



City of Richmond
Urban Development Division

General Compliance Request

To: Development Permit Panel
From: Joe Erceg
Manager, Development Applications
Date: December 1, 2003
File: DP 02-222274
Re: **Application by Peter Fong for a General Compliance Request at 3591 and 3611 Chatham Street**

Manager's Recommendation

That the attached plans be considered in General Compliance with Development Permit DP 02-222274 for a mixed-use development in Steveston Village at 3591 and 3611 Chatham Street.

Joe Erceg
Manager, Development Applications

KE:blg
Att.

Staff Report

Origin

Kevin C. Lee Architect, on behalf of Peter Fong, has requested a General Compliance ruling on a mixed-use commercial and residential development located at 3591 and 3611 Chatham Street. The subject site is zoned Steveston Commercial (Three-Storey) District (C5). Two (2) similar mixed-use three-storey buildings are located to the east and west of the subject site. The design of the proposed development corresponds with adjacent buildings along this block of Chatham Street.

The developer and architect have made changes to the proposed building in order to deal with geotechnical problems on the subject site. The applicant's geotechnical consultant found that there was inadequate soil load bearing capacity on the subject site for the building as it is currently proposed. The recommendation made by the consultant is to setback the building from the east and west property line creating a 1.5 m (4.92 ft) side yard on each side, which resulted in modifications to the design and layout of the proposed development. A General Compliance ruling is being requested for these proposed changes.

A copy of approved and proposed new plans are appended to this report. This is the first General Compliance request for the project.

Findings of Fact

The General Compliance request relates to the following building modifications:

- The building no longer abuts the east and west property line of the subject site. The side of the building has been shifted inwards 1.5 m (4.92 ft.) from the west and east property lines;
- The number of units for the commercial and residential components has been reduced from four (4) to three (3) units each due to the decrease in total floor area; and
- Minor modifications to the site plan and building elevations in relation to the placement of stairways and application of exterior cladding.

Development Information

	Development Permit (DP 02-222274)	Allowed under C5 Zone	General Compliance Request
Site Area	735.8 m ² (7,920 ft ²)	N/A	No change
Building Area	735.78 m ² (7,920 ft ²)	735.8 m ² (7,920 ft ²)	706.42 m ² (7604 ft ²)
Density	54 du per ha. 22 du per ac.	N/A	40 du per ha. 16 du per ac.
F.A.R.	1.0 F.A.R.	1.0 F.A.R.	0.96 F.A.R.
Parking	14 stalls provided	13 stalls required	14 stalls provided

On July 16th, 2003, correspondence was read into the minutes of the Development Permit Panel regarding soil settlement issues on the neighbouring property to the east. The property owner to the east claimed damage caused by preloading on the subject site. The applicant is aware of these issues at 3631 Chatham Street and is awaiting further information from the property owner. This General Compliance request relates to mitigating geotechnical impacts of development on the subject site only and does not relate to settlement issues on the neighbouring property.

Analysis of General Compliance Guidelines

Council adopted "General Compliance Guidelines" in December, 1998. The guidelines are as follows, with an analysis in ***bold italics***.

1. Proposed modifications must not require any new development variances or increase approved variances. ***No new variances or additional increases of existing variances are required for the proposal.***
2. The density of development must not be increased beyond the level specified in the approved Development Permit. ***Density has decreased from the level specified in the approved Development Permit.***
3. Proposed modifications must not alter elements that were controversial or that attracted considerable discussion from the public, Advisory Design Panel or Development Permit Panel during the original Development Permit process. ***Complies.***
4. Proposed exterior modifications must maintain or enhance the quality of the development and must retain the basic form and character of the development. ***The proposed exterior modifications result from shifting the buildings east and west walls 1.5 m (4.92 ft.) inwards in order to address on site load bearing issues identified by the geotechnical consultant. The west and east building elevations have been revised to incorporate cladding materials and other exterior features present on the front and rear elevations. Other exterior modifications relate to staircase and unit number adjustments, which do not impact the form and character of the development. Staff have no objection to these modifications.***
5. Applications should not alter the approved site coverage, siting, scale, spacing or configuration of buildings, with the exception of minor changes and additions to buildings to accommodate Building Code or servicing requirements. ***The site coverage, siting, scale and spacing of the building have been modified to address geotechnical issues relating to inadequate load bearing capacity of the underlying soil. As a result of the recommendation from a consultant, the architect is proposing to pull back the building 1.5 m from the east and west property line, creating a breezeway along each.***
6. Approved open space and amenity areas should be maintained; proposed changes to landscaping detail should be minor in nature and of equivalent value to approved plans. ***No changes are proposed to the landscape design. The 1.5 m (4.92 ft.) breezeway does allow for implementation of a concrete walkway between the front and rear of the building.***
7. Proposed changes to the location and configuration of vehicle access and parking areas should be minor in nature. ***Modifications to the building have not resulted in changes to parking location or vehicle access.***

8. Proposed modifications must not contravene the applicable Development Permit Guidelines. ***Proposed changes do not contradict the applicable Development Permit Guidelines.***

Analysis

The applicant is requesting a General Compliance ruling on proposed changes to a mixed-use development located at 3591 and 3611 Chatham Street. These modifications have been prompted by a recommendation made by the applicant's geotechnical consultant regarding inadequate load bearing capacity of the underlying soil on the subject site. To address these issues, the architect has redesigned the building to allow for a 1.5 m (4.92 ft.) wide breezeway on the east and west sides of the building. Total floor area has decreased resulting in the applicant having to reduce unit numbers and adjust plans accordingly.

Staff have no objection to the minor exterior modifications. These relate to implementing similar material cladding on the east and west elevations as well as adjusting a staircase location to better facilitate pedestrian linkages between the front and rear of the building. Pedestrian walkways which are 1.5 m (4.92 ft) wide have been incorporated into the design along the east and west property line. Proposed modifications have made the building slightly 'narrower', however, the building frontage facing Chatham Street retains the character of the previous design.

Conclusions

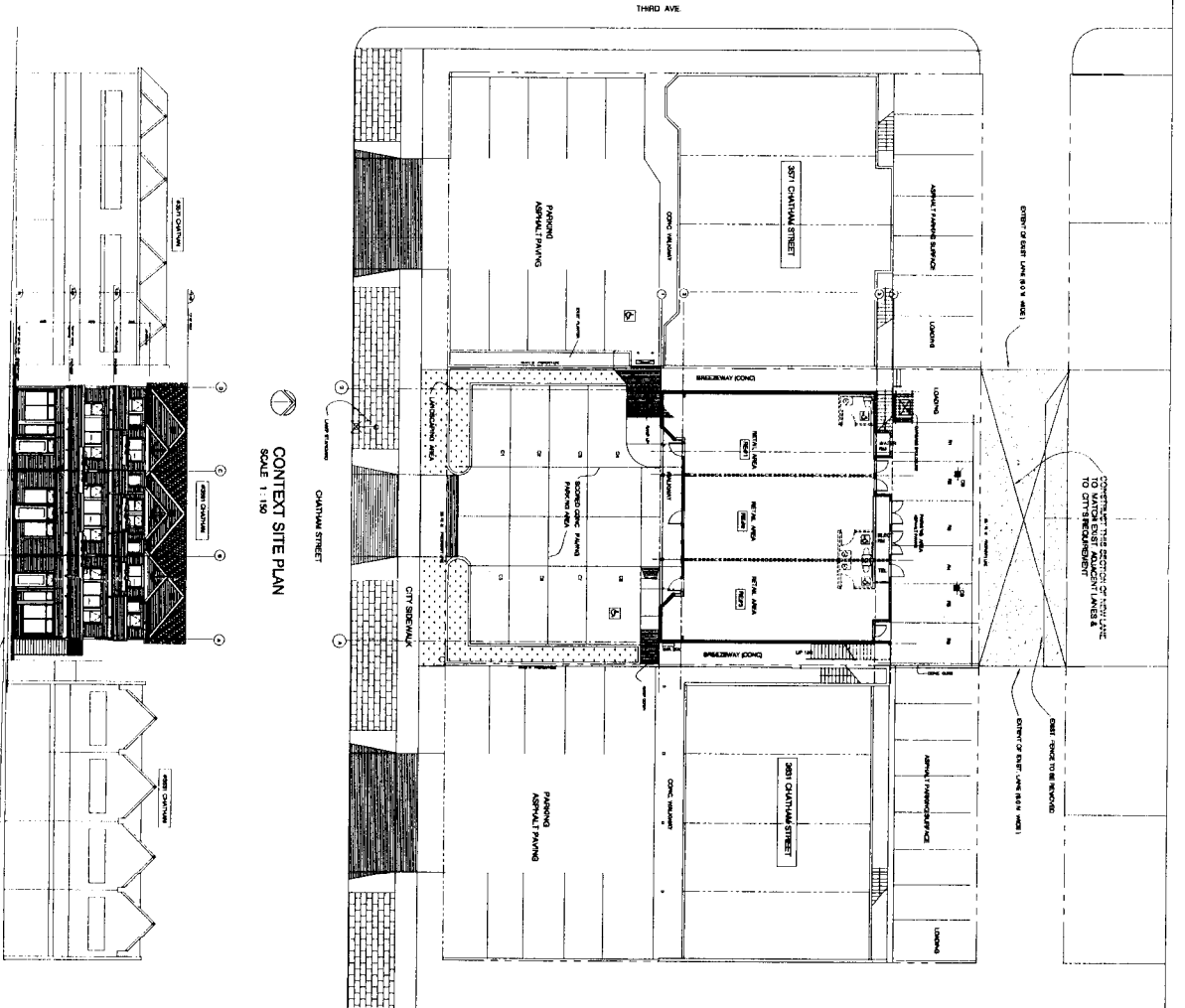
The proposed changes are consistent with General Compliance criteria. Staff recommend support of the General Compliance request.



