



To: Development Permit Panel
From: Joe Erceg
Manager, Development Applications
Date: September 13, 2002
File: DP 02-205116
Re: **Application by Am-Pri Construction Ltd. for a Development Permit at
7691 No. 3 Road**

Manager's Recommendation

That a Development Permit be issued for 7691 No. 3 Road on a site zoned Townhouse and Apartment District (R3), which would allow the development of 25 townhouse units on one (1) lot containing a total floor area of 2,933.596 m² (31,578 ft²); and

Vary the provisions of Zoning and Development Bylaw No. 5300 to permit the following:

1. The projection of the unit floor space and balconies for the A4 and A5 units on Abercrombie Drive, along the north and south property lines, to a maximum of 1.6 m (5.249 ft.) into the 6.0 m (19.685 ft.) setback;
2. The projection of the pedestrian gate on No. 3 Road, along the east property line, to a maximum of 5.639 m (18.5 ft.) into the 6.0 m (19.685 ft.) setback;
3. The projection of bay windows for the units on No. 3 Road along the east property line, to a maximum of 0.762 m (2.5 ft.) into the 6.0 m (19.685 ft.) setback;
4. The projection of second floor balconies for the units along the north and south property lines, to a maximum of 1.55 m (5.085 ft.) into the 6.0 m (19.685 ft.) for both side yard setbacks;
5. The projection of third floor bays for the units along the north and south property lines, to a maximum of 0.5 m (1.640 ft.) into the 6.0 m (19.685 ft.) for both side yard setbacks; and
6. Allow tandem vehicle parking for twenty-one (21) of the townhouse units.


Joe Erceg
Manager, Development Applications
JE:bfq

Att. 3

Staff Report

Origin

Am-Pri Construction Ltd. has applied to the City of Richmond for permission to develop 25 three-storey townhouses at 7691 No. 3 Road with the access being from the completion of Abercrombie Drive.

A copy of the development application filed with the Urban Development Division is appended to this report.

Development Information

Site Area:	Before Dedication	4,371.688 m ² (47,058 ft ²)
	After Dedication	4,259.744 m ² (45,853 ft ²)
Building Area:		2,933.596 m ² (31,578 ft ²)
Density:	After Dedication	57 du per ha 23 du per ac.
Site Coverage:		40.0 % Allowed 39.3 % Proposed
F.A.R.:		Allowed 2,933.772 m ² (31,579.89 ft ²) (32,292.79 ft ² x 0.6 + 13,560.21 ft ² x 0.9 = 31,579.89 ft ²) or a blended F.A.R. of 0.689 after dedication Proposed 2,933.596 m ² (31,578 ft ²) or a blended F.A.R. of 0.689 after dedication
Parking:		38 unit stalls plus 5 visitor stalls Required 48 unit stalls plus 5 visitor stalls Proposed

Findings of Fact

Criteria and policies for the issuance of Development Permits appear in Schedule 1 of Bylaw No. 7100, the Official Community Plan.

- Townhouses should be designed in clusters of 25 units or less, and have less than six units in a row. **Does not comply but the applicant has worked with staff to cluster the open space amenity in a central location.**
- Townhouse units should have a minimum private outdoor space of 9 m (29.53 ft.) in depth and 37 m² (398.28 ft²) in area. The depth of private outdoor space may be reduced to 5.25 m (17.22 ft.) where adequate privacy screening is provided. Windows to habitable rooms in apartment buildings should have a minimum clear space of 9 m (29.53 ft.). **Complies.**
- Townhouses and apartments adjacent to public roads should have their main front doors visible and accessible from that road, where practicable. **Complies.**

- Townhouses should have a maximum transitional height gradient of no more than 26° to all property lines. **Does not comply, but a 6 m setback is provided along the north and south property lines.**
- Buildings should have an apparent length of less than 70 m (229.66 ft.). **Complies.**
- Each dwelling unit should have a near view, an intermediate view and a distant view. Special views, such as of the mountains or waterfront, should be taken advantage of where possible. **Complies.**
- Sunlight should not be blocked for a minimum of 75% of dwellings and their private spaces in each development on every day of the year. **Does not comply with 18 of 25 units or 72% of units in compliance, but all units receive some direct sunlight every day.**
- Natural features should be retained and enhanced. Screening and landscaping, including street trees, should be provided in each multiple-family development. **Complies.**
- Traffic noise should be screened from residential units in order to maintain a maximum ambient indoor sound level of 35 dBA. **Complies.**
- Amenity space should average more than 2.0 m² (21.53 ft²) per each bedroom. Developments with more than 70 bedrooms should provide a minimum of 70 m² (753.50 ft²) of indoor amenity space. **Complies with outdoor amenity space but does not comply with the indoor amenity space requirement. The applicant has agreed to provide a (\$1,000.00 x 25 units) \$25,000.00 contribution to the City of Richmond in lieu of an on-site indoor amenity space, as a condition of Development Permit approval.**
- Vehicle and pedestrian access should be separated from each other and appropriately located. **Complies.**
- Resident parking should be in small, defensible open parking lots or should be located in locked, defensible garages screened from view from the road. Visitor parking should be in public view and easily accessible near the main entry. Parking lots should have landscaping to separate every fourth parking space. **Complies.**
- Provision should be made for emergency vehicles, moving vans, and service vehicles. **Complies for emergency access but not for moving vans and service vehicles.**
- Access restrictions may apply on certain arterial roads and near intersections. **Complies.**

Development surrounding the subject site is as follows:

To the north, existing two-storey townhouse development;

To the east, across No. 3 Road is a four-storey apartment building and a vacant lot zoned Townhouse and Apartment District (R3);

To the south, existing two-storey townhouse development; and

To the west, across Abercrombie Drive is a four-storey apartment complex.

Staff Comments**Urban Development – General**

1. Eliminate the visitor parking along No. 3 Road and provide a vehicle turnaround. *The applicant has complied.*
2. Provide all five visitor parking spaces in the amenity areas (two on the north and three on the south, with one tucked beside each building). *The applicant has complied.*
3. Improve the line quality of the landscape drawing and ensure that this drawing is legible at the reduced size. *The applicant has complied.*
4. Clarify the number of proposed tree removals. Provide an arborist or landscape architect's assessment for any proposed tree removals. Provide compensation tree planting for the proposed tree removals. For each proposed tree removal of 15 cm (6"), provide two (2) additional minimum 10 cm (4") caliper trees. *The applicant proposes to remove 4 existing trees and proposes 6 tree replacements at a minimum 10 cm (4") caliper size. The applicant also proposes ten (10) additional trees at 8 cm (3") caliper size.*
5. Revise the proposed street tree planting along No. 3 Road and provide a total of six (6) street trees (Horse Chestnuts) along No. 3 Road at minimum 10 cm (4") trees. *The applicant has complied.*
6. Provide an additional five (5) medium sized street trees along No. 3 Road, on private property at a minimum of 8 cm (3") caliper size. *The applicant has complied.*
7. Provide additional shrub planting along No. 3 Road. *The applicant has complied.*
8. Revise the proposed street tree planting along Abercrombie Drive and provide a total of five (5) Tilia euchlora trees at a minimum of 8 cm (3") caliper size. *The applicant has complied.*
9. Provide additional shrub planting along Abercrombie Drive. *The applicant has complied.*
10. Please revisit the design of the open space amenity area and consider the installation of a more substantial piece of children's play equipment. If a larger piece of play equipment does not comfortably fit within the available space, then verify that you have conducted a thorough search for smaller play equipment and demonstrate the site planning constraints. *The applicant has complied.*
11. Consider concrete paving, in lieu of asphalt paving, in the amenity space. *The applicant has complied.*
12. The fencing details do not seem to be complete. Please provide a detail for the different types of fencing (i.e. along No. 3 Road, Abercrombie Drive and the partition screens between the units). Provide gate details where appropriate. *The applicant has complied.*
13. Provide details for all proposed site furnishings, including all proposed benches. *The applicant has complied.*
14. Increase the size of proposed plant material generally and, in particular, the proposed shrub planting (i.e. from #2 shrub pot size to #3 shrub pot). *The applicant has complied.*
15. Some symbols in the key legend are not legible. *The applicant has complied.*
16. The labelling is incomplete. Please key or label all proposed planting. *The applicant has complied.*

