



City of Richmond
Urban Development Division

Report to Development Permit Panel

To: Development Permit Panel
From: Raul Allueva
Director of Development
Date: August 30, 2004
File: DP 04-265053
Re: **Application by Randy Knill Architect for a Development Permit at
8811 River Road**

Staff Recommendation

1. That a Development Permit be issued that would permit a four-storey free-standing parkade ancillary to the Great Canadian Casino Resort on a site zoned Comprehensive Development District (CD/87); and
2. Vary the provisions of Comprehensive Development District (CD/87) to permit the following:
 - a) Reduce the road setback from the east parkade façade along a portion of River Road from 6 m to 2.4 m, and to allow a 1.2m setback to the trellis at the southeast corner of the parkade;
 - b) Increase the height limit for the stair tower elements on the parkade only from 12 m to 15 m; and
 - c) Reduce the manoeuvring aisle in the parkade from 7.5 m to 6.7 m.

Raul Allueva
Director of Development

CA:blg
Att.

Staff Report

Origin

Randy Knill Architect has applied to the City of Richmond for permission to construct a four-storey parkade (including 592 stalls in the parkade plus 30 at grade parking) at the eastern end of the Great Canadian Casino site zoned Comprehensive Development District (CD/87).

Development Information

Please refer to the proposed Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

The site was rezoned (RZ 02-211434) from Automobile-Oriented Commercial District (C6) to a Comprehensive Development District (CD/87) in May, 2003. Development Permit (DP 03-227595) was issued in May, 2003 for the construction of the casino resort and Development Permit (DP 03-249146) was issued in January, 2004 for the west parkade. The current Development Application (DP 04-265053) to construct the east parkade is to meet the operational parking requirements of the casino resort.

The Great Canadian Casino Resort includes a hotel, casino and ancillary uses which has begun to revitalize this very high profile site and may act as a catalyst for future redevelopment and reinvestment in the area. The development of this site also allows for the enhancement of the City's waterfront and acquisition of additional public waterfront access. Finally, the construction of Great Canadian Way (Garden City Road north of Bridgeport Road) through to River Road provides an important link in the City's overall transportation system.

Development surrounding the subject site is as follows:

- To the north, a pub/restaurant, marina and the North Arm of the Fraser River zoned Marina District 2 (MA2);
- To the east, light industry, zoned Light Industrial District (I2);
- To the south, the CPR right-of-way and parking zoned Automobile-Oriented Commercial District (C6); and
- To the west, the remainder of the Great Canadian Casino resort, zoned Comprehensive Development District (CD/87), and west parkade, zoned Automobile-Oriented Commercial District (C6).

Rezoning and Public Hearing Results

During the review process for the original Rezoning application, the applicant proposed to construct a 6-storey, approximately 1757-stall parkade (west parkade), which was not supported by staff at that time due to concerns about height, magnitude, and overall need. In addition, it was anticipated that the applicant would work with Translink to arrange for shared parking on the park-and-ride site south of the Casino. On this basis, the original development proposal was modified to reduce the west parkade to 4-storeys (total 1157 stalls).

The Public Hearing for the site was held on March 17, 2003. No issues were identified as part of the rezoning or Public Hearing for specific follow-up at the Development Permit stage.

Staff Comments

The applicant now proposes to construct additional parking east of the Casino building in order to meet the operational needs of the Casino complex. The applicant advises that additional parking is required due to a demonstrated need since the Casino opening, and based on empirical evidence of other Casino sites. In addition, a shared parking agreement with TransLink to provide additional parking on the Park-and-Ride site to the south is not imminent. It is noted that the parking provided in the west parkade, approved under DP 03-249146 and currently under construction, already meets the minimum parking requirement set out in the Zoning Bylaw for the entire casino site.

Empirical Parking Demand

The River Rock Casino complex, which is under construction, will ultimately include a hotel, theatre, and full-service Casino and entertainment complex. On the basis of the anticipated uses, the applicant has conducted an assessment of projected parking need based on actual demand at the Great Canadian Casino site in Coquitlam, BC. This analysis is provided in (**Attachment 4**). The analysis indicates that the operational parking need (2467) for the casino/resort exceeds the requirements of the Richmond Zoning Bylaw parking requirements (1791). The key departure between the zoning requirements and the observed demand is the parking required for the gaming (casino) uses. The proposed additional parkade, and surrounding parking at grade, would result in 2293 stalls on the entire casino site.

Shared Parking (TransLink Park-and-Ride)

The original development proposal with a single reduced (west) parkade assumed that additional parking needs would be addressed through an agreement with TransLink for shared parking on the site south of the casino. The negotiations thus far have not resulted in a mutually agreeable solution, and such an arrangement is not imminent. The estimated time of completion of the TransLink parkade is too far into the future to resolve the anticipated operational parking needs for the casino once fully constructed.

While staff would normally discourage development of a parking structure at such a key location on the waterfront, the applicant has demonstrated a need for additional parking to meet the ultimate functions and uses on the site, and allow successful operation of this complex. In addition, it is recognized that a shared parking arrangement with TransLink cannot be achieved in a timely way. On this basis, the additional parkade structure can be supported.

Zoning Variances:

The proposed development is generally in compliance with the Comprehensive Development District (CD/87) Schedule of the Zoning and Development Bylaw No. 5300. The current Development Permit Application fully complies with the provisions of the Comprehensive Development District (CD/87) District Schedule, with the exception of the following. The applicant has requested variances to:

1. Reduce the road setback from the east parkade façade along a portion of River Road from 6 m to 2.4 m, and to allow a 1.2m setback to the trellis at the southeast corner of the parkade.

(Staff support the road setback variances. The approximate location of the east parkade is predicated on the cul-de-sac aligned with River Road. The trellis is provided in response to Advisory Design Panel comments to use landscape features to mitigate the massing of the building. The width of the parkade cannot be drastically altered because of requirements for parking stall length and manoeuvring aisle widths. The dimensions of the parkade are based on a double-loaded parking stall off the manoeuvring aisle to maximize efficiency. As the parkade wall is separated from the nearest adjacent development by River Road, the reduced setbacks proposed will not create significant shadowing or interface impact on the existing adjacent development. Landscaping including lawn and plant material against the building façade has been incorporated to minimize visual impact).

2. Increase the height limit for the stair tower elements on the parkade only from 12 m to 15 m.

(Staff support the height variance as the variation in height is to articulate the building façade and to improve the architectural expression of the building. In addition, the same variance was granted to the west parkade of a similar design. Allowing both parkades to have the similar massing and architectural articulation will help tie them into the overall development scheme).

3. Reduce the manoeuvring aisle in the parkade from 7.5 m to 6.7 m.

(Staff support the manoeuvring depth variance. The parkade width has been reduced to minimize the overall floor plate of the parkade structure, provide adequate clearance for maintenance vehicle access to the dyke and to maximize landscape opportunities to soften the impact of the building. The reduction of the aisle width to 6.7 m does not have a negative impact on vehicular manoeuvring and similar variances that have been approved for other parkade structures).

Design Panel Comments

The proposed development was presented to the Advisory Design Panel on May 5, 2004. A copy of the Advisory Design Panel Minutes is attached for reference (**Attachment 2**). The Panel supported the development subject to the applicant working with staff to resolve design issues including modification of the shape of the building, adding planting in various locations to buffer the building and to incorporate Crime Prevention Through Environmental Design (CPTED) principles into the parkade design.

The applicant has satisfactorily addressed the above design comments as follows:

1. The communication/observation tower was already under construction and cannot be incorporated into the proposed parkade. In addition, a maintenance right of way has to be maintained along the water front walkway which would prevent the east parkade to be joined with the existing tower;
2. Additional planting has been added or plant material has been upsized wherever possible along the west and south sides of the building. Additional planting around the building has been added where practical. Tree planting has to be balanced with the need for operational maintenance vehicle movement;
3. The parkade floor plate has been reduced by reducing the width of manoeuvring aisles, in order to maximize area for landscaping and screening in addition to accommodating the

- relocated maintenance right-of-way for the dyke (generally 8 m wide except reduced widths to approximately 4 m at pinch points around the proposed parkade building);
4. The retail components are planned for future phases and were shown in this submission for illustration purposes only; and
 5. Planting a row of “street” trees along the hotel side of the driveway access (similar to the treatment of the east side of the entrance road) is not possible because the cul-de-sac is already in place and the hotel building is already under construction.
 6. The applicant intends to incorporate crime prevention through environmental design (CPTED) principles increasing natural surveillance opportunities, ensuring adequate lighting level and utilizing light colour paint in the parkade.

Staff Comments

Adjacency:

- Efforts have been made to minimize visual impact from the Oak Street Bridge because of the high visibility afforded by the prominent location of the site. The proposed east parkade design has incorporated a “green screen” system, to allow vines to climb the metal trellises attached to the building face. The system concept is similar to the one approved for the west parkade to ensure that the building is of comparable quality to the west parkade currently under construction. In addition, tower elements have been incorporated which house the stairwells and to articulate the building façade.
- The manoeuvring aisle widths of the parkade were “tightened” to reduce the building footprint in order to provide additional opportunities for landscaping around the perimeter of the proposed parkade building to soften the building mass and to provide adequate operational clearance (8 m except at pinch points) on the crest of the dyke.

Urban Design and Site Planning:

- The east parkade building completes the eastern edge of the development and, together with the hotel/casino building, frame the primary entrance onto the site from Great Canadian Way.
- The revised scheme has improved street level animation by narrowing the building width to provide additional area for perimeter landscaping to create a more pedestrian-friendly gateway entrance onto the site and the seawall.
- In the future, additional ground-oriented uses and additions including retail, commercial and restaurant uses are intended to be added along the water and River Road frontages to further animate the streetscape when such uses are economically viable in the future.
- The proposed landscaping along the portion of the waterfront walkway flanking the proposed east parkade will enhance the public realm by adding visual interest. The communication/observation tower north of the proposed parkade provides the terminus to the public walkway.

Architectural Form & Character:

- The proposed building and landscape design are consistent with the architectural form and character of the casino resort development currently under construction on site and are generally consistent with the City of Richmond Official Community Plan (OCP) design guidelines.
- The proposed building materials include stone veneer, acrylic stucco over cast in place and precast concrete, clear double-glazed aluminium curtain wall, “greenscreen” system and wood trellis on a portion of the roof.

Landscaping:

- Applicant has revised the landscape plans to eliminate trees and significant plant material that encroach into the maintenance right-of-way and to up size some of the remainder proposed trees and plant material to compensate for the reduction in the maintenance right-of-way.
- Lighting to promote safety for night use and a stronger paving pattern to direct patrons exiting the east parkade to improve way finding have been incorporated to improve pedestrian safety between the east parkade and the resort/casino entrance.

Conclusions

The proposed east parkade addresses the operational parking needs for the successful operation of the casino resort and generally meets the intent of the applicable sections of the Official Community Plan (OCP) and applicable Development Permit Guidelines in Schedule 1 (9.2 General Guidelines). The plans attached to this report have satisfactorily addressed all the significant staff comments that were identified as part of the Development Permit application review process, as well as issues identified by the Advisory Design Panel.

On this basis, staff recommend approval of this Development Permit application.



Cecilia Achiam, MCIP
Urban Design Planner
(4122)

CA:blg

Attachment 1: Project Data Summary

Attachment 2: Advisory Design Panel Comments

Attachment 3: Acknowledgement of Development Permit Conditions

Attachment 4: Parking Study

The following conditions are required to be met prior to forwarding this application to Council for approval:

- Submission of a new Letter of Credit for \$140,217 for landscaping.
- Submission of a Letter of Undertaking for the registration of the dyke maintenance right-of-way agreement.

Prior to the issuance of the Occupancy Permit:

- Owner to register an agreement to secure an 8 m wide right-of-way (except for pinch point around the building) for the purposes of maintaining the dyke.