Kevin Eng
Planning Technician – Design
(604) 276-4000 (local 3205)

KE:blg

GENERAL COMPLIANCE
#1

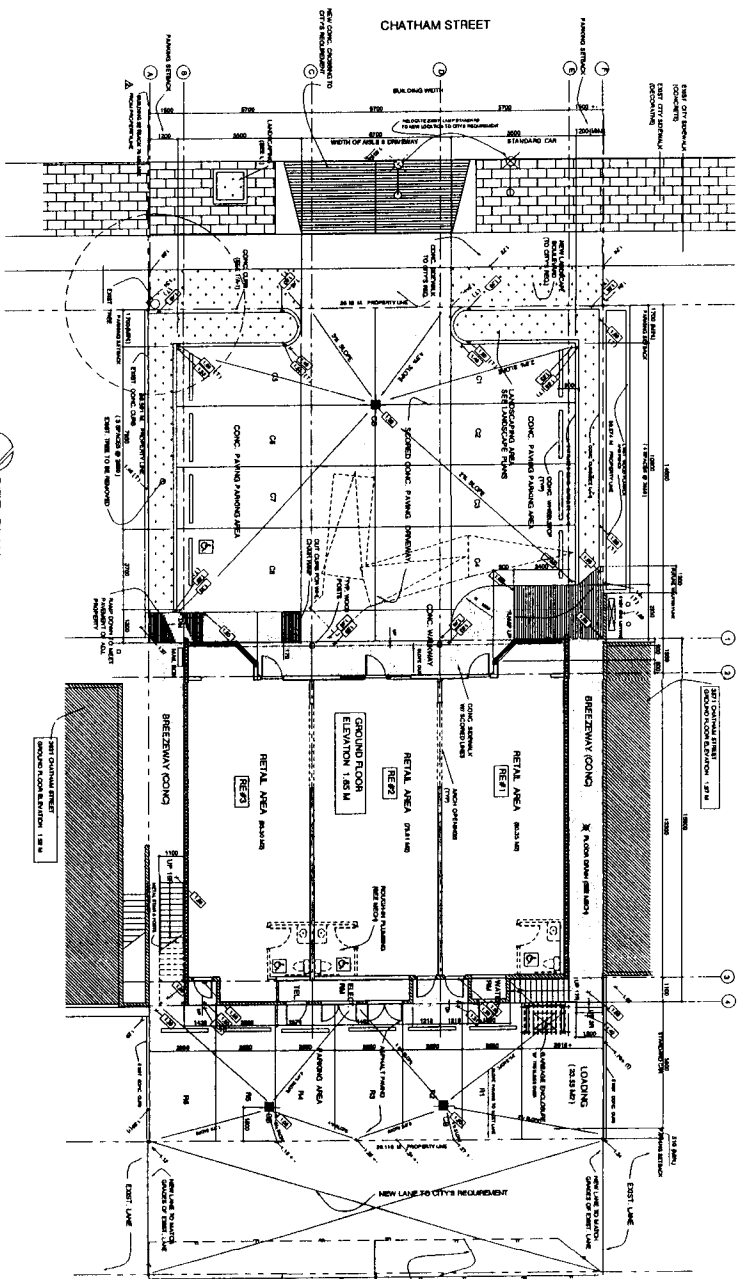


CONTEXT SITE PLAN
SCALE 1:150

CONTEXT PLAN - SOUTH ELEVATION
SCALE 1:150

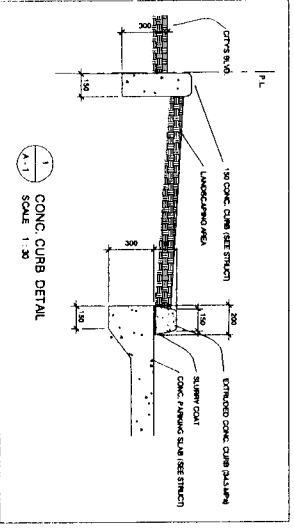
DEC 01 2003
DP 02-222274
#0

NO.	DATE	REVISION
1	12/1/03	ISSUED FOR PERMITS
2	12/1/03	REVISED
KERIN C. LEE ARCHITECT ARCHITECTS 1130 ALSTON AVENUE COOPLAND, N.C. 27825 PHONE (801) 898-2282 FAX (801) 898-2288		
PROJECT: MIXED-USE COMMERCIAL/RESIDENTIAL BUILDING CENTRAL 300 INVESTMENTS, INC. 301 CENTRAL STREET COOPLAND, NC		
DRAWING TITLE: CONTEXT PLANS		
DATE	SCALE	SCALE
12/1/03	1/8" = 1'-0"	1/8" = 1'-0"
DESIGNED BY	CHECKED BY	DATE
K. LEE	K. LEE	12/1/03
DRAWING NO.	0317	



SITE PLAN
SCALE: 1/8" = 1'-0"

- CONCRETE
- ASPHALT
- PAVING
- LANDSCAPING
- WOOD
- BRICK
- GLASS
- STEEL
- ALUMINUM
- IRON
- COPPER
- LEAD
- ZINC
- NICKEL
- CHROME
- MANGANESE
- PHOSPHORUS
- SULFUR
- POTASSIUM
- SODIUM
- CALCIUM
- MAGNESIUM
- IRON
- STEEL
- ALUMINUM
- BRASS
- COPPER
- LEAD
- ZINC
- NICKEL
- CHROME
- MANGANESE
- PHOSPHORUS
- SULFUR
- POTASSIUM
- SODIUM
- CALCIUM
- MAGNESIUM



PROPOSED NOTES:

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS & JOB CONDITIONS BEFORE AND BEFORE COMMENCING CONSTRUCTION.
2. THIS PROJECT REQUIRES HANDICAPPED ACCESSIBLE FACILITIES AND SHALL COMPLY TO SECTION 314 OF CODE.
3. EXCEPT AS OTHERWISE NOTED, HANDICAPPED ACCESSIBLE FACILITIES SHALL BE PROVIDED TO THE PROJECT FOLLOWING THE 2010 INTERNATIONAL BUILDING CODE (IBC).
4. ALL WOOD MEMBERS IN CONTACT WITH CONCRETE SHALL BE PRESERVE TREATED AND ALL WOOD MEMBERS SHALL BE STRENGTHENED WITH HOOK CLAMP STIFFERS AND THE SHALL BE PRESERVE TREATED.
5. ALL WOOD JOISTS AND BEAMS SHALL BE PRESERVE TREATED AND ALL WOOD MEMBERS SHALL BE STRENGTHENED WITH HOOK CLAMP STIFFERS AND THE SHALL BE PRESERVE TREATED.
6. EXTENSION DIMENSIONS TO OUTSIDE FACE OF WALL, UNLESS OTHERWISE NOTED.
7. ALL DIMENSIONS SHALL BE TO THE FACE OF WALL UNLESS OTHERWISE NOTED.
8. ALL DIMENSIONS SHALL BE TO THE FACE OF WALL UNLESS OTHERWISE NOTED.
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ITEMS	DESCRIPTION	REQUIRED BY BYLAW	PROVIDED ON SITE																
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DEC 01 2003
 DP 02 - 222274
 #1