17. Indicate conceptual grading information on landscape plan and illustrate how the grade change along Abercrombie Drive will be treated. Does this grade change extend along the side yards in a westerly direction from Abercrombie Drive? ***The applicant has complied.***
18. Provide a series of sectional elevations across the subject site and extend these sections to indicate the proximity and massing of the adjacent townhouses, projects to the north and south of the site. Illustrate the use and landscape ground plane treatment of the side yards for the existing townhouse projects to the north and south of the site. Indicate any existing/proposed grade changes between the subject site and existing adjacent townhouses to the north and south. Show all existing vegetation and fencing along the north and south property line on these sections and indicate how it will be protected during construction. Provide a combination fence and hedge planting landscape treatment, minimum 1.8 m (6') high hedge along the north and south property lines. Consider a variety of shrub planting species. ***The applicant has complied.***
19. Increase the size of proposed small tree plantings along the north and south property lines. ***The applicant has complied.***
20. Specify patio paving. ***The applicant has complied.***

Urban Development – Utilities

Support for the application. This project will lead to the completion of the Abercrombie Drive road network. Prior to the issuance of the Building Permit, the following should be in place:

1. Dedication to road of a ± 2.74 m wide strip of land across the entire No. 3 Road frontage. The dedication is to line up with the existing road dedications that have already been dedicated on either side of this development site, so the exact dimensions will be determined by a BC Land Surveyor prepared plan.
2. Granting of a ± 12 m Public Rights of Passage Right-of-Way (PROP ROW) across the entire west edge of the property. The exact dimension of the PROP ROW will be determined by a BC Land Surveyor prepared plan which must match the existing right-of-ways already granted on either side.
3. Enter into a restrictive covenant ensuring sole vehicular access is via Abercrombie Drive; no direct vehicular access to No. 3 Road is to be permitted.
4. The developer shall enter into a standard City of Richmond Servicing Agreement to design and construct the full completion of Abercrombie Drive. This is simply extending the road works and services across the entire site, tying into the existing conditions at both ends. The exception is street lighting which now must be City Centre standard – a Type 2 Decorative Luminaire pole (Zed), City of Richmond specification drawing L 12.5. All works are at the developer's sole cost. No works are required for No. 3 Road.

While these requirements have not yet been fulfilled, these prior-to conditions have been acknowledged by the applicant and are prior conditions to the issuance of a building permit.

Urban Development – Transportation

No concerns.

Building Approvals

1. Code analysis required to show fire fighting access to the front door of each unit should be within 45 m of a fire hydrant. ***The applicant has provided a drawing, which demonstrates the emergency fire fighting access assumptions. The applicant will provide a detailed code analysis at the Building Permit stage.***
2. Spatial separation calculations required. ***The applicant will provide a detailed code analysis, including spatial separation at the Building Permit stage.***

Fire Prevention, Detection and Protection

No comments received.

City Centre Planner

The proposed "bowling alley" arrangement of units is monotonous and unattractive. Steps should be taken to break up the apparent length, the arrangement and to better address the two fronting streets, as follows:

1. At the amenity space, narrow the driveway, use special paving here and raise this area (i.e. like a speed hump). Landscaping should include large growing canopy trees planted close to the driveway. ***The applicant has complied.***
2. At the street end of the four buildings, re-orient the last two units of each building so that their front doors face the street (but their garages remain as is). Also, vary the side yard for these units from 6 m to 3 m and plant "street trees" along the driveway side of these units. These units should also have porches facing onto the streets. These porches could project into the front yard, but preferably the distance from the face of the porch to the property line should be at least 4.5 m (but the stairs could project further). ***The applicant has complied along Abercrombie Drive. Along No. 3 Road the applicant has re-oriented the entry to face the street. The applicant generally complies with the 6m (19.685 ft.) along the side yard with the exception of minor requested variances which are supported by staff.***
3. Construct a mail kiosk and a garbage and recycling kiosk on Abercrombie Drive within the front yard setback. This will likely require two structures (one on each side of the driveway). Ensure that they are attractive, both when viewed from grade and from the adjacent units. ***The applicant has complied with the provision of one (1) combined recycling and mail kiosk complete with a project sign at the entry to this proposed townhouse development.***

Garbage and Recycling

1. Private garbage collection will be required as there are more than 20 units in this development. ***Acknowledged by the applicant and the drawings have been modified to indicate that there will be private, individual garbage collection for each unit and City communal recycling collection from a central location near the project entry.***
2. The recycling enclosure for one unit should allow a three cubic yard cardboard recycling container and four units recycling carts. ***The applicant has complied.***

Design Panel Comments

At their meeting of July 17, 2002, the Panel gave the project their support subject to the following improvements:

- A new grass boulevard along No. 3 Road was suggested (instead of asphalt). ***This will be dealt with as part of the Servicing Agreement prior to issuance of the Building Permit.***
- Additional street trees along No. 3 Road and Abercrombie Drive were suggested. ***The applicant has complied.***
- Provide the name or model number of all benches, play equipment and/or show details. ***The applicant has complied.***
- Add play structure with a slide, etc. ***The applicant has provided a more substantial children's play structure.***
- A narrowing of the driveway between both amenity areas was suggested. ***The applicant has complied.***
- Provide plant quantities on the drawing. ***The applicant has complied.***
- The third floor overhang into the open area was of concern. ***The amenity spaces are roughly 27 and 44 feet wide respectively and the proposed overhangs project only 3.5 feet into these proposed amenity spaces.***
- More unit character was suggested – perhaps a change in door colour etc. ***Two types of brackets are used under gable roofs and projected-out bedrooms and the applicant has revised the colour scheme.***
- It was suggested that balconies should be larger. ***Larger balconies would require a greater variance along the side yards.***
- The City was complimented for encouraging the creation of living space for people with disabilities; however, this was considered an impossible task. The project was not thought to conform to universal design and the traffic through the living space to the patio was considered unacceptable. Noting the only accessible bathroom was on the first floor, it was suggested that it would be more appropriate to leave the first floor area as a recreation room. ***The applicant has acknowledged this comment and complied with the suggestion. However, sliding doors are used for the powder rooms where it is possible.***
- More accessibility could be provided by the use of sliding doors in all powder rooms, increased backing on walls (plywood and blocking) that could support a chair lift; light switch heights etc. ***Since these are three-storey townhouses, they are not very easily adapted to accessible units. Therefore the applicant sees little need to provide additional features that would facilitate partial accessibility. However, sliding doors are used for the powder rooms where it is possible.***
- Colours and finishes are good – wood shingles could be used to vary the exterior finish. ***The applicant has provided a combination of wood/hardi-plank and vinyl cladding.***
- Architectural features could be used for variation to mitigate the massing. ***The end units on Abercrombie Drive have been rotated and the roofline of Buildings 1 and 4 have been altered.***
- The roofline could be modulated by bringing down the central ridge of the two longer blocks, similar to the ends with a hip on each side of a gabled roof in the middle. ***The roof line of Buildings 1 and 4 have been interrupted to create a break in the building massing.***

