



**To:** Planning Committee  
**From:** Wayne Craig,  
Director, Development

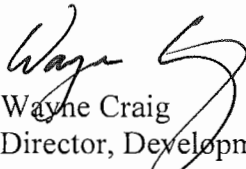
**Date:** March 9, 2018  
**File:** HA 17-775892

**Re:** Application by David Lin for a Heritage Alteration Permit at 6471 Dyke Road  
(McKinney House)

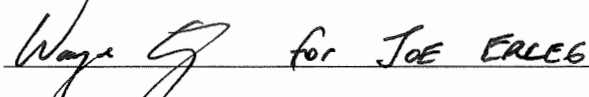
**Staff Recommendation**

That a Heritage Alteration Permit be issued which would:

1. Permit exterior alterations to historic windows, porch and upper balcony, painting of the exterior cladding, the demolition of an existing non-historic rear addition and the construction of a new rear addition to the heritage-designated house at 6471 Dyke Road, on a site zoned "Single Detached Housing (ZS1) – London Landing (Steveston)"; and
2. Vary the provision of Richmond Zoning Bylaw 8500 to reduce the required minimum rear yard setback from 5.0 m to 4.2 m.

  
Wayne Craig  
Director, Development

WC: mp  
Att. 7

REPORT CONCURRENCE		
<b>ROUTED TO:</b>	<b>CONCURRENCE</b>	<b>CONCURRENCE OF GENERAL MANAGER</b>
Policy Planning	<input checked="" type="checkbox"/>	

## Staff Report

### Origin

David Lin has applied for a Heritage Alteration Permit for the heritage-designated house, known as the McKinney House, at 6471 Dyke Road (Attachment 1) in order to restore and rehabilitate exterior features, as well as to remove an existing non-historic rear addition and construct a new, larger rear addition. The existing rear addition is two-storey and is 40 m<sup>2</sup> (429.6 ft<sup>2</sup>) in floor area; the proposed addition is two-storey and is approximately 85 m<sup>2</sup> (914.7 ft<sup>2</sup>) in floor area and will accommodate a pool and sauna room in the lower level.

The McKinney House was constructed in 1911 and is an excellent example of Foursquare Edwardian-era architecture with Craftsman influences. The house became a protected heritage property in 1988 through Heritage Designation Bylaw No. 5186. In 1993, the house was moved from its original location at 5791 Steveston Highway to its current location, and Bylaw 5186 was repealed and replaced with Heritage Designation Bylaw 6130. The Statement of Significance which describes the heritage value of the building is included in Attachment 2.

### Surrounding Development

The property at 6471 Dyke Road is surrounded by the following sites.

- To the North: Townhouses (known as “Princess Lane”) on a site zoned “Town Housing (ZT43) – London Landing (Steveston)”.
- To the East: City-owned London Farm heritage site, protected by Heritage Designation Bylaws No. 3515, 3528 and 3711, on a site zoned “Agriculture (AG1)”.
- To the West: A two-family dwelling on a site zoned “Heritage Two-Unit Dwelling (ZD1) – London Landing (Steveston)”.

### Development Information

The attached Development Application Data Sheet (Attachment 3) provides a comparison of the proposed development with the applicable requirements.

### Related Policies & Regulations

#### 2041 Official Community Plan and Steveston Area Plan

The City’s 2041 Official Community Plan Section 4 “Vibrant Cities” includes city-wide direction and policy to “preserve, promote and celebrate community heritage”.

The Steveston Area Plan seeks to “conserve significant heritage resources throughout the Steveston area”. Policy 4.1 (h) specifies that the Standards and Guidelines for the Conservation of Historic Places in Canada (“S&Gs”), prepared by Parks Canada, be used for heritage resource management. The S&Gs are applied under the “Analysis” section to assess the impact of the

proposed interventions (i.e. alterations) on the heritage value and character-defining elements of the McKinney House, as identified in the Statement of Significance for the property.

#### Heritage Procedures Bylaw 8400

Under Section 4.1.3 of the City's Heritage Procedures Bylaw 8400, a Heritage Alteration Permit is required for any exterior alterations to a property that is protected through a Heritage Designation Bylaw. As the house at 6471 Dyke Road is protected under Heritage Designation Bylaw No. 6130, a Heritage Alteration Permit is required.

#### **Public Consultation**

A development sign has been installed on the subject property. The owner has also spoken to the immediate neighbours to the north and west about the proposed alterations and has provided written correspondence from the neighbours in support of the proposal (Attachment 4).

#### **Richmond Heritage Commission**

The application was presented to the Richmond Heritage Commission on September 27, 2017 and was supported. An excerpt of the Richmond Heritage Commission meeting minutes is included in Attachment 5.

#### **Zoning Compliance/Variances**

The applicant requests to vary the provision of Richmond Zoning Bylaw 8500 to reduce the minimum required rear yard setback from 5.0 m to 4.2 m.

Staff support the requested variance for the following reasons:

- *The requested variance is minor as only the northwest portion of the proposed rear addition will encroach onto the minimum required setback of 5.0 m due to the curved building form.*
- *The second storey of the new rear addition will be set back at a distance of 5.1 m from the property line shared with the townhouse development adjacent to the north.*
- *6' high wooden fence and 8' cedar hedging will be provided along the rear and side property lines surrounding the rear addition to minimize overlook impact on the adjacent neighbours.*
- *The immediately adjacent neighbours provided written correspondence in support of the proposed development.*

In order to ensure that the proposed rear yard landscaping works are completed and adequately maintained, the applicant is required to provide a landscape security of \$5,170 before the issuance of a Building Permit.

## **Analysis**

### Existing Legal Encumbrance

A flood plain covenant was registered on the title of the subject property in 1992. The existing flood plain covenant will be replaced with a new flood covenant to reflect the current Flood Plain Construction Level requirement of 2.9 m.

### Heritage Impact Assessment

The following is a detailed list of the proposed alterations.

- Extensive repair of all 31 historic wood window sashes in the front, side and rear facades of the main and upper storeys and replacement of hardware and lower wood sashes that are beyond repair as necessary on a like-for-like basis
- Replacement of all six (6) attic wood sashes that are rotten with double-glazed wood sash windows on a like-for-like basis
- Installation of two (2) new wood windows to replace the smaller wood windows at basement level in the front façade and repair of the nine (9) existing basement windows and the garage door
- Installation of one kitchen window on the main floor in the west façade, where there is none existing
- Replacement of the existing aluminum basement door in the west façade with a new wood door with true-divided lite wood bars and clear tempered glass
- Removal of the non-historic gate from the porch and glazing enclosure of the upper front balcony to restore their original appearance, and restoration of the wood railings for the porch
- Two new wood French doors to replace the two existing non-historic doors in the front façade to provide access to upper floor balcony
- Removal of a 1990s rear addition to be replaced with a new addition that is compatible but distinguishable from the heritage house
- Painting of all existing facades, and the new rear addition, in colours selected from the Benjamin Moore Historic Colours collection

The guidelines that apply to heritage resources in Steveston are the Parks Canada's Standards and Guidelines for the Conservation of Historic Places in Canada ("S&Gs"). The standards are principles that apply to all historic places and features, whereas the guidelines are specific to each type of historic place and/or materials; together they are applied to assess the overall impact of proposed alterations on the heritage value and character-defining elements of historic places.

### *National Standards*

The following are applicable S&G "standards" (Attachment 6) most relevant to the proposed alterations to the McKinney House.

- Do not remove, replace or substantially alter its intact or repairable character-defining elements.

- Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.
- Repair rather than replace character-defining elements. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the historic place.
- Conserve the heritage value and character-defining elements when creating any new additions to an historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.

The proposal is supportable because the porch and balcony will be restored, most of the wood windows will be retained and restored, the existing cladding materials will be retained and repainted, and the new rear addition is compatible, subordinate to, and distinguishable from the main house.

#### *National Guidelines*

The following are excerpts from the S&G “guidelines” (Attachment 7), which are most relevant to proposed exterior alterations to the McKinney House.

- Repairing or replacing materials to match the original as closely as possible both visually and physically.
- Repairing windows, doors and storefronts by using a minimal intervention approach. Such repairs might include the limited replacement in kind, or replacement with an appropriate substitute material, of irreparable or missing elements, based on documentary or physical evidence.
- Reinstating an open porch or balcony that was enclosed.
- Designing a new addition in a manner that draws a clear distinction between what is historic and what is new.
- Designing an addition that is compatible in terms of materials and massing with the exterior form of the historic building and its setting.

The applicant has provided a report by a qualified consultant for the existing conditions of all wood window sashes and hardware and restoration work, as well as the fabrication and installation of two new basement windows on the front façade, and one in the west façade to provide light into a kitchen. This involves cutting into the lap siding but is supportable because the number, location, size and style of the windows is compatible with the design of the heritage house overall.

The proposal includes the removal of enclosures from the front porch and balcony to restore the architectural features to their original appearance, and a new wood barrier to meet the British Columbia Building Code. The proposed work is consistent with the national guidelines.

The existing rear addition is not historic, utilitarian and has no heritage value. Staff support its replacement with the proposed new addition with a design that is compatible with the style, form, massing, and finishes of the heritage home. Specifically, the new portion is a contemporary interpretation of an Arts & Crafts style, which blends well with Arts & Crafts-influenced features of the home such as support columns, hipped-shape roof and wood shingles.

Details of the proposed pool and sauna room will be reviewed through the building permit application process to ensure that they meet any applicable requirements including safety, engineering and environmental requirements.

The choice of paint colours is appropriate and supported by staff; the proposed “Newburyport Blue” and “Monterey White” are chosen from Benjamin Moore’s Historic Colour collection.

### **Conclusion**

The proposed alterations are consistent with the Parks Canada’s Standards and Guidelines for the Conservation of Historic Places in Canada, and the proposed variance for the rear yard setback is minor and potential overlook concerns is minimized through additional landscaping and fencing.

Staff recommend that the Heritage Alteration Permit be endorsed, and issuance by Council be recommended.



Minhee Park  
Planner 2, Policy Planning

MP:cas

- Attachment 1: Location Maps for Subject Site at 6471 Dyke Road
- Attachment 2: Statement of Significance for the McKinney House
- Attachment 3: Development Application Data Sheet
- Attachment 4: Letter/Email Correspondence from Immediate Neighbours
- Attachment 5: Excerpt from the September 27, 2018 Richmond Heritage Commission Minutes
- Attachment 6: Excerpt from the National Standards
- Attachment 7: Excerpt from the National Guidelines

**The following are to be met prior to the issuance of a Building Permit:**

1. Submission of a Letter-of-Credit for the rear yard landscaping in the amount of \$5,170
2. Discharge of the flood plain covenant registered on title under BF171515
3. Registration of a replacement flood covenant on title
4. Engineering infrastructure improvements, which include but are not limited to:

Water Works

1. At the Developer's cost, determine the loading and service line capacity requirement due to development, and complete.
2. At the Developer's cost, the City is to upgrade the water service line to 25 mm at minimum, or larger if determined by engineer, with water meter and meter box as per bylaw 5637.

Storm Sewer Works

There is currently no established drainage for the property. As per the City's Building Regulation Bylaw section 4.1.1 (a), a building permit cannot be issued to a property which is not being serviced by a City storm sewer or does not have approval for the installation of an alternative storm water disposal system. The installation of a storm service connection will be required and it will be reviewed and approved through the building permit process. Environmental staff review will be required via the building permit approval process because the existing drainage system fronting the property is a Riparian Management Area ditch. The applicant may be required to obtain the services of a Qualified Environmental Professional (QEP) to conduct the required environmental review.