CHATHAM 3091 INVESTMENTS INC.
 3091 CHATHAM STREET
 CHATHAM, N.C. 27511

CHATHAM 3091 ARCHITECT
 1100 W. 11TH STREET
 CHATHAM, N.C. 27511
 PHONE: 919.588.2822
 FAX: 919.588.2828

PROJECT:
 WOOD-JOB COMMERCIAL/RESIDENTIAL FOR

DRAWING NO.: A1 OF 5

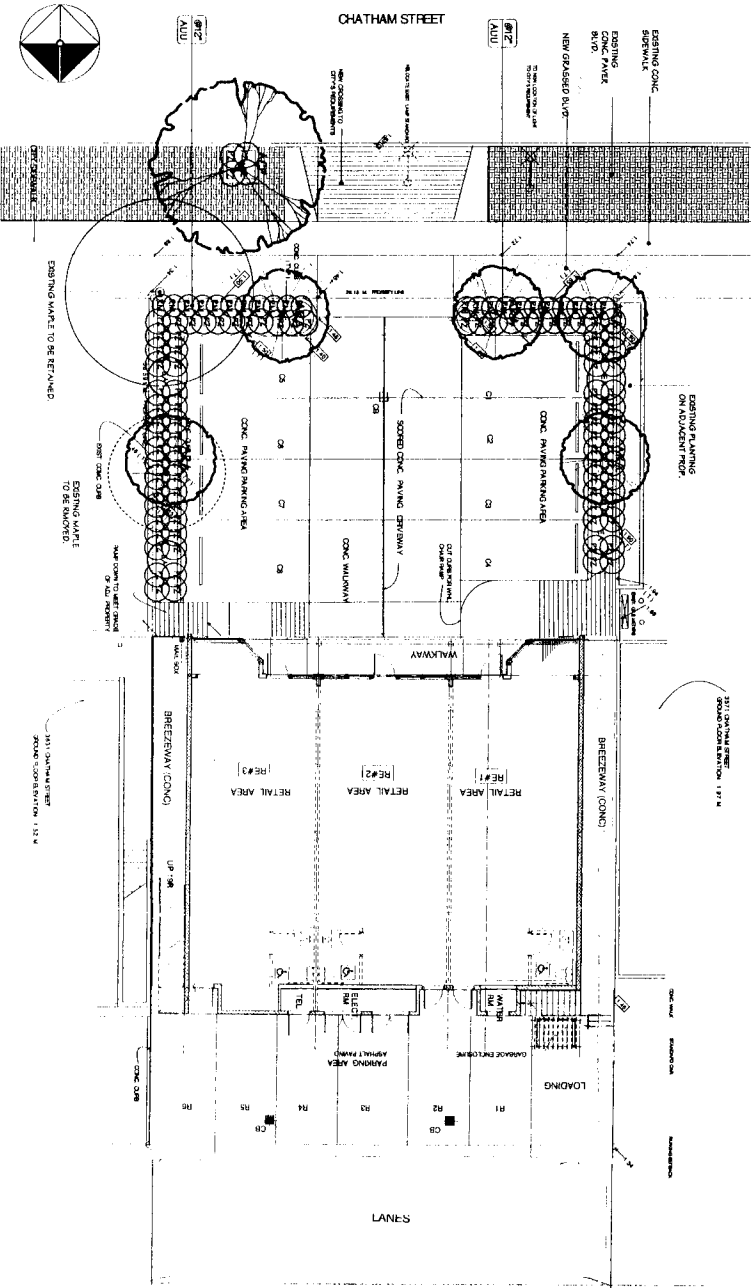
PLANT LIST

PROJECT ADDRESS

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
TEES				
ACF	1	ACER PLATANOIDES EMEALD QUEEN	NORWAY MARLE	6.0cm CAL. 848 1.5m STP.
ASA	5	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG MARLE	6.0cm CAL. 848 1.5m STP.
SHRUBS				
EA	4	ELIOPHYLLIS ALUTUS 'COMPACTUS'	DWARF BIRCHING BUSH	#3 POT
F2	90	FUNGIUS LAROCCEAEFAS 3ARELUAN'	ZAMBES LAUREL	#2 POT
RM	22	ROSA MELBLAND	MELBLAND ROSE	#1 POT
GROUND COVERS				
AU1	60	ACTOPHYLLIS JUNA US9	FINNISHUCK	#20 POT

NOTES

- ** GENUS SPECIES AND VARIETY TO BE APPROVED BY THE LANDSCAPE ARCHITECT.
- ALL MATERIALS AND EXECUTION SHALL BE IN ACCORDANCE TO THE MOST RECENT BRITISH COLUMBIA LANDSCAPE STANDARDS.
- PLANTS IN THIS PLANT LIST ARE SPECIFIED ACCORDING TO THE ONTA STANDARDS FOR NURSERY STOCK AND THE BOLD STANDARDS FOR CONTAINER GROWN PLANTS.
- ALL PLANT QUANTITY DISCREPANCIES BETWEEN PLAN AND PLANT LIST SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO SUBMITTING BIDS.
- ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR ONE FULL YEAR AFTER THE DATE OF SUBSTANTIAL PERFORMANCE. SUBSTANTIAL PERFORMANCE SHALL OCCUR WHEN 95% OF THE CONTRACT HAS BEEN COMPLETED TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT.
- * THE CONTRACTOR SHALL MAINTAIN APPROVAL TO THE LANDSCAPE STANDARDS UNTIL THE WORK IS TURNED OVER TO THE OWNER.

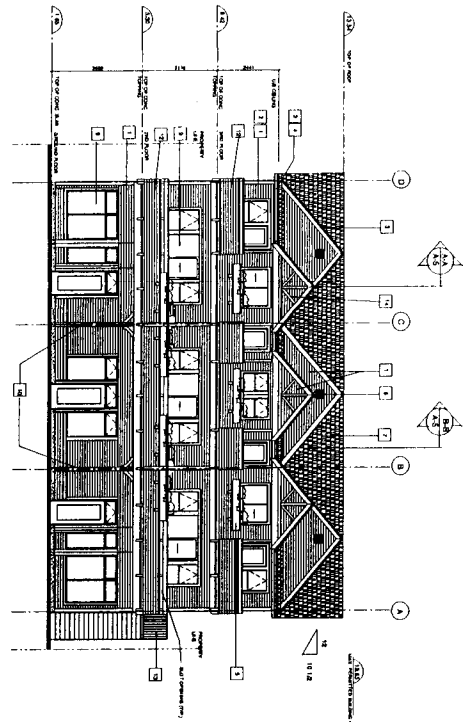


DEC 01 2003
 #2
 02-222274

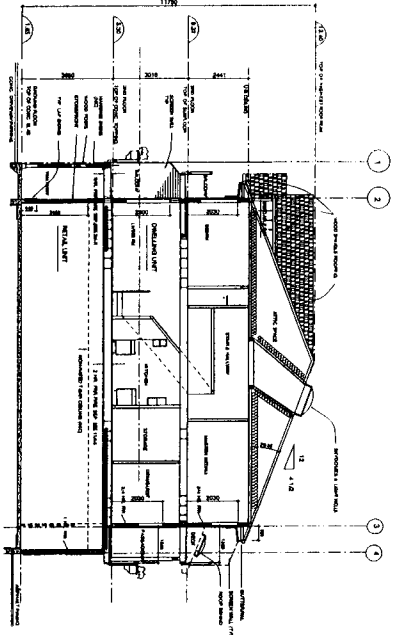
DATE: 12/01/03
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 SCALE: AS SHOWN

LANDSCAPE PLAN
 3591 Chatham
 Richmond B.C.