- More innovative detailing was suggested (i.e. the detailed windows down the middle could be used on the north and south side). *Some minor variations in the fenestration pattern are incorporated into the design.*
- The articulated detail of the end units was good. *Acknowledged by the applicant.*
- It was questioned whether the road could be pinched down between the two amenity areas to make the landscaping and street trees more prominent. *The applicant has complied.*
- Could the central paved area be raised with rollover curbs on both sides to slow traffic and connect the two amenity areas. *The applicant has complied.*

Analysis

Assessment of the Conditions of Adjacency

The proposed conditions of adjacency around the perimeter of the subject site appear acceptable to staff. The zoning of the subject site is identical to all adjacent parcels of land and the proposed built form and character of development on the subject site is compatible with existing or proposed surrounding land. In addition, to the east and west, the subject site is separated from surrounding development by intervening public roadways namely No. 3 Road and Abercrombie Drive. Along the north property line of the subject site, the proposed development abuts an existing driveway access along the south property line of the existing two-storey townhouse development addressed as 7660 No. 3 Road and 7660 Abercrombie Drive. There are existing fences along the north and south property lines of the subject site, on the neighbouring properties. The fences are in reasonably good repair, however, the applicant has agreed to replace any sections of broken or damaged existing fencing along the shared property line if the adjacent property owners to the north and south agree. In any event, the applicant proposes supplemental small tree and large shrub planting along the north and south property lines of the subject site to provide additional screening and buffering between the rear yards of the proposed townhouse units and the existing townhouse developments to the north and south.

Assessment of the Site Planning and Urban Design

The site planning results in a long, linear row of townhouses but generally conforms with the existing pattern of development to the north and south. The applicant has reconfigured the buildings to create a central amenity area which bridges across the east-west access lane proposed through the centre of the subject site. All visitor parking is proposed in the centre of the site in the central amenity space. The proposed site planning is supported by staff.

Assessment of the Architectural Design

The applicant has re-oriented the end units on Abercrombie Drive to face the street, jogged the main roofline and varied the design of the roof elements over the individual entries to address the linear appearance of the four large townhouse buildings. The applicant proposes a combination of cladding materials including wood or hardiplank and vinyl siding, with a high profile asphalt shingle roof. The design incorporates wood trim around windows, at storey lines and features limited wood bracket detailing under the soffits, in gable ends and along box or bay windows.

Assessment of the Landscape Design

The applicant has increased the quantity and initial planting size of proposed tree and shrub planting on the site and along the streets. The applicant has consolidated the amenity space to create a larger area, increased the amount of planting, improved the paving materials and upgraded the children's play equipment. In addition, the applicant has reconfigured rear yard planting along the fence lines to provide improved screening and buffering between the existing townhouse projects to the north and south of the subject site.

Assessment of the Requested Variances

The applicant requests six (6) variances as follows:

1. The projection of the unit floor space and balconies for the A4 and A5 units on Abercrombie Drive, along the north and south property lines, to a maximum of 1.6 m (5.249 ft.) into the 6.0 m (19.685 ft.) setback;
2. The projection of the pedestrian gate on No. 3 Road, along the east property line, to a maximum of 5.639 m (18.5 ft.) into the 6.0 m (19.685 ft.) setback;
3. The projection of bay windows for the units on No. 3 Road along the east property line, to a maximum of 0.762 m (2.5 ft.) into the 6.0 m (19.685 ft.) setback;
4. The projection of second floor balconies for the units along the north and south property lines, to a maximum of 1.55 m (5.085 ft.) into the 6.0 m (19.685 ft.) for both side yard setbacks;
5. The projection of third floor bays for the units along the north and south property lines, to a maximum of 0.5 m (1.640 ft.) into the 6.0 m (19.685 ft.) for both side yard setbacks; and
6. Allow tandem vehicle parking for twenty-one (21) of the townhouse units.

The majority of these variances have resulted from changes that were requested by staff. The variances along No. 3 Road and Abercrombie Drive will contribute to the streetscape experience along both roadways. Side yard variances permit the re-orientation of the units that now front on Abercrombie Drive and contribute to the pedestrian friendly character of these building façades. This site is zoned Townhouse and Apartment District (R3) which permits apartment buildings however the applicant has adopted a 'townhouse' form of development in response to market demand. Townhouse zoning allows a minimum side yard setback of 3 m (9.843 ft.) but the majority of this proposed development respects the more onerous 6.0 m (19.685 ft.) setback of the Townhouse and Apartment District (R3). The balcony and bay projections along the side yards are relatively small and assessed to be minor variances. The request for tandem parking is common and there are numerous recent precedents to support this requested variance. Staff supports all of the requested variances.

Conclusions

Staff supports this application and recommends approval.



Brian Guzzi, Landscape Architect
Development Planner - Urban Design

BFG:bfg

Prior to final approval of the Development Permit, the applicant is required to provide the following:

1. An Irrevocable Letter of Credit for landscape construction in the amount of \$63,156.00.
2. A (\$1,000.00 x 25 units) \$25,000.00 contribution to the City of Richmond in lieu of providing an indoor amenity space.

Prior to final approval of the Building Permit, the applicant is required to complete the following:

1. Dedication to road of a ± 2.74 m wide strip of land across the entire No. 3 Road frontage. The dedication is to line up with the existing road dedications that have already been dedicated on either side of this development site, so the exact dimensions will be determined by a BC Land Surveyor prepared plan.
2. Granting of a ± 12 m Public Rights of Passage Right-of-Way (PROP ROW) across the entire west edge of the property. The exact dimension of the PROP ROW will be determined by a BC Land Surveyor prepared plan which must match the existing right-of-ways already granted on either side.
3. Enter into a restrictive covenant ensuring sole vehicular access is via Abercrombie Drive; no direct vehicular access to No. 3 Road is to be permitted.
4. The developer shall enter into our standard Servicing Agreement to design and construct the full completion of Abercrombie Drive. This is simply extending the road works and services across the entire site, tying into the existing conditions at both ends. The exception is street lighting which now must be City Centre standard – a Type 2 Decorative Luminaire pole (Zed), City of Richmond specification drawing L 12.5. All works are at the developer's sole cost. No works are required for No. 3 Road.



Development Applications Department

6911 No. 3 Road
Richmond, BC V6Y 2C1

City of Richmond Main (604) 276-4000 Fax (604) 276-4177

DEVELOPMENT APPLICATION

Please submit this completed form to the Zoning, Land Use Planning and Development Applications Centre for each application (ie. rezoning; subdivision; development permit, etc.). All materials submitted to the City for a development application become public property, and therefore, available for public inquiry.

Please refer to the attached forms for details on application attachments and fees.

Type of Application: DEVELOPMENT PERMIT
Property Address(es): 7691 NO. 3 ROAD
Legal Description(s): LOT B EXCEPT: PARCEL 3 (REF. PL. 40024)
SECTION 17 BAN RBW NWD. PLAN 16589
Applicant: AM-PRI CONSTRUCTION LTD.