Sanitary Sewer Works

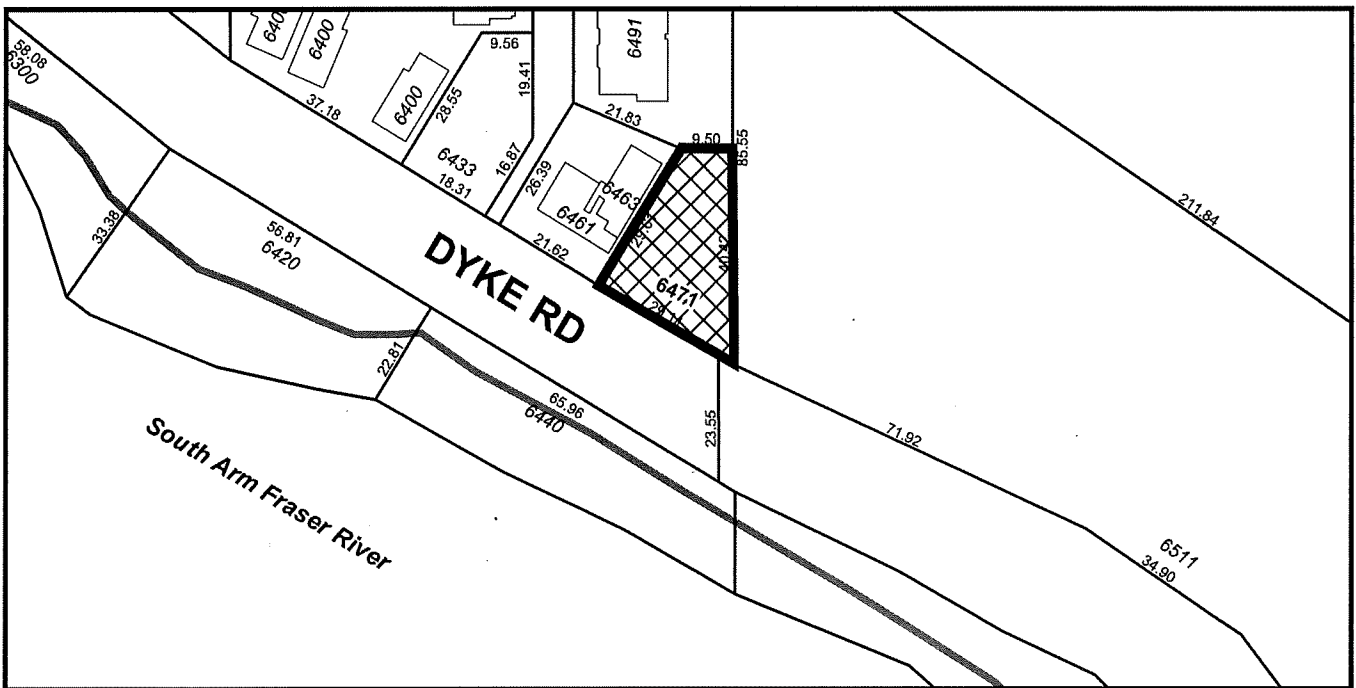
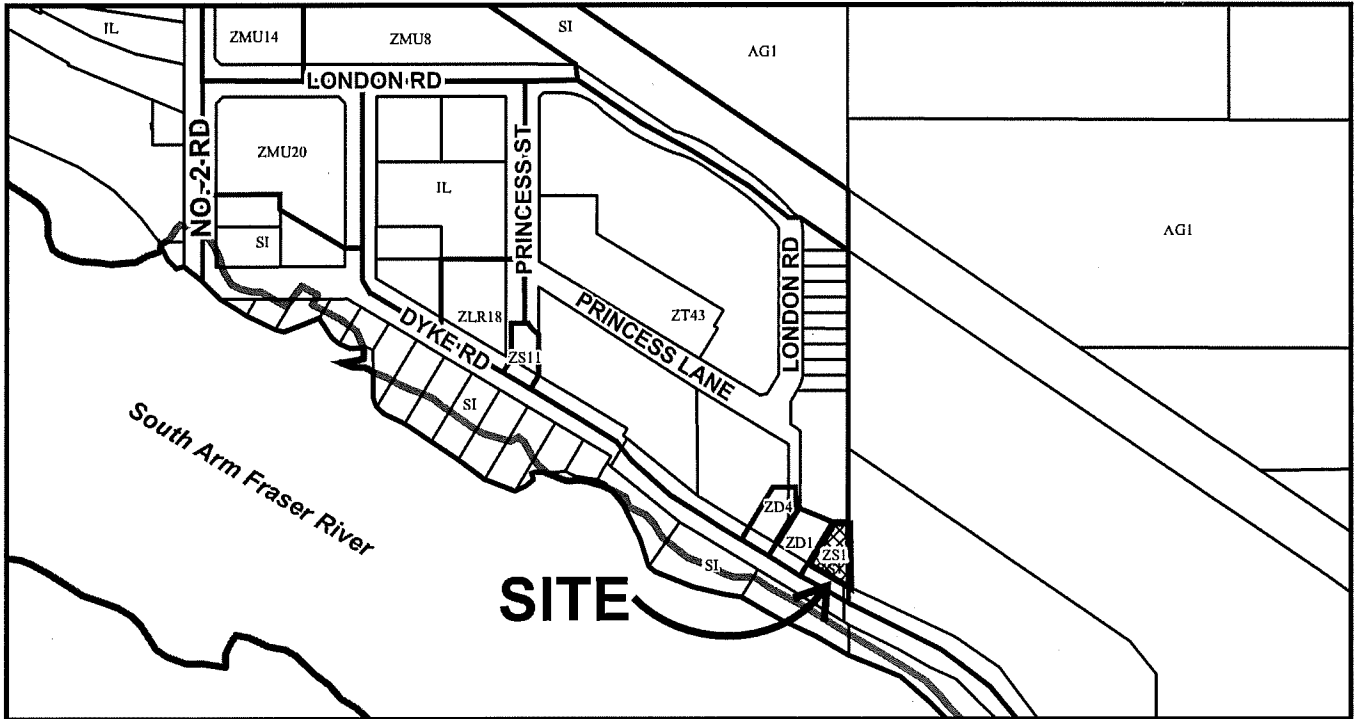
1. At the Developer's cost, a professional engineering report which confirms that the sanitary system can support the additional loading for the pool and hot tub; otherwise,
2. At the Developer's cost, the City is to upgrade the downstream sanitary infrastructure to allow for the additional loading.

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Signed Date



# City of Richmond



	<h2>HA 17-775892</h2>	Original Date: 07/13/17 Revision Date: Note: Dimensions are in METRES
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# City of Richmond



HA 17-775892

Original Date: 07/13/17

Revision Date:

Note: Dimensions are in METRES



# M<sup>C</sup>KINNEY HOUSE

## STATEMENT OF SIGNIFICANCE

JULY 2017

**DONALD LUXTON**  
AND ASSOCIATES INC



CNCL - 174

## STATEMENT OF SIGNIFICANCE



**Current Address:** 6471 Dyke Road, Richmond, British Columbia

**Original Owners:** James and Jane McKinney

**Date of Construction:** 1911

### **Description of Historic Place**

The two and one-half storey McKinney House is located at 6471 Dyke Road along the Fraser River in the historic Steveston neighbourhood of Richmond. The Foursquare style, Edwardian-era, Sears, Roebuck and Company Catalogue residence was constructed in 1911, originally along Steveston Highway, and moved to its present location in 1993. Situated on a large, south-facing lot, the house is characterized by its hipped-roof with symmetrical hipped dormers, decorative bevelled glass windows, and full-width verandah.

### **Heritage Value of Historic Place**

The McKinney House is valued as one of the oldest remaining houses in Steveston and for its association with original owners and prominent residents James and Jane McKinney. The house is also significant as an excellent example of a Sears, Roebuck and Company Catalogue house exhibiting Foursquare Edwardian-era architecture.

Steveston, located at the southern-most end of the city of Richmond, began its modern development in the nineteenth century as an agricultural community. In 1880, William Herbert

Steves, the son of Manoh Steves, the first newcomer in the area, bought land and began to develop a townsite that would rival that developing in Vancouver. Steveston's surrounding agricultural area thrived, producing a wide range of crops. Dairy farming, as well as vegetable and berry growing, were also highly successful. James and Jane McKinney, who had arrived in the area from Ontario, were well-known landowners in early Steveston, buying large swaths of land in the young municipality of Richmond. In addition to traditional farming pursuits on their land, the McKinneys also grew and bred plants, leading to the establishment of the larger of two loganberry wineries in Richmond, the Myrtina (Myrtena) Winery, during the 1930s. The McKinneys built this home in Steveston in 1911 along Steveston Highway, where it was surrounded by newly settled farms and newly-built farmhouses. Their home has been connected to the greater Steveston community for more than century.

The McKinneys were among the early citizens to settle in Steveston. James McKinney arrived in the 1890s as a tax collector and customs agent for the federal government and capitalized on the fervor surrounding the Gold Rush and the subsequent real-estate boom. Though briefly leaving Steveston for Vancouver, James, Jane, and their six children soon moved back, ordering *The Hamilton* home from the Sears, Roebuck and Company Catalogue in 1908. McKinney made significant upgrades to the original Sears plan with the goal of constructing an unrivalled residence in Steveston. The McKinney House arrived from Chicago in 1911, as the pre-war economic boom was reaching its peak. The house was a known centre of community life in the area, as the McKinneys were active residents, assisting in the founding and building of the South Arm Presbyterian Church, volunteering with the Liberal party and the Kiwanis club, and hosting Liberal functions, Red Cross teas and fashion shows in the house. The McKinneys remained in the house until 1948, when it was sold to the Scollon family. In 1992, the house was purchased by Curtis and Eileen Eyestone, who subsequently moved the residence to its current location along Dyke Road.

The McKinney House is an excellent example of Foursquare Edwardian-era architecture, with Craftsman influences. The symmetrical design of Foursquare houses originated as a reaction to the more elaborate and flamboyant Victorian styles, which often included ornate mass-produced elements. The typical Foursquare house was constructed from quality local materials, most often fir and cedar in British Columbia. The interior layout was oriented for the maximum amount of interior room space, while large and plentiful windows provided the maximum amount of light and views. The house features a hipped-roof with symmetrical hipped dormers, decorative bevelled glass windows on the ground floor, and a full front verandah with four square tapered porch columns. The McKinney House is a prominent local landmark, and a significant surviving example of Richmond's historic housing stock.

### **Character-Defining Elements**

The elements that define the heritage character of the McKinney House are its:

- residential use for more than a century;
- residential form, scale and massing as expressed by its two and one-half storey height with square plan and hipped-roof;
- wood-frame construction including narrow lapped siding on the ground floor and twin-coursed shingling on the second floor;
- features of the Edwardian-era Foursquare style including: its symmetrical design, hipped-roof structure with hipped roof dormers on each side, bellyband, bay window with hipped-roof on the east elevation, full-width front verandah with hipped roof and balcony above,

STATEMENT OF SIGNIFICANCE: MCKINNEY HOUSE, 6471 DYKE ROAD, RICHMOND

- square tapered verandah columns and closed balustrade, its closed soffits with dentil coursing, closed soffit ceiling and tongue and groove wooden deck;
- wooden windows including double-hung, casement, and decorative bevelled and stained glass assemblies; and
  - two symmetrical exterior masonry chimneys on both the east and west elevations.

## RESEARCH SUMMARY

**ADDRESS:** 6471 Dyke Road, Richmond, British Columbia

**ORIGINAL OWNERS:** James and Jane McKinney

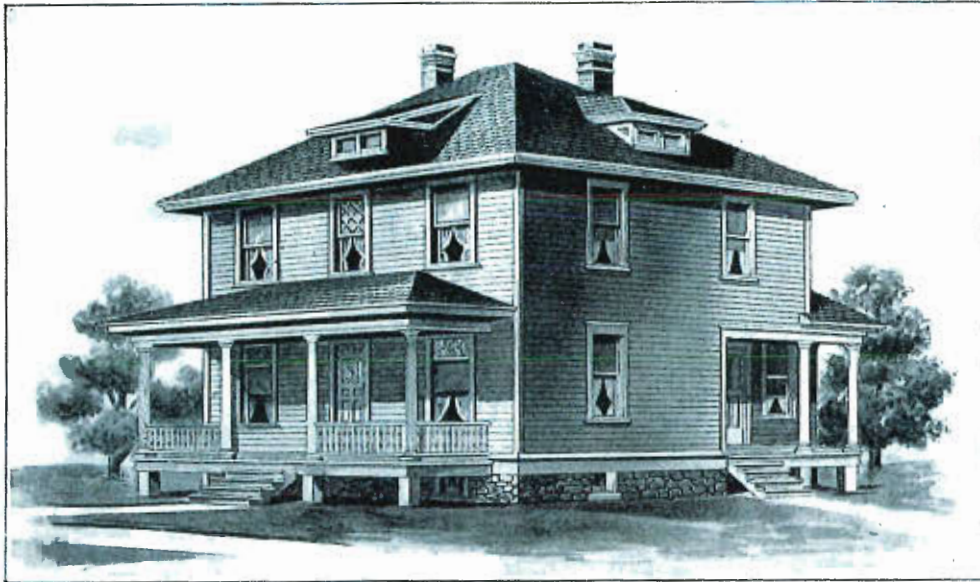
**DATE OF CONSTRUCTION:** 1911, ordered from a 1908 Sears, Roebuck and Company Catalogue



Ca. 1914 image of the McKinney House, shortly after its completion, City of Richmond Archives

**\$2,065<sup>00</sup> Completely BUILDS AND FINISHES  
This \$3,000.00 Ten-Room Residence**

As Proven by Our FREE Plans, Specifications and Complete Itemized Bill of Materials.  
THESE PLANS ARE FREE OF CHARGE TO YOU ON CONDITIONS EXPLAINED ON PAGE 2.



**MODERN HOME No. 102**

This house contains ten conveniently and economically arranged rooms as shown on the two floor plans.