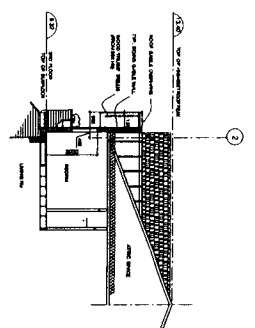
JTO & ASSOCIATES
 LANDSCAPE ARCHITECTS
 3180 Hunt Street
 North Vancouver, BC V7E 2K4
 Phone: (604) 273-2912
 Email: jto@jtoassoc.com



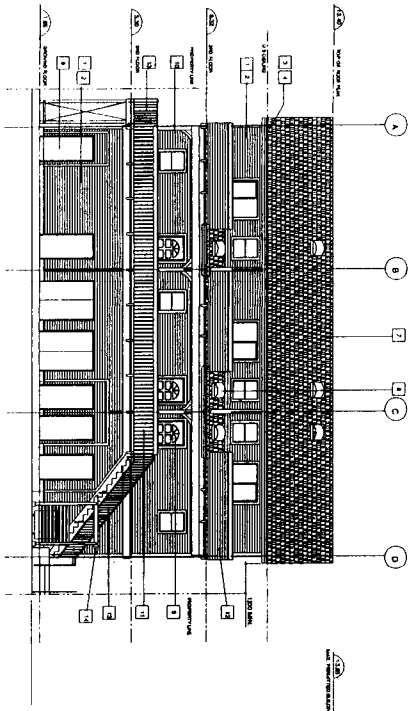
SOUTH ELEVATION
SCALE 1:100



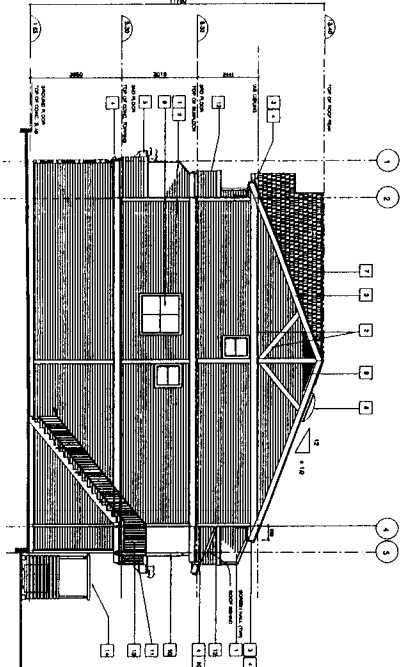
BUILDING SECTION
SCALE 1:100



BUILDING SECTION
SCALE 1:100



NORTH ELEVATION
SCALE 1:100



EAST ELEVATION
SCALE 1:100

NOTE:
WEST ELEVATION SIMILAR TO
EAST ELEVATION LESS STAIR

LEGEND

SYMBOL	DESCRIPTION
1	FOUNDATION
2	CONCRETE
3	BRICK
4	WOOD SHAKES
5	WOOD STUDS
6	WOOD JOISTS
7	WOOD FLOORING
8	WOOD TRIM
9	WOOD CEILING
10	WOOD ROOFING
11	WOOD SILLING
12	WOOD SHIMS
13	WOOD BRACKETS
14	WOOD NAILS
15	WOOD SCREWS
16	WOOD BOLTS
17	WOOD ANCHORS
18	WOOD JOISTS
19	WOOD STUDS
20	WOOD SHAKES
21	WOOD SHIMS
22	WOOD BRACKETS
23	WOOD NAILS
24	WOOD SCREWS
25	WOOD BOLTS
26	WOOD ANCHORS
27	WOOD JOISTS
28	WOOD STUDS
29	WOOD SHAKES
30	WOOD SHIMS
31	WOOD BRACKETS
32	WOOD NAILS
33	WOOD SCREWS
34	WOOD BOLTS
35	WOOD ANCHORS

DEC 01 2003
#4
02-222274

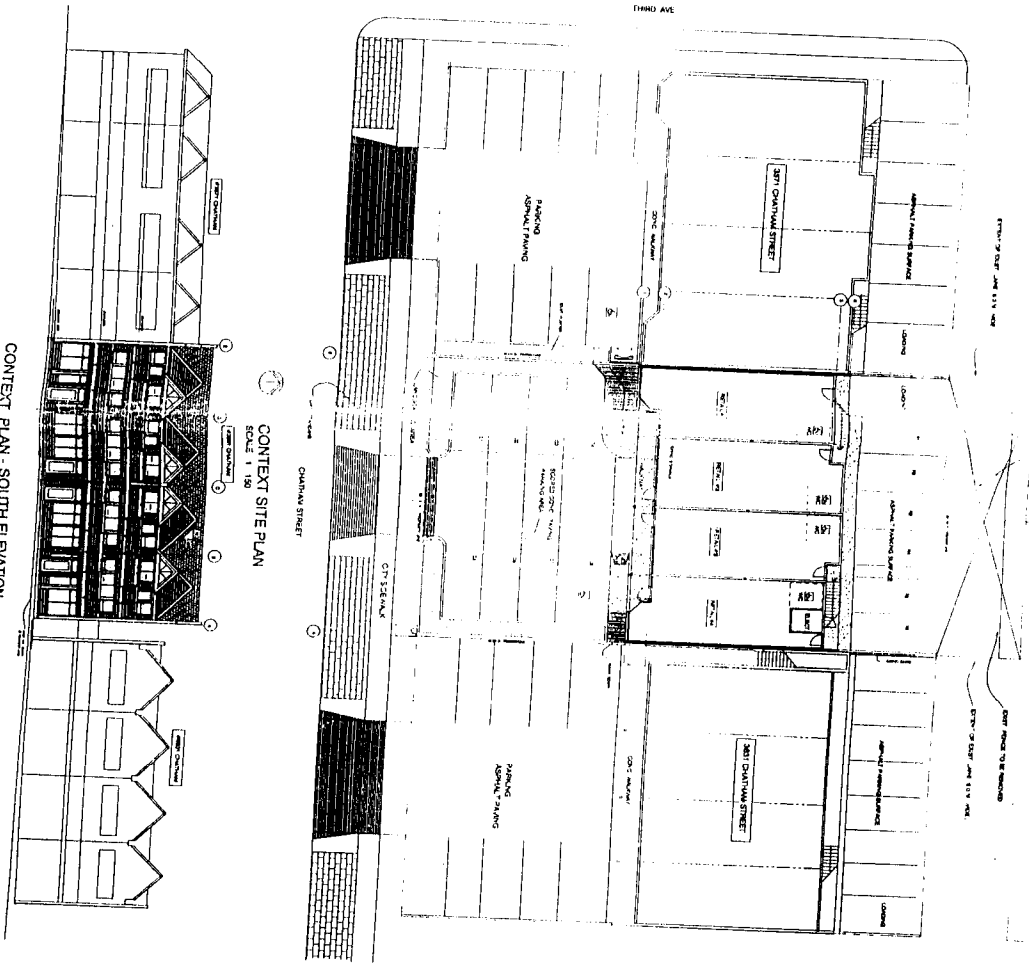
PROJECT:	MIXED - USE COMMERCIAL/RESIDENTIAL BUILDING FOR CHA-HAM 3501 INVESTMENTS INC. CHA-HAM, NC
ARCHITECT:	KEVIN C. LEE ARCHITECT 808 - 1101 ASHLEY AVENUE COLUMBIAN, S.C. 29625 PHONE (804) 886-1222 FAX (804) 906-2225
DATE:	NOVEMBER 2003
DRAWN BY:	DAVID
CHECKED BY:	KEVIN C. LEE
SCALE:	AS SHOWN
PROJECT NO.:	0217
DRAWING NO.:	A-5 OF 5