Correspondence/Calls to be directed to:

Name: TOMIZO YAMAMOTO ARCHITECT INC.
Address: 954 BAYCREST DRIVE NORTH VANCOUVER

Tel. No.: 604-929-8531 Business
Residence
Postal Code: V7G 1N8
Fax: 604-929-8591

Property Owner(s) Signature(s): [Signature]
Please print name: PARAM SANDHU

or

Authorized Agent's Signature: _____
Attach Letter of Authorization
Please print name: _____

FOR OFFICE USE	
Date Received: <u>Apr 29, 2002</u>	Application Fee: <u>\$ 3360.00</u>
File No.: <u>DP 02-205116</u> <small>Only assign if application is complete</small>	Receipt No.: <u>04-0072310</u>

ENTERED



No. DP 02-205116

To the Holder: AM-PRI CONSTRUCTION LTD.
Property Address: 7691 NO. 3 ROAD
Address: C/O TOM YAMAMOTO ARCHITECT INC.
 954 BAYCREST DRIVE, NORTH VANCOUVER, BC V7G 1N8

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning and Development Bylaw No. 5300" is hereby varied or supplemented as follows:
 - a) The dimension and siting of buildings and structures on the land shall be generally in accordance with Plan #1 attached hereto.
 - b) The siting and design of off-street parking and loading facilities shall be generally in accordance with Plan #1 attached hereto.
 - c) Landscaping and screening shall be provided around the different uses generally in accordance with the standards shown on Plan #2 attached hereto.
 - d) Roads and parking areas shall be paved in accordance with the standards shown on Plans #1 and #2 attached hereto.
 - e) Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
 - f) Subject to Section 692 of the Local Government Act, R.S.B.C., the building shall be constructed generally in accordance with Plans #1 to #9 attached hereto.
4. As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder, or should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.

To the Holder: AM-PRI CONSTRUCTION LTD.
 Property Address: 7691 NO. 3 ROAD
 Address: C/O TOM YAMAMOTO ARCHITECT INC.
 954 BAYCREST DRIVE, NORTH VANCOUVER, BC V7G 1N8

There is filed accordingly:

An Irrevocable Letter of Credit in the amount of \$63,156.00.

5. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

This Permit is not a Building Permit.

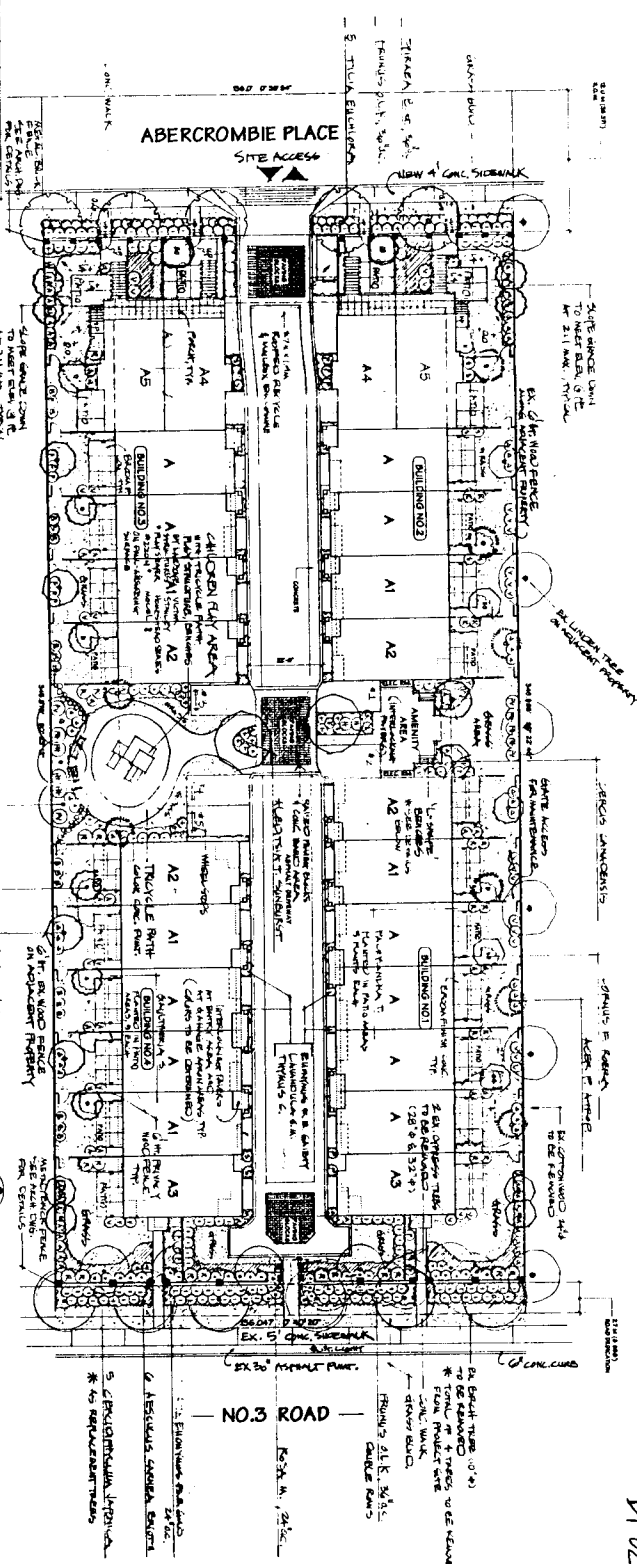
AUTHORIZING RESOLUTION NO.
DAY OF , .

ISSUED BY THE COUNCIL THE

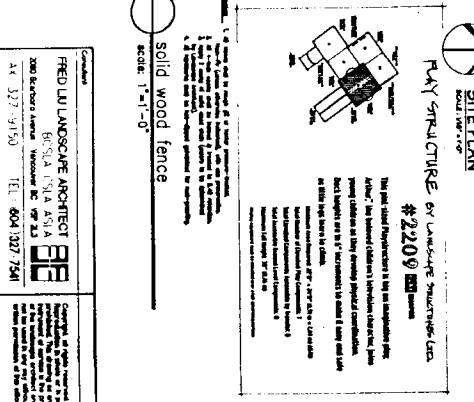
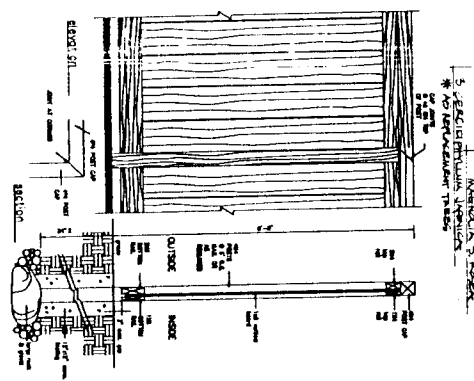
DELIVERED THIS DAY OF , .

MAYOR

#2



NO.	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	2x4	100	LF	1.50	150.00
2	2x6	50	LF	2.50	125.00
3	2x8	30	LF	3.50	105.00
4	2x10	20	LF	4.50	90.00
5	2x12	10	LF	5.50	55.00
6	2x14	5	LF	6.50	32.50
7	2x16	3	LF	7.50	22.50
8	2x18	2	LF	8.50	17.00
9	2x20	1	LF	9.50	9.50
10	2x22	1	LF	10.50	10.50
11	2x24	1	LF	11.50	11.50
12	2x26	1	LF	12.50	12.50
13	2x28	1	LF	13.50	13.50
14	2x30	1	LF	14.50	14.50
15	2x32	1	LF	15.50	15.50
16	2x34	1	LF	16.50	16.50
17	2x36	1	LF	17.50	17.50
18	2x38	1	LF	18.50	18.50
19	2x40	1	LF	19.50	19.50
20	2x42	1	LF	20.50	20.50
21	2x44	1	LF	21.50	21.50
22	2x46	1	LF	22.50	22.50
23	2x48	1	LF	23.50	23.50
24	2x50	1	LF	24.50	24.50
25	2x52	1	LF	25.50	25.50
26	2x54	1	LF	26.50	26.50
27	2x56	1	LF	27.50	27.50
28	2x58	1	LF	28.50	28.50
29	2x60	1	LF	29.50	29.50
30	2x62	1	LF	30.50	30.50
31	2x64	1	LF	31.50	31.50
32	2x66	1	LF	32.50	32.50
33	2x68	1	LF	33.50	33.50
34	2x70	1	LF	34.50	34.50
35	2x72	1	LF	35.50	35.50
36	2x74	1	LF	36.50	36.50
37	2x76	1	LF	37.50	37.50
38	2x78	1	LF	38.50	38.50
39	2x80	1	LF	39.50	39.50
40	2x82	1	LF	40.50	40.50
41	2x84	1	LF	41.50	41.50
42	2x86	1	LF	42.50	42.50
43	2x88	1	LF	43.50	43.50
44	2x90	1	LF	44.50	44.50
45	2x92	1	LF	45.50	45.50
46	2x94	1	LF	46.50	46.50
47	2x96	1	LF	47.50	47.50
48	2x98	1	LF	48.50	48.50
49	2x100	1	LF	49.50	49.50