The arrangement of this house is as follows:

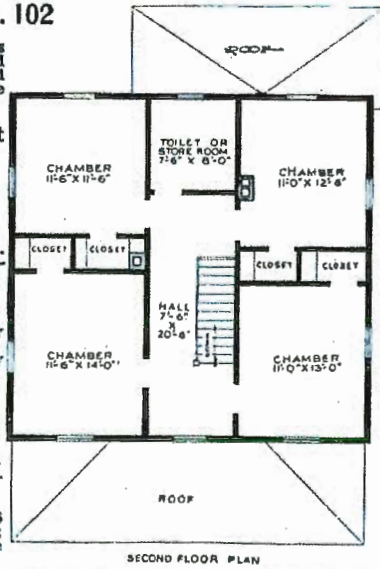
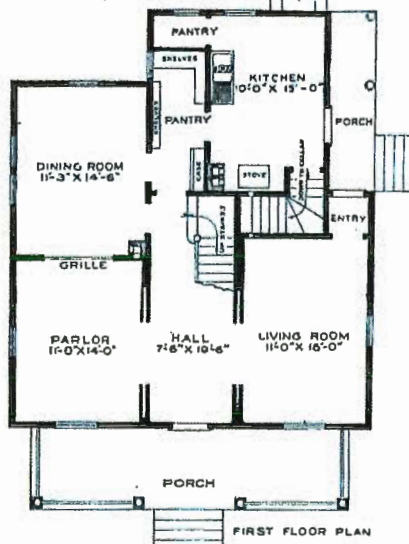
**FIRST FLOOR.**

Parlor.  
Large Reception Hall.  
Living Room or Library.  
Dining Room.  
Kitchen.  
Pantry.  
Front Porch, 7 feet by 25 feet.  
Rear Porch, 4 feet by 15 feet 6 inches.

**SECOND FLOOR.**

Bedroom.  
Bedroom.  
Bedroom.  
Bedroom.  
Bathroom or Store-room.  
Large Hall.  
Length of building 36 feet, exclusive of porches; width, 32 feet, exclusive of porches.

This house is one of the most economical to build. Being practically square, every inch of space can be utilized to the very best advantage. It has proven to be a favorite in all parts of the country. It is the best house ever built in recent years under \$3,000.00. The material we specify is always the best. Send for the plans (blue prints), specifications and bill of materials which we will send you free on conditions as explained on page 2.



Any of the houses shown in this book can be arranged with bathroom for a small additional charge. Write for particulars.

STATEMENT OF SIGNIFICANCE: MCKINNEY HOUSE, 6471 DYKE ROAD, RICHMOND



Moving of the McKinney House, August 1, 1993, *The Review*



DONALD LUXTON & ASSOCIATES INC. JULY 2017



STATEMENT OF SIGNIFICANCE: MCKINNEY HOUSE, 6471 DYKE ROAD, RICHMOND





HA 17-775892

Attachment 3

Address: 6471 Dyke Road

Applicant: David Lin

Owner: Ramzi Astifo and Fatin Herbert

Planning Area(s): Steveston – London/Princess Node

Floor Area 551 m<sup>2</sup>

	Existing	Proposed	
Site Area:	620 m <sup>2</sup>	620 m <sup>2</sup>	
Land Uses:	Single Detached Housing	Single Detached Housing with Secondary Suite	
OCP Designation:	Neighbourhood Residential	Neighbourhood Residential	
Zoning:	"Single Detached Heritage (ZS1) – London Landing (Steveston)"	"Single Detached Heritage (ZS1) – London Landing (Steveston)"	
Number of Units:	1	2	
	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	1.0	0.89	none permitted
Lot Coverage:	Max. 45% (buildings) 70% (non-porous)	36% (buildings) 61% (non-porous)	n/a
Setback – Front Yard (south):	Min. 6.0 m	6.2 m	n/a
Setback – Rear Yard (north):	Min. 5.0 m	4.2 m*	*variance
Setback – Side Yard (west):	1.2 m	2.09 m	n/a
Setback – Side Yard (east):	1.2 m	1.7 m	n/a
Height (m):	15 m	10.72 m	n/a
Lot Size:	620 m <sup>2</sup>	620 m <sup>2</sup>	n/a
Parking Spaces:	2	2	n/a
Live landscaping	Min. 20%	30%	n/a



223 – 11121 HORSESHOE WAY  
RICHMOND B.C V7A 5G7  
Ph:(604)271-0220 Fax: (604)271-0224  
www.bowerpmi.com

Feb 14, 2018

Ramzi Astifo  
6471 Dyke Rd  
Richmond B.C


Re: Neighbour approval for renovation of 6471 Dyke Rd.

As management agent for Strata Plan BCS 4226 "Currents", I advise that the strata council has reviewed your plans to renovate and add an addition to your property.

The council thanks you for reaching out to and explaining the work to be performed and approves the work and plans as you have presented them.

Thank you

BOWER PROPERTY MANAGEMENT INC.



Richard Ertner  
Strata manager

## Park,Minhee

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**From:** Ramzi Astifo <ramzi@pwprofiles.com>  
**Sent:** Thursday, 15 February 2018 21:59  
**To:** Park,Minhee; David Lin  
**Subject:** Fwd: 6471 Dyke Rd  
**Attachments:** 6471 Dyke Rd.docx; ATT00001.htm

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

Sent from my iPhone

Begin forwarded message:

**From:** "Gale Rocky" <galeroc@shaw.ca>  
**Date:** February 15, 2018 at 9:56:46 PM PST  
**To:** <ramzi@pwprofiles.com>  
**Subject:** 6471 Dyke Rd

Hello Ramzi

Attached please find a note regarding your proposed renovations. I hope this is sufficient for your needs, if not please feel free to contact me again.

Regards  
Gale Rocky

City of Richmond  
6911 No # 3 Rd  
Richmond, B.C.  
V6Y 2C1

February 15, 2018

To whom it may concern

This is to inform you that I have been contacted by my neighbour Mr. Ramzi Astifo, and he has explained his plans for renovations of his house and property at 6471 Dyke Road. My home is next door at 6461 Dyke Rd and I would like you to know that I have no objections to this occurring. If you have any other questions or concerns feel free to contact me.

Sincerely

Gale Rocky  
604-271-3391

## Park,Minhee

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**From:** Ramzi Astifo <ramzi@pwprofiles.com>  
**Sent:** Monday, 19 February 2018 07:52  
**To:** Park,Minhee  
**Subject:** Fwd: 6471 Dyke Road (full plans)

----- Forwarded message -----

From: Sean Lawson <sean@stevestonrealestate.com>  
Date: Mon, Feb 19, 2018 at 7:50 AM  
Subject: Re: 6471 Dyke Road (full plans)  
To: Ramzi Astifo <ramzi@pwprofiles.com>

To whom it may concern,

Please except this email as our official approval of your plans for the renovations and addition to your home neighbouring our home at 6463 Dyke road, Richmond.

We are pleased that this beautiful heritage home will get these updates and improvements ensuring it will remain a fixture of our neighbourhood.

Please feel free to contact me if you require anything further.

Pat Guzzo  
and

**Sean Lawson**  
**President**



StevestonRealEstate

Phone: 604.274.7326

Fax: 604.274.7320

12235 No 1 Road

Richmond, BC

V7E 1T6

Sent from my iPhone

On Feb 15, 2018, at 3:36 PM, Ramzi Astifo <ramzi@pwprofiles.com> wrote:

Hi Sean,

Attached are my most recent plans.

----- Forwarded message -----

From: Ramzi Astifo <ramzi@pwprofiles.com>  
Date: Thu, Feb 8, 2018 at 12:52 PM  
Subject: Fwd: 6471 Dyke Road (full plans)  
To: <lesa@pwprofiles.com>

**Excerpt of Minutes**  
**Richmond Heritage Commission**  
Held Wednesday, September 27, 2017 (7:00 pm)  
M.2.004  
Richmond City Hall

**Development Proposal – Heritage Alteration Permit for 6471 Dyke Road (McKinney House)**

Ramzi Astifo, owner, and David Lin, architect, joined the Commission to present on the Heritage Alteration Permit proposed for this property.

Staff provided an overview of this proposal and distributed a memo with the proposed changes. It was noted that this building is protected through a Heritage Designation Bylaw and therefore requires a Heritage Alteration Permit for any changes.

The applicants provided information on the history of this building, its move in the 1990s, the proposed modifications, materials (current and proposed), building envelope issues and rain screen proposal. The applicant and staff noted that specific attention was given to ensure that the proposed composite siding to replace the existing wood siding (damaged and degrading) would match the look of the existing wood. An overview of the new addition and indoor pool at the rear of the house was provided as well.

The applicants noted their desire to keep the building as close to the original construction of the McKinney House and referenced a photo (taken circa 1915) as the intended vision of the proposed modifications to the exterior.

Changes to the building through the Heritage Alteration Permit included replacing and repairing all wood windows, alterations to the exterior cladding, removal of non-historic glazing enclosures, restoring certain elements to its original form, removal of an addition constructed in the 1990s, removing the enclosed balconies to return to the original historic form, removing 2 accessory buildings on the property, and requesting a minor variance to the rear yard setback allow for a small building encroachment for the proposed new addition.

For the new rear addition proposed, staff and the applicant noted that the design of this addition was intentionally designed to be distinctive in form and character from the original house, but has design features incorporated into the architectural detailing that relate to the historic arts and crafts character of the house. It was noted that this approach is in keeping with heritage best practices for building additions.

Discussion ensued on measures being taken to protect the building from the humidity of the pool, as well as potential landscaping, privacy issues and roofing materials.

Members discussed building materials including the wood frame windows and exterior plank siding. In response, the applicant confirmed that they had contracted a wood window manufacturer that specializes in wood window replacement and repair.

It was noted that some of the modifications are to parts of the building that are not referenced in the building's statement of significance or a heritage defining character element of the building.

It was moved and seconded:

*That the Richmond Heritage Commission support the Heritage Alteration Permit for proposed modifications to the existing heritage designated site at 6471 Dyke Road as presented to the Commission including the request for variance for the rear setback to accommodate the proposed new building addition.*

*Carried*



# THE STANDARDS

The Standards are not presented in a hierarchical order. All standards for any given type of treatment must be considered, and applied where appropriate, to any conservation project.

## General Standards for Preservation, Rehabilitation and Restoration

1. Conserve the *heritage value* of an *historic place*. Do not remove, replace or substantially alter its intact or repairable *character-defining elements*. Do not move a part of an historic place if its current location is a character-defining element.
2. Conserve changes to an *historic place* that, over time, have become *character-defining elements* in their own right.
3. Conserve *heritage value* by adopting an approach calling for *minimal intervention*.
4. Recognize each *historic place* as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties, or by combining features of the same property that never coexisted.
5. Find a use for an *historic place* that requires minimal or no change to its *character-defining elements*.
6. Protect and, if necessary, stabilize an *historic place* until any subsequent *intervention* is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbing archaeological resources, take mitigation measures to limit damage and loss of information.
7. Evaluate the existing condition of *character-defining elements* to determine the appropriate *intervention* needed. Use the gentlest means possible for any intervention. Respect *heritage value* when undertaking an intervention.
8. Maintain *character-defining elements* on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving *prototypes*.
9. Make any *intervention* needed to preserve *character-defining elements* physically and visually compatible with the *historic place* and identifiable on close inspection. Document any intervention for future reference.

### **Additional Standards Relating to Rehabilitation**

- 10.** Repair rather than replace *character-defining elements*. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the *historic place*.
- 11.** Conserve the *heritage value* and *character-defining elements* when creating any new additions to an *historic place* or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.
- 12.** Create any new additions or related new construction so that the essential form and integrity of an *historic place* will not be impaired if the new work is removed in the future.

### **Additional Standards Relating to Restoration**

- 13.** Repair rather than replace *character-defining elements* from the *restoration* period. Where character-defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements.
- 14.** Replace missing features from the *restoration* period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.

## GENERAL GUIDELINES FOR PRESERVATION, REHABILITATION AND RESTORATION

	Recommended	Not Recommended
10	<b>Updating</b> and adapting maintenance activities, as conditions and knowledge about the materials and maintenance products and methods evolve.	
11	<b>Cleaning</b> materials only when necessary, to remove heavy soiling or graffiti. The cleaning method should be as gentle as possible to obtain satisfactory results.	
12	<b>Carrying</b> out cleaning tests, after it has been determined that a specific cleaning method is appropriate.	
13	<b>Protecting</b> adjacent materials from accidental damage during maintenance or repair work.	Allowing character-defining elements to be exposed to accidental damage by nearby work.
14	<b>Repairing</b> or replacing materials to match the original as closely as possible, both visually and physically.	Using inappropriate or untested materials or consolidants, or using untrained personnel for repair work.

## ADDITIONAL GUIDELINES FOR REHABILITATION PROJECTS

	Recommended	Not Recommended
15	<b>Replacing</b> character-defining materials with compatible substitute materials, when the original is found to accelerate deterioration and only after thorough analysis and monitoring confirms that the material or construction detail is problematic. Substitute materials should be as durable as the overall assembly to maintain its expected service life.	Using new materials and new technologies that do not have a proven track record. Replacing deteriorated character-defining elements using new materials or technologies to improve durability, when the original material performs adequately.

## ADDITIONAL GUIDELINES FOR RESTORATION PROJECTS

	Recommended	Not Recommended
16	<b>Documenting</b> materials dating from periods other than the restoration period before their alteration or removal. If possible, selected samples of these materials should be stored to facilitate future research.	Failing to document materials that are not from the restoration period before removing them.

