



City of  
Richmond

## Report to Development Permit Panel

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**To:** Development Permit Panel

**Date:** October 23, 2025

**From:** Joshua Reis  
Director, Development

**File:** DP 24-050212

**Re:** Application by Brad Dore for a Development Permit at 10320 Railway Avenue

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### Staff Recommendation

That a Development Permit be issued which would permit the construction of Small-Scale Multi-Unit Housing on an Arterial Road, including a single-family dwelling with a secondary suite, and a two-storey rear yard infill unit at 10320 Railway Avenue on a site zoned "Small-Scale Multi Unit Housing (RSM/M)".

Joshua Reis  
Director, Development  
604-247-4625

JR:el  
Att. 3

## Staff Report

### Origin

Brad Dore, on behalf of the property owners (Simerjit Kaur Malhi and Robby Randeep Dhaliwal), has applied to the City of Richmond for permission to develop Small-Scale Multi-Unit Housing (SSMUH), including a two-and-a-half-storey single-family dwelling with a secondary suite and an approximately 80 m<sup>2</sup> (865 ft<sup>2</sup>) two-storey rear yard infill unit at 10320 Railway Avenue on a site zoned “Small-Scale Multi-Unit Housing RSM/M” (Attachment 1).

Prior to Building Permit (BP) issuance, the applicant is required to enter into a work order to complete site servicing works, including but not limited to water, storm and sanitary connections for the subject site.

### Development Information

Please refer to the attached Development Application Data Sheet (Attachment 2) for a comparison of the proposed development data with the relevant Bylaw requirements.

### Background

Development surrounding the subject site is as follows:

- To the north: A single-family residential development on a lot zoned “Small-Scale Multi-Unit Housing (RSM/M)” with vehicle access from the rear lane.
- To the east: A single-family residential development on a lot zoned “Small-Scale Multi-Unit Housing (RSM/M)” with vehicle access from Hollymount Drive.
- To the south: A single-family residential development on a lot zoned “Small-Scale Multi-Unit Housing (RSM/M)” with vehicle access from the rear lane.
- To the west: Across Railway Avenue and the City-owned linear greenway, single-family residential development zoned Small-Scale Multi-Unit Housing (RSM/L).

### Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the urban design issues and other staff comments identified as part of the review of the subject DP application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and the “Small-Scale Multi-Unit Housing (RSM/M)” zone.

### Existing Legal Encumbrances

There is an existing 1.5 m x 1.5 m sanitary utility Statutory Right-of-Way (SRW) located in the northeast corner of the subject property, north of the proposed parking pad (RD39059). The proposed rear yard infill unit does not encroach into the SRW.

### Analysis

#### *Conditions of Adjacency*

- The design of the proposed principal building and rear yard infill unit fits into the proposed single-detached housing form, character and scale of the surrounding neighbourhood.

- The proposed development abuts an existing single-family dwelling to the north. The applicant proposes to construct a new fence along the property line. The proposed rear yard infill building is set back approximately 3.0 m from the property line to accommodate a parking area. There is also a proposed walkway and access to the proposed secondary suite.
- The proposed development abuts an existing single-family dwelling to the south. The applicant proposes to construct a new fence and walkway in this area in order to provide pedestrian access to and from the lane.
- The proposed development includes a rear yard infill unit which is accessed and fronts onto the existing lane.
- The proposed development of the front building has its main entrance facing west towards Railway Avenue. Proposed paving connects the buildings front entrance to the sidewalk.
- The sizing and placement of upper storey windows have been designed to avoid overlook onto adjacent properties.

### ***Urban Design and Site Planning***

- Consistent with the OCP guidelines for SSMUH development, the primary entrance to the principal building fronts Railway Avenue, while the rear yard infill unit fronts the lane. Exterior access to the proposed secondary suite is provided from the pathway located along the north elevation of the building.
- A 32.61 m<sup>2</sup> one-bedroom secondary suite is proposed on the ground floor of the principal building. Prior to DP issuance, the applicant is required to register a legal agreement on Title stating that no Building Permit (BP) inspection can be granted until the one-bedroom secondary suite, with a minimum floor area of 32.61 m<sup>2</sup> is constructed to the satisfaction of the City in accordance with the BC Building Code and the City's Zoning Bylaw.
- The east elevation of the rear yard infill unit fronting the lane has been designed as the primary façade, including a front porch and overhead spot lighting, and windows to enhance Crime Prevention through Environmental Design (CPTED) features along the lane.
- Two garbage and recycling enclosures are proposed in the internal yard. The enclosures are adequately sized to contain the required number of containers for the proposed development.
- A total of two on-site parking spaces are proposed in compliance with the Zoning Bylaw. Both parking spaces are accessed from the lane.
- The proposed development will be constructed to meet the requirements of the Richmond Flood Plain Designation and Protection Bylaw 8204. Registration of a flood plain indemnity covenant on title is required prior to DP issuance.

### ***Architectural Form and Character***

- The principal building includes a pitched roof design in keeping with the surrounding area, which includes two gables and a dormer. A covered porch is proposed as the primary entrance, with two pillars on either side of the recessed entry point creating visual articulation along the building's front (west) elevation.
- The rear yard infill unit includes a pitched roof design to complement the character of principal building on the site. A recessed entry with a covered porch is also proposed to create a welcoming access point from the lane, to add visual interest and to enhance the human scale of the rear yard infill unit's design.

- The proposed exterior building materials and colours of the proposed buildings are generally consistent with the character of the neighbourhood and include platinum grey cementitious lap siding for the main body of buildings and charcoal colouring around the window trim. The principal building also includes Chantilly laced coloured box-out shingles around west-facing windows and accented on the upper level on the east elevation.

### ***Landscape Design and Open Space Design***

- There are no bylaw sized trees on the subject property.
- There is one City-owned tree (Cypress tree Tag #cil) located in the Railway Avenue boulevard. The tree is to be retained and protected during construction. Submission of a signed contract between the applicant and the arborist is required prior to DP issuance to ensure the supervision of any on-site works conducted within a tree protection zone.
- Prior to DP issuance, the applicant is required to submit a tree survival security of \$10,000.00 to ensure protection of the City-owned tree during construction.
- The applicant proposes to plant two new trees on site. Two Japanese snowbells are proposed, one on either side of the pedestrian pathway along the western edge of the subject site. The two new trees are to be a minimum size of 6 cm caliper.
- The applicant proposes to include a range of other landscaping enhancements across the subject site. These include shrubs, hedging, sodded lawn and permeable pavers. Metal fencing and a gate will be installed along the west property line. The proposed landscaping will be equipped with sprinkler irrigation.
- Prior to DP issuance, the applicant is required to submit a Landscaping Security for the proposed works, in the amount of \$32,622.70 based on the cost estimate provided by the Landscape Architect (including 10 per cent contingency, soft and hard landscaping, fencing and installation).
- The area surrounding the main entrance of the principal building and the rear yard infill unit, are proposed to be treated with a combination of landscaping elements and lighting to enhance the appearance from the streetscape and view from the lane.
- The proposed private outdoor spaces for the principal building and the rear-yard infill unit are located between the two buildings and is provided in combination of a paved patio and sodded lawn space. The proposed amenity spaces are separated through a concrete pathway and landscaped hedging.

### ***Crime Prevention Through Environmental Design***

- Consistent with the design guidelines for Small-Scale Multi-Unit Housing development in the OCP, the proposed principal dwelling unit design enables natural surveillance by locating windows in primary living spaces that overlook Railway Avenue. The rear yard infill unit design also proposes windows overlooking the lane.
- The applicant proposes to include porch overhead lighting at the main entrance at each corner of the rear yard infill unit. Low voltage bollard lighting is proposed to be located adjacent to the outdoor parking space to maintain visibility and safety. The lighting will be designed to avoid spillover onto neighbouring lots.

### ***Sustainability***

- The applicant must demonstrate compliance with the BC Energy Step Code as part of the BP process. The applicant intends to meet Step Code 4 with EL-3 requirements.

- Heat pumps are proposed for the principal building and the rear yard infill unit. The heat pumps are to be located in the internal yard of the property, adjacent to the principal building's east elevation and the rear yard infill unit's west elevation. Prior to BP issuance, the applicant is required to submit written confirmation that the noise associated with the heat pump operation will comply with the City's Noise Regulation Bylaw 8856.

### ***Site Servicing***

- Prior to BP issuance, the applicant is required to enter into a work order to complete site servicing works and improvements, including water, storm and sanitary connections. Details of the site servicing works are included under the BP considerations (Attachment 3).
- Prior to BP issuance, the applicant is required to register an SRW on Title for the purposes of providing City access to a new water meter and box located on the Railway Avenue frontage. The design and location are to be confirmed at the BP stage.

### **Conclusions**

The subject DP application seeks permission to build Small-Scale Multi-Unit Housing on an Arterial Road, including a two-and-a-half-storey single-family dwelling with a secondary suite, and a two-storey rear yard infill unit at 10320 Railway Avenue, with vehicle access from the lane. The proposed Small-Scale Multi-Unit Housing is consistent with the existing neighbourhood character and the OCP DP guidelines.

As the proposed development would meet applicable policies and DP Guidelines, staff recommend that the Development Permit be endorsed and issuance by Council is recommended.