FRED ULANDSCAPE ARCHITECT
 3000 Riverside Avenue, Woodbridge, VA 22193
 TEL: 604.1327.7541

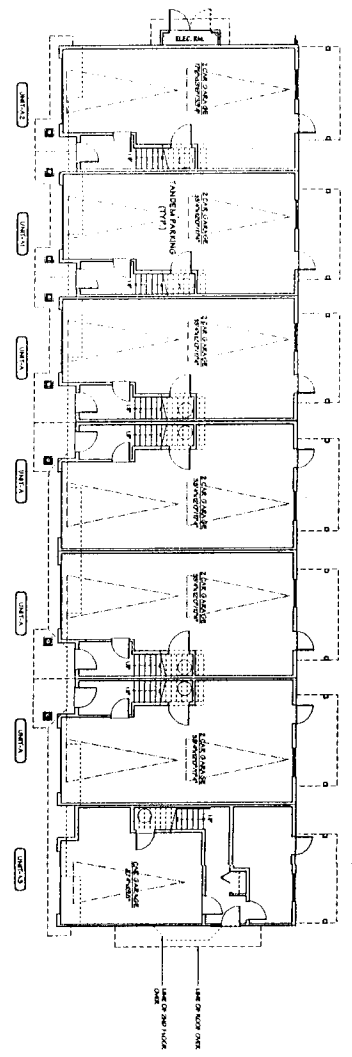
LANDSCAPE ARCHITECT
 PRELIMINARY PLAN #2

tomizo yamamoto
 architect in

SEP 11 2002

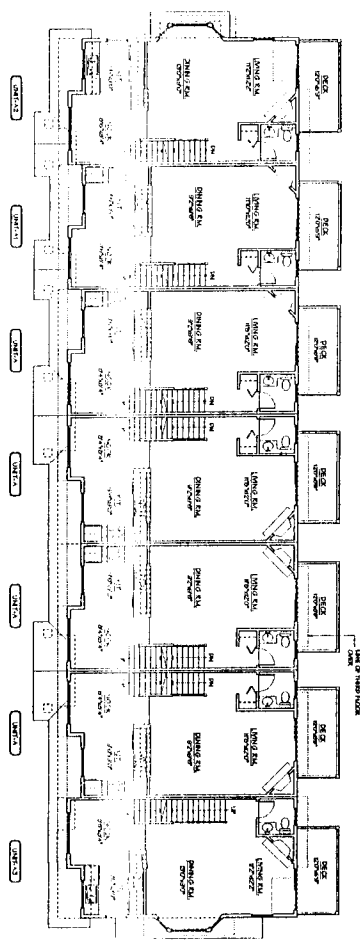
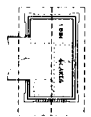
DP 02-205116

#3

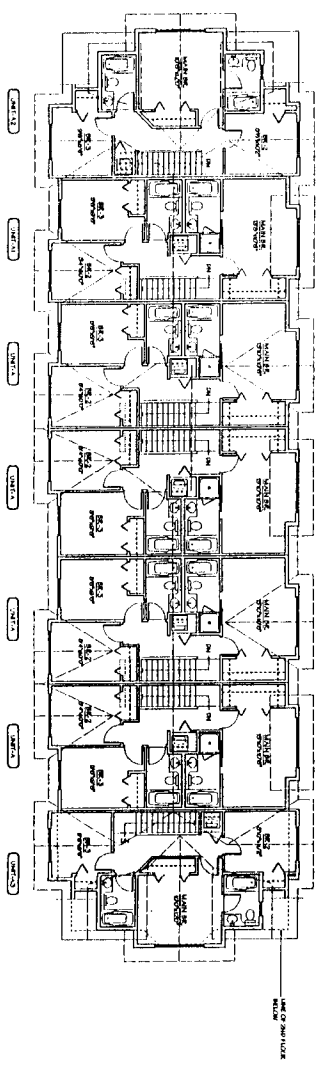


GROUND FLOOR PLAN (BUILDING NO.1)
SCALE: 1/8" = 1'-0"

MAIL / RECYC. ENCLOSURE
SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN (BUILDING NO.1)
SCALE: 1/8" = 1'-0"



THIRD FLOOR PLAN (BUILDING NO.1)
SCALE: 1/8" = 1'-0"

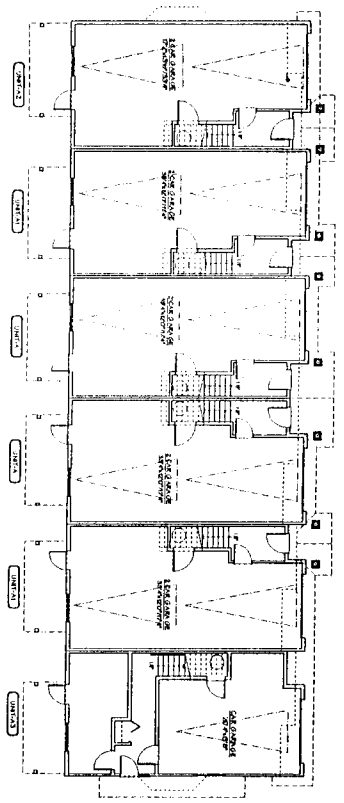
DATE: 09/11/02
 DRAWN BY: [Name]
 NO. 1-17
 14-5238
 CONSULTANT

PROJECT: 25 UNIT
 TOWNHOUSE DEVELOPMENT

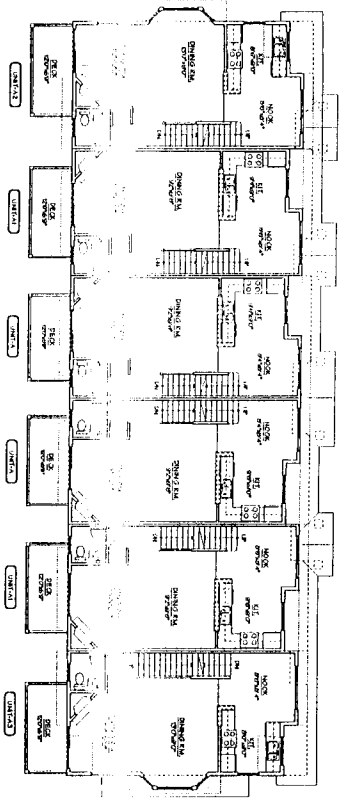
1981 NO. 1 ROAD
 WASHINGTON, D.C.
tomizo
 Yamamoto
 architect inc.