JUN 05 2003

DP 02-222274

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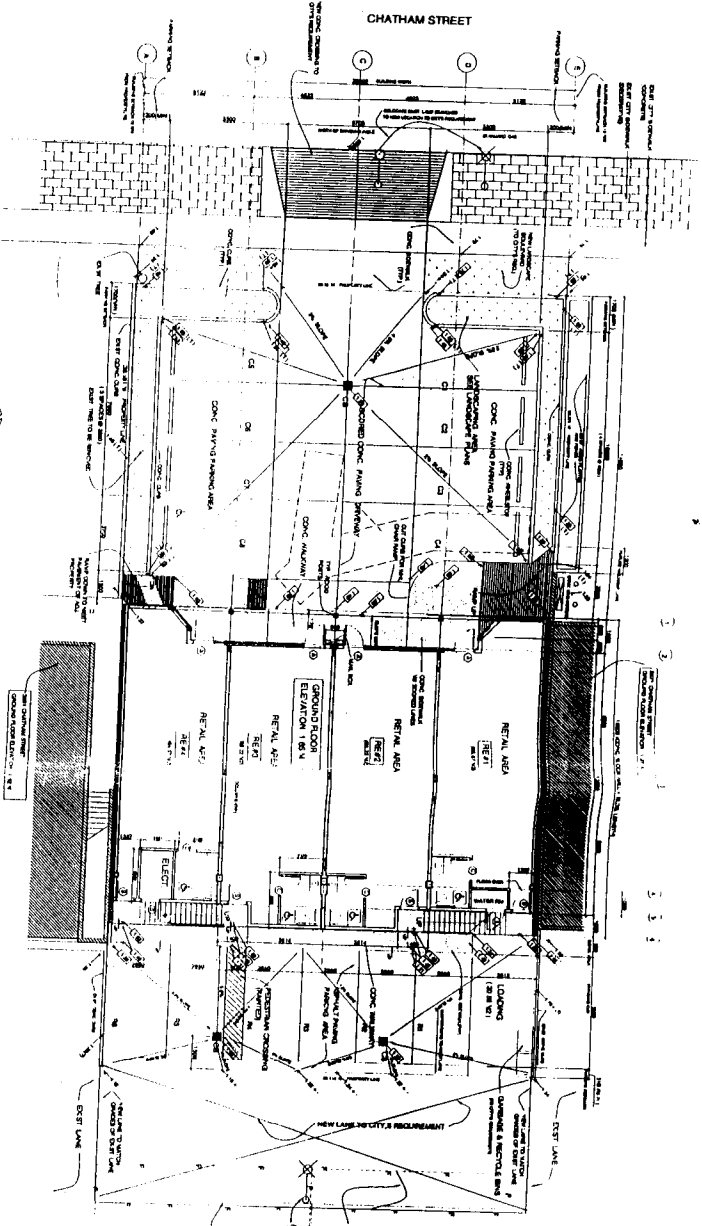
ORIGINAL DEVELOPMENT
PERMIT DRAWINGS



CONTEXT PLAN - SOUTH ELEVATION
SCALE 1/160

DATE	SCALE	PROJECT NO.	DRAWING NO.
02/12	1/160	02172	A2 OF 5

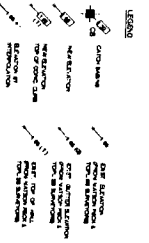
PROJECT: QUANTUM 1381 INVESTMENTS INC
 DRAWING TITLE: CONTEXT PLANS
 ARCHITECT: KEVIN S. LEE ASSOCIATES
 4308 11TH AVENUE, SUITE 200
 COLUMBIA, SC 29204
 PROJECT NO. 02172



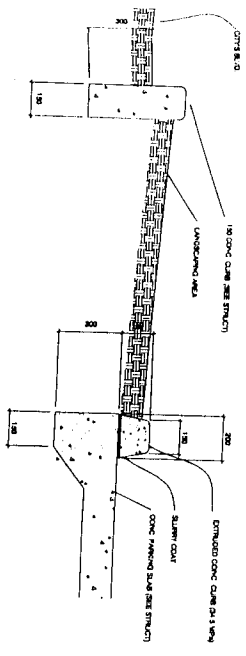
SITE PLAN
SCALE: 1/8" = 1'-0"

VARIANCES TO ZONING & DEVELOPMENT BYLAW

VARIANCE DESCRIPTION	REQUIRED BY BYLAW	PROVIDED ON SITE
REQUIREMENT 4.1.1 (S.11) SETBACK TO FRONT YARD (48.31) METERS TO	33' N	13' N
REQUIREMENT 4.1.1 (S.11) SETBACK TO SIDE YARD (48.31) METERS TO	11' N	10' N
REQUIREMENT 4.1.1 (S.11) SETBACK TO REAR YARD (48.31) METERS TO	15' N	10' N
REQUIREMENT 4.1.1 (S.11) COVERING SPACE	50% MIN. AREA	50% MIN. AREA



CONCRETE CURB DETAIL
SCALE: 1/8" = 1'-0"



NOTATIONS

- CONCRETE CURB DETAIL
- RETAIL AREA
- LOADING DOCK
- ELECTRICAL
- MECHANICAL
- RETAIL AREA
- CONCRETE PAVING
- LANDSCAPING AREA
- SLURRY CURB
- ESTIMATED CONCRETE CURB

SCALE
1/8" = 1'-0"