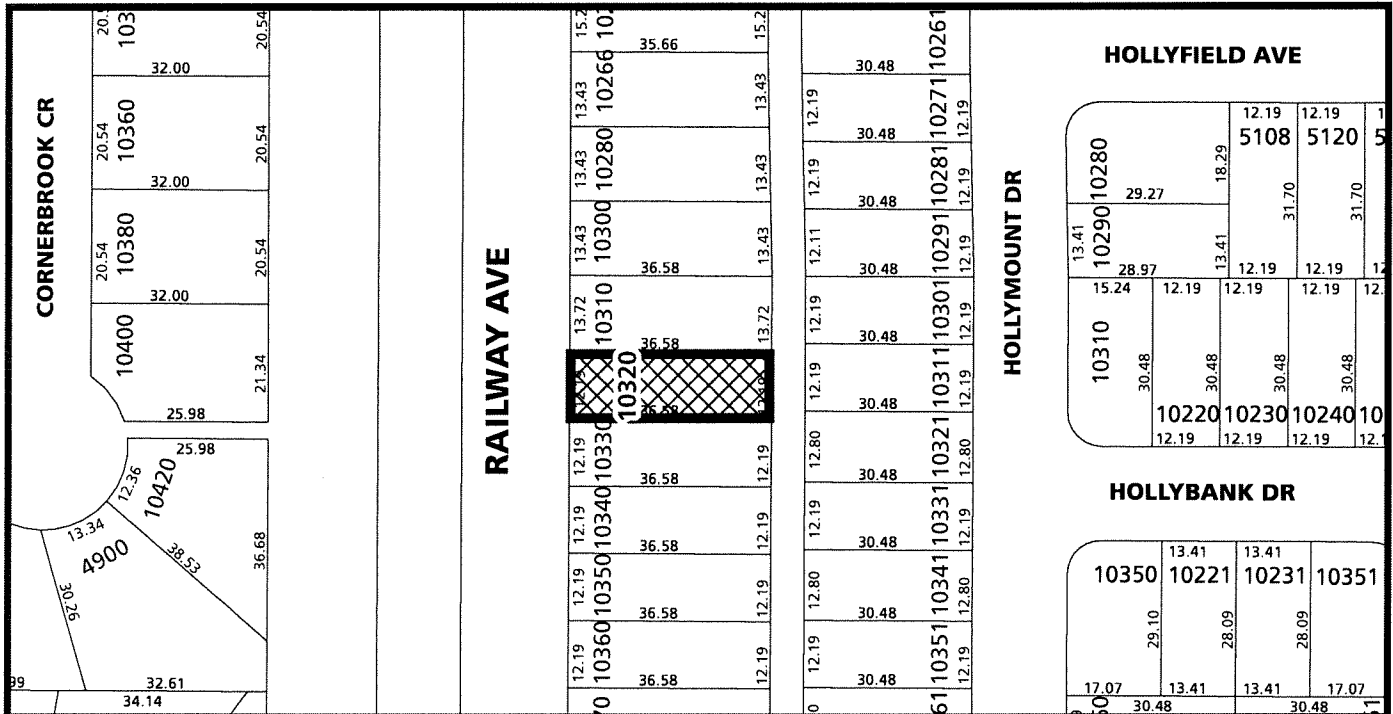
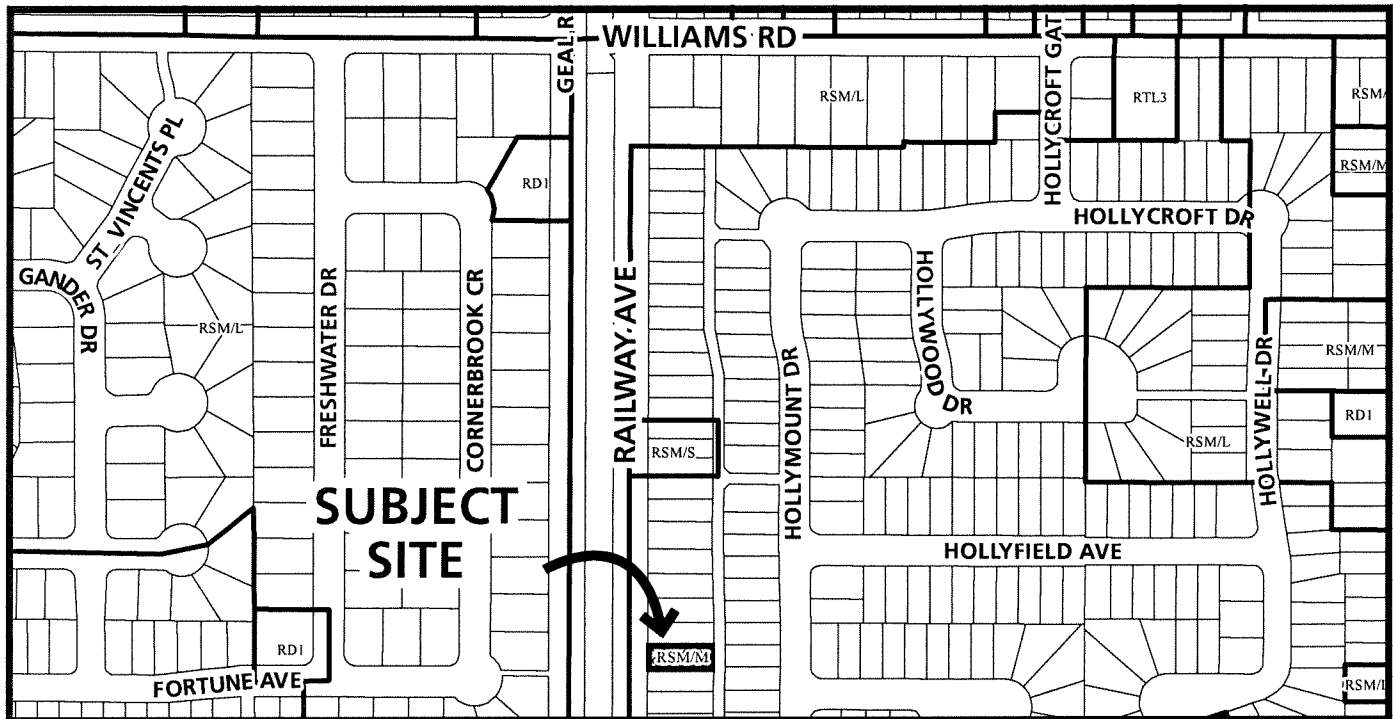


Emma Lovas  
Planning Technician – Design  
(604-276-4262)

EL:js

- Att.
1. Location Map
  2. Development Application Data Sheet
  3. Development Permit Considerations

City of  
Richmond



DP 24-050212

Revision Date:

Note: Dimensions are in METRES



**DP 25-050212**

**Attachment 2**

Address: 10320 Railway Avenue

Applicant: Brad Dore

Owner: Simerjit Kaur Malhi, Robby  
Randeep Dhaliwal

Planning Area(s): Steveston

	Existing	Proposed
<b>Site Area:</b>	445.9 m <sup>2</sup>	No Change
<b>Land Uses:</b>	Single Detached Residential	Single detached residential with detached rear yard infill building
<b>OCP Designation:</b>	Neighbourhood Residential	No Change
<b>Zoning:</b>	Small-Scale Multi-Unit Housing (RSM/M)	No Change
<b>Number of Units:</b>	1	3

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.6 FAR for up to 464.5 m <sup>2</sup> of lot area, plus 0.3 FAR for the remainder	Max. 0.6 FAR for up to 464.5 m <sup>2</sup> of lot area, plus 0.3 FAR for the remainder	none permitted
Lot Coverage:	Building: Max. 45% Non-porous surfaces: Max. 70% Live Landscaping: Min. 20%	Complies	none
Setback – Front Yard	Min. 6.0 m	6.46 m	none
Setback – South Side Yard:	Min 1.2 m	Front Bldg: 1.21 m Rear Bldg: 1.26 m	none
Setback- North Side Yard:	Min. 1.2 m	Front Bldg: 1.23 m Rear Bldg: 3.01	none
Setback – Rear Yard:	Min. 0.9 m	1.2 m	none
Separation between single detached house and infill unit:	Min. 6.0 m	6.15 m	none
Building Height	Max. 10.0 m	Front Bldg: 9.12 m Rear Bldg: 7.49 m	none
Off-street Parking Spaces:	Min. 0.5 Per Unit	2	none



**City of  
Richmond**

## **Development Permit Considerations**

Development Applications Department  
6911 No. 3 Road, Richmond, BC V6Y 2C1

**Address:** 10320 Railway Avenue

**File No.:** DP 24-050212

The following are to be met prior to forwarding this application to Council for approval:

1. **(Flood Covenant)** Registration of a flood indemnity covenant on title (Area A).
2. **(Arborist Contract)** Submission of a Contract entered into between the applicant and a Certified Arborist for supervision of any on-site works conducted within the tree protection zone of the trees to be retained. The Contract should include the scope of work to be undertaken, including: the proposed number of site monitoring inspections, and a provision for the Arborist to submit a post-construction assessment report to the City for review.
3. **(Secondary Suite)** Registration of a legal agreement on title to ensure that no final Building Permit inspection is granted until at minimum a one-bedroom secondary suite with a floor area of 32.61 m<sup>2</sup> is constructed in the principal building to the satisfaction of the City in accordance with the BC Building Code and the City's Zoning Bylaw.
4. **(Landscape Security)** Submission of a security in the amount of \$32,622.70 (based on the cost estimate provided by a Registered Landscape Architect including installation costs and 10% contingency) to ensure that development is carried out in accordance with the terms and conditions of this Permit.
5. **(Tree Survival Security)** A Tree Survival Security in the amount of \$10,000.00 for the retention of the City-owned Cypress Tree (tag #c11).
6. Payment of all fees in full for costs associated with Public Notices.

Prior to Building Permit issuance for the rear yard infill suite, the developer is required to complete the following:

1. **(Compliance with DP Plans)** Demonstrate compliance with the Development Permit Plans.
2. **(Demolition of Existing Building)** A Demolition Permit is required for removing all existing buildings and structures on the lot.
3. **(Tree Protection Fencing)** Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities, including building demolition, occurring on-site.
4. **(Acoustic Report)** Provide an acoustic report and written confirmation that the noise associated with the heat pump operation will comply with the City's Noise Regulation Bylaw 8856.
5. **(BC Energy Step Code)** Demonstrate compliance with the applicable level of the BC Energy (Step Code 4 with EL-3 requirements).
6. **(Utility SRW)** Register a Statutory Right-of-Way (SRW) for the purpose of providing City access to the new water meter and water box. The minimum dimensions of the SRW are to be the size of the meter box, (from City of Richmond supplementary specifications), plus any appurtenances (for example, the bypass on W2n-SD) + 0.5 m on all sides.
7. **(Servicing Works)** Enter into a City Work Order to provide for the following, but not limited to, servicing improvements:

### **Water Works:**

- a. Using the OCP Model, there is 238 L/s of water available at a 20 psi residual at the Railway Avenue frontage. Based the proposed development, the site requires a minimum fire flow of 95 L/s.
- b. At developers' cost, the developer is required to:
  - i. Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage building designs.
  - ii. Review hydrant spacing on all road frontages and install new fire hydrants as required to meet City spacing requirements for the proposed land use.
  - iii. Cut, cap, and remove the existing water service connection 33892 at the main along the Railway Avenue frontage.
  - iv. Install a new 40mm water service connection along the Railway Avenue frontage, complete with a water meter and water meter box.
  - v. Perform all the above through consideration of the City of Richmond's Engineering Design Specifications and MMCD Supplemental Design Specifications and Detail Drawings.