## GENERAL GUIDELINES FOR PRESERVATION, REHABILITATION AND RESTORATION

	Recommended	Not Recommended
11	<b>Protecting</b> adjacent character-defining elements from accidental damage, or exposure to damaging materials during maintenance or repair work.	
12	<b>Replacing</b> in kind extensively deteriorated or missing parts of windows, doors and storefronts, where there are surviving prototypes.	Replacing an entire functional or decorative element, such as a shutter with a broken louver, or a door with a missing hinge, when only limited replacement of deteriorated or missing part is possible.  Using a substitute material for the replacement part that neither conveys the same appearance as the surviving parts of the element, nor is physically or visually compatible.
13	<b>Testing</b> proposed interventions to establish appropriate replacement materials, quality of workmanship and methodology. This can include reviewing samples, testing products, methods or assemblies, or creating a mock-up. Testing should be carried out under the same conditions as the proposed intervention.	
14	<b>Documenting</b> all interventions that affect the building's windows, doors and storefronts, and ensuring that the documentation is available to those responsible for future interventions.	

## ADDITIONAL GUIDELINES FOR REHABILITATION PROJECTS

	Recommended	Not Recommended
15	<b>Repairing</b> windows, doors and storefronts by using a minimal intervention approach. Such repairs might include the limited replacement in kind, or replacement with an appropriate substitute material, of irreparable or missing elements, based on documentary or physical evidence.	Replacing an entire window, door or storefront when the repair of materials and limited replacement of deteriorated or missing elements is feasible.  Failing to reuse serviceable hardware, such as sash lifts and sash locks, hinges and doorknobs.
16	<b>Replacing</b> in kind irreparable windows, doors or storefronts based on physical and documentary evidence. If using the same materials and design details is not technically or economically feasible, then compatible substitute materials or details may be considered.	Removing an irreparable window, door or storefront and not replacing it, or replacing it with a new one that does not convey the same appearance or serve the same function.  Stripping storefronts of character-defining materials or covering over those materials.
17	<b>Replacing</b> missing historic features by designing and installing new windows, doors and storefronts based on physical and documentary evidence, or one that is compatible in size, scale, material, style and colour.	Creating a false historical appearance because the new window, door or storefront is incompatible, or based on insufficient physical and documentary evidence.

## ADDITIONAL GUIDELINES FOR RESTORATION PROJECTS

Recommended	Not Recommended
<p>28 <b>Repairing</b> entrances, porches and balconies from the restoration using a minimal intervention approach, such as patching, splicing, consolidating or otherwise reinforcing its materials and improving weather protection.</p>	<p>Replacing an entire entrance, porch or balcony from the restoration period when the repair of materials and limited replacement of deteriorated or missing parts is possible.</p>
<p>29 <b>Reinstating</b> an open porch or balcony that was enclosed.</p>	
<p>30 <b>Replacing</b> in kind an entire entrance, porch or balcony from the restoration period that is too deteriorated to repair, using the physical evidence as a model to reproduce the assembly. The new work should be well documented and unobtrusively dated to guide future research and treatment.</p>	<p>Removing an irreparable entrance, porch or balcony from the restoration period and not replacing it, or replacing it with an inappropriate entrance, porch or balcony.</p> <p>Reinstating an entrance, porch or balcony detail that is damaging to character-defining elements.</p>

### REMOVING EXISTING FEATURES FROM OTHER PERIODS

- |  |   |
|--|---|
| <p>31 <b>Removing</b> or altering a non character-defining entrance, porch or balcony from a period other than the restoration period.</p>   | <p>Failing to remove a non character-defining entrance, porch or balcony from another period that confuses the depiction of the building's chosen restoration period.</p> |
| <p>32 <b>Retaining</b> alterations to entrances, porches or balconies that address problems with the original design, if those alterations do not have a negative impact on the building's heritage value.</p> | <p>Removing alterations to an entrance, porch or balcony that serve an important function in the building's ongoing use, such as a ramp or handrail.</p>                  |

### RECREATING MISSING FEATURES FROM THE RESTORATION PERIOD

- |  |   |
|--|---|
| <p>33 <b>Recreating</b> a missing entrance, porch or balcony, or one of its features, from the restoration period, based on physical or documentary evidence; for example, duplicating a fanlight or porch column.</p> | <p>Constructing an entrance, porch or balcony that was part of the building's original design but was never actually built, or a feature thought to have existed during the restoration period but for which there is insufficient documentation.</p> |
|--|---|

## ADDITIONAL GUIDELINES FOR REHABILITATION PROJECTS

	Recommended	Not Recommended
<b>ADDITIONS OR ALTERATIONS TO THE EXTERIOR FORM</b>		
11	<b>Accommodating</b> new functions and services in non-character-defining interior spaces as an alternative to constructing a new addition.	Constructing a new addition when the proposed functions and services could be accommodated by altering existing, non-character-defining interior spaces.
12	<b>Selecting</b> a new use that suits the existing building form.	Selecting a use that dramatically alters the exterior form; for example, demolishing the building structure and retaining only the street façade(s).
13	<b>Selecting</b> the location for a new addition that ensures that the heritage value of the place is maintained.	Constructing a new addition that obscures, damages or destroys character-defining features of the historic building, such as relocating the main entrance.
14	<b>Designing</b> a new addition in a manner that draws a clear distinction between what is historic and what is new.	Duplicating the exact form, material, style and detailing of the original building in a way that makes the distinction between old and new unclear.
15	<b>Designing</b> an addition that is compatible in terms of materials and massing with the exterior form of the historic building and its setting.	Designing a new addition that has a negative impact on the heritage value of the historic building.
<b>HEALTH, SAFETY AND SECURITY CONSIDERATIONS</b>		
16	<b>Adding</b> new features to meet health, safety or security requirements, such as an exterior stairway or a security vestibule in a manner that respects the exterior form and minimizes impact on heritage value.	Constructing a new addition to accommodate code-required stairs or elevators on a highly visible, character-defining elevation, or in a location that obscures, damages or destroys character-defining elements.
17	<b>Working</b> with code specialists to determine the most appropriate solution to health, safety and security requirements with the least impact on the character-defining elements and overall heritage value of the historic building.	Making changes to the exterior form without first exploring equivalent health, safety and security systems, methods or devices that may be less damaging to the character-defining elements and overall heritage value of the historic building.
<b>ACCESSIBILITY CONSIDERATIONS</b>		
18	<b>Finding</b> solutions to meet accessibility requirements that are compatible with the exterior form of the historic building. For example, introducing a gently sloped walkway instead of a constructed ramp with handrails in front of an historic building.	Radically altering the building's exterior form to comply with accessibility requirements.  Relocating primary entrances when undertaking interventions to accommodate accessibility-related features.
19	<b>Working</b> with accessibility and conservation specialists and users to determine the most appropriate solution to accessibility issues with the least impact on the character-defining elements and overall heritage value of the historic building.	Altering character-defining elements, without consulting the appropriate specialists and users.



# City of Richmond

## Heritage Alteration Permit

Development Applications Division  
6911 No. 3 Road, Richmond, BC V6Y 2C1

File No.: HA 17-775892

To the Holder: David Lin

Property Address: 6471 Dyke Road

Legal Description: LOT 1 SECTION 18 BLOCK 3 NORTH RANGE 6 WEST NEW WESTMINSTER DISTRICT PLAN 11588

(s.617, *Local Government Act*)

1. (Reason for Permit)
  - Designated Heritage Property (s.611)
  - Property Subject to Temporary Protection (s.609)
  - Property Subject to Heritage Revitalization Agreement (s.610)
  - Property in Heritage Conservation Area (s.615)
  - Property Subject to s.219 Heritage Covenant (Land Titles Act)
2. This Heritage Alteration Permit is issued to authorize all works related to exterior alterations and new construction in Attachment 1, Plan #1 to Plan #10.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to reduce the minimum rear yard setback from 5.0 m to 4.2 m.
4. This Heritage Alteration Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
5. If the alterations authorized by this Heritage Alteration Permit are not completed within 24 months of the date of this Permit, this Permit lapses.

AUTHORIZING RESOLUTION NO. ISSUED BY THE COUNCIL THE DAY OF

DELIVERED THIS DAY OF , 2018

\_\_\_\_\_  
MAYOR

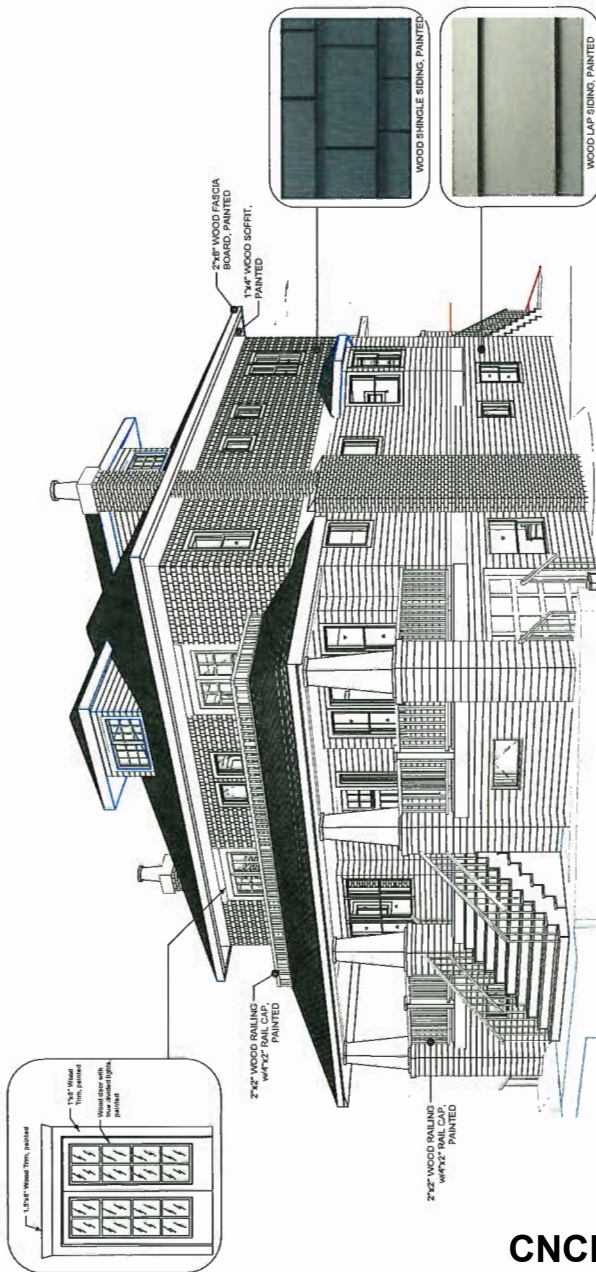
\_\_\_\_\_  
CORPORATE OFFICER

IT IS AN OFFENCE UNDER THE *LOCAL GOVERNMENT ACT*, PUNISHABLE BY A FINE OF UP TO \$50,000 IN THE CASE OF AN INDIVIDUAL AND \$1,000,000 IN THE CASE OF A CORPORATION, FOR THE HOLDER OF THIS PERMIT TO FAIL TO COMPLY WITH THE REQUIREMENTS AND CONDITIONS OF THE PERMIT.





1 2 3 4 5 6 7 8 9 10



① PROPOSED FRONT ELEVATION

CNCL - 197



② McKinney House 2004



③ McKinney House 2016

HA 17-775892

plan # 2

1 2 3 4 5 6 7 8 9 10

A B C D E F G H J K

David Lin Design Studio

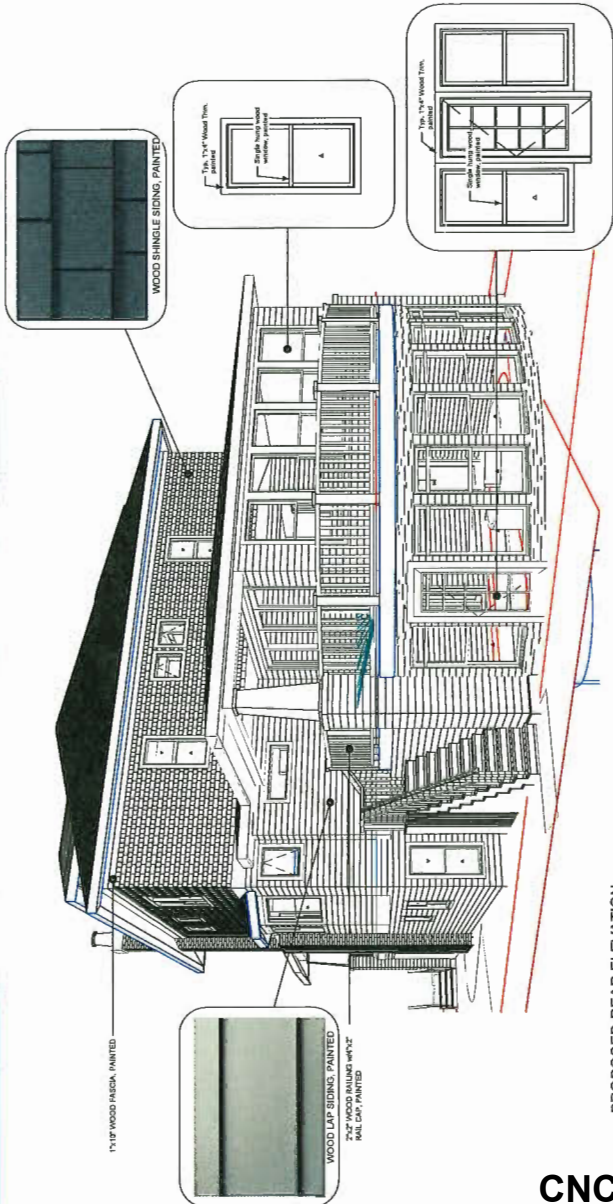
916 Fisher Street, White Rock, B.C. Canada, V4B 4K4  
Tel: (604)961-1307, email: bzgroup@dmns.com