NO. 1981 OF 25 UNITS, 30,000 SQ. FT. DEVELOPMENT
 DRAWING TITLE
 BUILDING NO. 1
 FLOOR PLANS

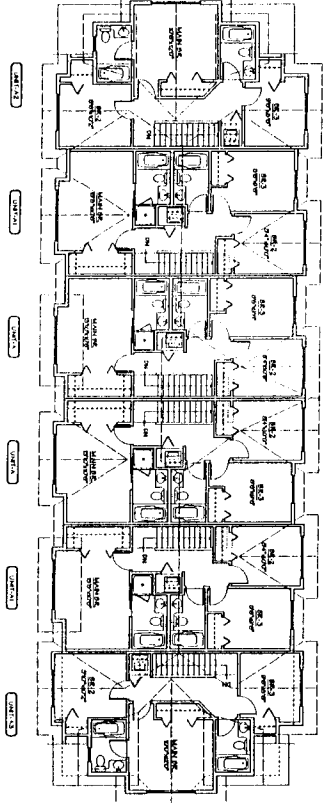
SCALE: 1/8" = 1'-0"
 SHEET NO. **A 02**
 OF 04
 DATE: 09/11/02
 PROJECT NO. 1981



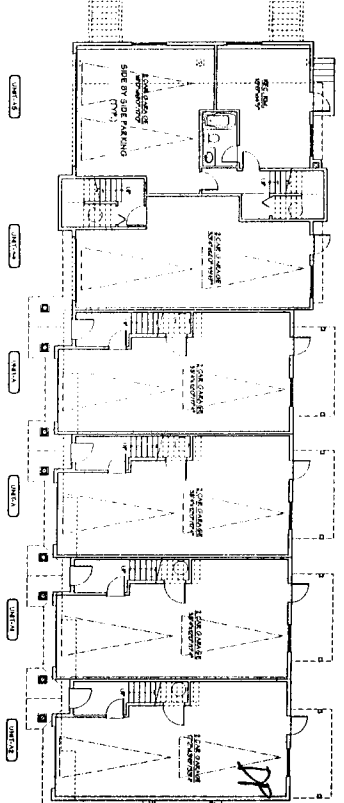
GROUND FLOOR PLAN (BUILDING NO.4)
SCALE: 1/8" = 1'-0"



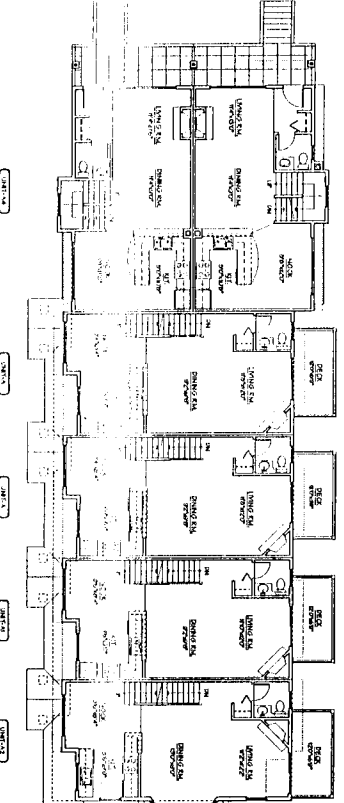
SECOND FLOOR PLAN (BUILDING NO.4)
SCALE: 1/8" = 1'-0"



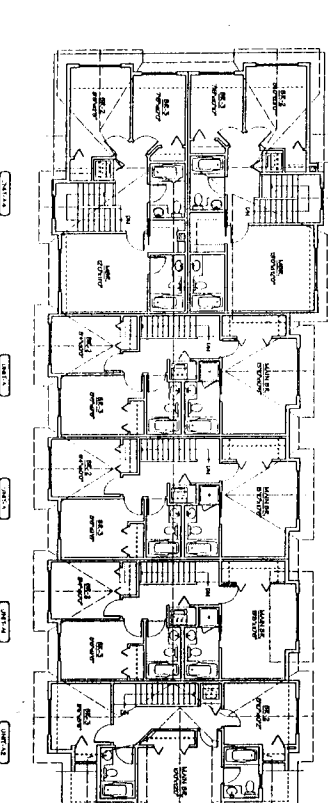
THIRD FLOOR PLAN (BUILDING NO.4)
SCALE: 1/8" = 1'-0"



GROUND FLOOR PLAN (BUILDING NO.2)
[BUILDING NO.3 - REVERSED]
SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN (BUILDING NO.2)
[BUILDING NO.3 - REVERSED]
SCALE: 1/8" = 1'-0"



THIRD FLOOR PLAN (BUILDING NO.2)
[BUILDING NO.3 - REVERSED]
SCALE: 1/8" = 1'-0"

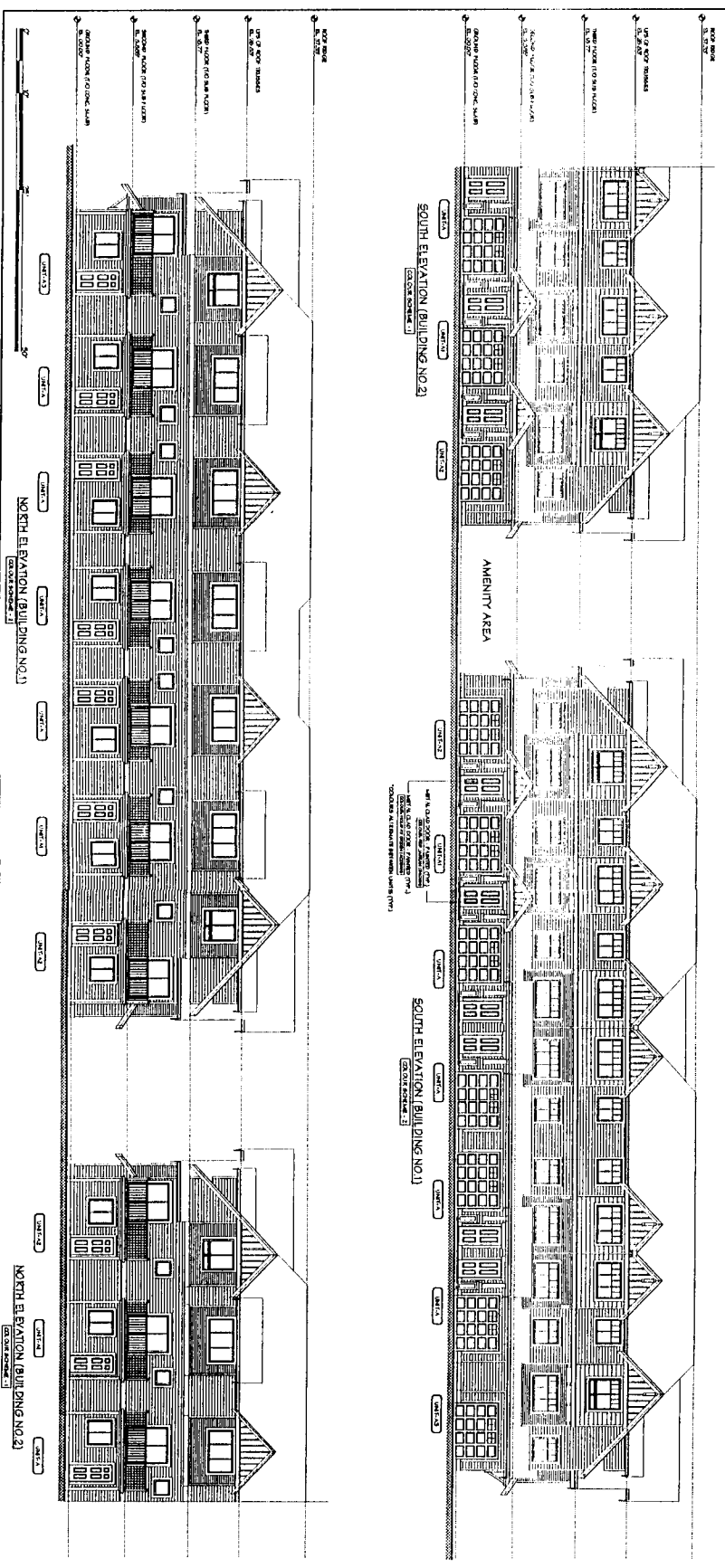
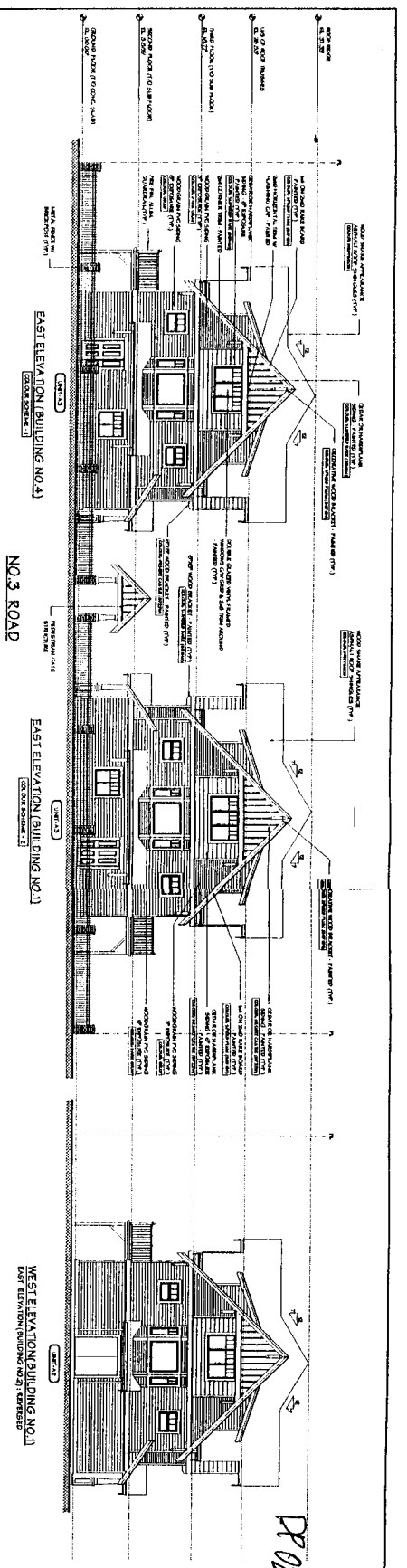
SEP 11 2002
02-205116
#4