### **Storm Sewer Works**

- a. At developers' cost, the developer is required to:

Initial: \_\_\_\_\_

- i. Verify the size, material, and condition of the existing storm sewer lateral connection STLAT81279 along the west frontage via CCTV inspection. Replacement may be required based on results of inspection.
  - ii. Upgrade the existing storm sewer service connection STCN33742 along the west frontage.
  - iii. Perform all of the above through consideration of the City of Richmond's Engineering Design Specifications and MMCD Supplemental Design Specifications and Detail Drawings.
- b. At developer's cost, the City will:
- i. Complete all tie-ins for the proposed works to existing City infrastructure.

**Sanitary Sewer Works:**

- a. At developer's cost, the developer is required to:
  - ii. Not start onsite excavation or foundation construction until completion of rear-yard sanitary works by City crews.
  - iii. Verify the size, material, and condition of the existing sanitary lateral connection SLAT9937 and inspection chamber SIC16054 along the east frontage via CCTV inspection. Replacement may be required based on results of inspection.
  - iv. Upgrade the existing sanitary sewer service connection SCON25104 along the east frontage.
  - v. Disconnect the service connection serving 10310 Railway Avenue if required and notify as required.
  - vi. Perform all of the above through consideration of the City of Richmond's Engineering Design Specifications and MMCD Supplemental Design Specifications and Detail Drawings.

**General Items:**

- a. At developer's cost, the developer is required to:
    - vii. Not encroach into City rights-of-ways with any proposed trees, retaining walls, or other non-removable structures. Retaining walls proposed to encroach into rights-of-ways must be reviewed by the City's Engineering Department.
8. Enter into if required, additional legal agreements, as determined through the subject development's Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
9. Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<https://www.richmond.ca/services/transportation/special.htm#TrafficPlan>).
10. The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*



# City of Richmond

## Development Permit

**No. DP 24-050212**

To the Holder: Brad Dore  
Property Address: 10320 Railway Avenue  
Address: 10320 Railway Avenue

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1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1-9 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$32,622.70 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

**Development Permit**  
**No. DP 24-050212**

To the Holder: Brad Dore  
Property Address: 10320 Railway Avenue  
Address: 10320 Railway Avenue

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7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO. ISSUED BY THE COUNCIL THE  
DAY OF , .

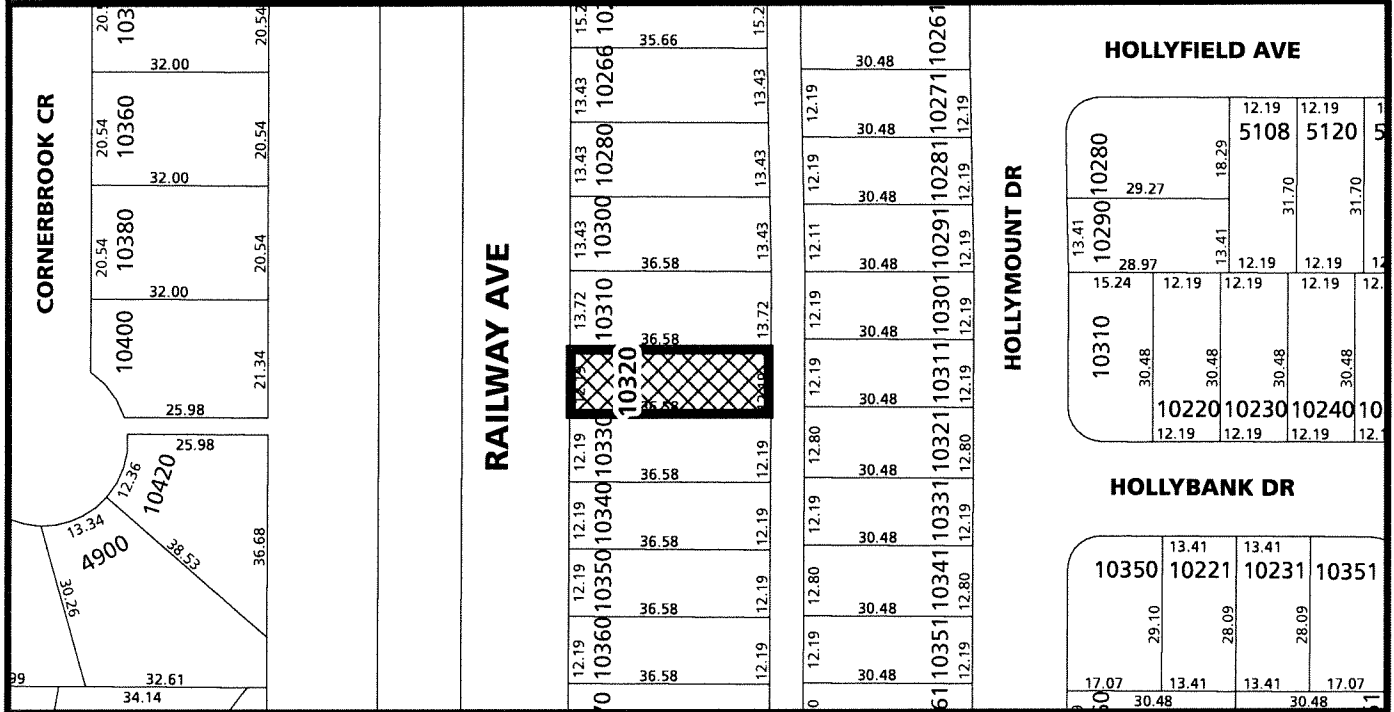
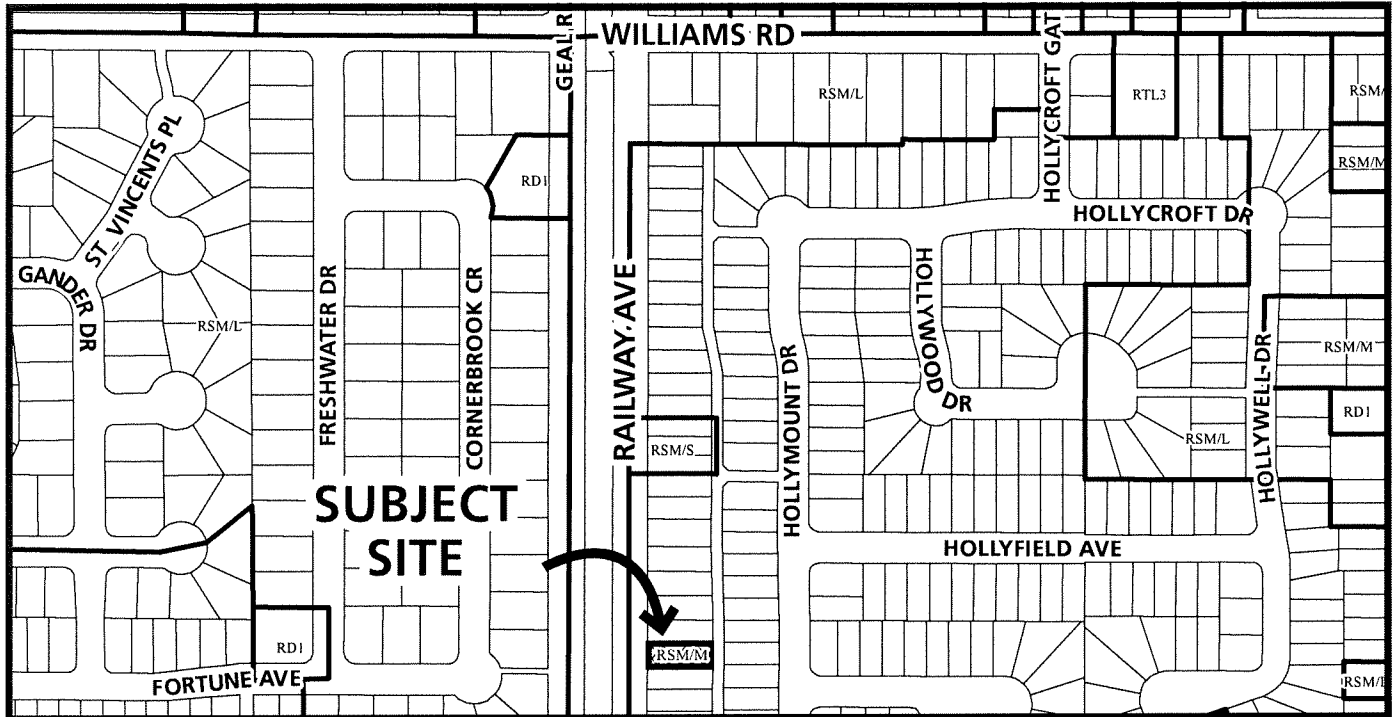
DELIVERED THIS DAY OF , .

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MAYOR



# City of Richmond



DP 24-050212  
SCHEDULE "A"