Project Title: **ZS-1 RESIDENCE**  
6471 Dyke Road Richmond,  
B.C., V7E 3R3  
LOT 1 SEC. 18 BLOCK 3 NORTH RANGE 6  
WEST, N.W.D. PLAN LMP

Drawing Title:  
**DESIGN  
RATIONALE**

Sheet No.: **A3**  
Date: March 12, 2018  
Scale: AS SHOWN  
Drawn: CC  
Reviewed: DL

1 2 3 4 5 6 7 8 9 10



① PROPOSED REAR ELEVATION



② EXISTING REAR ELEVATION

CNCL - 198

HA 17-775892

plan #3

David Lin Design Studio

915 Finlay Street, White Rock, B.C., Canada, V4B 4K4  
Tel: (604)981-1197 email: dlin@dlstudio.com

- BUILDING FINISHES**
- ① EXISTING CEDAR SHAKE ROOF
  - ② WOOD SHINGLE OR LAP SIDING, PAINTED
  - ③ WOOD WINDOW, DOUBLE-GLAZED
  - ④ WOOD FRENCH DOORS, DOUBLE-GLAZED
  - ⑤ WOOD GARAGE DOOR, WHITES
  - ⑥ CONCRETE FOUNDATION WALL
  - ⑦ 4" WOOD TRIM, PAINTED

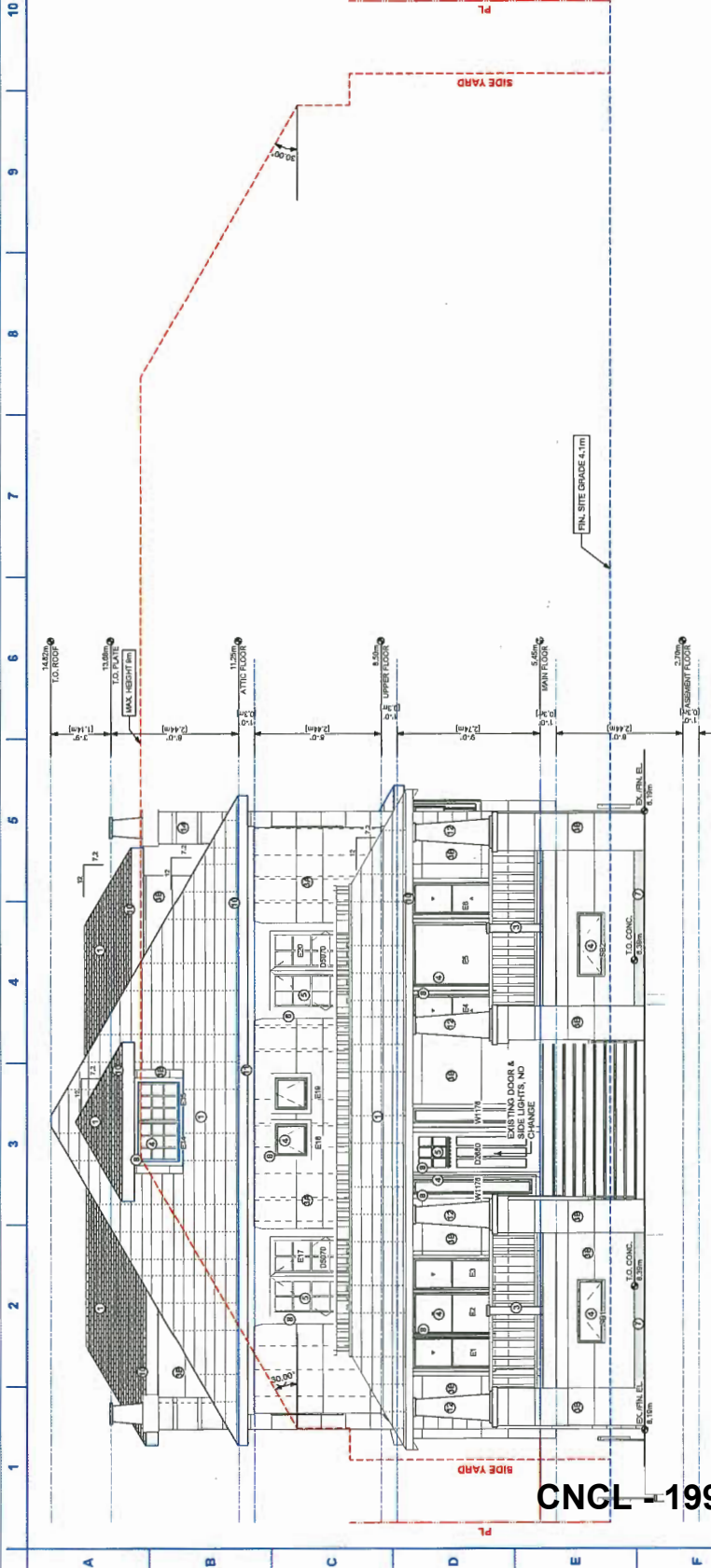
- ⑧ 2" WOOD TRIM, PAINTED
- ⑨ 2" WOOD TRIM, PAINTED VINYL
- ⑩ 2" WOOD TRIM, PAINTED VINYL
- ⑪ 2" WOOD TRIM, PAINTED VINYL
- ⑫ WOOD POST, TYP.
- ⑬ 48" HT. WOOD RAILING
- ⑭ BRICK, PAINTED

Project Title: **ZS-1 RESIDENCE**  
6471 Dyke Road Richmond,  
B.C., V7E 3R3  
LOT 1 SEC. 18 BLOCK 3 NORTH-RANGE 6  
WEST, N.W.D. PLAN LMP

Drawing Title:  
**SOUTH ELEVATION**

Sheet No.:  
Date: March 12, 2018  
Scale: AS SHOWN  
Drawn: CC  
Reviewed: DL

**A4**



② EXISTING SOUTH ELEVATION



③ EXISTING SOUTHEAST CORNER

HA 17-775892 plan #4

David Lin Design Studio  
 918 Fliley Street, White Rock, B.C., Canada, V4B 4r4  
 Tel: (604) 681-1307 email: david@dlins.com

- BUILDING FINISHES**
- 1 EXISTING CEDAR SHAKE ROOF
  - 2 WOOD SHINGLE OR LAP SIDING, PAINTED
  - 3 WOOD WINDOW, DOUBLE-GLAZED
  - 4 WOOD FRENCH DOORS, DOUBLE-GLAZED
  - 5 WOOD GARAGE DOOR, WHITE
  - 6 CONCRETE FOUNDATION WALL
  - 7 4" WOOD TRIM, PAINTED
  - 8 4" WOOD TRIM, PAINTED
  - 9 4" WOOD TRIM, PAINTED
  - 10 4" WOOD TRIM, PAINTED
  - 11 4" WOOD TRIM, PAINTED
  - 12 4" WOOD TRIM, PAINTED
  - 13 4" WOOD TRIM, PAINTED
  - 14 4" WOOD TRIM, PAINTED
  - 15 4" WOOD TRIM, PAINTED
  - 16 4" WOOD TRIM, PAINTED
  - 17 4" WOOD TRIM, PAINTED
  - 18 4" WOOD TRIM, PAINTED
  - 19 4" WOOD TRIM, PAINTED
  - 20 4" WOOD TRIM, PAINTED
  - 21 4" WOOD TRIM, PAINTED
  - 22 4" WOOD TRIM, PAINTED
  - 23 4" WOOD TRIM, PAINTED
  - 24 4" WOOD TRIM, PAINTED
  - 25 4" WOOD TRIM, PAINTED
  - 26 4" WOOD TRIM, PAINTED
  - 27 4" WOOD TRIM, PAINTED
  - 28 4" WOOD TRIM, PAINTED
  - 29 4" WOOD TRIM, PAINTED
  - 30 4" WOOD TRIM, PAINTED
  - 31 4" WOOD TRIM, PAINTED
  - 32 4" WOOD TRIM, PAINTED
  - 33 4" WOOD TRIM, PAINTED
  - 34 4" WOOD TRIM, PAINTED
  - 35 4" WOOD TRIM, PAINTED
  - 36 4" WOOD TRIM, PAINTED
  - 37 4" WOOD TRIM, PAINTED
  - 38 4" WOOD TRIM, PAINTED
  - 39 4" WOOD TRIM, PAINTED
  - 40 4" WOOD TRIM, PAINTED
  - 41 4" WOOD TRIM, PAINTED
  - 42 4" WOOD TRIM, PAINTED
  - 43 4" WOOD TRIM, PAINTED
  - 44 4" WOOD TRIM, PAINTED
  - 45 4" WOOD TRIM, PAINTED
  - 46 4" WOOD TRIM, PAINTED
  - 47 4" WOOD TRIM, PAINTED
  - 48 4" WOOD TRIM, PAINTED
  - 49 4" WOOD TRIM, PAINTED
  - 50 4" WOOD TRIM, PAINTED

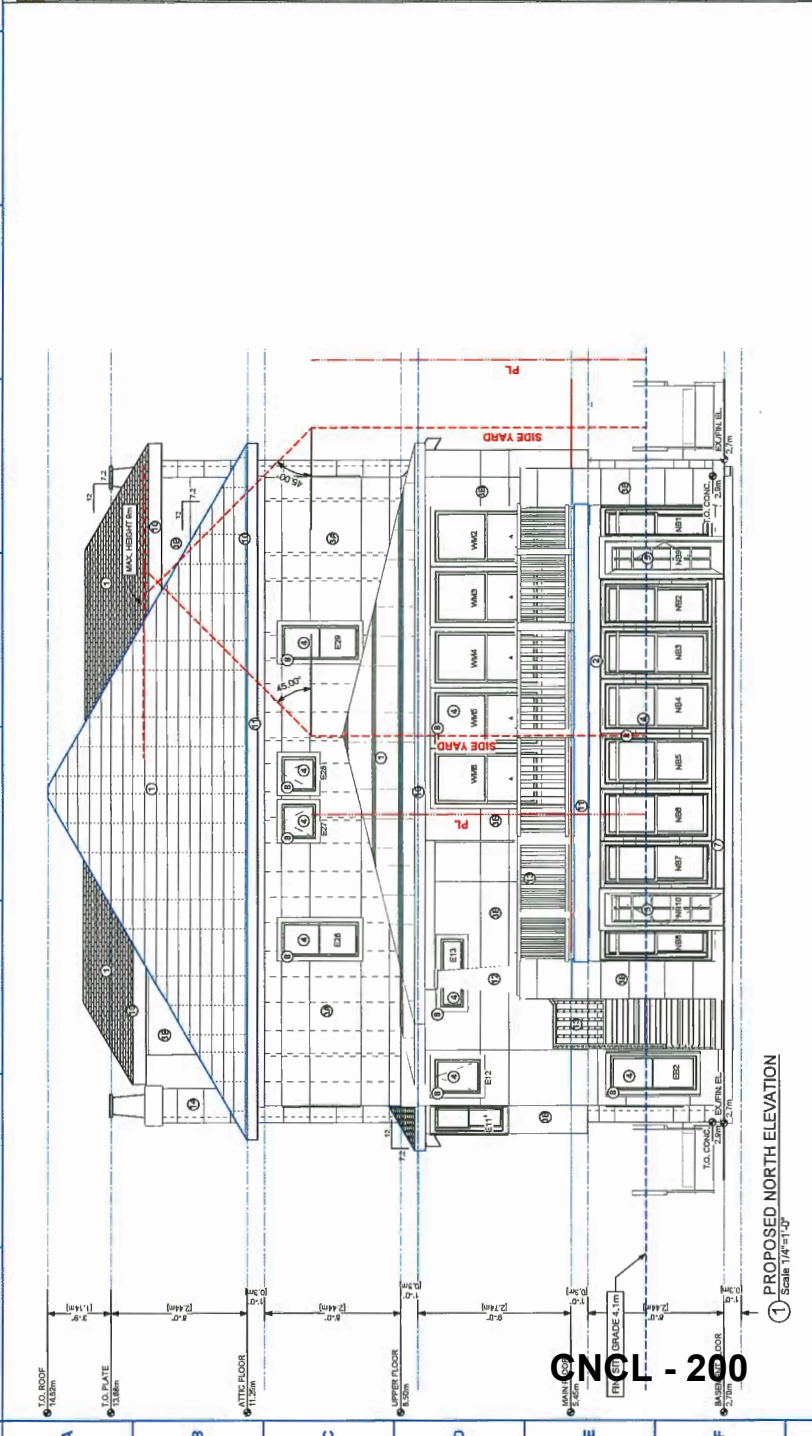
- PROJECT TITLE:**
- ZS-1 RESIDENCE**  
 6471 Dyke Road Richmond,  
 B.C., V7E 3R3  
 LOT 1 SEC. 18 BLOCK 3 NORTH-RANGE 6  
 WEST I.N.W.D. PLAN LMP
- Drawing Title:**
- NORTH ELEVATION**