THE TOWN HOUSE DEVELOPMENT
PROJECT
28 UNIT
TOWNHOUSE DEVELOPMENT
YAMAMOTO ARCHITECT INC.
ARCHITECT
1000 W. 10TH ST. SUITE 200
DENVER, CO 80202
BUILDING NO. 2, 3 & 4
FLOOR PLANS
DATE: 08/20/02
SCALE: 1/8" = 1'-0"
SHEET: A 03
OF 35
DRAWING TITLE: FLOOR PLANS
DATE: 08/20/02
PROJECT: TOWNHOUSE DEVELOPMENT

SEP 11 2002

DP02-205116

#5



38 UNIT
TOWNHOUSE DEVELOPMENT

10mizo
yamamoto
architect inc.

DATE	11-1-02	REVISION	
DATE	11-1-02	REVISION	A 04
DATE	11-1-02	REVISION	01 OF 06
DATE	11-1-02	REVISION	

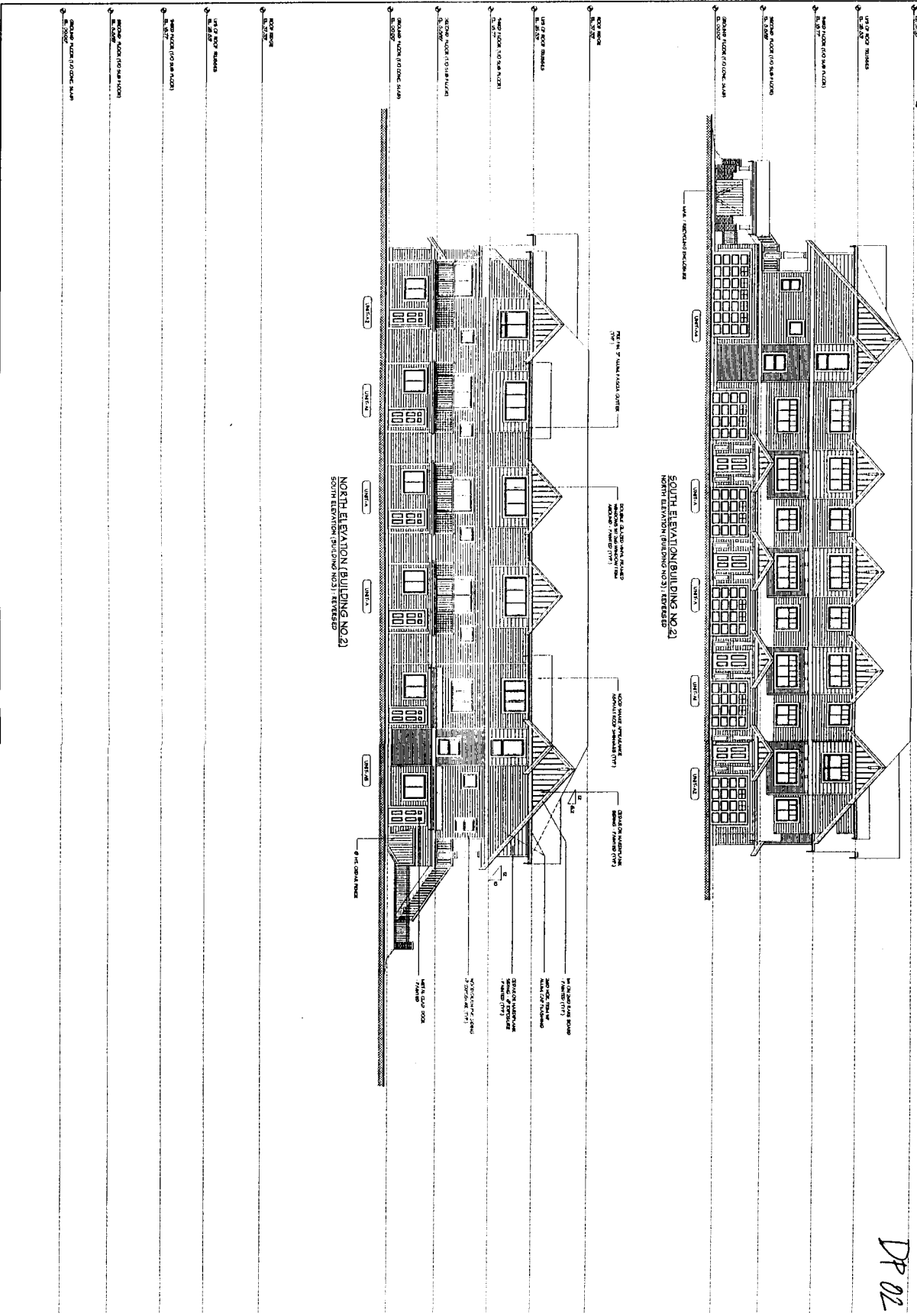
SEP 11 2002

DP 02 - 205116

#7

SOUTH ELEVATION BUILDING NO. 2
NORTH ELEVATION BUILDING NO. 3, REVERSED

NORTH ELEVATION BUILDING NO. 2
SOUTH ELEVATION BUILDING NO. 3, REVERSED



TITLE	SECTION
DATE	NO. OF SHEETS
STATE	PROJECT NO.
DRAWN BY	DATE
CHECKED BY	SCALE

781 N. 103RD ROAD
 PHOENIX, AZ 85024
 tomizo
 yamamoto