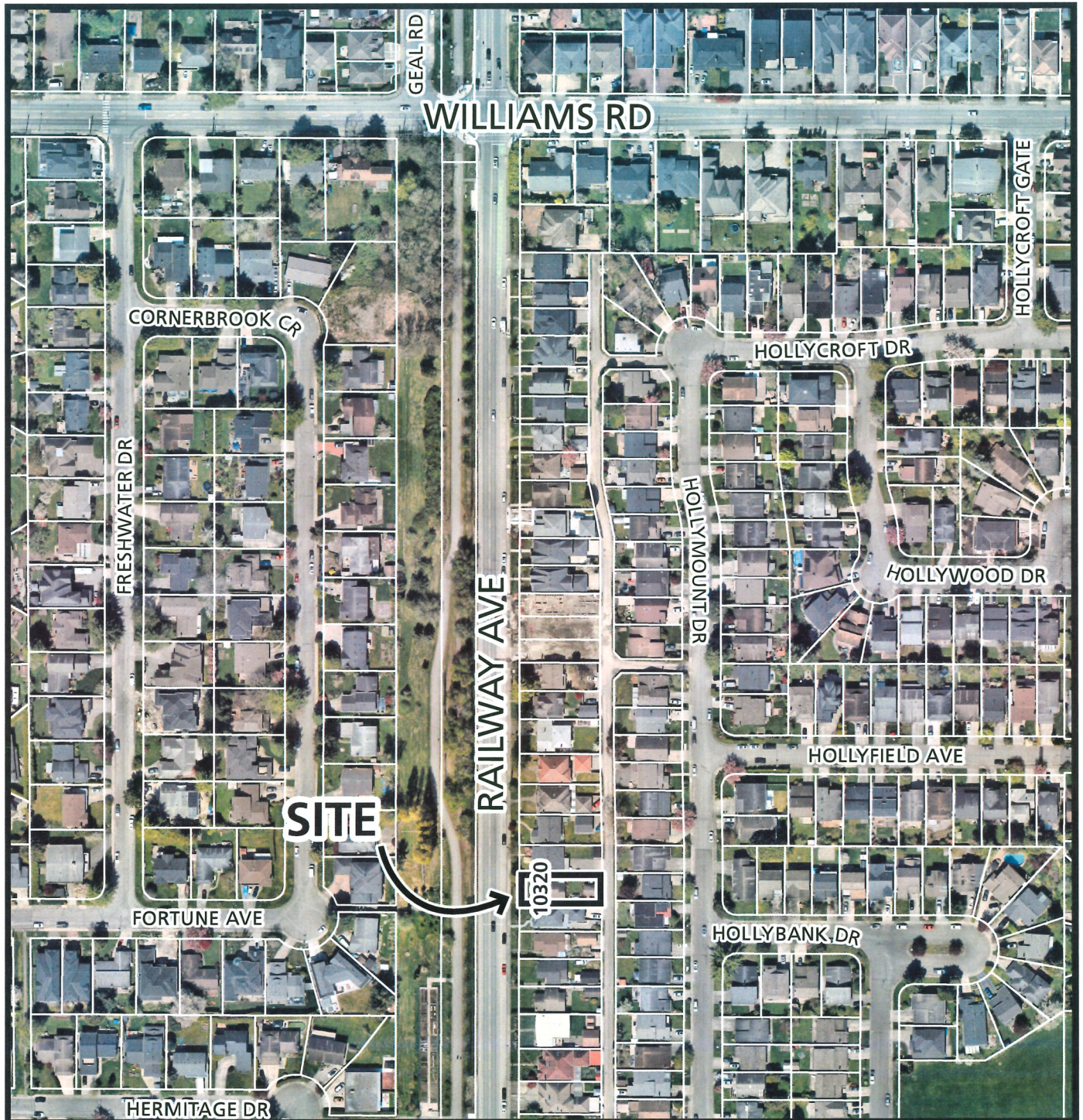
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Revision Date:

Note: Dimensions are in METRES



City of  
Richmond



DP 24-050212

Original Date: 01/14/25

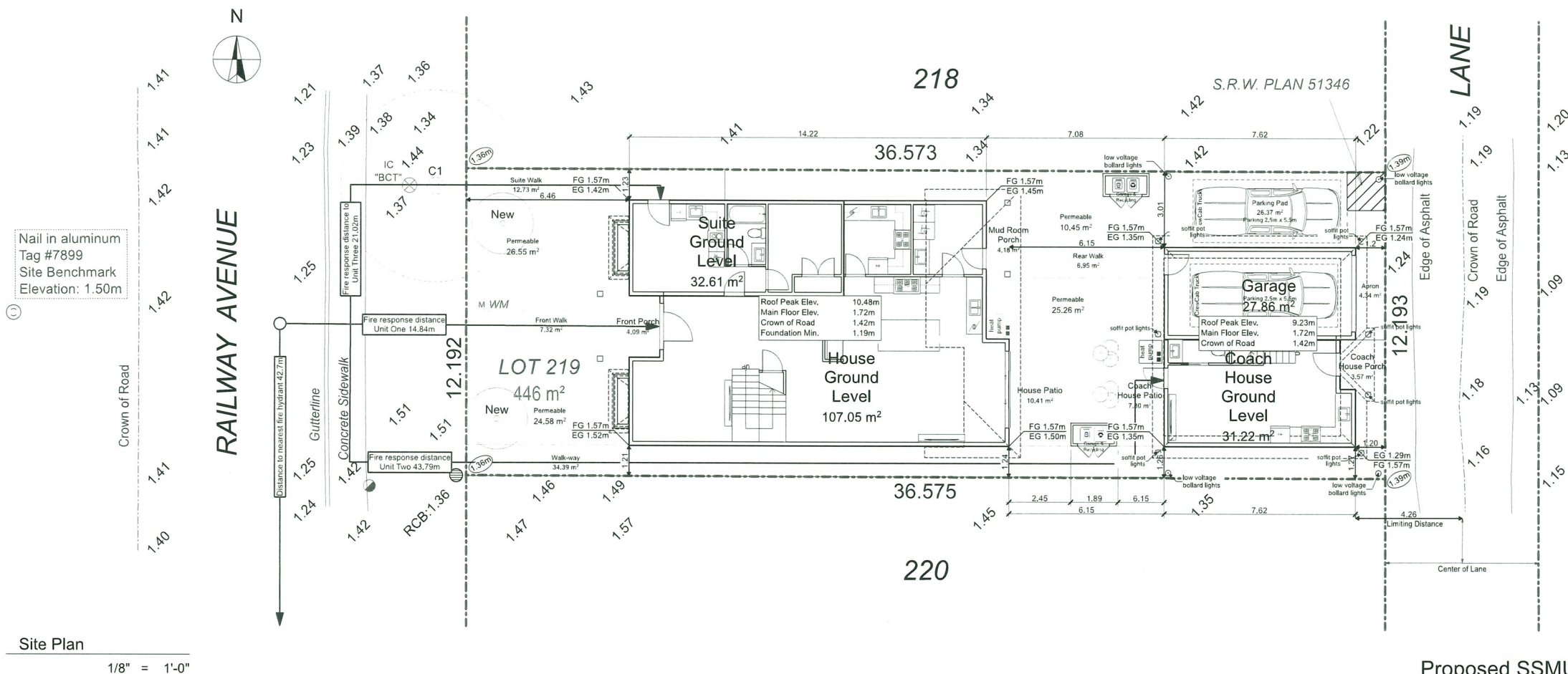
Revision Date:

Note: Dimensions are in METRES

# Proposed SSMUH 10320 Railway Avenue

Project Summary				
	Proposal	Small Scale Multi-Unit		
	Address	10320 Railway Avenue		
	Zoning	RSM SSMUH		
Lot Size				
	Lot Width	12.190 m.	40.0 ft.	
	Lot Depth	36.580 m.	120.0 ft.	
	Site Area	445.9 m <sup>2</sup>	4,800 s.f.	
	ALLOWABLE	PROPOSED		
FAR 0.6 on 464.5 m <sup>2</sup>	267.55 m <sup>2</sup>	2880 s.f.		
FAR 0.30 in access of 464.5 m <sup>2</sup>	0.00 m <sup>2</sup>	0 s.f.		
Allowable FAR	267.55 m <sup>2</sup>	2880 s.f.		
Flex Space Allowable	80.00 m <sup>2</sup>	861 s.f.		
Stairs & open to below	10.00 m <sup>2</sup>	108 s.f.		
4.3A.1(c)(i) Green Building System 2.35m <sup>2</sup> per dwelling	2.35 m <sup>2</sup>	25 s.f.		
Total FAR	359.90 m <sup>2</sup>	3874 s.f.	359.86 m <sup>2</sup>	3874 s.f.
10% of floor area for covered areas	35.99 m <sup>2</sup>	387 s.f.	15.67 m <sup>2</sup>	169 s.f.
Permitted Lot Coverage 45% for buildings	200.66 m <sup>2</sup>	2160 s.f.	198.74 m <sup>2</sup>	2139 s.f.
Permitted non-porous surfaces 70%	312.14 m <sup>2</sup>	3360 s.f.	311.50 m <sup>2</sup>	3353 s.f.
Landscaping - five plant material 20%	89.18 m <sup>2</sup>	960 s.f.	94.11 m <sup>2</sup>	1013 s.f.
Landscaping - 5% of required front yard	40.23 m <sup>2</sup>	433 s.f.	58.44 m <sup>2</sup>	629 s.f.
Heights	Average Finished Grade (1.39+1.39+1.36+1.36)/4 = 1.375m			
Main House Maximum height pitched roof	10.0 m.	32.8 ft.	9.12 m.	29.92 ft.
Coach House Maximum height pitched roof	7.5 m.	24.6 ft.	7.49 m.	24.57 ft.
Yards & Setbacks				
Front Yard	6.00 m.	19.69 ft.	6.46 m.	21.19 ft.
Building separation	6.00 m.	19.69 ft.	6.15 m.	20.18 ft.
Side Yard	1.375 m.	3.94 ft.	1.24 m.	4.07 ft.
Maximum Continuous Wall 55%	20.12 m.	66.01 ft.		

Coach House Ground Level	336.04
Coach House Upper Level	529.00
Garage	299.87
House Ground Level	1,152.28
House Upper Level	1,205.32
Suite Ground Level	351.04
	3,873.55 ft <sup>3</sup>
House Ground Level	1,152.28
House Upper Level	1,205.32
Suite Ground Level	351.04
	2,708.64 ft <sup>3</sup>
Coach House Ground Level	336.04
Coach House Upper Level	529.00
	865.04 ft <sup>3</sup>



Sheet Index	
Layout ID	Layout Name
A01	Cover Sheet Site Fire Response ...
A02	Area Overlays
A03	3 Dimensional Views
A04	Shadow Analysis
A05	Main Level Plans
A06	Upper Level Plans
A07	Roof Plan
A08	Elevations East & West
A09	Elevations North & South
A10	BB Sections
A11	Doors & Windows

## Cover Sheet Site Fire Response & Waste management

Issued for DP DEF	Friday, October 24, 2025
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November 13, 2025  
DP 24-050212  
Plan #1

