIAL TYPES, COLOURS, AND TEXTURES



GARDEN TRELLIS STRUCTURE

NOT FOR CONSTRUCTION

ELMBRIDGE
Richmond, BC



Landscape
Details and
Materials

L3

DATE: 04/02/2010
PROJECT: 05293524
DRAWN BY: [illegible]
CHECKED BY: [illegible]
DATE: 02/02/2010

05293524 #16