 architect inc.

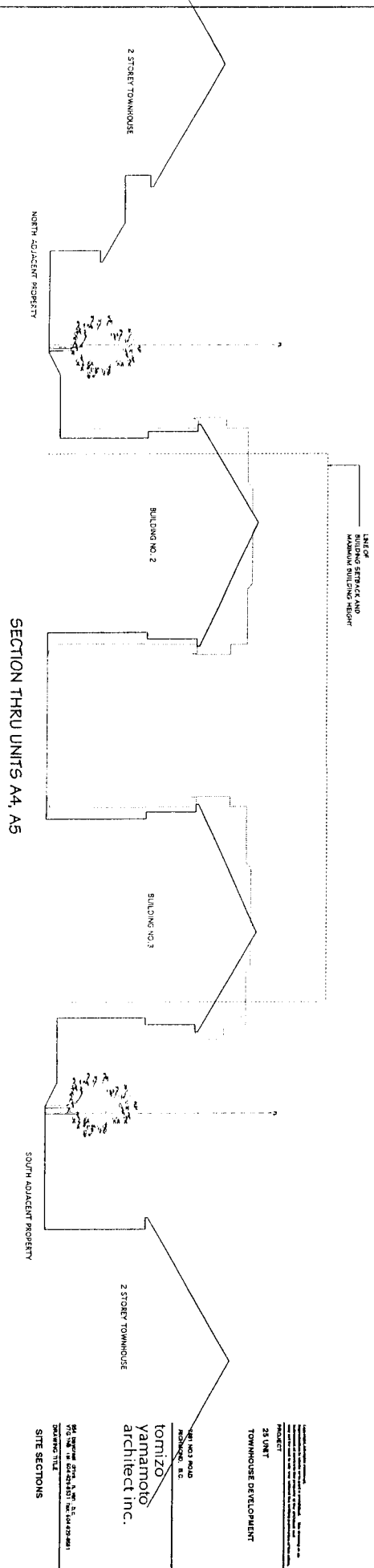
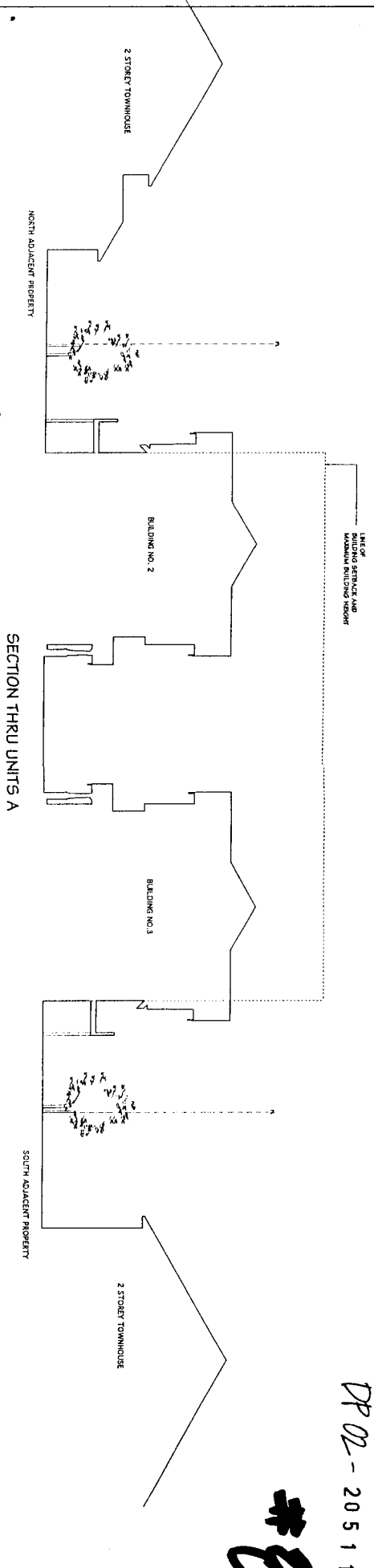
TOWNHOUSE DEVELOPMENT
 28 UNIT

1000 N. 103RD ROAD
 PHOENIX, AZ 85024
 PROJECT NO. 205116
 SHEET NO. 06 OF 05

DATE: 09/11/02
 DRAWING TITLE: ELEVATIONS

SEP 11 2002

DP 02 - 205 1 16



NO.	DATE	REVISIONS

PROJECT: 28 UNIT TOWNHOUSE DEVELOPMENT

CLIENT: TOMIZO YAMAMOTO ARCHITECT INC.

DATE: 11/11/02

SCALE: 1/4" = 1'-0"

NO.	DATE	REVISIONS

PROJECT: 28 UNIT TOWNHOUSE DEVELOPMENT

CLIENT: TOMIZO YAMAMOTO ARCHITECT INC.

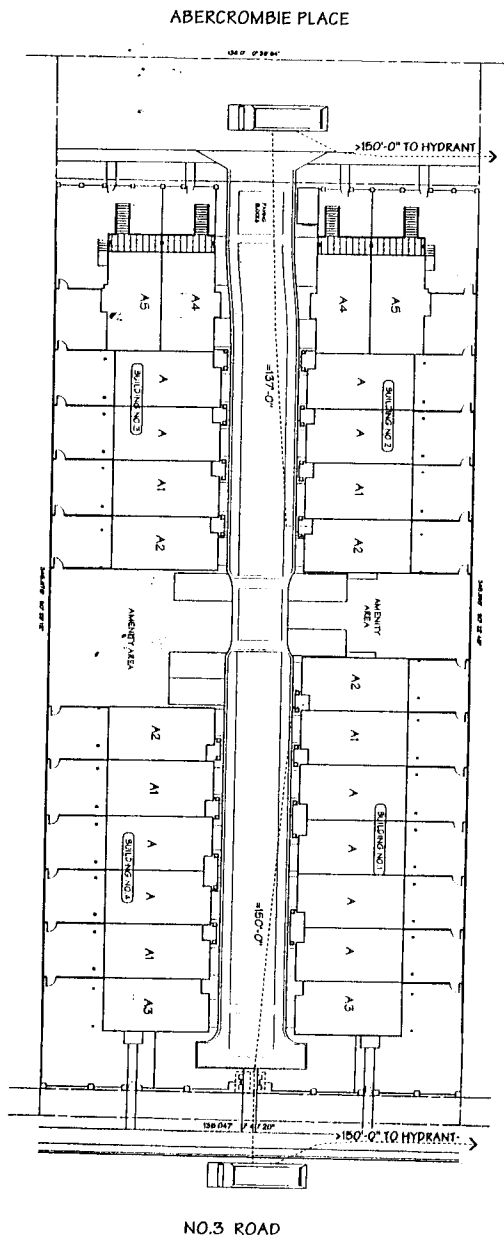
DATE: 11/11/02

SCALE: 1/4" = 1'-0"

SEP 11 2002

DP 02-205116

#9



0207

TOWNHOUSE DEVELOPMENT

7691 No. 3 Road, Richmond, B.C.

September 11, 2002

tomizo yamamoto architect inc.
 #101-277 Mountain Hwy., North Vancouver
 B.C., V7J 3P2 Tel: 983-3350 Fax: 983-3312
 Email: tyarch@ultranet.ca