City of Richmond
6911 No. 3 Road
Richmond, BC V6Y 2C1

**Development Application
Data Sheet**
Development Applications Department

DP 04-265053

Attachment 1

Address: 8811 River Road

Applicant: Randy Knill Architect Ltd. Owner: Great Canadian Gaming Corporation

Planning Area(s): 2.12 Bridgeport

	Existing	Proposed
Site Size:		72,198 m ²
Land Uses:	Casino Resort, Cell Tower and Service Area	Casino Resort, Cell Tower, Service Area & Storage Garage (Parkade)
OCP Designation:	2.12 Bridgeport	2.12 Bridgeport
702 Policy Designation:	N/A	N/A
Zoning:	CD/87	CD/87
Number of Units:	N/A	N/A

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	N/A to Parking per 236.2.01 (a)	N/A	
Lot Coverage (For Parcel 1 ...)	50%	Storage Garage Covers 5.0% Main Building Covers 17.8% Service Village Covers 0.5% Cell Tower Covers 0.07% <hr/> Total Coverage 23.37%	Complies
Density (unit/acre):	N/A	N/A	Complies
Density (units/hectare):	N/A	N/A	Complies
Setback – Fraser River (N):	N/A	N/A	Complies
Setback – River Road (E):	6m	1.2m (3'-11") to Trellis 2.4m (8'-0") to Building	Variance Required
Setback – River Road (S):	6m	4.7m (15'-6") to Trellis 6.2m (20'-6") to Building	Variance Required
Height:	12m	12m (39'-3") to Parapet Stair Tower 1 14.8m (48'-6") Stair Tower 2 14.6m (47'-11") Stair Tower 3 14.6m (47'-11") Stair Tower 4 14.0m (46'-0") Six Shear Walls with Trellis' at 13.9m (45'-6")	Variance Required Four stair towers and six shear walls with trellis' as noted

Lot Size (Parcel 1 ...):		72,198 m ²	Complies
Off-street Parking Spaces – Regular/Visitor:		2317	Complies
Off-street Parking Spaces – Accessible:	2%	43 (2.4 % of Municipal Requirement)	Complies
Off-street Parking Spaces – Total:	Municipal – 1791 Casino operational need - 2467	2360 (includes other parcels) 628 in East Parkade	Complies
Amenity Space – Indoor:	N/A	N/A	Complies
Amenity Space – Outdoor:	N/A	N/A	Complies

PARTIAL MINUTES FROM THE DESIGN PANEL MEETING

Wednesday May 5th, 2004 – 4:00 p.m.

5. 2004-20

Casino Parkade

Randy Knill, Architect.
(Formal)

DP04-265053

Ms. Cecilia Achiam, advised that the model could not be brought into the room because of its size. The Design Panel members went outside to view the model. Mr. Knill, Architect, then briefly reviewed the project stating that extra parking was needed by the casino. He noted that Phase 2 of the Casino would have some commercial attached to it, but that it was not economically feasible to build this now.

The Landscape Architect then advised that the landscape on this parkade was identical to the previous one approved by the Advisory Design Panel. He noted that animated pedestrian activity will help screen parking. Roof overhangs, greenery on walls, rooftop trellises and other material were identical to those used on the west parkade. He stated that more useable public space was provided with this design, and they were connected to the public boardwalk. Plant massing was low and provided viewlines. Three entrances were used for pedestrian flow.

The Panel then proffered the following comments:

- ❖ that this was a prime waterfront location and should not be used for a parkade;
- ❖ this was not a sustainable building, it was good for one use only, and could not be converted to other uses if needed;
- ❖ it was a beautiful parkade;
- ❖ the project was critical but in the wrong location;
- ❖ the building should be modified to suit the site, i.e. modify to transition with waterfront, join the proposed tower to the parkade building to create an area for buffer planting;
- ❖ improve the buffer planting in entrance;
- ❖ the vehicular access should be repositioned, there could be problems with pedestrians, and
- ❖ the cul de sac should be moved to accommodate more planting.

Chair then advised that he would prefer if the parkade was relocated away from the waterfront, the north corner of the building could be modified, and the integration of future uses should have been addressed. The scale, height and material used was not offensive. Chair read Constable Martin's comments on this project (a copy of her review is attached as Schedule 2 and forms a part of these minutes).

It was moved and seconded

That the project move forward subject to the applicant working with staff to resolve the following:

1. *Modification of the shape of the building to take into consideration the waterfront and the possibility of tying in the proposed tower to the building;*
2. *add more planting to project west and project south;*
3. *revisit the shape and size of the cul-de-sac in context with the proposed parkade to accommodate more planting to buffer wall;*
4. *consider enlarging the proposed retail component at this time;*
5. *add additional planting to the hotel's side of driveway access; and*
6. *incorporate the comments of the RCMP (which is attached as Schedule 2 and forms a part of these minutes).*

CARRIED

**City of Richmond**6911 No. 3 Road
Richmond, BC V6Y 2C1**Attachment 3**Urban Development Division
Fax: (604) 276-4052

List of Conditions for DP 04-265053 8811 River Road:

Prior to forwarding this application to Council for approval, the following is required:

- Submission of a Letter of Credit for \$140,217 for the landscaping.
- Submission of a letter of undertaking for the registration of the dyke maintenance right-of-way agreement.

Prior to the issuance of the Occupancy Permit:

- Owner to register an agreement to secure an 8m wide right-of-way (except for pinch point around the building) for the purposes of maintaining the dyke.

I BANDY KNILL have reviewed the above-noted list of conditions. I understand and agree to the conditions listed.


Signature

(Print) Name: BANDY KNILL
MAIBC

RANDY KNILL ARCHITECT - LTD.


RICHMOND
Island City, by Nature

Randy Knill Architect Ltd.

Great Canadian Place Parking Calculations

Required Parking (Full build out):

Space Description	Units of Measurements	Richmond Planner Parking Req'ts	GCC / Traffic Engineers Parking Req'ts
Casino	8,460 s.m. (1666 seats)	856	1532
Theatre	920 seats	230	230
CRU	185 s.m..	6	6
Restaurants (2)	774 s.m.	78	78
Sports Bar	502 s.m.	50	50
Buffet	1520 s.m.	152	152
Conference	790 s.m.	79	79
Hotel Rooms	222	111	111
Existing Uses		229	229
Total		1791	2467

Provided Parking:

West Parkade	1157
East Parkade	598
Grade around building	30
South Grade parking	508
Total	2293

Opening Day Parking Requirements:

Space Description	Units of Measurements	Richmond Planner Parking Req'ts	GCC / Traffic Engineers Parking Req'ts
Casino	8,460 s.m. (1666 seats)	856	1532
Existing Uses	(Marina not complete)	169	169
Total		1025	1701

Opening Day Provided Parking:

West Parkade	1157
South Grade parking	508
Total	1665

Parking During RAV construction:

West Parkade	1157
East Parkade	640
Grade around building	37
South Grade parking	0
Total	1834

Note: This will be the parking available if no shared parking is available from RAV.



No. DP 04-265053

To the Holder: RANDY KNILL ARCHITECT

Property Address: 8811 RIVER ROAD

Address: C/O PETER PADLEY
 #202 -1810 ALBERNI STREET
 VANCOUVER, BC V6G 1B3

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning and Development Bylaw No. 5300" is hereby varied or supplemented as follows:
 - a) The dimension and siting of buildings and structures on the land shall be generally in accordance with Plan #1a & 1b attached hereto.
 - b) The siting and design of off-street parking and loading facilities shall be generally in accordance with Plan #1b, 2a to 2e attached hereto.
 - c) Landscaping and screening shall be provided around the different uses generally in accordance with the standards shown on Plan #3a to 3e attached hereto.
 - d) Roads and parking areas shall be paved in accordance with the standards shown on Plan #1a & 1b attached hereto.
 - e) Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
 - f) Subject to Section 692 of the Local Government Act, R.S.B.C., the building shall be constructed generally in accordance with Plans #4a, 4b and 5 attached hereto.
4. As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out the landscaping in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder, or should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.

Development Permit

No. DP 04-265053

To the Holder: RANDY KNILL ARCHITECT
Property Address: 8811 RIVER ROAD
Address: C/O PETER PADLEY
#202 - 1810 ALBERNI STREET
VANCOUVER, BC V6G 1B3

There is filed accordingly:

An Irrevocable Letter of Credit in the amount of \$ 140,217.

5. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit, which shall form a part hereof.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO. _____
DAY OF _____, _____.

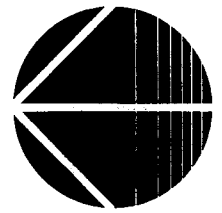
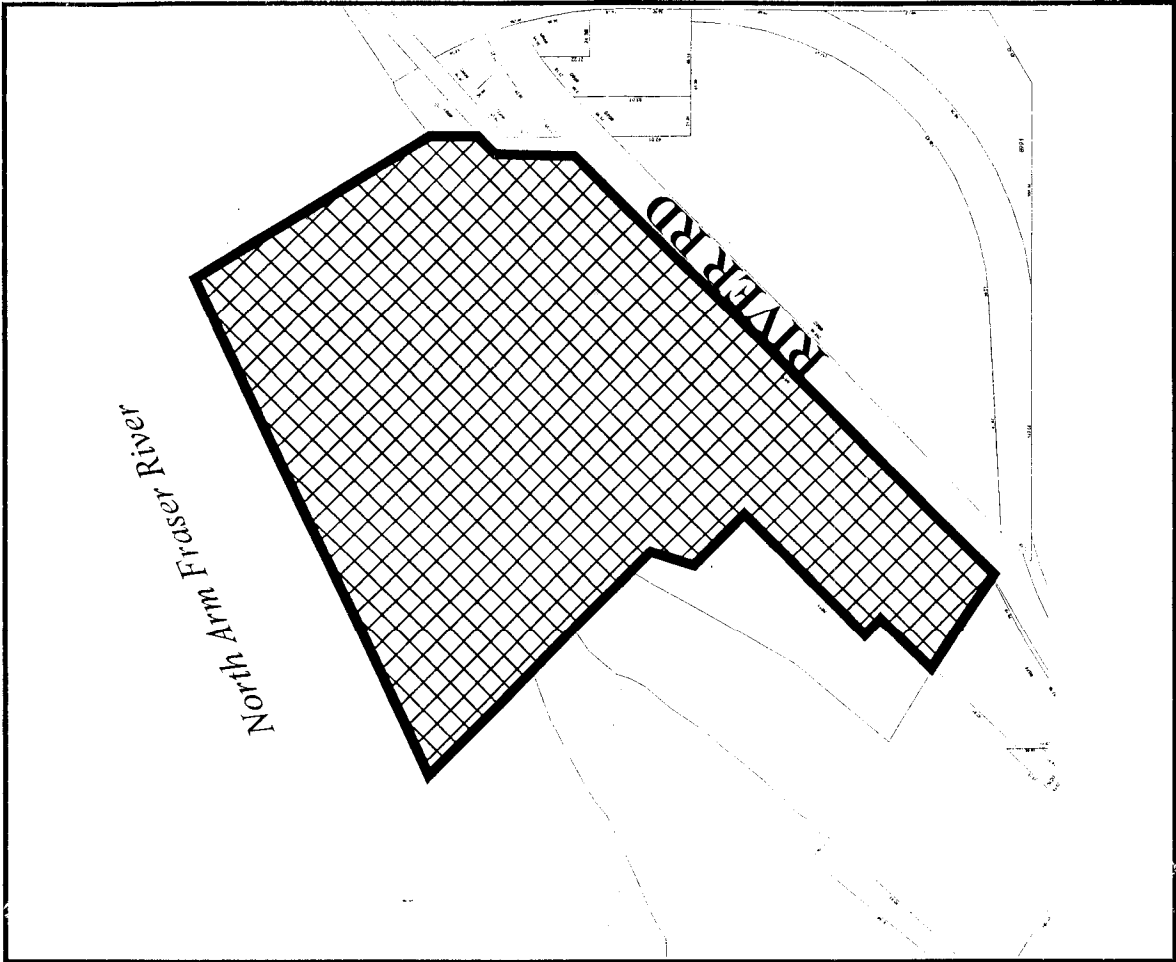
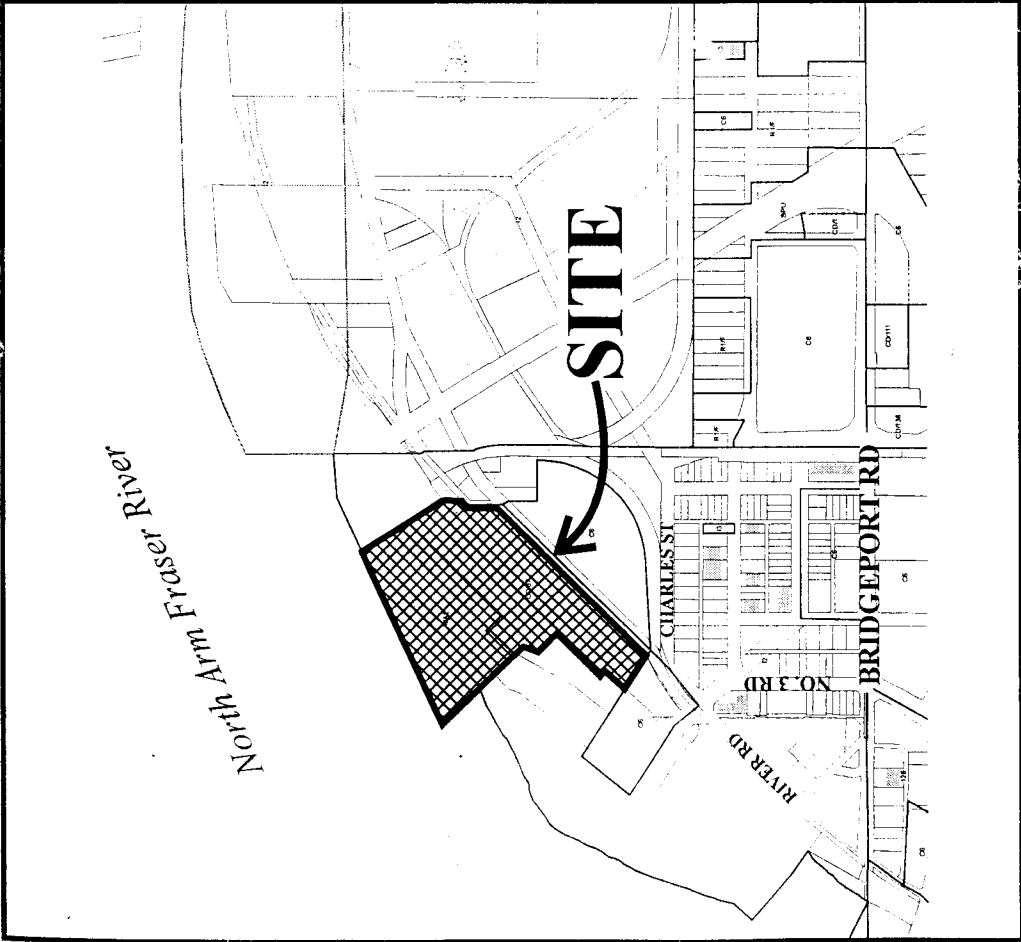
ISSUED BY THE COUNCIL THE

DELIVERED THIS _____ DAY OF _____, _____.