Proposed SSMUH  
10320 Railway Avenue  
Richmond, BC

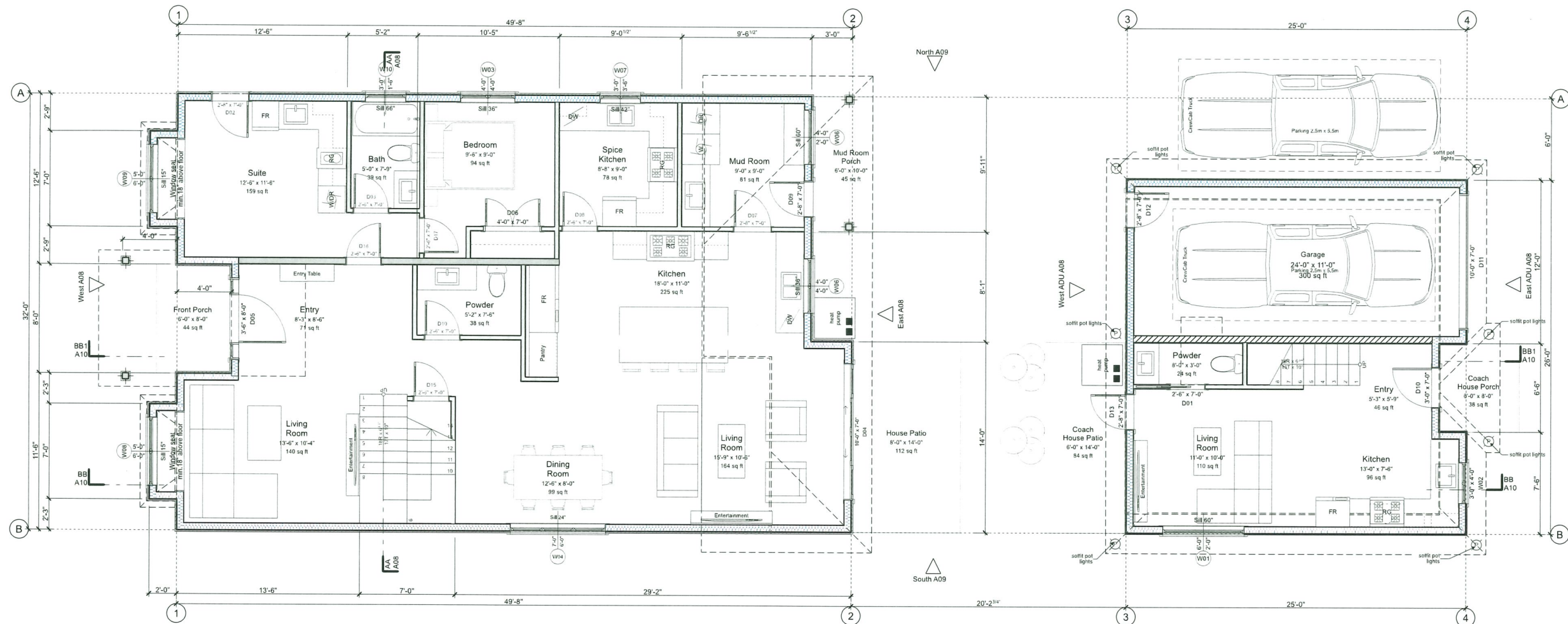
The design and specifications of all drawings conform to BCBC 2024  
All drawings are to SCALE in the absence of a dimension the drawings maybe scaled

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and shall not be modified or reproduced without the  
consent of Brad Doré

### Legal Address

LOT 219, BLOCK 4N, PLAN NWP 51345, SECTION 36, RANGE 7W,  
NEW WESTMINSTER LAND DISTRICT.  
PID 004 884 370

**Brad Doré**  
Residential Design  
604.782.8240  
brad.dore@icloud.com  
www.braddore.com  
Doré Design & Development Inc.



Main Level  
1/4" = 1'-0"

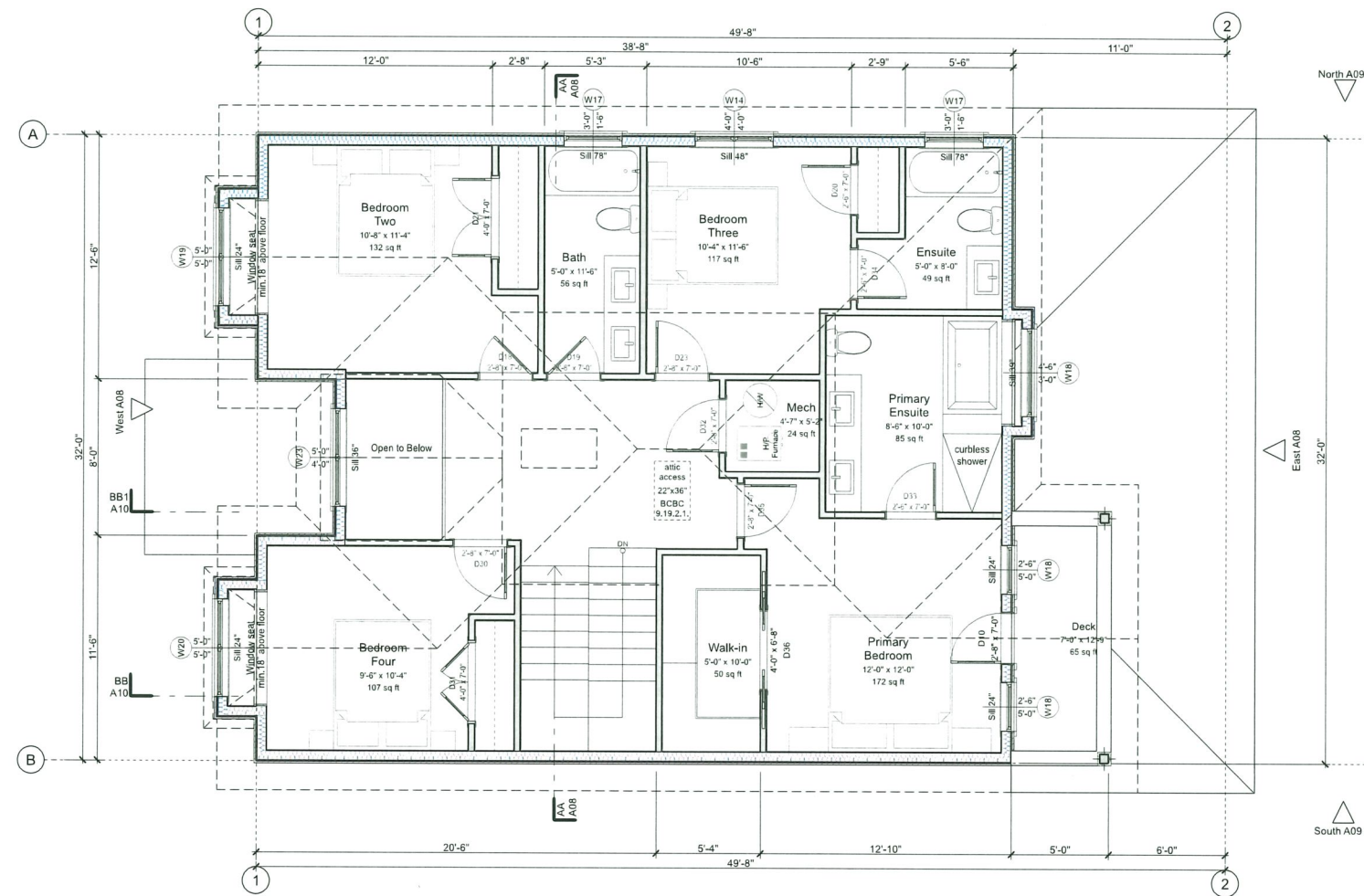
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Proposed SSMUH  
10320 Railway Avenue  
Richmond, BC

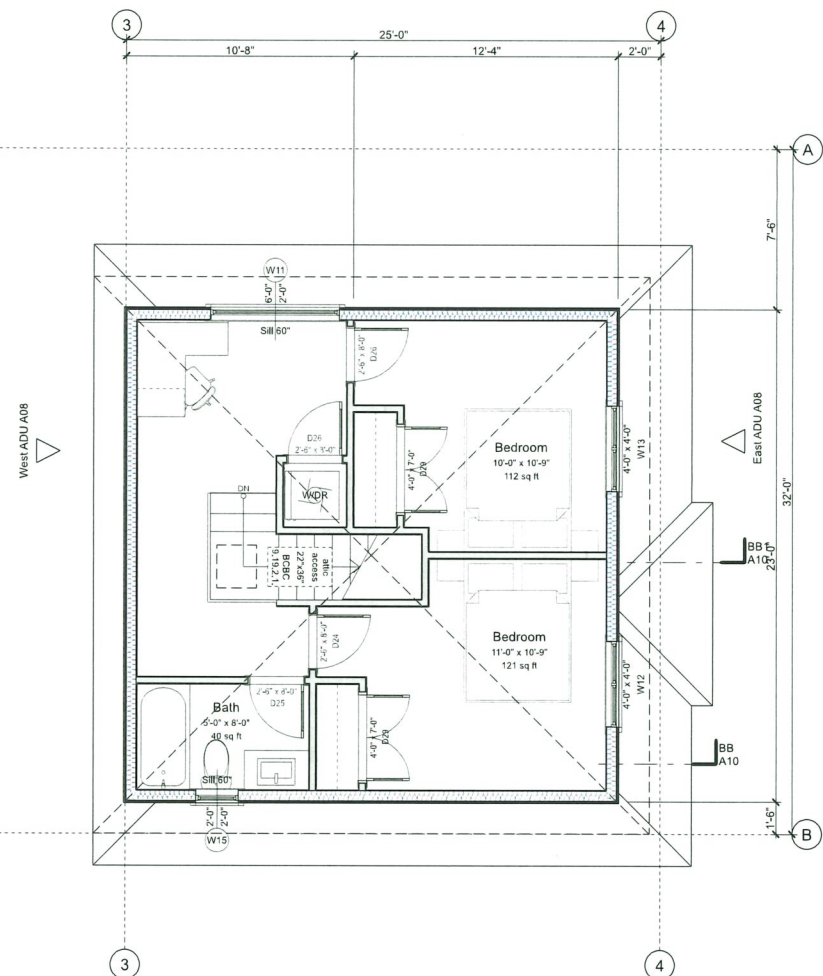
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Main Level Plans	
Issued for DP DEF	Wednesday, October 22, 2025
November 13, 2025	
DP 24-050212	
Plan #2	



Upper Level  
1/4" = 1'-0"