Date: March 12, 2018  
 Scale: AS SHOWN  
 Drawn: CC  
 Reviewed: DL

Sheet No.: **A5**

Window	Description	Finish
E1	Single hung with level	4.1.4.6
E2	Single hung with level	4.1.4.6
E3	Single hung with level	4.1.4.6
E4	Single hung with level	4.1.4.6
E5	Double hung with level	4.1.4.6
E6	Double hung with level	4.1.4.6
E7	Double hung with level	4.1.4.6
E8	Double hung with level	4.1.4.6
E9	Double hung with level	4.1.4.6
E10	Double hung with level	4.1.4.6
E11	Double hung with level	4.1.4.6
E12	Double hung with level	4.1.4.6
E13	Double hung with level	4.1.4.6
E14	Double hung with level	4.1.4.6
E15	Double hung with level	4.1.4.6
E16	Double hung with level	4.1.4.6
E17	Double hung with level	4.1.4.6
E18	Double hung with level	4.1.4.6
E19	Double hung with level	4.1.4.6
E20	Double hung with level	4.1.4.6
E21	Double hung with level	4.1.4.6
E22	Double hung with level	4.1.4.6
E23	Double hung with level	4.1.4.6
E24	Double hung with level	4.1.4.6
E25	Double hung with level	4.1.4.6
E26	Double hung with level	4.1.4.6
E27	Double hung with level	4.1.4.6
E28	Double hung with level	4.1.4.6
E29	Double hung with level	4.1.4.6
E30	Double hung with level	4.1.4.6
E31	Double hung with level	4.1.4.6
E32	Double hung with level	4.1.4.6
E33	Double hung with level	4.1.4.6
E34	Double hung with level	4.1.4.6
E35	Double hung with level	4.1.4.6
E36	Double hung with level	4.1.4.6
E37	Double hung with level	4.1.4.6
E38	Double hung with level	4.1.4.6
E39	Double hung with level	4.1.4.6
E40	Double hung with level	4.1.4.6
E41	Double hung with level	4.1.4.6
E42	Double hung with level	4.1.4.6
E43	Double hung with level	4.1.4.6
E44	Double hung with level	4.1.4.6
E45	Double hung with level	4.1.4.6
E46	Double hung with level	4.1.4.6
E47	Double hung with level	4.1.4.6
E48	Double hung with level	4.1.4.6
E49	Double hung with level	4.1.4.6
E50	Double hung with level	4.1.4.6

WOOD SHINGLE OR LAP SIDING, PAINTED  
 WOOD WINDOW, DOUBLE-GLAZED  
 WOOD FRENCH DOORS, DOUBLE-GLAZED  
 WOOD GARAGE DOOR, WHITE  
 CONCRETE FOUNDATION WALL  
 4" WOOD TRIM, PAINTED



**1 PROPOSED NORTH ELEVATION**  
 Scale: 1/4" = 1'-0"

**2 EXISTING NORTH ELEVATION**

**3 EXISTING NORTH ELEVATION**

HA 17-775892 plan#5

**BUILDING FINISHES**

- ① EXISTING CEDAR SHAKE ROOF
- ② WOOD SHINGLE OR LAP SIDING, PAINTED
- ③ WOOD WINDOW, DOUBLE-GLAZED
- ④ WOOD FRENCH DOORS, DOUBLE-GLAZED
- ⑤ WOOD GARAGE DOOR, VOLUTES
- ⑥ CONCRETE FOUNDATION WALL
- ⑦ 4" WOOD TRIM, PAINTED
- ⑧ 8" WOOD TRIM, PAINTED
- ⑨ 2" X 8" WOOD TRIM, PAINTED W/METAL
- ⑩ 2" X 4" WOOD FASCIA OR EPS TRIM, PAINTED
- ⑪ WOOD POST, TYP.
- ⑫ 4" X 4" WOOD RAILING
- ⑬ BRICK, PAINTED



Project Title: **ZS-1 RESIDENCE**  
6471 Dyke Road Richmond,  
B.C., V7E 3R3  
LOT 1 SEC. 18 BLOCK 3 NORTH RANGE 6  
WEST. N.W.D. PLAN LUMP

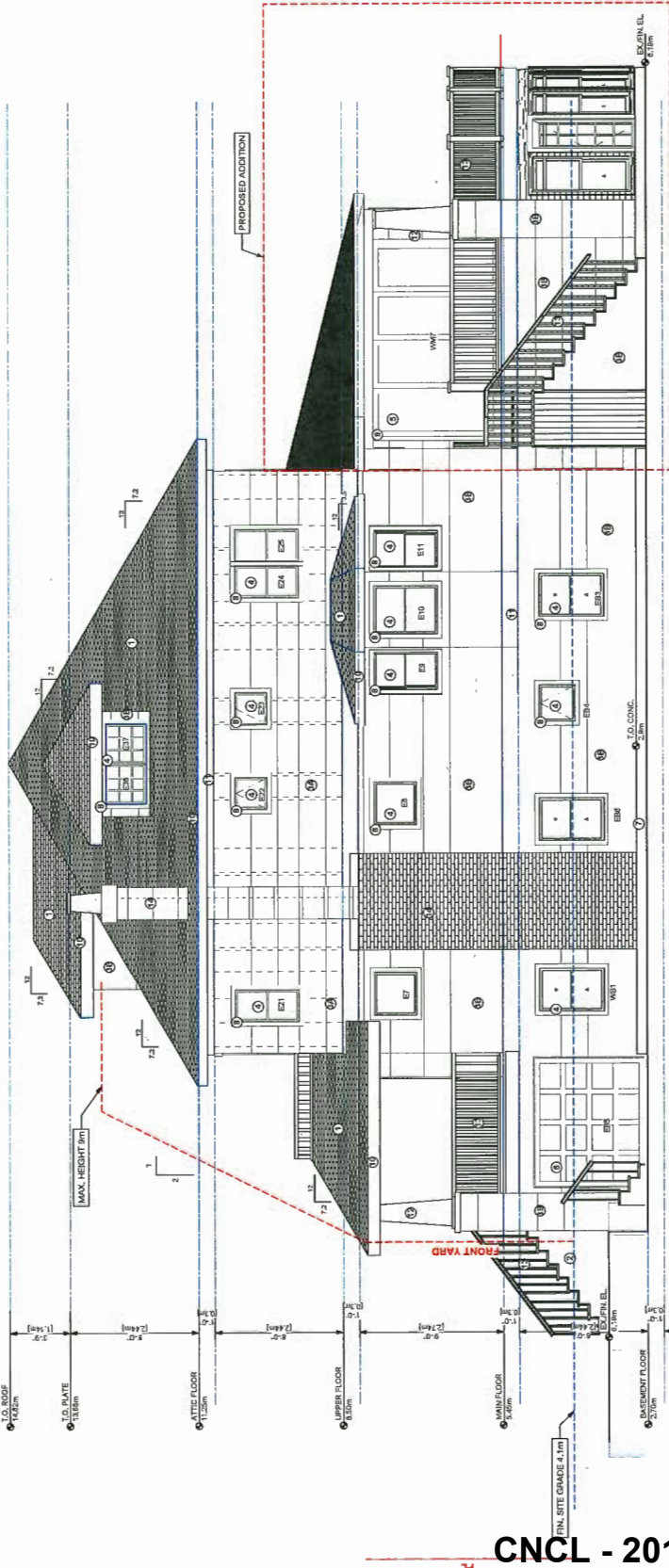
Drawing Title:

**EAST ELEVATION**

Date:	March 12, 2018
Scale:	AS SHOWN
Drawn:	CC
Reviewed:	DL

**A6**

plan #6



CNCL - 201

1 PROPOSED EAST ELEVATION



3 EXISTING NORTHEAST CORNER



2 EXISTING EAST ELEVATION

HA 17-775892

- BUILDING FINISHES**
- ① EXISTING CEDAR SHAKE ROOF
  - ② WOOD SHINGLE OR LAP SIDING, PAINTED
  - ③ WOOD WINDOW, DOUBLE-GLAZED
  - ④ WOOD FRENCH DOORS, DOUBLE-GLAZED
  - ⑤ WOOD GARAGE DOOR, WRITES
  - ⑥ CONCRETE FOUNDATION WALL
  - ⑦ 4" WOOD TRIM, PAINTED

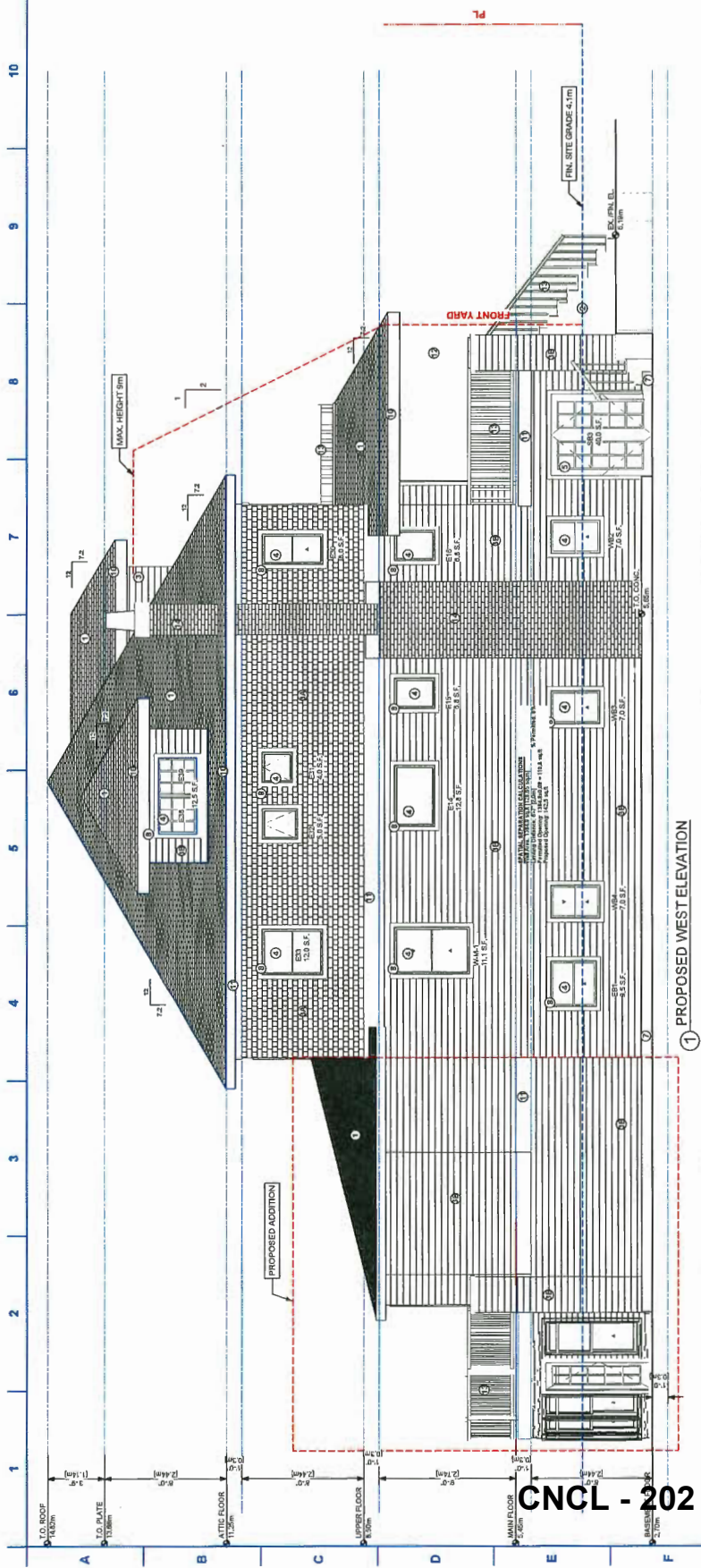
- ⑧ 8" WOOD TRIM, PAINTED
- ⑨ 2"x4" WOOD TRIM, PAINTED W/METAL GUTTER
- ⑩ 2"x4" WOOD FASCIA OR EPS TRIM, PAINTED
- ⑪ WOOD POST, TYP.
- ⑫ 4" X 4" WOOD RAILING
- ⑬ BRICK, PAINTED

Project Title:  
**ZS-1 RESIDENCE**  
6471 Dyke Road Richmond,  
B.C., V7E 3R3  
LOT 1 SEC. 18 BLOCK 3 NORTH RANGE 6  
WEST 1/4 W.D. PLAN LMP