MAYOR



City of Richmond



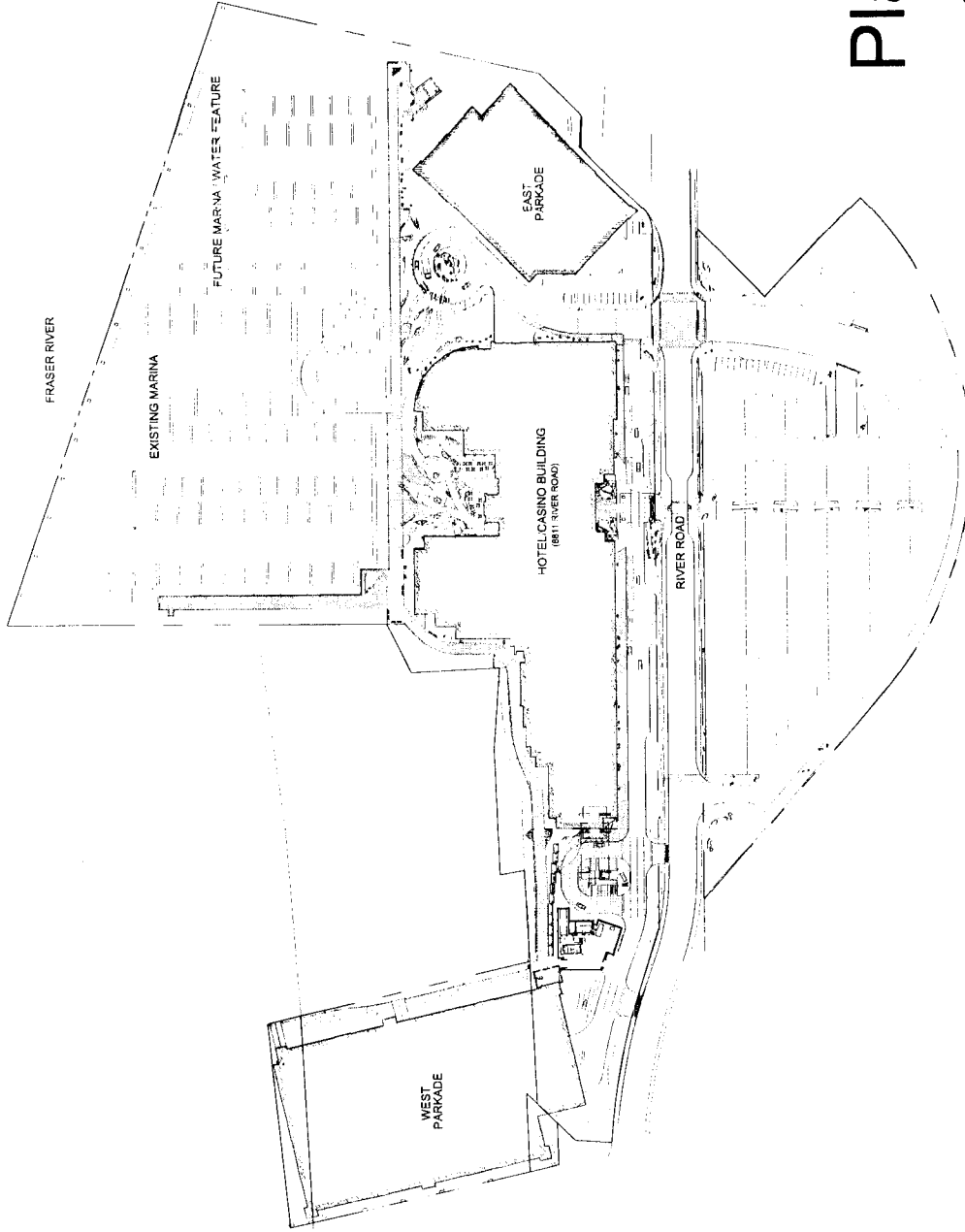
DP 04-265053
 SCHEDULE "A"



Original Date: 03/15/04

Revision Date:

Note: Dimensions are in METRES



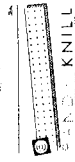
Plan #1a



SEP 29 2004

04265053

LOCATION PLAN



A100

RIVER ROCK CASINO RESORT
 GREAT CANADIAN GAMING CORPORATION
 EAST PARKADE

NO.	DATE	DESCRIPTION
1	09/29/04	ISSUED FOR PERMITTING
2	09/29/04	ISSUED FOR PERMITTING
3	09/29/04	ISSUED FOR PERMITTING
4	09/29/04	ISSUED FOR PERMITTING
5	09/29/04	ISSUED FOR PERMITTING
6	09/29/04	ISSUED FOR PERMITTING

DATE:	08/14/04
PROJECT:	RIVER ROCK CASINO RESORT
PREPARED BY:	CH 220
APPROVED BY:	CH 220
SCALE:	AS SHOWN
CLIENT:	GREAT CANADIAN GAMING CORPORATION
PROJECT NO.:	08/14/04
DATE:	08/14/04
PROJECT:	RIVER ROCK CASINO RESORT
PREPARED BY:	CH 220
APPROVED BY:	CH 220
SCALE:	AS SHOWN
CLIENT:	GREAT CANADIAN GAMING CORPORATION
PROJECT NO.:	08/14/04
DATE:	08/14/04
PROJECT:	RIVER ROCK CASINO RESORT
PREPARED BY:	CH 220
APPROVED BY:	CH 220
SCALE:	AS SHOWN
CLIENT:	GREAT CANADIAN GAMING CORPORATION
PROJECT NO.:	08/14/04
DATE:	08/14/04
PROJECT:	RIVER ROCK CASINO RESORT
PREPARED BY:	CH 220
APPROVED BY:	CH 220
SCALE:	AS SHOWN
CLIENT:	GREAT CANADIAN GAMING CORPORATION
PROJECT NO.:	08/14/04
DATE:	08/14/04
PROJECT:	RIVER ROCK CASINO RESORT
PREPARED BY:	CH 220
APPROVED BY:	CH 220
SCALE:	AS SHOWN
CLIENT:	GREAT CANADIAN GAMING CORPORATION
PROJECT NO.:	08/14/04

RIVER ROCK CASINO RESORT
GREAT CANADIAN GAMING CORPORATION
EAST PARKADE

RIVER ROCK CASINO RESORT
GREAT CANADIAN GAMING CORPORATION
EAST PARKADE

CIVIC ADDRESS
ST. JAMES STREET

LEGAL DESCRIPTION
LOT 103, PLAN 04278, DISTRICT 11, CITY OF CALGARY, ALBERTA

PARKING SUMMARY

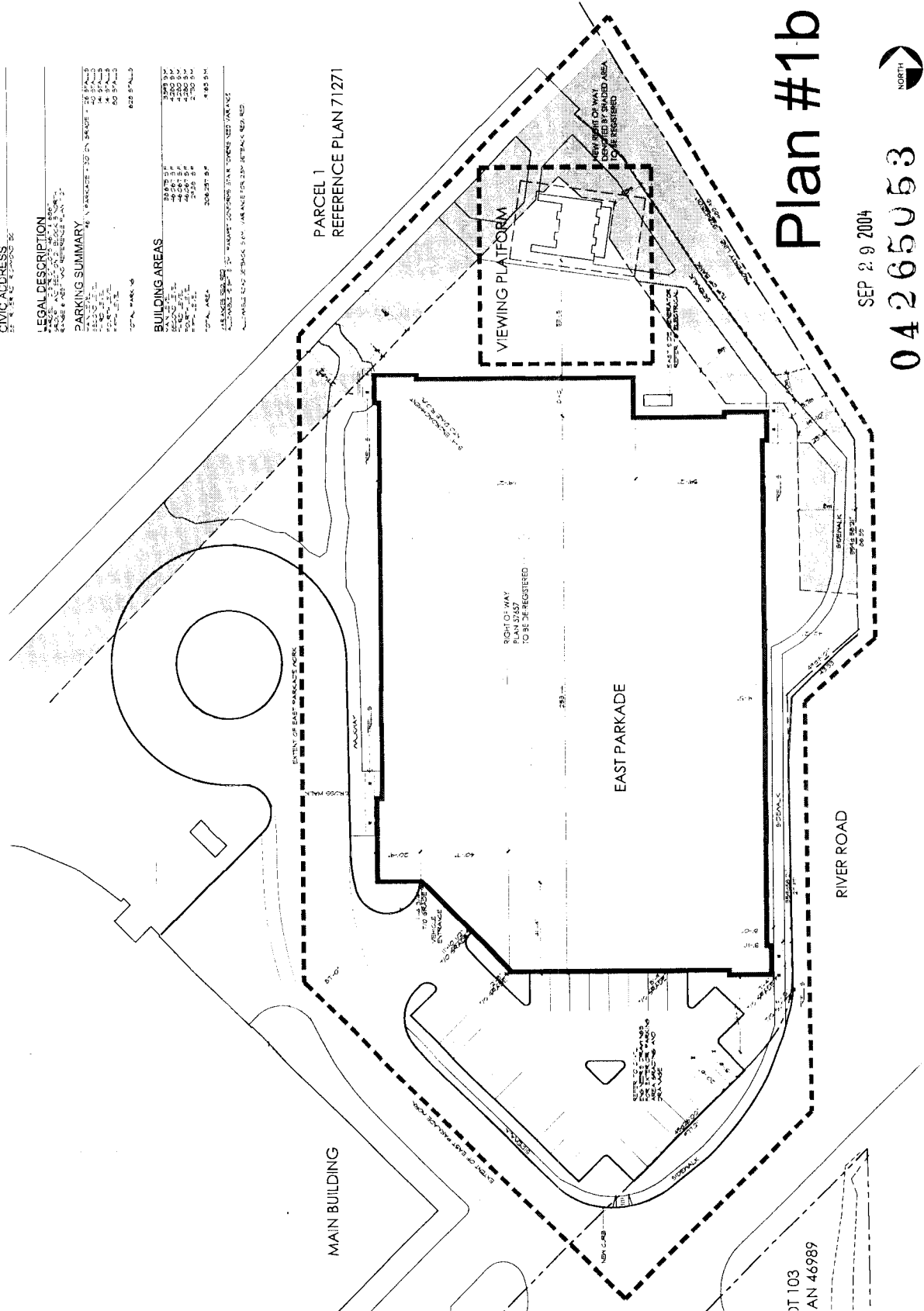
EXISTING PAVED	236 SPALLS
EXISTING ASPHALT	19 SPALLS
EXISTING CONCRETE	14 SPALLS
EXISTING GRAVEL	50 SPALLS
EXISTING TOTAL	299 SPALLS
NEW PAVED	625 SPALLS
NEW ASPHALT	236 SPALLS
NEW CONCRETE	19 SPALLS
NEW GRAVEL	14 SPALLS
NEW TOTAL	278 SPALLS
TOTAL AREA	4 983 SQ. M.

BUILDING AREAS

EXISTING	12 500 SQ. M.
NEW	42 000 SQ. M.
TOTAL	54 500 SQ. M.