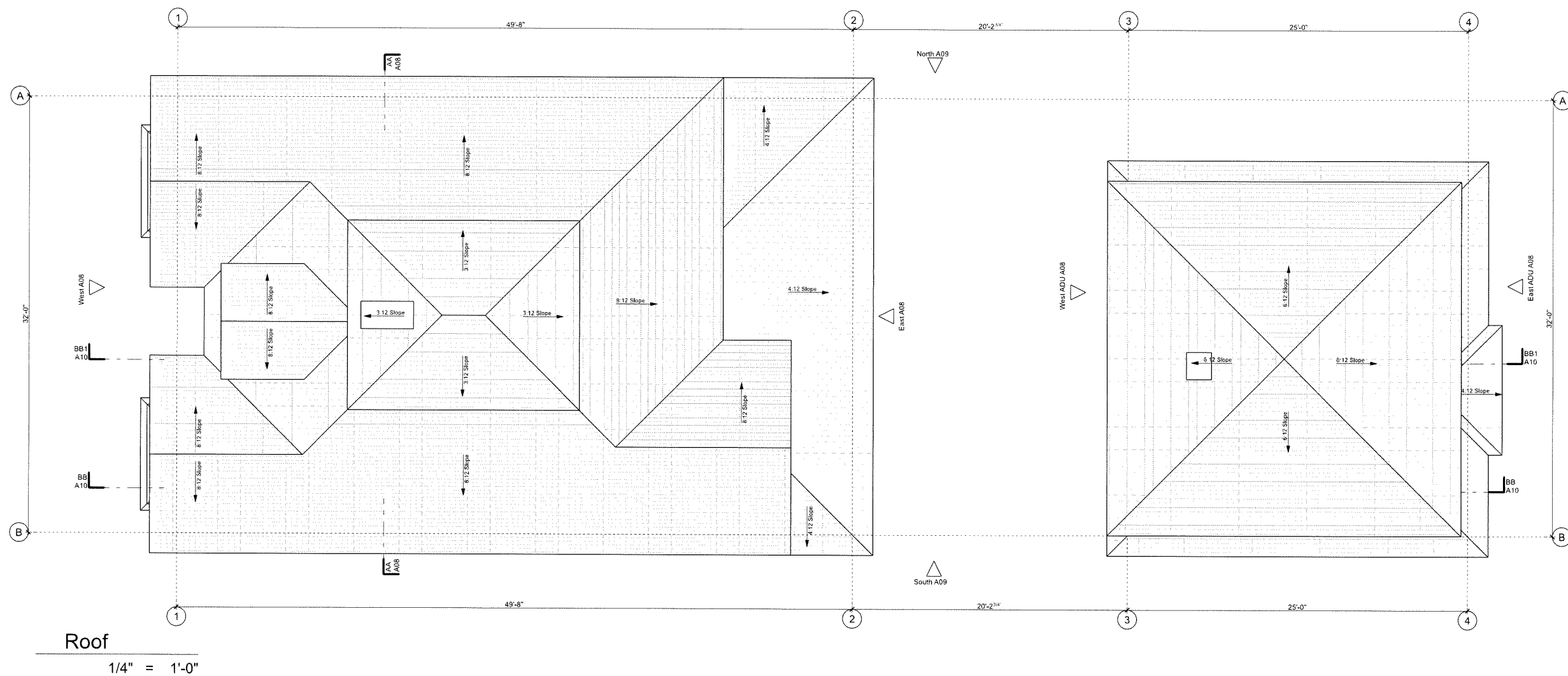
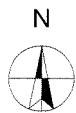
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Proposed SSMUH  
10320 Railway Avenue  
Richmond, BC

The design and specifications of all drawings conform to BCBC 2024. All drawings are to SCALE in the absence of a dimension the drawings maybe scaled.

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Upper Level Plans	
Issued for DP DEF	Wednesday, October 22, 2025
November 13, 2025	
DP 24-050212	
Plan #3	



**Brad Doré**  
Residential Design

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Proposed SSMUH  
10320 Railway Avenue  
Richmond, BC

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Roof Plan

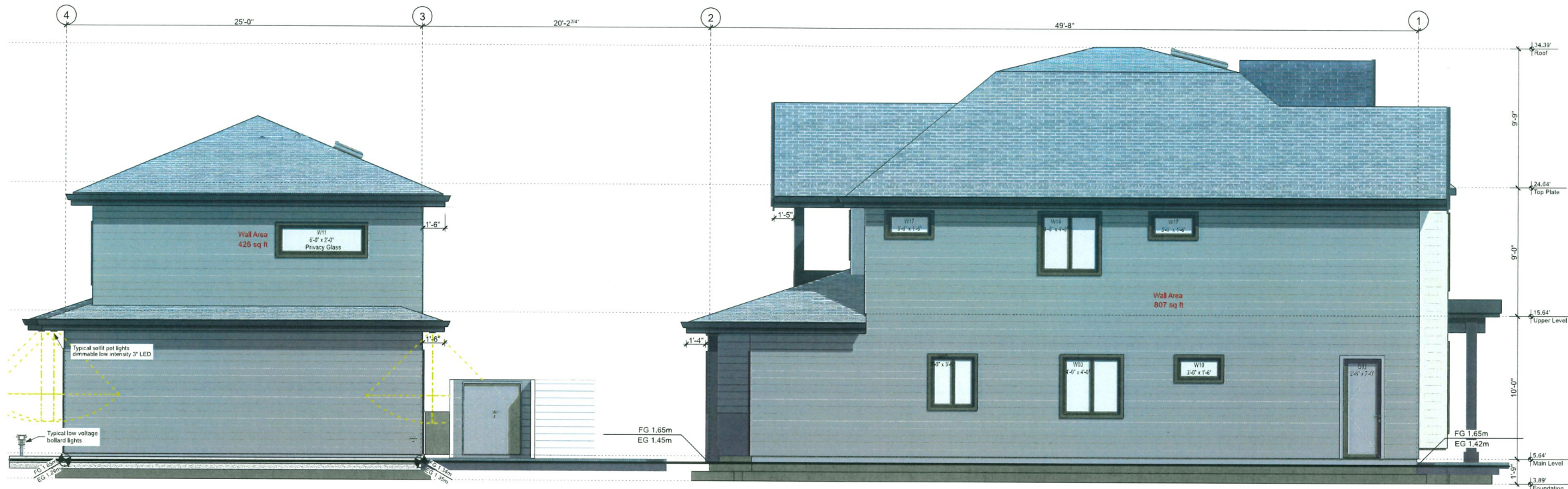
Issued for DP DEF Wednesday, October 22, 2025

**November 13, 2025**

**DP 24-050212**

**Plan #4**



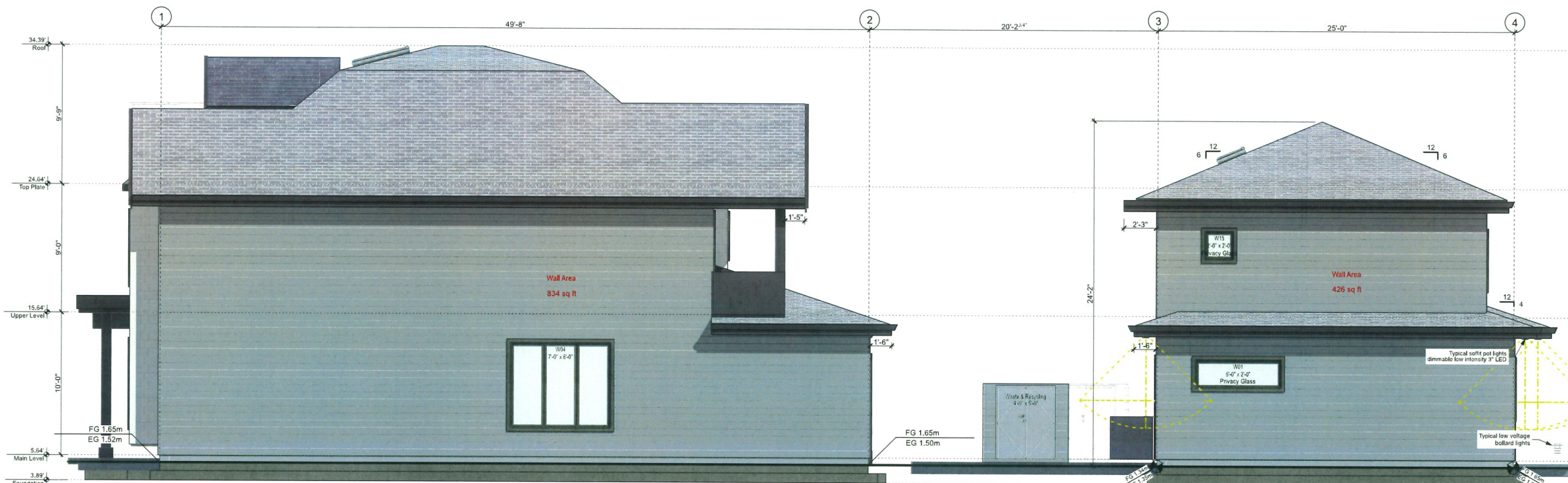


North

1/4" = 1'-0"

Openings North Wall		
ID	Opening Size	Opening Area
W03	4'-0" x 4'-0"	16.00
W07	3'-0" x 3'-6"	10.50
W10	3'-0" x 1'-6"	4.50
W14	4'-0" x 4'-0"	16.00
W17	3'-0" x 1'-6"	4.50
W17	3'-0" x 1'-6"	4.50
		56.00 ft²

Limiting Distance 1.2m  
Wall area 807 s.f.  
Allowable openings 7% or 56.5 s.f.



South

1/4" = 1'-0"

Openings South Wall		
ID	Opening Size	Opening Area
W04	7'-0" x 6'-0"	42.00
		42.00 ft²

Limiting Distance 1.2m  
Wall area 834 s.f.  
Allowable openings 7% or 58.4 s.f.