DATE
JUN 05 2003

DRAWING NO.
DP 02-2222274

PROJECT
RETAIL STORE

CLIENT
KLEIN & LEE ARCHITECTS

ADDRESS
408 118 WEST AVENUE
COVINGTON, LA 70038

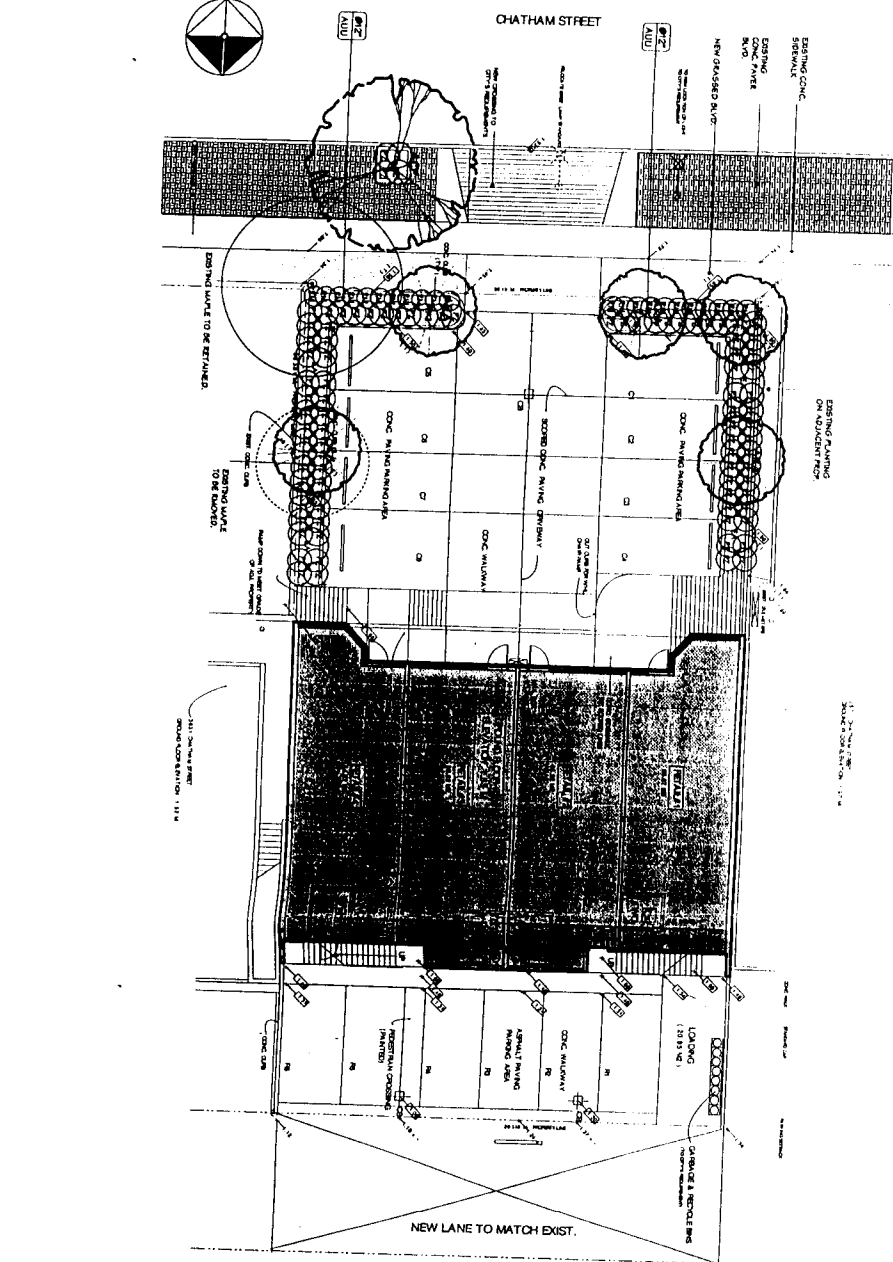
#1

DATE	12/12/02
PROJECT NO.	0212
DRAWING NO.	A1 OF 5

PLANT LIST

PROJECT: 02-222274

REF.	SYMBOLICAL NAME	COMMON NAME	SIZE
1	ACER PLATANIFOLIA TREBOLD QUERE	WINTER MAHOGANY	6-24" TL, 5/8" DIA-3/2"
2	ACER DIURNAL VARIEGATUM	WINTER MAHOGANY	6-24" TL, 5/8" DIA-3/2"
3	ROSMARINUS ALANTICUS COMPACTUS	ORANGE SCUMM	48" TALL
4	ROSMARINUS ALANTICUS COMPACTUS	ORANGE SCUMM	48" TALL
5	ROSMARINUS ALANTICUS COMPACTUS	ORANGE SCUMM	48" TALL
6	ROSMARINUS ALANTICUS COMPACTUS	ORANGE SCUMM	48" TALL
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59	ROSMARINUS ALANTICUS COMPACTUS	ORANGE SCUMM	48" TALL
60	ROSMARINUS ALANTICUS COMPACTUS	ORANGE SCUMM	48" TALL



NOTES

1. LOCATIONS, SYMBOLS AND VARIETY TO BE APPROVED BY THE LANDSCAPE ARCHITECT.
2. ALL MATERIALS AND SPECIFICATIONS SHALL BE IN ACCORDANCE TO THE MOST RECENT BRITISH COLUMBIAN LANDSCAPE STANDARDS.
3. PLANTS IN THIS PLANT LIST ARE SPECIFIED ACCORDING TO THE CMA STANDARDS FOR PLANT QUANTITY DEPENDENCIES BETWEEN PLANT AND PLANT LIST SHALL BE RECORDED TO THE LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO SUBMITTING BIDS.
4. ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR ONE FULL YEAR AFTER THE DATE OF SUBSTITUTION, PERFORMANCE, SUBSTITUTION, PERFORMANCE OF THE LANDSCAPE ARCHITECT.
5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES AND STRUCTURES UNTIL THE WORK IS TURNED OVER TO THE OWNER.

JUN 05 2003

DP 02-222274

#2

ITO
 & ASSOCIATES
 Landscape Architects
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 Richmond, B.C. V7E 3L4
 Phone: (604) 275-5878
 Fax: (604) 275-5878
 Email: info@ito.ca
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3591 Chatham st.
 Richmond B.C.

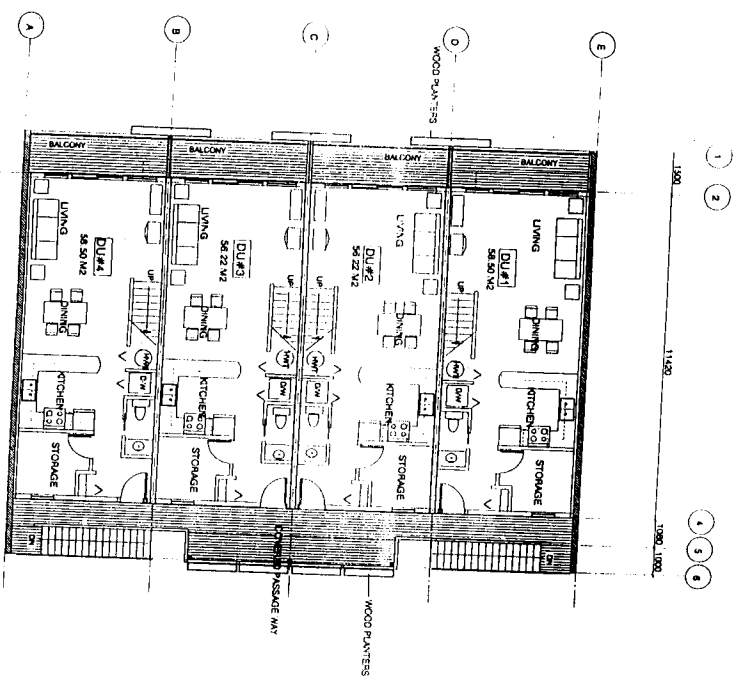
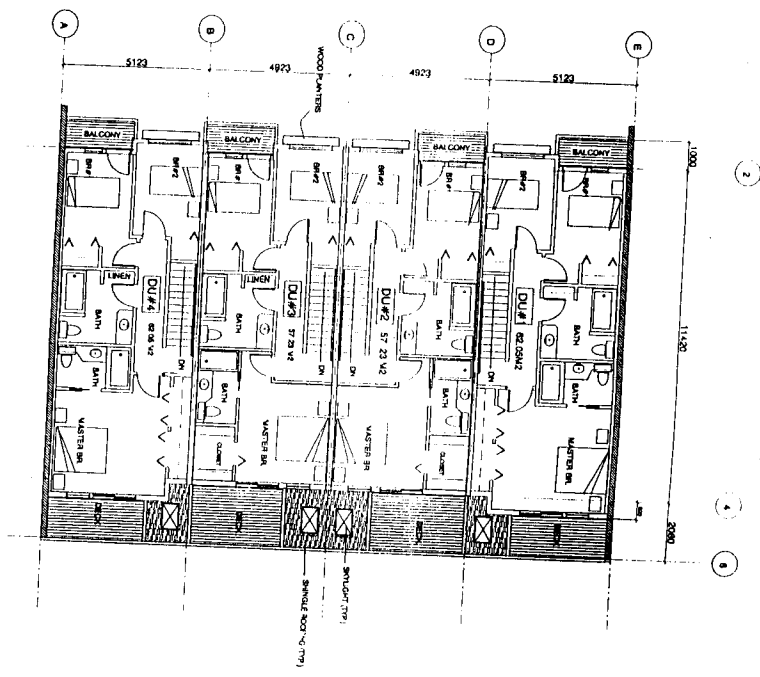
Company Name
 LANDSCAPE PLAN

Author	W. J. G.
Checked	W. J. G.
Drawn	W. J. G.
Date	October 14, 2002
Scale	AS SHOWN