ALLIANCE AGREEMENT FOR "NEW" CONCRETE PARKING DECK PARKING
APPROXIMATE 2 500 SQ. M. AREA FOR 250 SPALLS PER 100 SQ. M.

PARCEL 1
REFERENCE PLAN 71271



Plan #1b

SEP 29 2004

04265053

SITE PLAN

ST. JAMES STREET
DISTRICT 11
CALGARY, ALBERTA

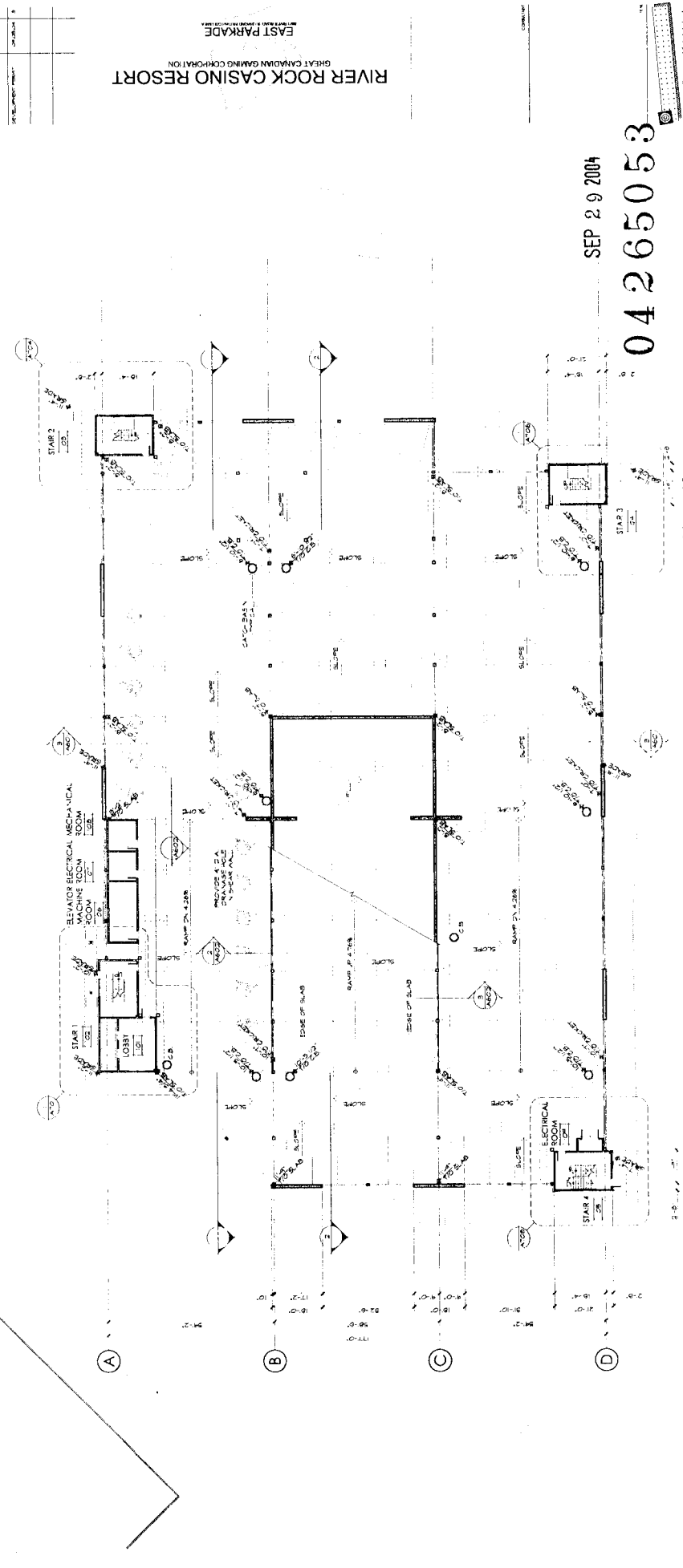
A101

LOT 103
AN 46989

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMITS	04/24/04	JK
2	REVISED PER COMMENTS	04/24/04	JK
3	REVISED PER COMMENTS	04/24/04	JK
4	REVISED PER COMMENTS	04/24/04	JK
5	REVISED PER COMMENTS	04/24/04	JK
6	REVISED PER COMMENTS	04/24/04	JK
7	REVISED PER COMMENTS	04/24/04	JK
8	REVISED PER COMMENTS	04/24/04	JK
9	REVISED PER COMMENTS	04/24/04	JK
10	REVISED PER COMMENTS	04/24/04	JK
11	REVISED PER COMMENTS	04/24/04	JK
12	REVISED PER COMMENTS	04/24/04	JK
13	REVISED PER COMMENTS	04/24/04	JK
14	REVISED PER COMMENTS	04/24/04	JK

WALL CONSTRUCTION NOTES

1. ALL WALLS TO BE CONSTRUCTED IN ACCORDANCE WITH THE 2003 INTERNATIONAL BUILDING CODE (IBC) AND THE 2003 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
 2. ALL WALLS TO BE CONSTRUCTED WITH 8" CMU BLOCKS WITH TYPE S MORTAR.
 3. ALL WALLS TO BE FINISHED WITH 5/8" GYP BOARD ON BOTH SIDES.
 4. ALL WALLS TO BE FINISHED WITH 1/2" GYP BOARD ON BOTH SIDES.
 5. ALL WALLS TO BE FINISHED WITH 1/4" GYP BOARD ON BOTH SIDES.
 6. ALL WALLS TO BE FINISHED WITH 1/8" GYP BOARD ON BOTH SIDES.
 7. ALL WALLS TO BE FINISHED WITH 1/4" GYP BOARD ON BOTH SIDES.
 8. ALL WALLS TO BE FINISHED WITH 1/8" GYP BOARD ON BOTH SIDES.
 9. ALL WALLS TO BE FINISHED WITH 1/4" GYP BOARD ON BOTH SIDES.
 10. ALL WALLS TO BE FINISHED WITH 1/8" GYP BOARD ON BOTH SIDES.
 11. ALL WALLS TO BE FINISHED WITH 1/4" GYP BOARD ON BOTH SIDES.
 12. ALL WALLS TO BE FINISHED WITH 1/8" GYP BOARD ON BOTH SIDES.
 13. ALL WALLS TO BE FINISHED WITH 1/4" GYP BOARD ON BOTH SIDES.
 14. ALL WALLS TO BE FINISHED WITH 1/8" GYP BOARD ON BOTH SIDES.



GREAT CANADIAN GAMING CORPORATION
 RIVER ROCK CASINO RESORT
 EAST PARKADE

SEP 29 2004
 04265053

Plan #2a



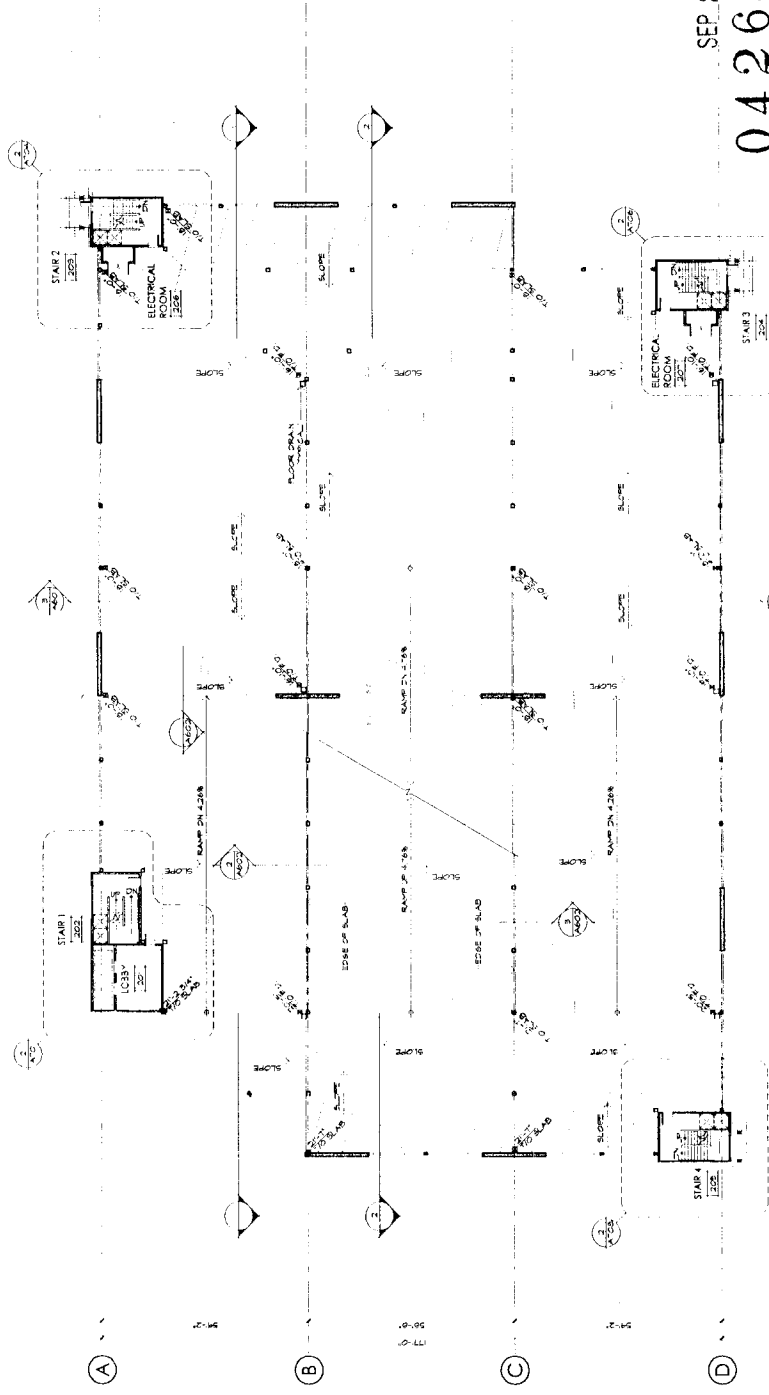
MAIN LEVEL FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 DATE: 04/24/04
 DRAWN BY: JK
 CHECKED BY: JK
 PROJECT NO: A201

LEVEL 1 FLOOR PLAN

NO.	DATE	REVISION
1	04/20/04	ISSUED FOR PERMITS
2	04/20/04	ISSUED FOR PERMITS
3	04/20/04	ISSUED FOR PERMITS
4	04/20/04	ISSUED FOR PERMITS
5	04/20/04	ISSUED FOR PERMITS
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12	04/20/04	ISSUED FOR PERMITS
13	04/20/04	ISSUED FOR PERMITS
14	04/20/04	ISSUED FOR PERMITS

WALL CONSTRUCTION NOTES

1. ALL WALLS TO BE CONSTRUCTED IN ACCORDANCE WITH THE 2000 INTERNATIONAL BUILDING CODE (IBC) AND THE 2000 INTERNATIONAL RESIDENTIAL CODE (IRC).
2. ALL WALLS TO BE CONSTRUCTED WITH 8" CMU BLOCKS WITH 2" CORE.
3. ALL WALLS TO BE CONSTRUCTED WITH 1/2" GYPSUM BOARD ON BOTH SIDES.
4. ALL WALLS TO BE CONSTRUCTED WITH 1/2" GYPSUM BOARD ON BOTH SIDES.
5. ALL WALLS TO BE CONSTRUCTED WITH 1/2" GYPSUM BOARD ON BOTH SIDES.
6. ALL WALLS TO BE CONSTRUCTED WITH 1/2" GYPSUM BOARD ON BOTH SIDES.
7. ALL WALLS TO BE CONSTRUCTED WITH 1/2" GYPSUM BOARD ON BOTH SIDES.
8. ALL WALLS TO BE CONSTRUCTED WITH 1/2" GYPSUM BOARD ON BOTH SIDES.
9. ALL WALLS TO BE CONSTRUCTED WITH 1/2" GYPSUM BOARD ON BOTH SIDES.
10. ALL WALLS TO BE CONSTRUCTED WITH 1/2" GYPSUM BOARD ON BOTH SIDES.
11. ALL WALLS TO BE CONSTRUCTED WITH 1/2" GYPSUM BOARD ON BOTH SIDES.
12. ALL WALLS TO BE CONSTRUCTED WITH 1/2" GYPSUM BOARD ON BOTH SIDES.
13. ALL WALLS TO BE CONSTRUCTED WITH 1/2" GYPSUM BOARD ON BOTH SIDES.
14. ALL WALLS TO BE CONSTRUCTED WITH 1/2" GYPSUM BOARD ON BOTH SIDES.