Platinum Gray  
HC-179 Main Body

1

Chantilly Lace  
OC-65 Box-outs

2

Kendall Charcoal  
HC-166 Window & Trim

3

Mount Saint Anne  
CC-710 Front Door

4

Proposed SSMUH  
10320 Railway Avenue  
Richmond, BC

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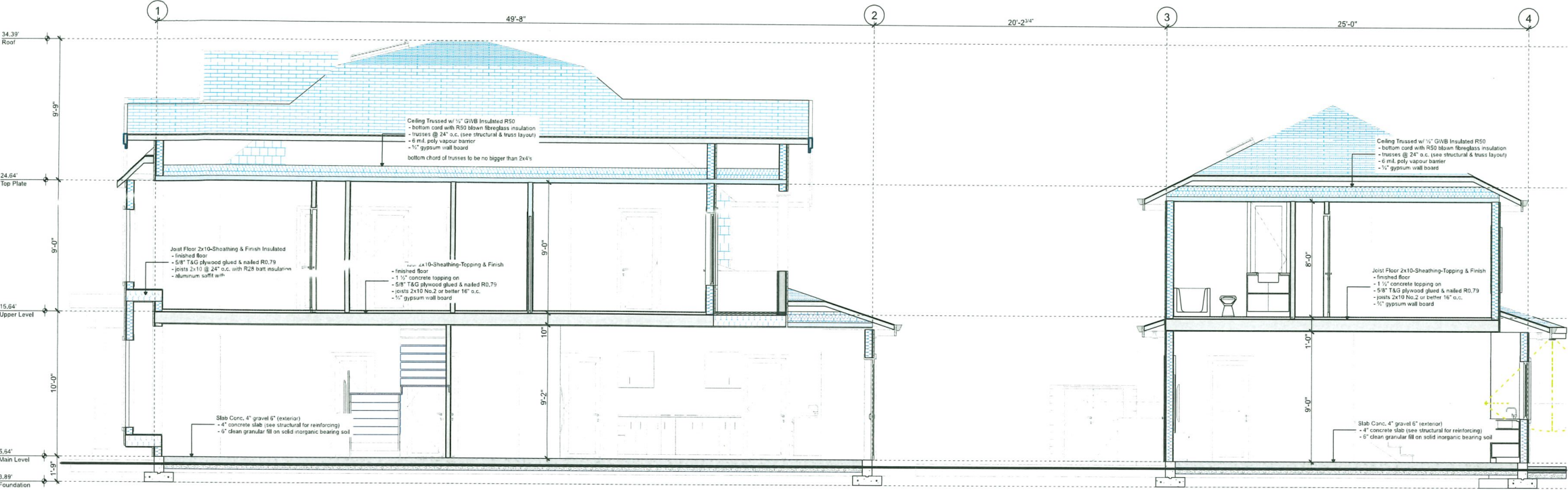
Elevations North & South

Issued for DP DEF Wednesday, October 22, 2025

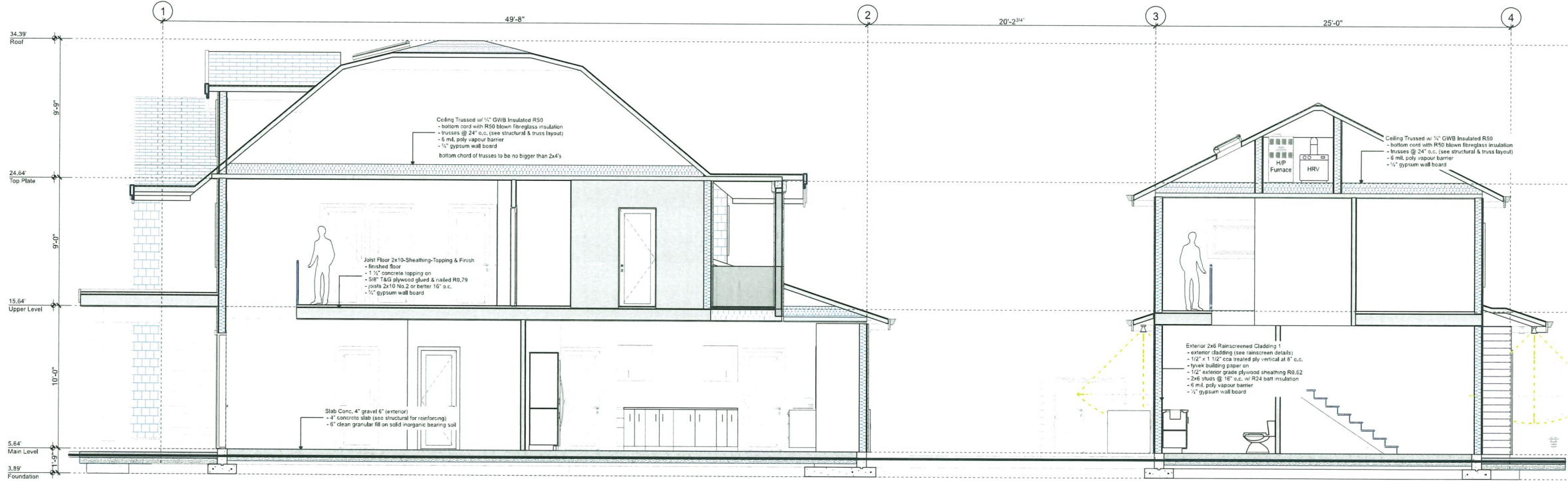
November 13, 2025  
DP 24-050212  
Plan #6

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BB Section  
1/4" = 1'-0"



BB1 Section  
1/4" = 1'-0"

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BB Sections

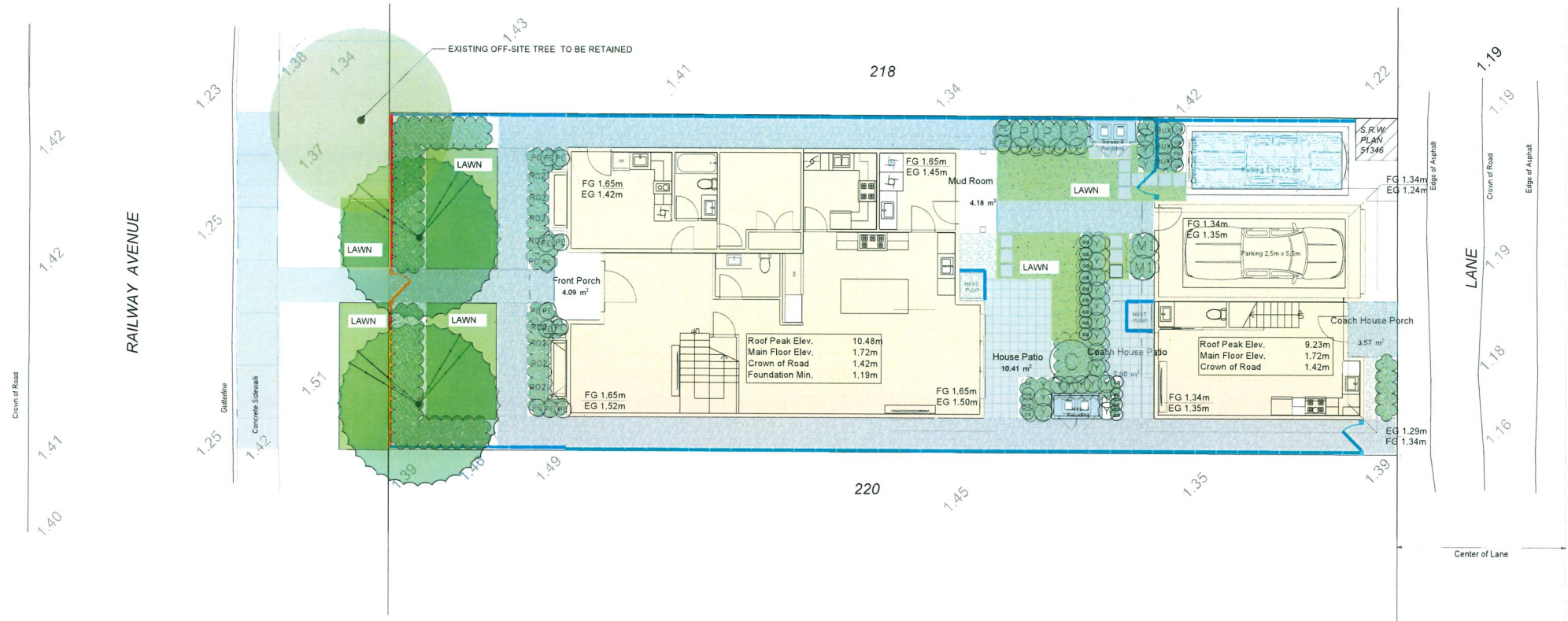
Issued for DP DEF    Wednesday, October 22, 2025

**November 13, 2025**

**DP 24-050212**

**Plan #7**

SEAL:



FENCE LEGEND	
SYMBOL	STYLE
	6HT. WOOD FENCING
	4HT. WOOD FENCING
	4' HT. METAL FENCING

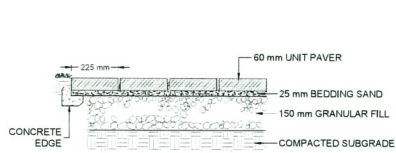
HARDSCAPE LEGEND	
2X2' TEXADA SLAB BY BELGARD; NATURAL COLOR; INSTALLED WITH PAVING EDGER	
CLASSIC STANDARDS PAVERS BY BELGARD; SHADOW COLOR; INSTALLED WITH PAVING EDGER/ CONCRETE BAND	
SOD LAWN	
18"x18" STEPIING STONE	

ALL PAVERS TO BE INSTALLED  
AS PER MANUFACTURER'S SPECIFICATIONS.

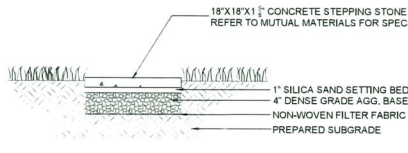
TREE SCHEDULE					PMG PROJECT NUMBER: 25-134	
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS		
TREE						
2	2	STYRAX JAPONICUS	JAPANESE SNOWBELL	9CM CAL; 1.8M STD. B&B		
SHRUB						
24	24	BUXUS SEMPERVIRENS 'SUFFRUTICOSA'	DWARF ENGLISH BOXWOOD	#2 POT; 25CM. CLIMATE RESILIENT. 60CM OC.		
1	1	CAMELLIA JAPONICA 'DEBUTANTE'	CAMELLIA, LIGHT PINK	#3 POT; 50CM		
9	9	PIERIS JAPONICA 'VALLEY FIRE'	VALLEY FIRE PIERIS	#3 POT; 50CM		
12	12	ROSA MEIDELAND 'BONICA'	MEIDELAND ROSE, PINK	#2 POT; 40CM		
23	23	TAXUS X MEDIA 'HICKSII'	HICK'S YEW	1.0M HT. B&B		
GRASS						
28	28	CAREX 'ICE DANCE'	FROSTED SEDGE	#1 POT		
2	2	MISCANTHUS SINENSIS 'LITTLE KITTEN'	COMPACT MAIDEN GRASS	#1 POT		
25	25	PENNISETUM ALOPECUROIDES 'HADELIN'	DWARF FOUNTAIN GRASS	#1 POT		
PERENNIAL						
10	10	RUDBECKIA FULGIDA 'GOLDLOCKS'	RUDBECKIA, YELLOW-ORANGE	9CM POT		

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. \* ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. \* ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. \* BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

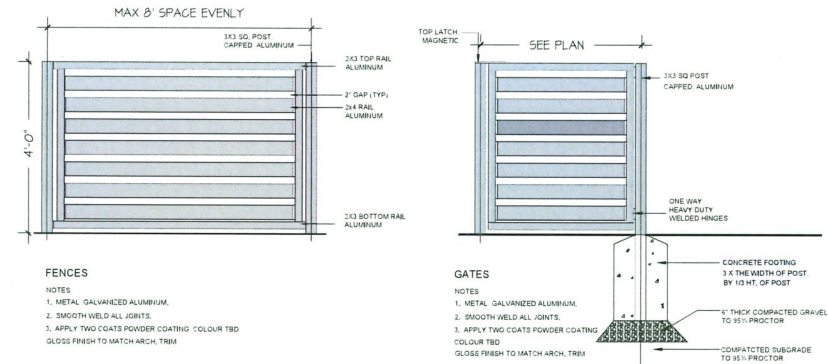
NOTE:  
- PROVIDE DESIGNED BUILD HIGH EFFICIENCY AUTOMATIC IRRIGATION SYSTEM TO I.I.A.B.C. STANDARDS TO ALL SOFT LANDSCAPE AREAS.  
SHOP DRAWINGS O BE REVIEWED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.