L1

JUN 05 2003
 DP 02-222277

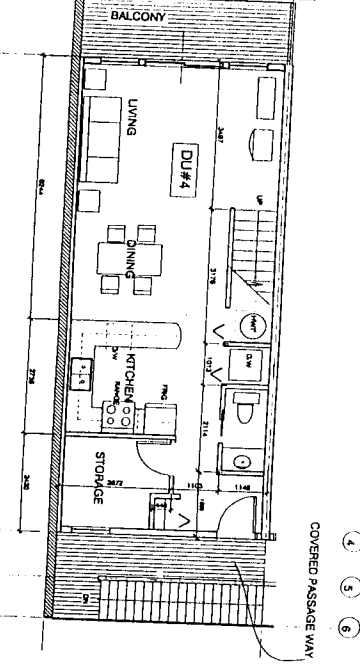
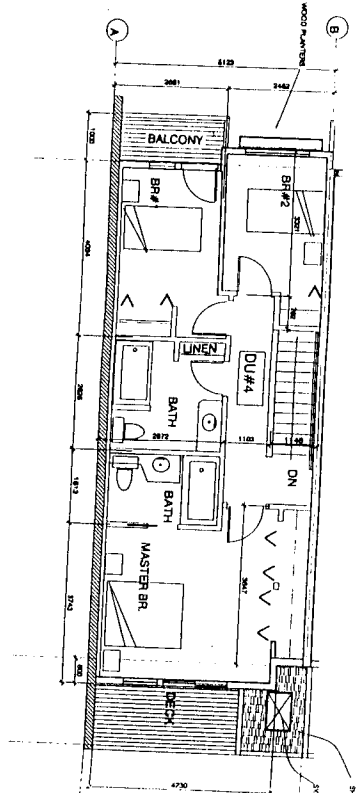
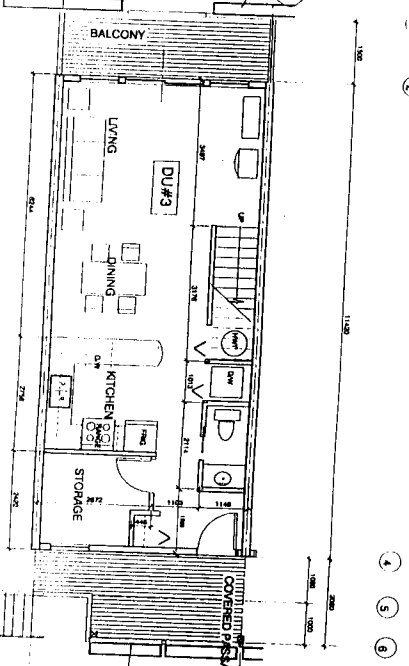
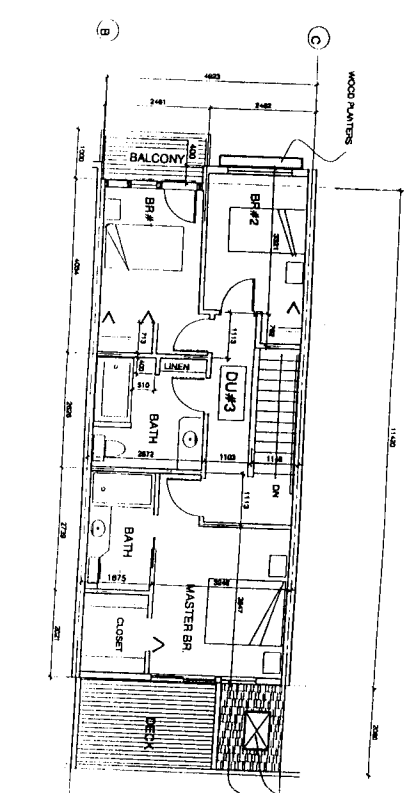
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DESIGNER	ARCHITECTS	1812 N. 2ND ST.	WASHINGTON, DC 20002
DATE	NOV-2002		
KERRY G. LEE ARCHITECTS			
1000 1120 N. WASHINGTON BLVD.			
CROSS-CON. BLDG. 2ND FLR			
PHONE: (800) 898-2222			
FAX: (800) 898-2222			
PROJECT:			
UNIVERSITY MICROFILMS INTERNATIONAL			
BUILDING			
CHAUNAY 1381 INVESTMENTS, INC.			
DRAWING TITLE:			
3RD FLOOR KEY PLAN			
3RD FLOOR KEY PLAN			
DATE:			
SCALE:			
DRAWING NO.:			

JUN 05 200
 DP 02-222227

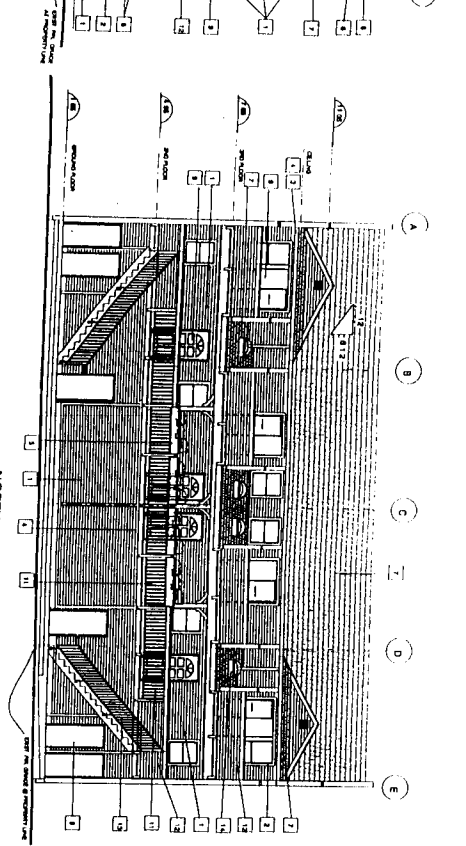
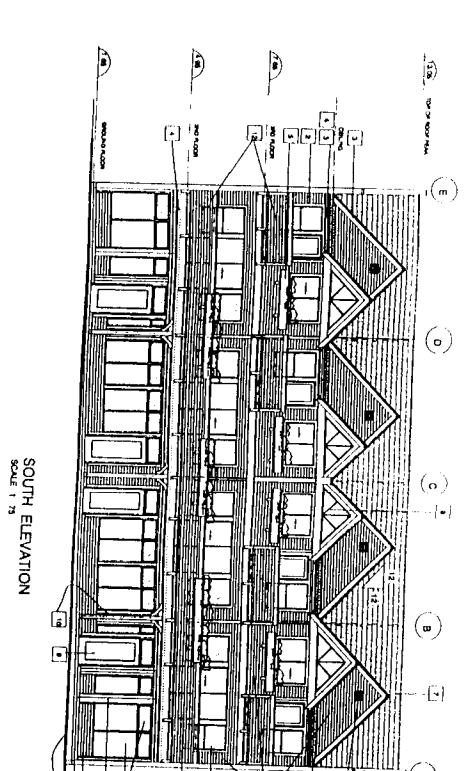
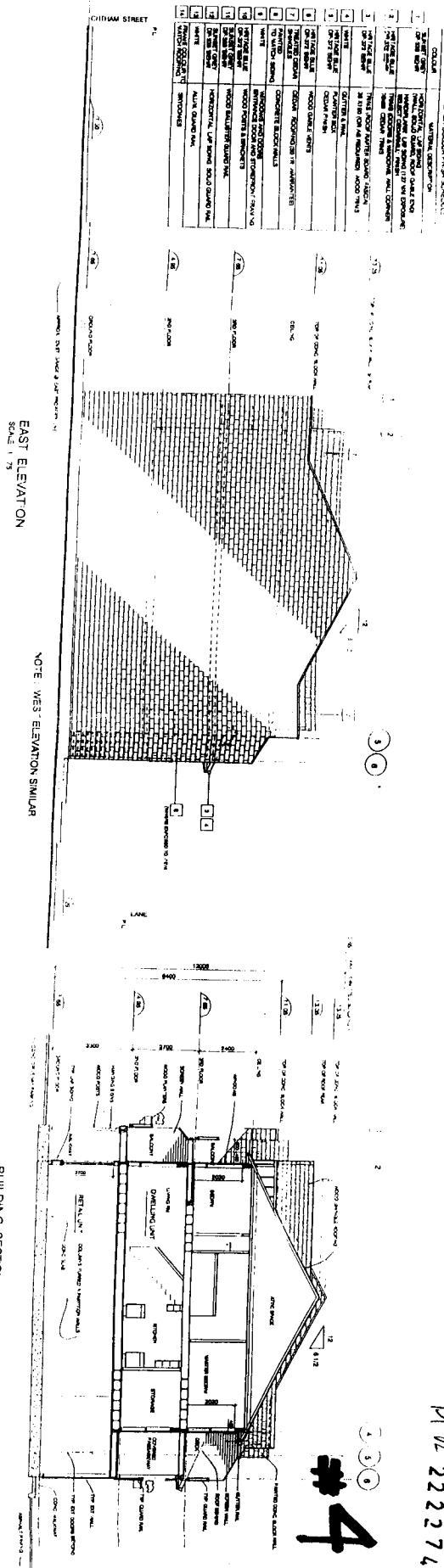
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DESIGNED BY	DATE	PROJECT
DRAWN BY	DATE	CLIENT
CHECKED BY	DATE	LOCATION
DATE	SCALE	PROJECT NO.
NO.	DATE	REV.
ICEVIN C. LEE ARCHITECT 4200 118th Avenue Houston, TX 77055 PHONE: (832) 858-2222 FAX: (832) 858-2222 WWW: WWW.ICEVINLEE.COM		
PROJECT: WINDY LANE CONDOMINIUM RESIDENTIAL PHASE 1 CHATTANOGA INTERIORS INC. 3800 QUINN AVENUE HOUSTON, TX 77058		
DRAWING TITLE DWELLING UNIT DETAILS		