RIVER ROCK CASINO RESORT
GREAT CANYON GAMING CORPORATION
EAST PARKADE

SEP 29 2004
04265053

Plan #2b

ARCHITECTS KNILL
 1000 W. WASHINGTON
 SUITE 100
 PHOENIX, AZ 85001
 (602) 254-1111
 FAX (602) 254-1112
 www.knill.com

SECOND LEVEL FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 DATE: 09/29/04
 SHEET: A202
 OF: 04



1 LEVEL 2 FLOOR PLAN
 TOTAL SHEETS: 04 OF 04

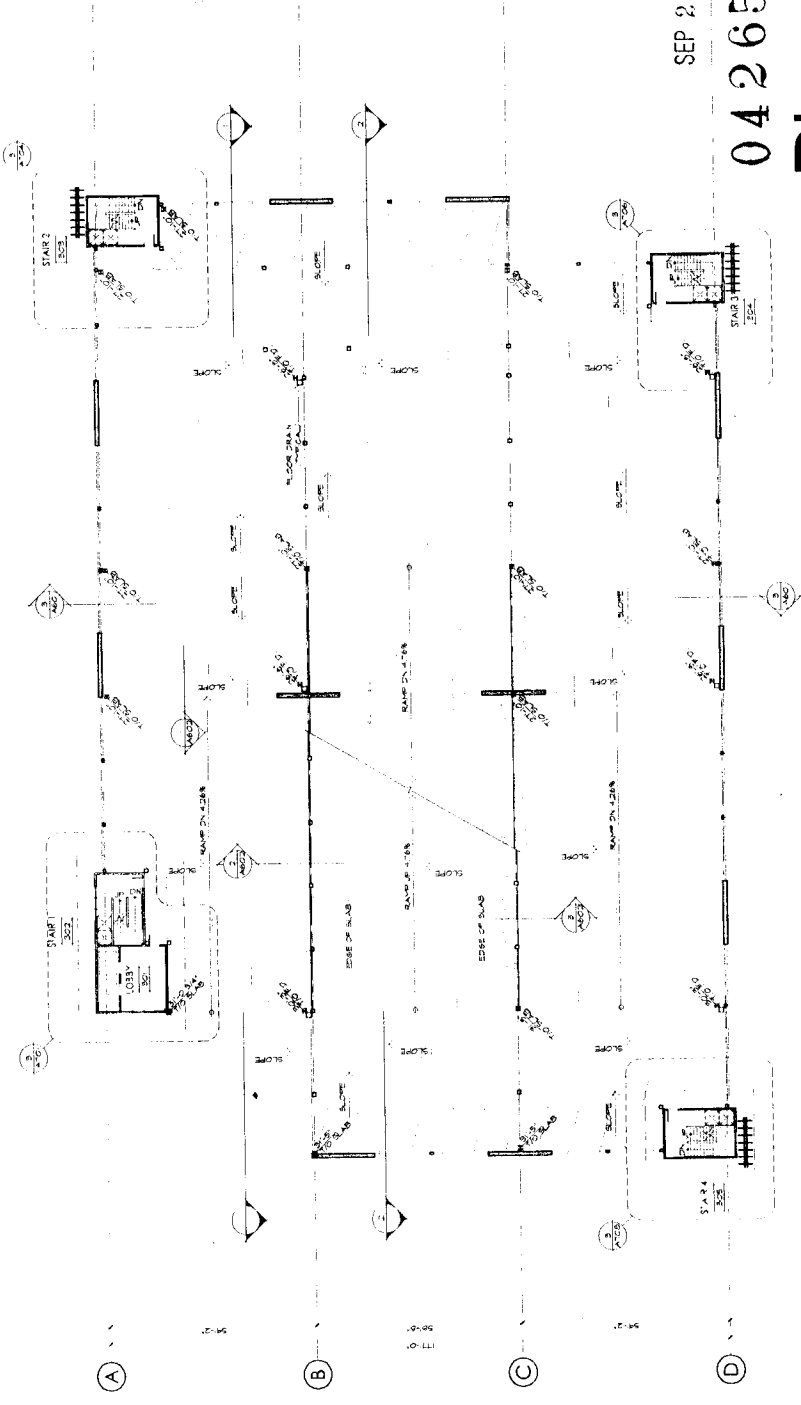
THIS DOCUMENT IS THE PROPERTY OF ARCHITECTS KNILL. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THIS DOCUMENT WITHOUT THE WRITTEN CONSENT OF ARCHITECTS KNILL IS STRICTLY PROHIBITED.

DATE	BY	REVISION
04/24/04	04/24/04	
04/24/04	04/24/04	
04/24/04	04/24/04	
04/24/04	04/24/04	
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04/24/04	04/24/04	
04/24/04	04/24/04	
04/24/04	04/24/04	

RIVER ROCK CASINO RESORT
 GREAT CANADIAN GAMING CORPORATION
 EAST PARKADE

WALL CONSTRUCTION NOTES
 1. ALL WALLS AND PARTITIONS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE 2004 NATIONAL BUILDING CODE.
 2. ALL WALLS ARE TO BE CONSTRUCTED WITH 1/2" GYPSUM BOARD ON BOTH SIDES OF THE STUDS.
 3. ALL WALLS ARE TO BE FINISHED WITH A SMOOTH SURFACE.
 4. ALL WALLS ARE TO BE PAINTED WITH A LIGHT COLOR.
 5. ALL WALLS ARE TO BE PROTECTED FROM DAMAGE DURING CONSTRUCTION.
 6. ALL WALLS ARE TO BE PROTECTED FROM DAMAGE DURING MAINTENANCE.
 7. ALL WALLS ARE TO BE PROTECTED FROM DAMAGE DURING REPAIRS.
 8. ALL WALLS ARE TO BE PROTECTED FROM DAMAGE DURING DEMOLITION.
 9. ALL WALLS ARE TO BE PROTECTED FROM DAMAGE DURING DISPOSAL.
 10. ALL WALLS ARE TO BE PROTECTED FROM DAMAGE DURING STORAGE.
 11. ALL WALLS ARE TO BE PROTECTED FROM DAMAGE DURING TRANSPORTATION.
 12. ALL WALLS ARE TO BE PROTECTED FROM DAMAGE DURING INSTALLATION.
 13. ALL WALLS ARE TO BE PROTECTED FROM DAMAGE DURING OPERATION.
 14. ALL WALLS ARE TO BE PROTECTED FROM DAMAGE DURING MAINTENANCE.

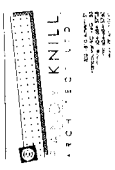
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SEP 29 2004
 04265053
 Plan #2c



THIRD LEVEL FLOOR PLAN
 EAST PARKADE
 GREAT CANADIAN GAMING CORPORATION
 A203



LEVEL 3 FLOOR PLAN
 EAST PARKADE - LEVELS 1-3

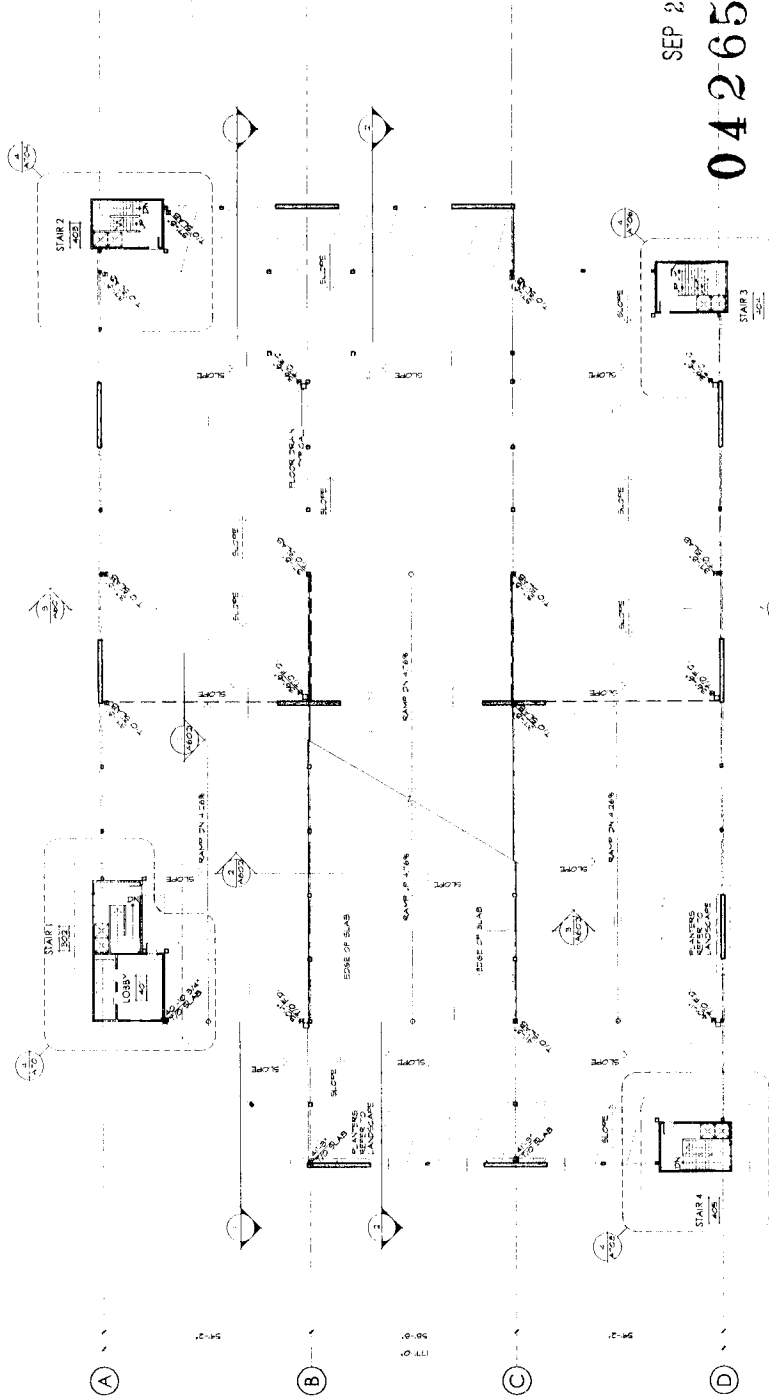
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WALL CONSTRUCTION NOTES

1. ALL WALLS SHALL BE CONSTRUCTED ACCORDING TO THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE LATEST EDITION OF THE INTERNATIONAL RESIDENTIAL CODE (IRC).
 2. ALL WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 8" THICK CONCRETE BLOCK OR EQUIVALENT.
 3. ALL WALLS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD ON BOTH SIDES.
 4. ALL WALLS SHALL BE PAINTED WITH A MINIMUM OF TWO COATS OF EXTERIOR GRADE PAINT.
 5. ALL WALLS SHALL BE PROTECTED FROM COLLISION BY THE INSTALLATION OF PROTECTIVE BOLLARDS OR OTHER MEANS.

NO.	DATE	DESCRIPTION
1	09-29-04	ISSUED FOR PERMIT
2	09-29-04	ISSUED FOR PERMIT
3	09-29-04	ISSUED FOR PERMIT
4	09-29-04	ISSUED FOR PERMIT
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9	09-29-04	ISSUED FOR PERMIT
10	09-29-04	ISSUED FOR PERMIT
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12	09-29-04	ISSUED FOR PERMIT
13	09-29-04	ISSUED FOR PERMIT
14	09-29-04	ISSUED FOR PERMIT