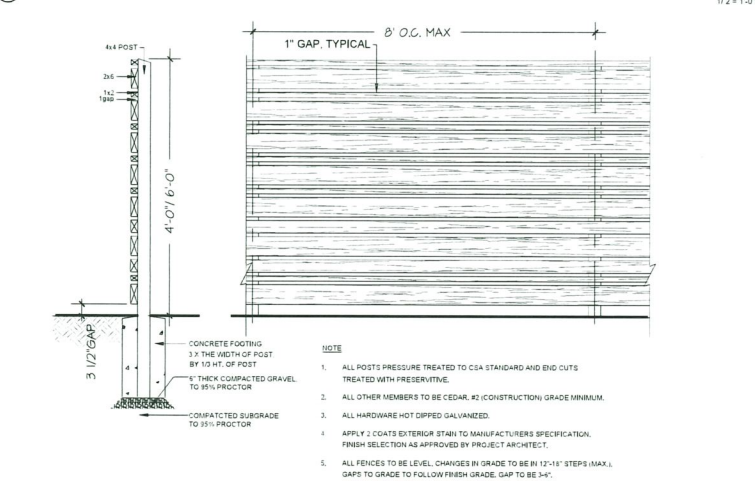
3 PAVERS EDGE  
3/4" = 1'-0"



4 STEPIING STONE  
3/4" = 1'-0"



1 4' HT ALUMINUM FENCE AND GATE  
1/2" = 1'-0"



2 4/6' HT WOOD FENCE  
1/2" = 1'-0"

November 13, 2025  
DP 24-050212  
Plan #8

PROJECT:  
SMALL SCALE MULTI-UNIT  
DEVELOPMENT & COACH HOUSE

10320 RAILWAY AVENUE,  
RICHMOND, BC

DRAWING TITLE:

LANDSCAPE  
PLAN

DATE: June 19, 2025

SCALE: 1/8" = 1'-0"

DRAWN: DD

DESIGN: DD

CHKD: YR

DRAWING NUMBER:

L1

OF 2

SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
5	15 OCT 17	CITY COMMENTS	DD
4	15 OCT 17	HEAT PUMP ADDED	DD
3	15 JUL 13	UPDATED ARBORIST REPORT	DD
2	15 JUL 13	REVISION AS PER CLIENT COMMENTS	DD
1	25 JUN 16	REVISION AS PER ARCHITECT COMMENTS	DD

CLIENT: MALHI CONSTRUCTION  
WITH: DORE DESIGN

**November 13, 2025**  
**DP 24-050212**  
**Plan #9**

PROJECT:  
**SMALL SCALE MULTI-UNIT  
DEVELOPMENT & COACH HOUSE**

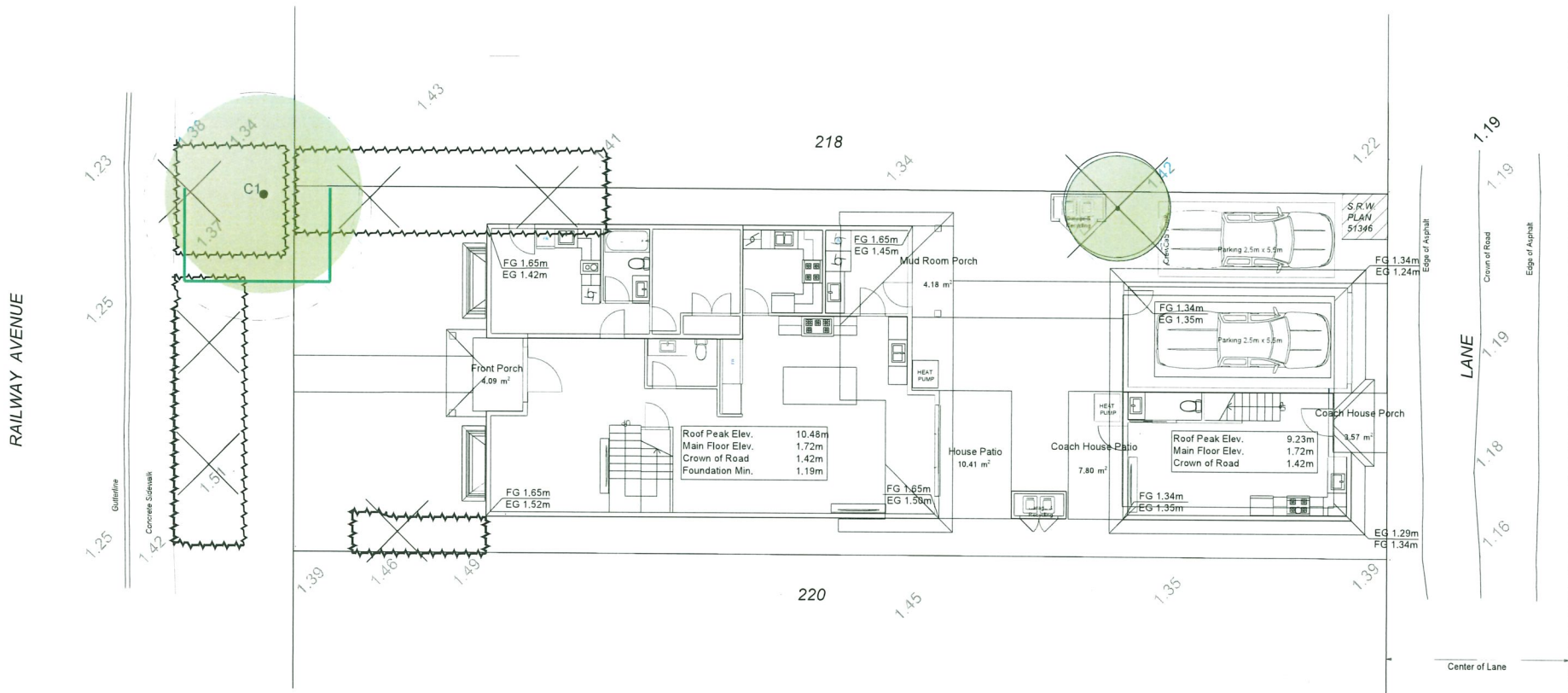
**10320 RAILWAY AVENUE,  
RICHMOND, BC**

DRAWING TITLE:

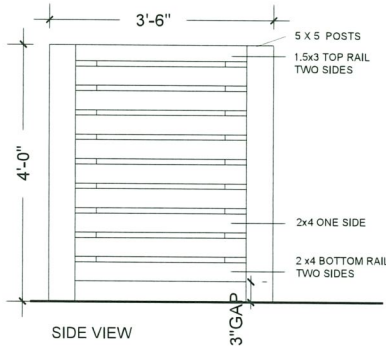
**TREE MANAGEMENT  
PLAN**

DATE: June 19, 2025  
SCALE: 3/32"=1'-0"  
DRAWN: DD  
DESIGN: DD  
CHKD: YR

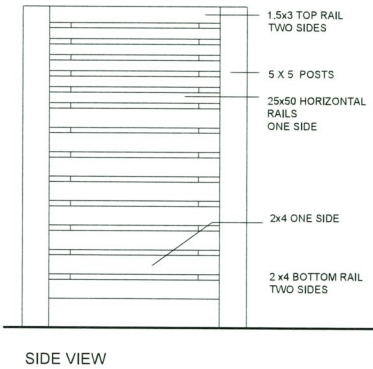
**L2**  
OF 2



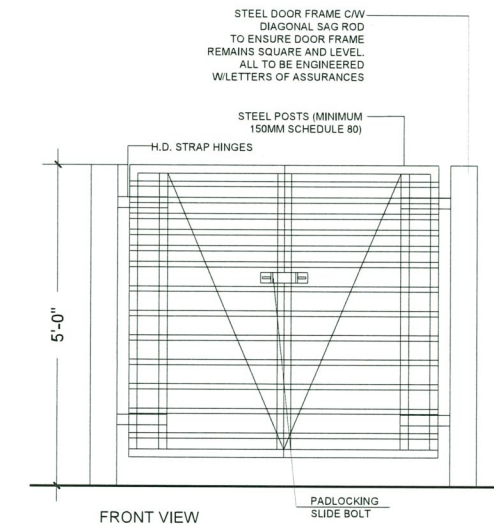
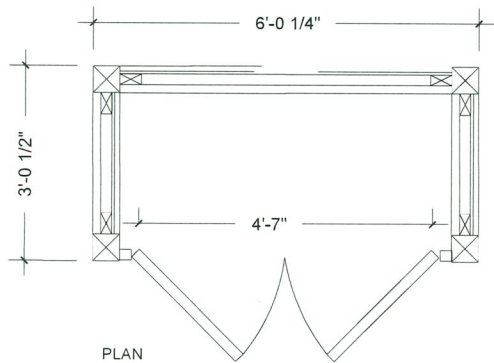
LEGEND	
	TREE PROPOSED FOR REMOVAL
	TREE PROPOSED FOR RETENTION
	PROTECTION ZONE (VPZ)



5 HEAT PUMP SCREENING  
3/4" = 1'-0"



6 GARBAGE ENCLOSURE  
3/4" = 1'-0"



1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
2. ALL OTHER MEMBERS TO BE CEDAR, #2 (CONSTRUCTION) GRADE MINIMUM.
3. ALL HARDWARE HOT DIPPED GALVANIZED.
4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
5. ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12"-18" STEPS (MAX.). GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3-6".
6. COLOUR TO MATCH ARCHITECTURAL TRIM OR AS REQUESTED BY ARCH.