Drawing Title:  
**WEST ELEVATION**

Date:	March 12, 2018
Scale:	AS SHOWN
Drawn:	CC
Reviewed:	DL

**A7**



① PROPOSED WEST ELEVATION



③ EXISTING SOUTHWEST CORNER



② EXISTING NORTHWEST CORNER

CNCL - 202

HA 17-2018-0192  
plan # 7

Room	Notes	Notes
E1	Single hung with wood	Non-combustible
E2	Single hung with wood	Non-combustible
E3	Single hung with wood	Non-combustible
E4	Single hung with wood	Non-combustible
E5	Single hung with wood	Non-combustible
E6	Single hung with wood	Non-combustible
E7	Single hung with wood	Non-combustible
E8	Single hung with wood	Non-combustible
E9	Single hung with wood	Non-combustible
E10	Single hung with wood	Non-combustible
E11	Single hung with wood	Non-combustible
E12	Single hung with wood	Non-combustible
E13	Single hung with wood	Non-combustible
E14	Single hung with wood	Non-combustible
E15	Single hung with wood	Non-combustible
E16	Single hung with wood	Non-combustible
E17	Single hung with wood	Non-combustible
E18	Single hung with wood	Non-combustible
E19	Single hung with wood	Non-combustible
E20	Single hung with wood	Non-combustible
E21	Single hung with wood	Non-combustible
E22	Single hung with wood	Non-combustible
E23	Single hung with wood	Non-combustible
E24	Single hung with wood	Non-combustible
E25	Single hung with wood	Non-combustible
E26	Single hung with wood	Non-combustible
E27	Single hung with wood	Non-combustible
E28	Single hung with wood	Non-combustible
E29	Single hung with wood	Non-combustible
E30	Single hung with wood	Non-combustible
E31	Single hung with wood	Non-combustible
E32	Single hung with wood	Non-combustible
E33	Single hung with wood	Non-combustible
E34	Single hung with wood	Non-combustible
E35	Single hung with wood	Non-combustible
E36	Single hung with wood	Non-combustible
E37	Single hung with wood	Non-combustible
E38	Single hung with wood	Non-combustible
E39	Single hung with wood	Non-combustible
E40	Single hung with wood	Non-combustible
E41	Single hung with wood	Non-combustible
E42	Single hung with wood	Non-combustible
E43	Single hung with wood	Non-combustible
E44	Single hung with wood	Non-combustible
E45	Single hung with wood	Non-combustible
E46	Single hung with wood	Non-combustible
E47	Single hung with wood	Non-combustible
E48	Single hung with wood	Non-combustible
E49	Single hung with wood	Non-combustible
E50	Single hung with wood	Non-combustible
E51	Single hung with wood	Non-combustible
E52	Single hung with wood	Non-combustible
E53	Single hung with wood	Non-combustible
E54	Single hung with wood	Non-combustible
E55	Single hung with wood	Non-combustible
E56	Single hung with wood	Non-combustible
E57	Single hung with wood	Non-combustible
E58	Single hung with wood	Non-combustible
E59	Single hung with wood	Non-combustible
E60	Single hung with wood	Non-combustible
E61	Single hung with wood	Non-combustible
E62	Single hung with wood	Non-combustible
E63	Single hung with wood	Non-combustible
E64	Single hung with wood	Non-combustible
E65	Single hung with wood	Non-combustible
E66	Single hung with wood	Non-combustible
E67	Single hung with wood	Non-combustible
E68	Single hung with wood	Non-combustible
E69	Single hung with wood	Non-combustible
E70	Single hung with wood	Non-combustible
E71	Single hung with wood	Non-combustible
E72	Single hung with wood	Non-combustible
E73	Single hung with wood	Non-combustible
E74	Single hung with wood	Non-combustible
E75	Single hung with wood	Non-combustible
E76	Single hung with wood	Non-combustible
E77	Single hung with wood	Non-combustible
E78	Single hung with wood	Non-combustible
E79	Single hung with wood	Non-combustible
E80	Single hung with wood	Non-combustible
E81	Single hung with wood	Non-combustible
E82	Single hung with wood	Non-combustible
E83	Single hung with wood	Non-combustible
E84	Single hung with wood	Non-combustible
E85	Single hung with wood	Non-combustible
E86	Single hung with wood	Non-combustible
E87	Single hung with wood	Non-combustible
E88	Single hung with wood	Non-combustible
E89	Single hung with wood	Non-combustible
E90	Single hung with wood	Non-combustible
E91	Single hung with wood	Non-combustible
E92	Single hung with wood	Non-combustible
E93	Single hung with wood	Non-combustible
E94	Single hung with wood	Non-combustible
E95	Single hung with wood	Non-combustible
E96	Single hung with wood	Non-combustible
E97	Single hung with wood	Non-combustible
E98	Single hung with wood	Non-combustible
E99	Single hung with wood	Non-combustible
E100	Single hung with wood	Non-combustible

**WALL LEGEND**

- EXISTING WALLS TO REMOVED
- EXISTING WALLS TO REMAIN
- ADDITIONAL WALLS
- ADDITIONAL ROOF

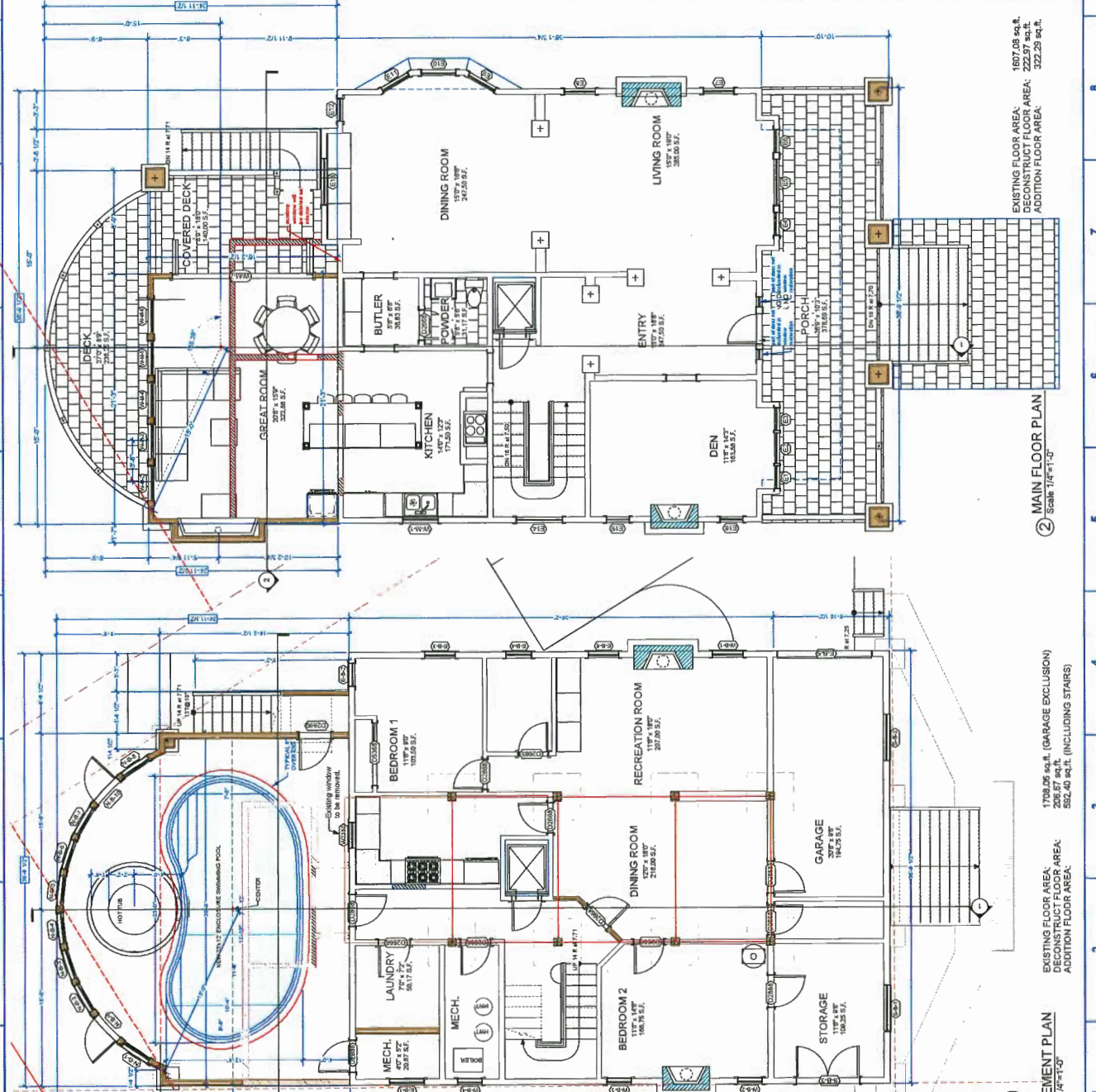
**Project Title:**  
**ZS-1 RESIDENCE**  
 6471 Dyke Road Richmond,  
 B.C., V7E 3R3  
 LOT 1 SEC. 18 BLOCK 3 NORTH RANGE 8  
 WEST N.W.D. PLAN LWP

**Drawing Title:**  
**FLOOR PLANS**

Sheet No.:  
 AS SHOWN  
 Drawn: CC  
 Reviewed: DL

March 12, 2016

# A8



EXISTING FLOOR AREA: 1807.09 sq.ft.  
 DECONSTRUCT FLOOR AREA: 322.25 sq.ft.  
 ADDITION FLOOR AREA:

EXISTING FLOOR AREA: 1708.06 sq.ft. (GARAGE EXCLUSION)  
 DECONSTRUCT FLOOR AREA: 206.67 sq.ft.  
 ADDITION FLOOR AREA: 552.40 sq.ft. (INCLUDING STAIRS)

## CNCL - 203

plan # 8

HA 17-775892

Work No.	Description	Rev.	Date
E1	Single Hungry with level	1	14.08
E2	Single Hungry with level	1	14.08
E3	Single Hungry with level	1	14.08
E4	Single Hungry with level	1	14.08
E5	Single Hungry with level	1	14.08
E6	Single Hungry with level	1	14.08
E7	Single Hungry with level	1	14.08
E8	Single Hungry with level	1	14.08
E9	Single Hungry with level	1	14.08
E10	Single Hungry with level	1	14.08
E11	Single Hungry with level	1	14.08
E12	Single Hungry with level	1	14.08
E13	Single Hungry with level	1	14.08
E14	Single Hungry with level	1	14.08
E15	Single Hungry with level	1	14.08
E16	Single Hungry with level	1	14.08
E17	Single Hungry with level	1	14.08
E18	Single Hungry with level	1	14.08
E19	Single Hungry with level	1	14.08
E20	Single Hungry with level	1	14.08
E21	Single Hungry with level	1	14.08
E22	Single Hungry with level	1	14.08
E23	Single Hungry with level	1	14.08
E24	Single Hungry with level	1	14.08
E25	Single Hungry with level	1	14.08
E26	Single Hungry with level	1	14.08
E27	Single Hungry with level	1	14.08
E28	Single Hungry with level	1	14.08
E29	Single Hungry with level	1	14.08
E30	Single Hungry with level	1	14.08
E31	Single Hungry with level	1	14.08
E32	Single Hungry with level	1	14.08
E33	Single Hungry with level	1	14.08
E34	Single Hungry with level	1	14.08
E35	Single Hungry with level	1	14.08
E36	Single Hungry with level	1	14.08
E37	Single Hungry with level	1	14.08
E38	Single Hungry with level	1	14.08
E39	Single Hungry with level	1	14.08
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E45	Single Hungry with level	1	14.08
E46	Single Hungry with level	1	14.08
E47	Single Hungry with level	1	14.08
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E49	Single Hungry with level	1	14.08
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E53	Single Hungry with level	1	14.08
E54	Single Hungry with level	1	14.08
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E56	Single Hungry with level	1	14.08
E57	Single Hungry with level	1	14.08
E58	Single Hungry with level	1	14.08
E59	Single Hungry with level	1	14.08
E60	Single Hungry with level	1	14.08
E61	Single Hungry with level	1	14.08
E62	Single Hungry with level	1	14.08
E63	Single Hungry with level	1	14.08
E64	Single Hungry with level	1	14.08
E65	Single Hungry with level	1	14.08
E66	Single Hungry with level	1	14.08
E67	Single Hungry with level	1	14.08
E68	Single Hungry with level	1	14.08
E69	Single Hungry with level	1	14.08
E70	Single Hungry with level	1	14.08
E71	Single Hungry with level	1	14.08
E72	Single Hungry with level	1	14.08
E73	Single Hungry with level	1	14.08
E74	Single Hungry with level	1	14.08
E75	Single Hungry with level	1	14.08
E76	Single Hungry with level	1	14.08
E77	Single Hungry with level	1	14.08
E78	Single Hungry with level	1	14.08
E79	Single Hungry with level	1	14.08
E80	Single Hungry with level	1	14.08
E81	Single Hungry with level	1	14.08
E82	Single Hungry with level	1	14.08
E83	Single Hungry with level	1	14.08
E84	Single Hungry with level	1	14.08
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E86	Single Hungry with level	1	14.08
E87	Single Hungry with level	1	14.08
E88	Single Hungry with level	1	14.08
E89	Single Hungry with level	1	14.08
E90	Single Hungry with level	1	14.08
E91	Single Hungry with level	1	14.08
E92	Single Hungry with level	1	14.08
E93	Single Hungry with level	1	14.08
E94	Single Hungry with level	1	14.08
E95	Single Hungry with level	1	14.08
E96	Single Hungry with level	1	14.08
E97	Single Hungry with level	1	14.08
E98	Single Hungry with level	1	14.08
E99	Single Hungry with level	1	14.08
E100	Single Hungry with level	1	14.08

Project Title: ZS-1 RESIDENCE  
 6471 Dyke Road Richmond, B.C., V7E 3R3  
 LOT 1 SEC. 18 BLOCK 3 NORTH RANGE 6 WEST 1/4 N.D. PLAN LAMP

WALL LEGEND  
 EXISTING WALLS  
 ADJACENT WALLS  
 ADJACENT FLOOR

FLOOR PLANS  
 Sheet No.:  
 Date: March 12, 2018  
 Scale: AS SHOWN  
 Drawn: CC  
 Reviewed: DL

EXISTING FLOOR AREA: 614.34 sq.ft.  
 ADDITION FLOOR AREA: 0.00 sq.ft.