RIVER ROCK CASINO RESORT
 GREAT CANYON GAMING CORPORATION
 EAST PARKADE



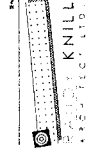
SEP 29 2004

04265053

Plan #2d



LEVEL 4 FLOOR PLAN
 EAST PARKADE



KNILL ARCHITECTS, INC.
 1700 W. WASHINGTON
 SUITE 200
 DENVER, CO 80202
 (303) 733-1100
A204

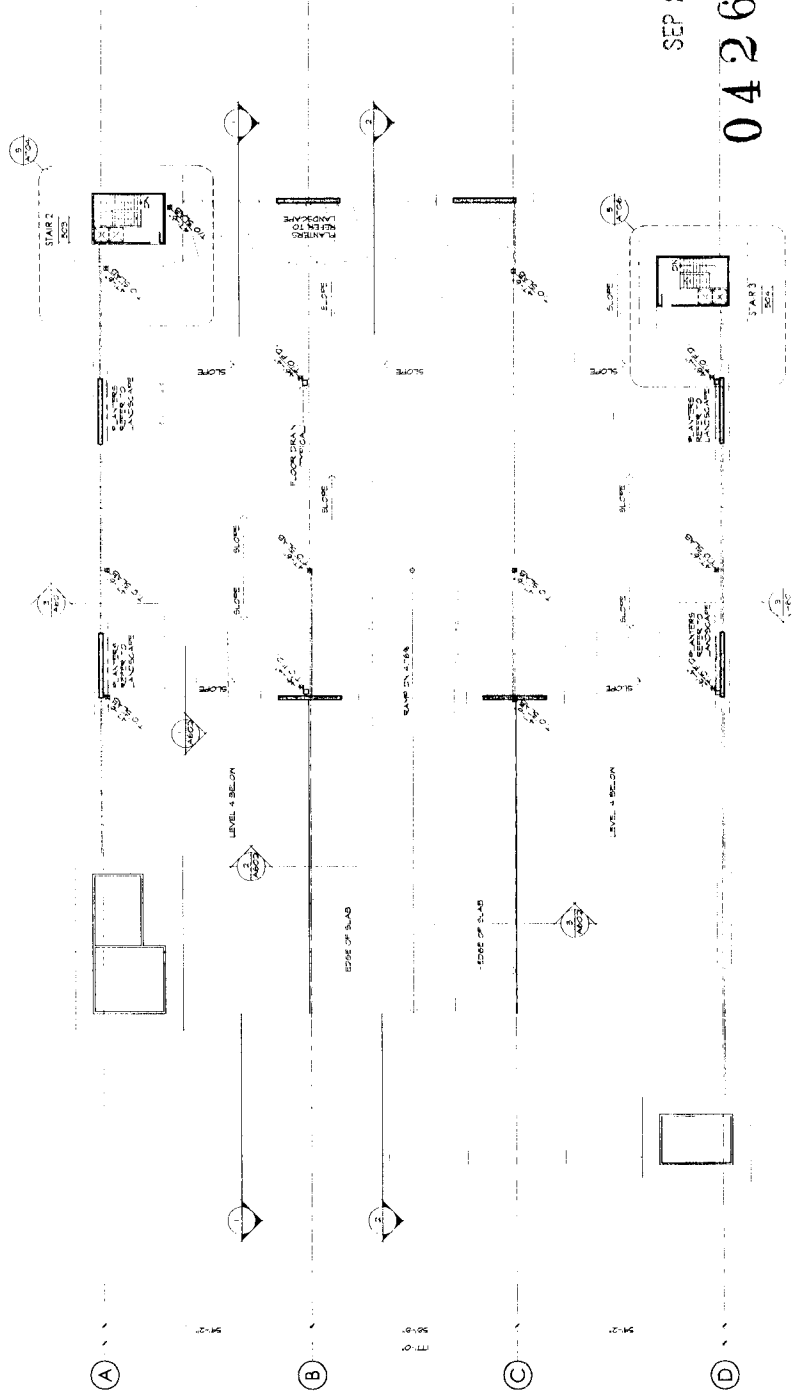
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08/24/04	W. J. KNILL	5
08/24/04	W. J. KNILL	6
08/24/04	W. J. KNILL	7
08/24/04	W. J. KNILL	8
08/24/04	W. J. KNILL	9
08/24/04	W. J. KNILL	10
08/24/04	W. J. KNILL	11
08/24/04	W. J. KNILL	12
08/24/04	W. J. KNILL	13
08/24/04	W. J. KNILL	14

RIVER ROCK CASINO RESORT
 GREAT CANADIAN GAMING CORPORATION
 EAST PARKADE

WALL CONSTRUCTION NOTES

1. ALL WALLS TO BE CONSTRUCTED IN ACCORDANCE WITH THE 2004 NATIONAL BUILDING CODE (NBC) AND THE 2004 CANADIAN NATIONAL BUILDING CODE (CNBC).
 2. ALL WALLS TO BE CONSTRUCTED WITH A MINIMUM FINISH OF 1/2" GYPSUM BOARD OVER 1/2" POLYSTYRENE INSULATION.
 3. ALL WALLS TO BE CONSTRUCTED WITH A MINIMUM FINISH OF 1/2" GYPSUM BOARD OVER 1/2" POLYSTYRENE INSULATION.
 4. ALL WALLS TO BE CONSTRUCTED WITH A MINIMUM FINISH OF 1/2" GYPSUM BOARD OVER 1/2" POLYSTYRENE INSULATION.
 5. ALL WALLS TO BE CONSTRUCTED WITH A MINIMUM FINISH OF 1/2" GYPSUM BOARD OVER 1/2" POLYSTYRENE INSULATION.
 6. ALL WALLS TO BE CONSTRUCTED WITH A MINIMUM FINISH OF 1/2" GYPSUM BOARD OVER 1/2" POLYSTYRENE INSULATION.
 7. ALL WALLS TO BE CONSTRUCTED WITH A MINIMUM FINISH OF 1/2" GYPSUM BOARD OVER 1/2" POLYSTYRENE INSULATION.
 8. ALL WALLS TO BE CONSTRUCTED WITH A MINIMUM FINISH OF 1/2" GYPSUM BOARD OVER 1/2" POLYSTYRENE INSULATION.
 9. ALL WALLS TO BE CONSTRUCTED WITH A MINIMUM FINISH OF 1/2" GYPSUM BOARD OVER 1/2" POLYSTYRENE INSULATION.
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 13. ALL WALLS TO BE CONSTRUCTED WITH A MINIMUM FINISH OF 1/2" GYPSUM BOARD OVER 1/2" POLYSTYRENE INSULATION.
 14. ALL WALLS TO BE CONSTRUCTED WITH A MINIMUM FINISH OF 1/2" GYPSUM BOARD OVER 1/2" POLYSTYRENE INSULATION.

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SEP 29 2004

04265053

Plan #2e



LEVEL 5 FLOOR PLAN
 1/8" = 1'-0"

FIFTH LEVEL
 FLOOR PLAN
 W. J. KNILL
 ARCHITECT
 1000 WEST 102ND STREET
 VANCOUVER, BC V6P 6E6
 TEL: 604-273-8888
 FAX: 604-273-8889
 A205

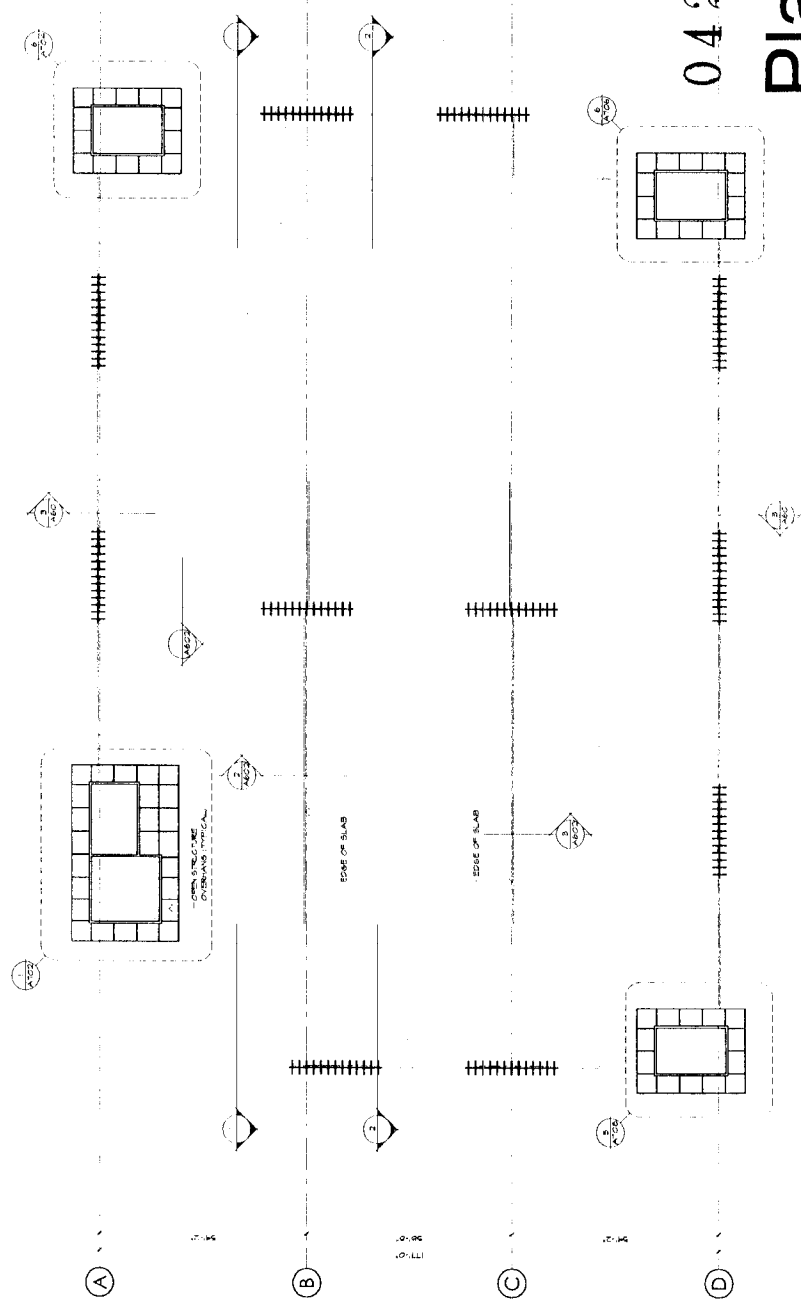
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NO. 4	DATE	BY
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NO. 8	DATE	BY
NO. 9	DATE	BY
NO. 10	DATE	BY
NO. 11	DATE	BY
NO. 12	DATE	BY
NO. 13	DATE	BY
NO. 14	DATE	BY

RIVER ROCK CASINO RESORT
GREAT CANADIAN GAMING CORPORATION
EAST PARKADE

WALL CONSTRUCTION NOTES

1. WALLS TO BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING NOTES AND DETAILS.
2. ALL WALLS TO BE CONSTRUCTED WITH 12" CMU BLOCKS WITH 2" GROUTED JOINTS.
3. ALL WALLS TO BE FINISHED WITH 1/2" GYPSUM BOARD ON BOTH SIDES.
4. ALL WALLS TO BE FINISHED WITH 1/2" GYPSUM BOARD ON BOTH SIDES.
5. ALL WALLS TO BE FINISHED WITH 1/2" GYPSUM BOARD ON BOTH SIDES.
6. ALL WALLS TO BE FINISHED WITH 1/2" GYPSUM BOARD ON BOTH SIDES.
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11. ALL WALLS TO BE FINISHED WITH 1/2" GYPSUM BOARD ON BOTH SIDES.
12. ALL WALLS TO BE FINISHED WITH 1/2" GYPSUM BOARD ON BOTH SIDES.
13. ALL WALLS TO BE FINISHED WITH 1/2" GYPSUM BOARD ON BOTH SIDES.
14. ALL WALLS TO BE FINISHED WITH 1/2" GYPSUM BOARD ON BOTH SIDES.

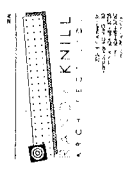
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SEP 29 2004
04265053
Plan #2f