LEGEND

NO.	SYMBOL	DESCRIPTION
1	[Symbol]	CONCRETE BLOCK WALL
2	[Symbol]	CONCRETE BLOCK WALL WITH WINDOW
3	[Symbol]	CONCRETE BLOCK WALL WITH DOOR
4	[Symbol]	CONCRETE BLOCK WALL WITH WINDOW AND DOOR
5	[Symbol]	CONCRETE BLOCK WALL WITH WINDOW AND DOOR AND SMOKE CHIMNEY
6	[Symbol]	CONCRETE BLOCK WALL WITH WINDOW AND DOOR AND SMOKE CHIMNEY AND AIR CONDITIONING UNIT
7	[Symbol]	CONCRETE BLOCK WALL WITH WINDOW AND DOOR AND SMOKE CHIMNEY AND AIR CONDITIONING UNIT AND RAIN WATER HARVESTING SYSTEM
8	[Symbol]	CONCRETE BLOCK WALL WITH WINDOW AND DOOR AND SMOKE CHIMNEY AND AIR CONDITIONING UNIT AND RAIN WATER HARVESTING SYSTEM AND SOLAR PANELS
9	[Symbol]	CONCRETE BLOCK WALL WITH WINDOW AND DOOR AND SMOKE CHIMNEY AND AIR CONDITIONING UNIT AND RAIN WATER HARVESTING SYSTEM AND SOLAR PANELS AND GREEN ROOF
10	[Symbol]	CONCRETE BLOCK WALL WITH WINDOW AND DOOR AND SMOKE CHIMNEY AND AIR CONDITIONING UNIT AND RAIN WATER HARVESTING SYSTEM AND SOLAR PANELS AND GREEN ROOF AND BIODEGRADABLE INSULATION
11	[Symbol]	CONCRETE BLOCK WALL WITH WINDOW AND DOOR AND SMOKE CHIMNEY AND AIR CONDITIONING UNIT AND RAIN WATER HARVESTING SYSTEM AND SOLAR PANELS AND GREEN ROOF AND BIODEGRADABLE INSULATION AND ENERGY EFFICIENT LIGHTING
12	[Symbol]	CONCRETE BLOCK WALL WITH WINDOW AND DOOR AND SMOKE CHIMNEY AND AIR CONDITIONING UNIT AND RAIN WATER HARVESTING SYSTEM AND SOLAR PANELS AND GREEN ROOF AND BIODEGRADABLE INSULATION AND ENERGY EFFICIENT LIGHTING AND WATER SAVING TOILETS
13	[Symbol]	CONCRETE BLOCK WALL WITH WINDOW AND DOOR AND SMOKE CHIMNEY AND AIR CONDITIONING UNIT AND RAIN WATER HARVESTING SYSTEM AND SOLAR PANELS AND GREEN ROOF AND BIODEGRADABLE INSULATION AND ENERGY EFFICIENT LIGHTING AND WATER SAVING TOILETS AND ENERGY EFFICIENT APPLIANCES
14	[Symbol]	CONCRETE BLOCK WALL WITH WINDOW AND DOOR AND SMOKE CHIMNEY AND AIR CONDITIONING UNIT AND RAIN WATER HARVESTING SYSTEM AND SOLAR PANELS AND GREEN ROOF AND BIODEGRADABLE INSULATION AND ENERGY EFFICIENT LIGHTING AND WATER SAVING TOILETS AND ENERGY EFFICIENT APPLIANCES AND ENERGY EFFICIENT WINDOWS
15	[Symbol]	CONCRETE BLOCK WALL WITH WINDOW AND DOOR AND SMOKE CHIMNEY AND AIR CONDITIONING UNIT AND RAIN WATER HARVESTING SYSTEM AND SOLAR PANELS AND GREEN ROOF AND BIODEGRADABLE INSULATION AND ENERGY EFFICIENT LIGHTING AND WATER SAVING TOILETS AND ENERGY EFFICIENT APPLIANCES AND ENERGY EFFICIENT WINDOWS AND ENERGY EFFICIENT ROOFING
16	[Symbol]	CONCRETE BLOCK WALL WITH WINDOW AND DOOR AND SMOKE CHIMNEY AND AIR CONDITIONING UNIT AND RAIN WATER HARVESTING SYSTEM AND SOLAR PANELS AND GREEN ROOF AND BIODEGRADABLE INSULATION AND ENERGY EFFICIENT LIGHTING AND WATER SAVING TOILETS AND ENERGY EFFICIENT APPLIANCES AND ENERGY EFFICIENT WINDOWS AND ENERGY EFFICIENT ROOFING AND ENERGY EFFICIENT FLOORING
17	[Symbol]	CONCRETE BLOCK WALL WITH WINDOW AND DOOR AND SMOKE CHIMNEY AND AIR CONDITIONING UNIT AND RAIN WATER HARVESTING SYSTEM AND SOLAR PANELS AND GREEN ROOF AND BIODEGRADABLE INSULATION AND ENERGY EFFICIENT LIGHTING AND WATER SAVING TOILETS AND ENERGY EFFICIENT APPLIANCES AND ENERGY EFFICIENT WINDOWS AND ENERGY EFFICIENT ROOFING AND ENERGY EFFICIENT FLOORING AND ENERGY EFFICIENT PAINTS
18	[Symbol]	CONCRETE BLOCK WALL WITH WINDOW AND DOOR AND SMOKE CHIMNEY AND AIR CONDITIONING UNIT AND RAIN WATER HARVESTING SYSTEM AND SOLAR PANELS AND GREEN ROOF AND BIODEGRADABLE INSULATION AND ENERGY EFFICIENT LIGHTING AND WATER SAVING TOILETS AND ENERGY EFFICIENT APPLIANCES AND ENERGY EFFICIENT WINDOWS AND ENERGY EFFICIENT ROOFING AND ENERGY EFFICIENT FLOORING AND ENERGY EFFICIENT PAINTS AND ENERGY EFFICIENT GLAZING
19	[Symbol]	CONCRETE BLOCK WALL WITH WINDOW AND DOOR AND SMOKE CHIMNEY AND AIR CONDITIONING UNIT AND RAIN WATER HARVESTING SYSTEM AND SOLAR PANELS AND GREEN ROOF AND BIODEGRADABLE INSULATION AND ENERGY EFFICIENT LIGHTING AND WATER SAVING TOILETS AND ENERGY EFFICIENT APPLIANCES AND ENERGY EFFICIENT WINDOWS AND ENERGY EFFICIENT ROOFING AND ENERGY EFFICIENT FLOORING AND ENERGY EFFICIENT PAINTS AND ENERGY EFFICIENT GLAZING AND ENERGY EFFICIENT MECHANICAL SYSTEMS
20	[Symbol]	CONCRETE BLOCK WALL WITH WINDOW AND DOOR AND SMOKE CHIMNEY AND AIR CONDITIONING UNIT AND RAIN WATER HARVESTING SYSTEM AND SOLAR PANELS AND GREEN ROOF AND BIODEGRADABLE INSULATION AND ENERGY EFFICIENT LIGHTING AND WATER SAVING TOILETS AND ENERGY EFFICIENT APPLIANCES AND ENERGY EFFICIENT WINDOWS AND ENERGY EFFICIENT ROOFING AND ENERGY EFFICIENT FLOORING AND ENERGY EFFICIENT PAINTS AND ENERGY EFFICIENT GLAZING AND ENERGY EFFICIENT MECHANICAL SYSTEMS AND ENERGY EFFICIENT ELECTRICAL SYSTEMS



DATE	SCALE
NO.	NO.
PROJECT	PROJECT
DRAWING TITLE	DRAWING TITLE
EXTENSION	EXTENSION
BUILDING	BUILDING
SECTION	SECTION
DRAWING NO.	DRAWING NO.
A-5 OF 5	

JUN 05 2003
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