EXISTING FLOOR AREA: 1329.87 sq.ft.  
 ADDITION FLOOR AREA: 0.00 sq.ft.

EXISTING FLOOR AREA: 1329.87 sq.ft.  
 ADDITION FLOOR AREA: 0.00 sq.ft.

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 ADDITION FLOOR AREA: 0.00 sq.ft.

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 ADDITION FLOOR AREA: 0.00 sq.ft.

EXISTING FLOOR AREA: 1329.87 sq.ft.  
 ADDITION FLOOR AREA: 0.00 sq.ft.

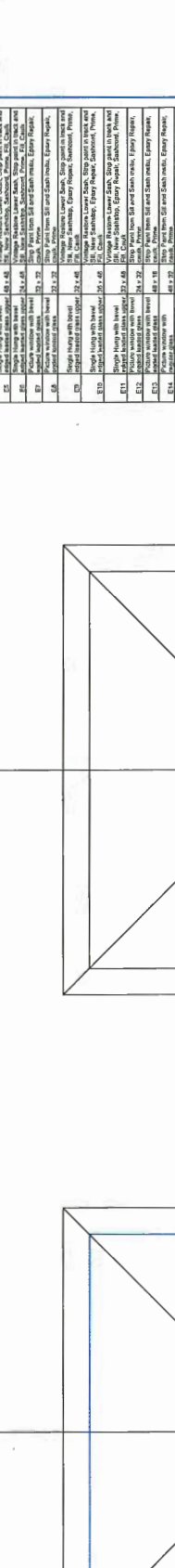
EXISTING FLOOR AREA: 1329.87 sq.ft.  
 ADDITION FLOOR AREA: 0.00 sq.ft.

EXISTING FLOOR AREA: 1329.87 sq.ft.  
 ADDITION FLOOR AREA: 0.00 sq.ft.

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 ADDITION FLOOR AREA: 0.00 sq.ft.

EXISTING FLOOR AREA: 1329.87 sq.ft.  
 ADDITION FLOOR AREA: 0.00 sq.ft.

EXISTING FLOOR AREA: 1329.87 sq.ft.  
 ADDITION FLOOR AREA: 0.00 sq.ft.



① UPPER FLOOR PLAN  
 Scale: 1/4"=1'-0"

② ATTIC PLAN  
 Scale: 1/4"=1'-0"

EXISTING FLOOR AREA: 614.34 sq.ft.  
 ADDITION FLOOR AREA: 0.00 sq.ft.

EXISTING FLOOR AREA: 1329.87 sq.ft.  
 ADDITION FLOOR AREA: 0.00 sq.ft.

EXISTING FLOOR AREA: 1329.87 sq.ft.  
 ADDITION FLOOR AREA: 0.00 sq.ft.



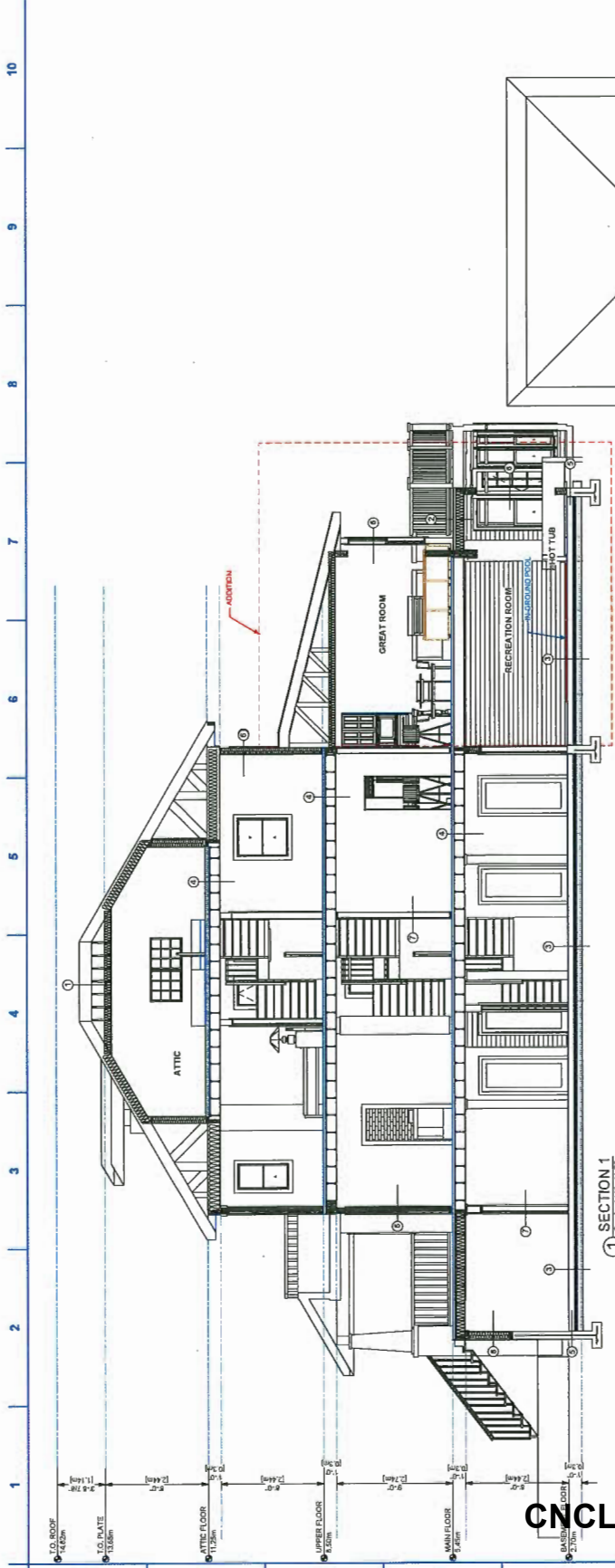
916 Filmy Street, White Rock, B.C., Canada, V4B 4K4  
Tel: (604) 681-1387 email: tsingling@dlm.com

- CONSTRUCTION NOTES**
- ① TYPICAL ROOF SECTION**  
1/2" concrete topping  
2" x 4" joists @ 24" o.c.  
1/2" gypsum board  
5/8" OSB sheathing  
2" x 4" rafters @ 24" o.c.  
2" x 4" ridge board @ 24" o.c.  
1/2" concrete topping  
2" x 4" joists @ 24" o.c.  
1/2" gypsum board  
5/8" OSB sheathing  
2" x 4" rafters @ 24" o.c.  
2" x 4" ridge board @ 24" o.c.
  - ② TYPICAL ROOF DECK SECTION**  
1/2" concrete topping  
2" x 4" joists @ 24" o.c.  
1/2" gypsum board  
5/8" OSB sheathing  
2" x 4" rafters @ 24" o.c.  
2" x 4" ridge board @ 24" o.c.
  - ③ TYPICAL SLAB SECTION**  
4" concrete over 2" x 4" joists @ 24" o.c.  
1/2" gypsum board  
5/8" OSB sheathing  
2" x 4" rafters @ 24" o.c.  
2" x 4" ridge board @ 24" o.c.
  - ④ TYPICAL FLOOR SECTION**  
1/2" concrete topping  
2" x 4" joists @ 24" o.c.  
1/2" gypsum board  
5/8" OSB sheathing  
2" x 4" rafters @ 24" o.c.  
2" x 4" ridge board @ 24" o.c.
  - ⑤ CONCRETE FOUNDATION WALL SECTION**  
1/2" concrete topping  
2" x 4" joists @ 24" o.c.  
1/2" gypsum board  
5/8" OSB sheathing  
2" x 4" rafters @ 24" o.c.  
2" x 4" ridge board @ 24" o.c.
  - ⑥ TYPICAL EXTERIOR WALL SECTION**  
1/2" concrete topping  
2" x 4" joists @ 24" o.c.  
1/2" gypsum board  
5/8" OSB sheathing  
2" x 4" rafters @ 24" o.c.  
2" x 4" ridge board @ 24" o.c.
  - ⑦ TYPICAL INTERIOR WALL SECTION**  
1/2" concrete topping  
2" x 4" joists @ 24" o.c.  
1/2" gypsum board  
5/8" OSB sheathing  
2" x 4" rafters @ 24" o.c.  
2" x 4" ridge board @ 24" o.c.

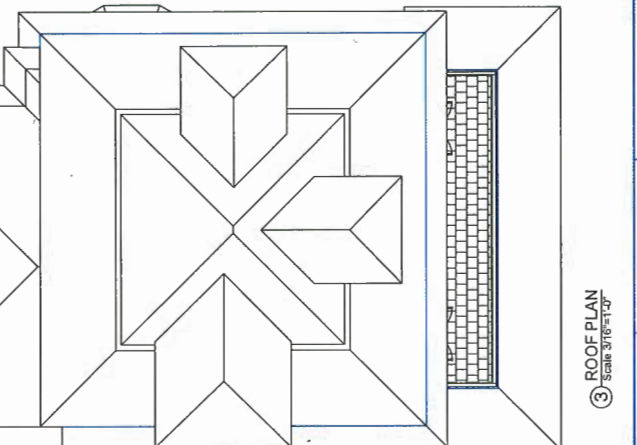
**Project Title:**  
ZS-1 RESIDENCE  
6471 Dyke Road Richmond,  
B.C., V7E 3R3  
LOT 1 SEC. 18 BLOCK 1 NORTH VESLEY BLUES  
WEST, W.V.C.D. PLAN 10P

**SECTIONS & ROOF PLAN**

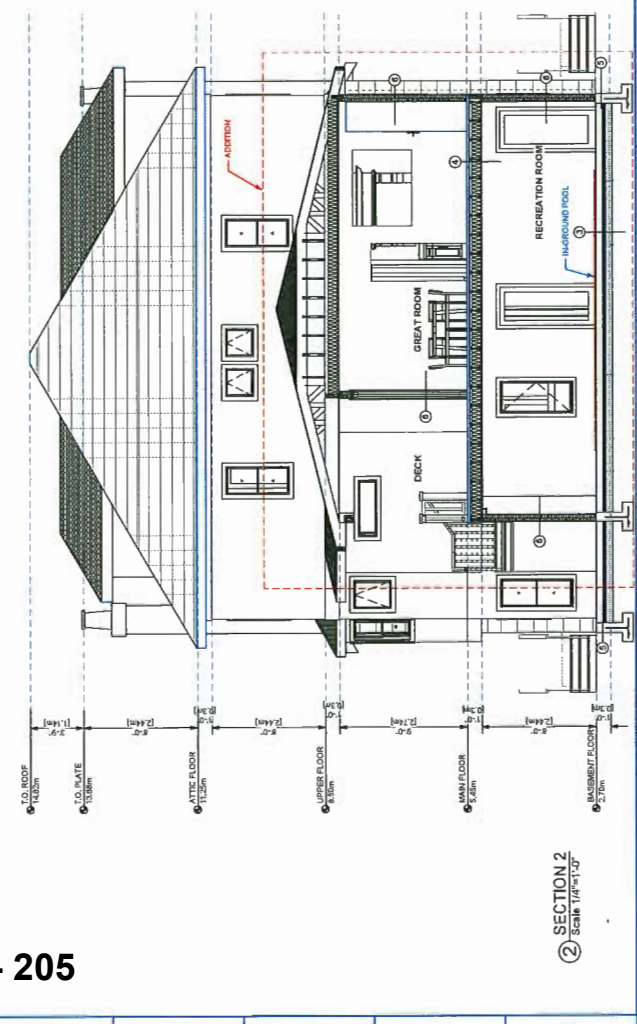
Date:	March 12, 2018
Scale:	AS SHOWN
Drawn:	CC
Reviewed:	DL
Sheet No.:	<b>A10</b>



**CNCL - 205**



**③ ROOF PLAN**  
Scale 3/16"=1'-0"



**② SECTION 2**  
Scale 1/4"=1'-0"

HA 17-775892 plan #10