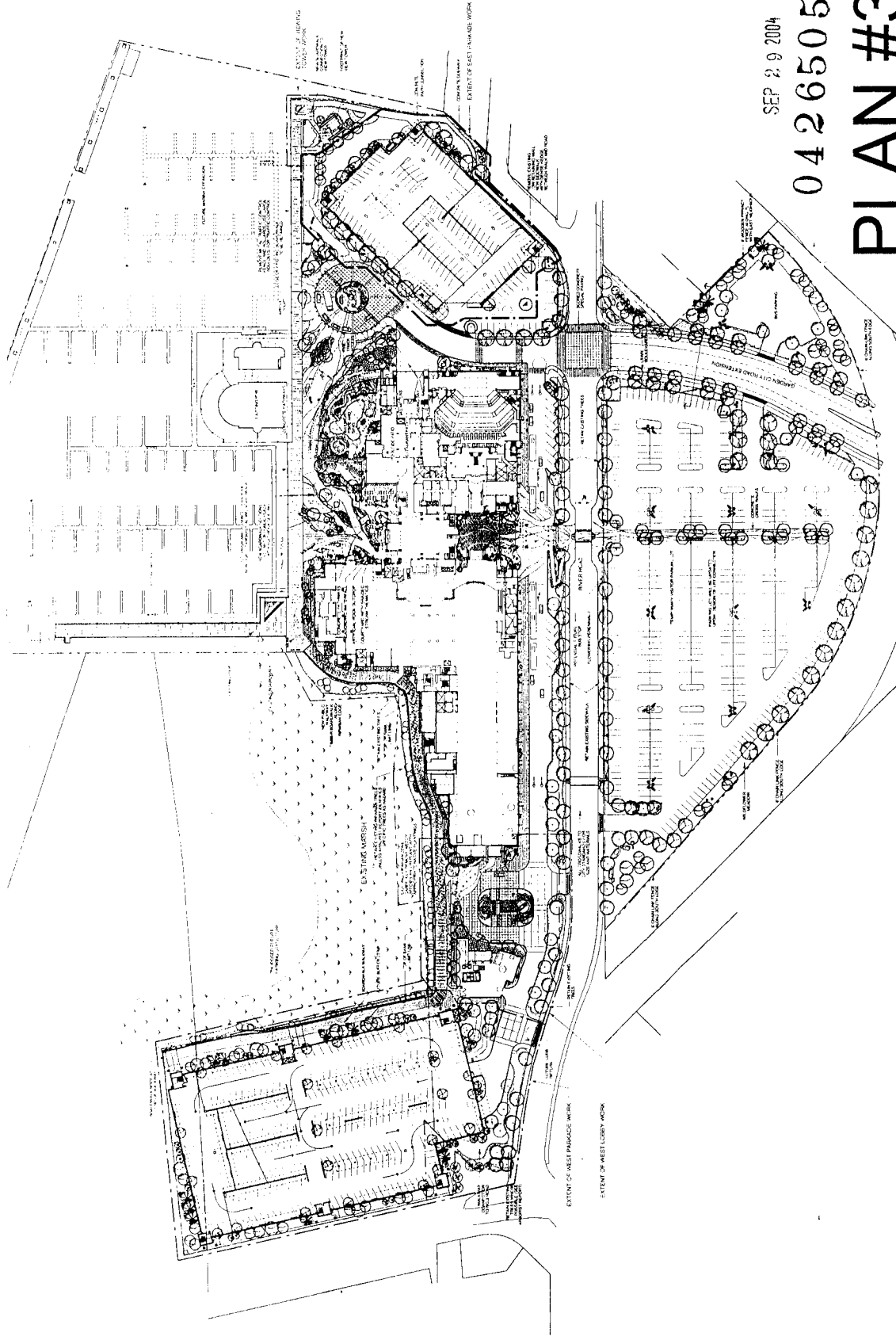


① LEVEL 5 FLOOR PLAN
SCALE: 1/8" = 1'-0"



ROOF PLAN


DATE: 9/11/04
DRAWN BY: J. B. BROWN
CHECKED BY: J. B. BROWN
PROJECT NO.: A206



SEP 29 2004

04265053

PLAN #3B



Randy Knill Architect Ltd.
 2-2 - 1810 Alberta St. Vancouver B.C. Canada V6C 1E3
 Phone: 604 684 3728 Fax: 604 684 3750 www.rknill.com



S.T.A.R.P. DIAMONDS
 Landscape Architecture & Planning
 1000 West Broadway
 Vancouver, BC V6H 1A5
 Phone: 604 681 1111
 Fax: 604 681 1112

for
Great Canadian Gaming Corporation

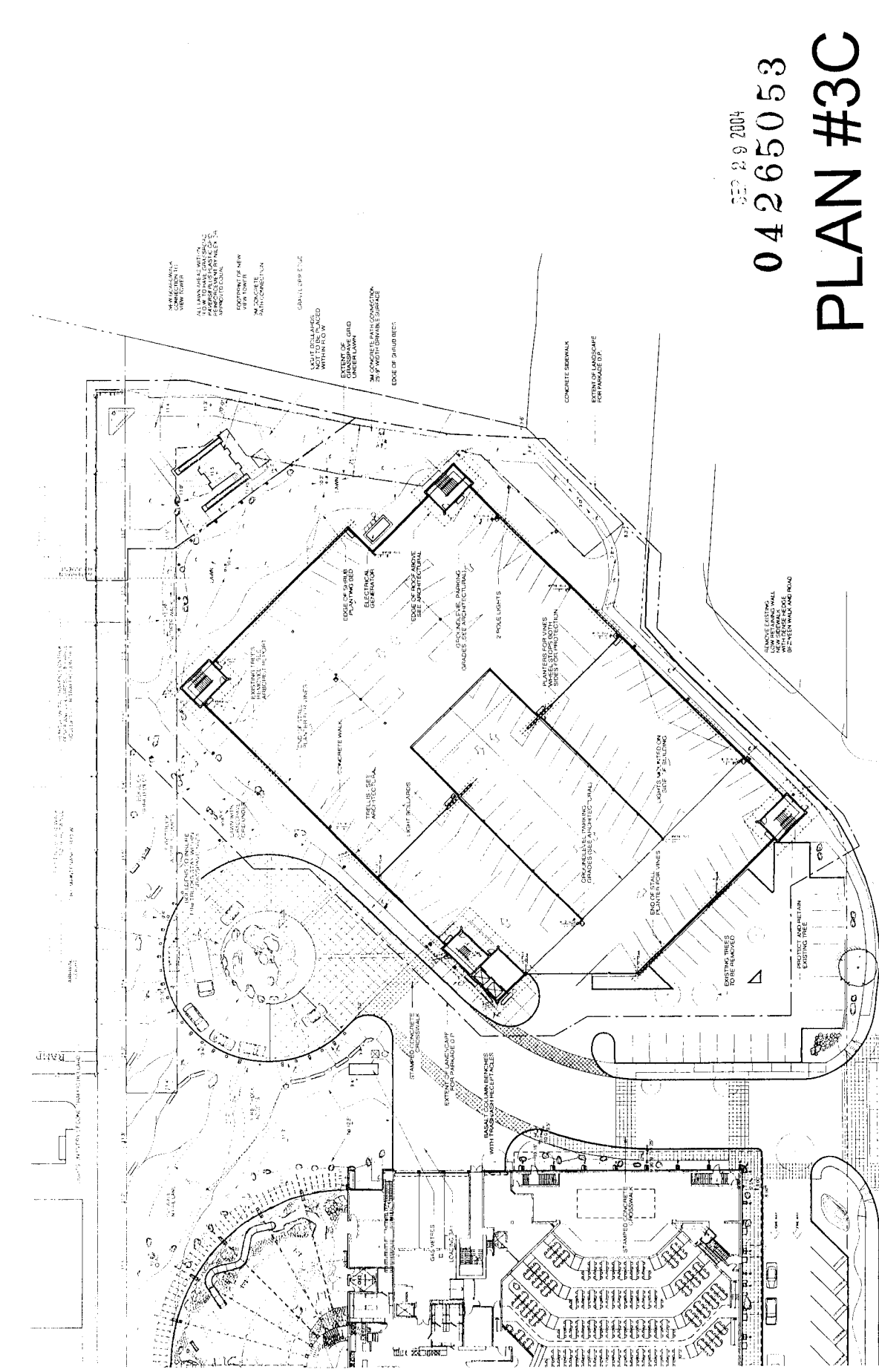
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1.20	10/1/03	Issue for Pre-Design



RIVER ROCK CASINO RESORT EAST PARADE
 Richmond, BC
Full Site Landscape Site Plan

PROJECT NUMBER	03-205
DATE	SEP 29 2004
SCALE	AS SHOWN
PROJECT LOCATION	1810 ALBERTA ST. VANCOUVER, BC
CLIENT	GREAT CANADIAN GAMING CORP.

L-1



SEP 29 2004
04265053

PLAN #3C

PROJECT	
RIVER ROCK CASINO RESORT EAST PARKADE Richmond, BC	
DATE	
03-205	2003 Mar 3
SCALE	
Scale - 1:200	

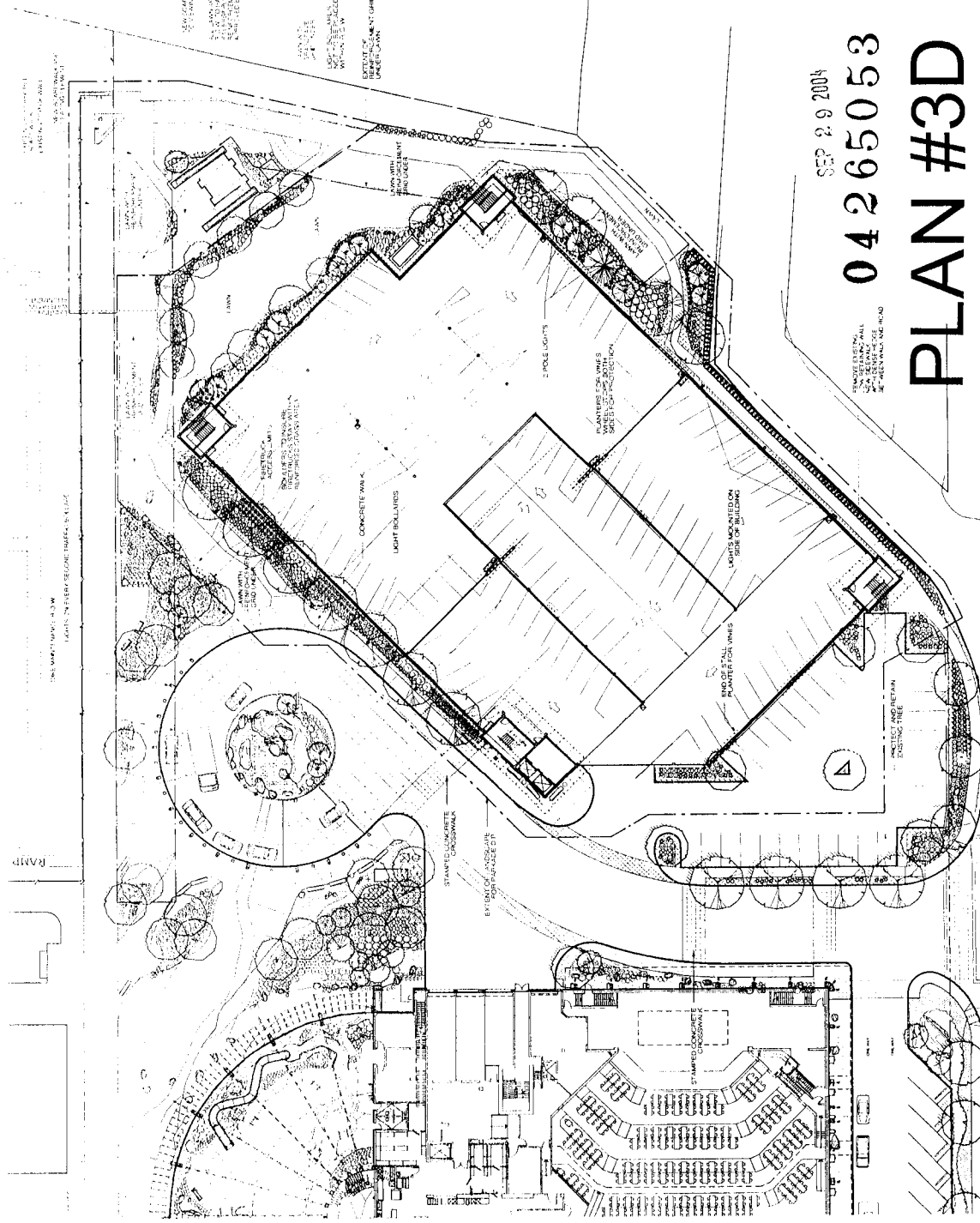
East Parkade Landscape Layout Plan

NO.	REV.	DATE	BY	CHKD.	DESCRIPTION
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7	1	03/22/04			Issue for Tender

SHARP DIAMOND
LANDSCAPE ARCHITECTS
2180 BURNHAMTHORPE RD. #201
SCARBOROUGH, ONT. M1W 4S6
Tel: (416) 754-7777 Fax: (416) 754-7778

Great Canadian Gaming Corporation

Randy Knill Architect Ltd.
2-1111 Alberni St. Victoria B.C. Canada V8G 1R3
Phone 604-684-5728 Fax 604-684-5760 www.RNArch.com



SEP 29 2004
 04265053
PLAN #3D

PLANT LIST	PLANT LIST	PLANT LIST
TREES	SHRUBS	PERENNIALS
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3. 6m x 6m x 6m	3. 6m x 6m x 6m	3. 6m x 6m x 6m
4. 4m x 4m x 4m	4. 4m x 4m x 4m	4. 4m x 4m x 4m
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6. 2m x 2m x 2m	6. 2m x 2m x 2m	6. 2m x 2m x 2m
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11. 0.6m x 0.6m x 0.6m	11. 0.6m x 0.6m x 0.6m	11. 0.6m x 0.6m x 0.6m
12. 0.4m x 0.4m x 0.4m	12. 0.4m x 0.4m x 0.4m	12. 0.4m x 0.4m x 0.4m
13. 0.3m x 0.3m x 0.3m	13. 0.3m x 0.3m x 0.3m	13. 0.3m x 0.3m x 0.3m
14. 0.2m x 0.2m x 0.2m	14. 0.2m x 0.2m x 0.2m	14. 0.2m x 0.2m x 0.2m
15. 0.1m x 0.1m x 0.1m	15. 0.1m x 0.1m x 0.1m	15. 0.1m x 0.1m x 0.1m

L-2.2

RIVER ROCK CASINO RESORT EAST PARKADE
 Richmond, BC

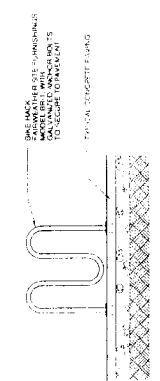
East Parkade Landscape Planting Plan

SCALE: 1:250 03_205
 2003 March 3

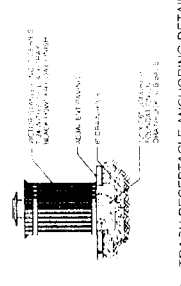
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10. 0.8m x 0.8m x 0.8m	10. 0.8m x 0.8m x 0.8m	10. 0.8m x 0.8m x 0.8m	10. 0.8m x 0.8m x 0.8m
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12. 0.4m x 0.4m x 0.4m	12. 0.4m x 0.4m x 0.4m	12. 0.4m x 0.4m x 0.4m	12. 0.4m x 0.4m x 0.4m
13. 0.3m x 0.3m x 0.3m	13. 0.3m x 0.3m x 0.3m	13. 0.3m x 0.3m x 0.3m	13. 0.3m x 0.3m x 0.3m
14. 0.2m x 0.2m x 0.2m	14. 0.2m x 0.2m x 0.2m	14. 0.2m x 0.2m x 0.2m	14. 0.2m x 0.2m x 0.2m
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Great Canadian Gaming Corporation

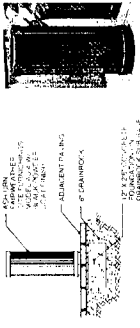
Randy Knill Architect Ltd.
 2-2-2810 Avenue St. Johnstone B.C. Canada V6G 1N3
 Phone: 604.684.5728 Fax: 604.684.5750 www.RNACT.com



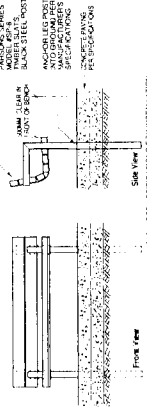
8 BIKE RACK ANCHORING DETAIL
SCALE 1/2" = 1'-0"



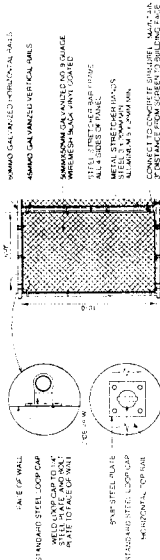
4 TRASH RECEPTACLE ANCHORING DETAIL
SCALE 1/2" = 1'-0"



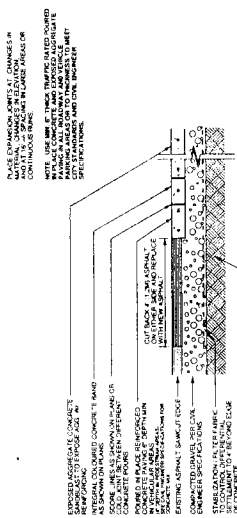
5 ASH URN & ANCHORING DETAIL
SCALE 1/2" = 1'-0"



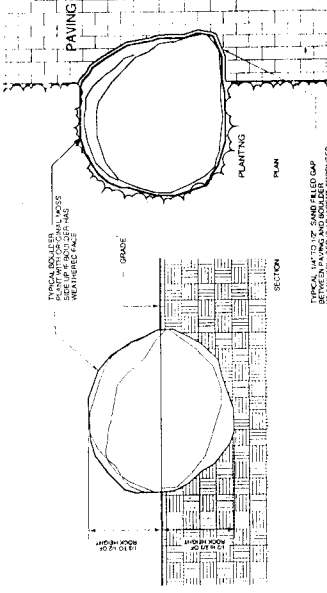
6 TIMBER AND METAL BENCH INSTALLATION
SCALE 1/2" = 1'-0"



1 GREEN SCREEN SYSTEM
SCALE N.T.S.



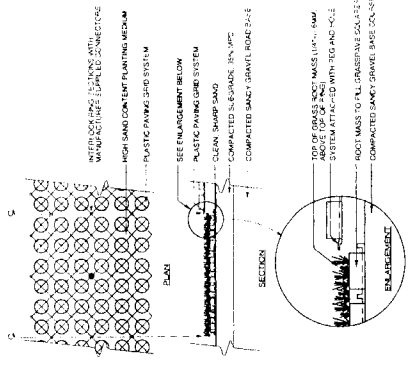
2 CONCRETE PAVING SECTION AT CROSSWALK/INTERSECTION
SCALE 1/2" = 1'-0"



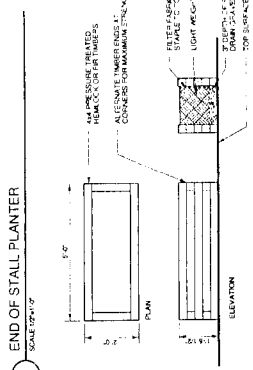
7 BOULDER PLANTING
SCALE 1/2" = 1'-0"

3 TYPICAL CONCRETE PAVING SECTION
SCALE 1/2" = 1'-0"

PLAN #3E



9 END OF STALL PLANTER
SCALE 1/2" = 1'-0"



10 SMALL TIMBER PLANTER PLAN AND ELEVATION
SCALE 1/2" = 1'-0"

10 SMALL TIMBER PLANTER PLAN AND ELEVATION
SCALE 1/2" = 1'-0"

NOTES:
1. ALL WOOD TO BE ONE GRADE OR BETTER DRY KILN DRIED.
2. ALL WOOD TO BE TREATED WITH PRESERVATIVE.
3. ALL WOOD TO BE SAVED AND REUSED WHERE APPROPRIATE.
4. ALL CURBS AND WALKWAYS TO BE SET WITH CLEAR STAIN.
5. ALL WALKWAYS TO BE SET WITH CLEAR STAIN.
6. ALL WALKWAYS TO BE SET WITH CLEAR STAIN.
7. ALL WALKWAYS TO BE SET WITH CLEAR STAIN.

04265053

L-3

PROJECT		RIVER ROCK CASINO RESORT EAST PARKADE	
LOCATION		Richmond, BC	
DATE		03-2005	
DRAWN BY		L-3	
CHECKED BY		L-3	
SCALE		AS SHOWN	
DATE		2003 March 3	



1	DATE	DESCRIPTION
2	DATE	DESCRIPTION
3	DATE	DESCRIPTION
4	DATE	DESCRIPTION
5	DATE	DESCRIPTION
6	DATE	DESCRIPTION
7	DATE	DESCRIPTION
8	DATE	DESCRIPTION
9	DATE	DESCRIPTION
10	DATE	DESCRIPTION

for Great Canadian Gaming Corporation

SHARPE/DIAMOND
Landscape Architecture & Planning
1000 West Broadway, Suite 100
V6H 1Y5

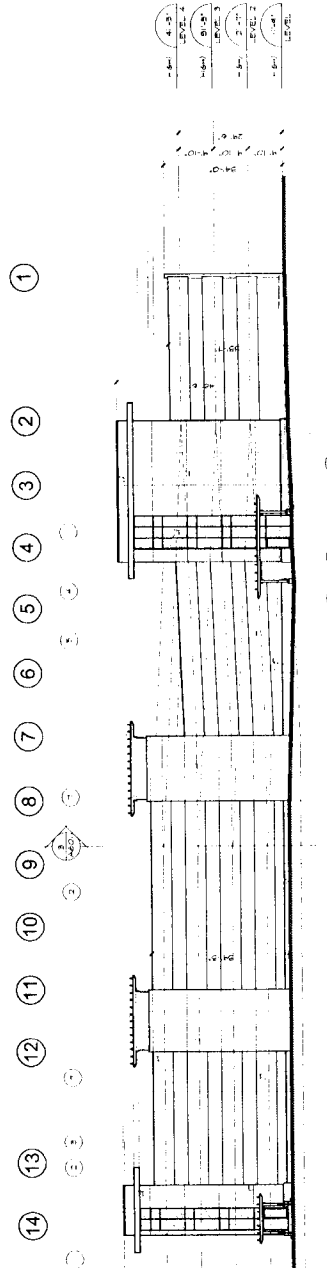
Randy Knill Architect Ltd.
1810 Abbott Road, Richmond, BC Canada V6V 1Y3
Phone: 604 686 5124 Fax: 604 686 5776 www.randyknill.com

DATE	1/14/14
BY	JK
DESCRIPTION	REVISED PER COMMENTS
DATE	1/14/14
BY	JK
DESCRIPTION	REVISED PER COMMENTS
DATE	1/14/14
BY	JK
DESCRIPTION	REVISED PER COMMENTS
DATE	1/14/14
BY	JK
DESCRIPTION	REVISED PER COMMENTS
DATE	1/14/14
BY	JK
DESCRIPTION	REVISED PER COMMENTS

RIVER ROCK CASINO RESORT
GREAT CANADIAN GAMING CORPORATION
EAST PARKADE

KNILL ARCHITECTS
1000 BROADWAY
SUITE 1000
VANCOUVER, BC V6C 1A9
TEL: 604.681.1111
WWW.KNILLARCHITECTS.COM

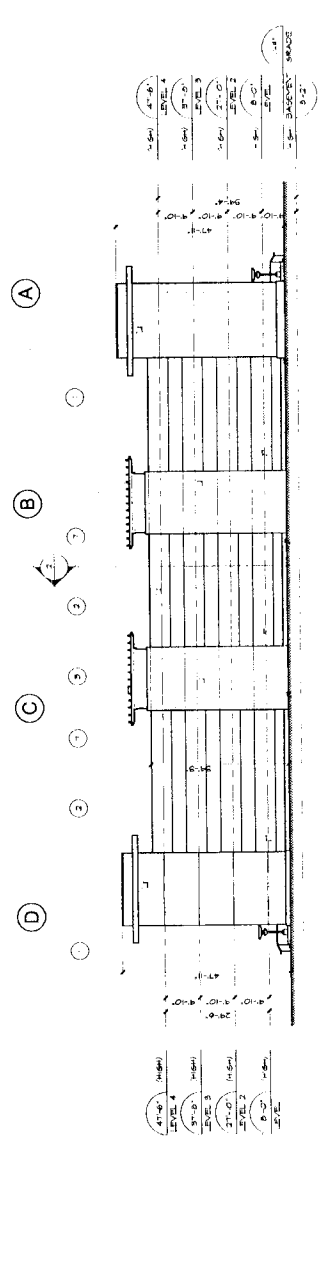
BUILDING ELEVATIONS
SCALE: 1/8" = 1'-0"
DATE: 03/08
DRAWN BY: JK
PROJECT: A401



① WEST BUILDING ELEVATION
1/8" = 1'-0"

MATERIAL LEGEND

- 1 ASPHALT PAVEMENT
- 2 CAST-IN-PLACE CONCRETE
- 3 PRECAST CONCRETE SPANDREL PANEL
- 4 BRICK - UNGLAZED
- 5 BRICK - GLAZED
- 6 CLEAR DOUBLE GLAZED ALUMINUM CURTAIN WALL
- 7 BRICK - UNGLAZED
- 8 BRICK - UNGLAZED (WOOD)
- 9 STONE VENEER
- 10 PAINTED METAL DOOR
- 11 PAINTED STEEL DOOR

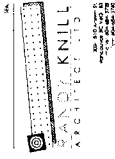


② NORTH BUILDING ELEVATION
1/8" = 1'-0"

04265053
Plan #4a

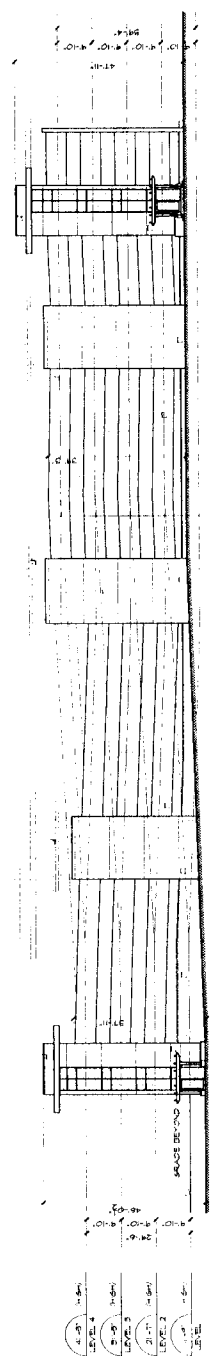
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1	ISSUE FOR PERMIT	08/12/2009
2	REVISED PER PLAN ROOMS	08/12/2009
3	REVISED PER PLAN ROOMS	08/12/2009
4	REVISED PER PLAN ROOMS	08/12/2009
5	REVISED PER PLAN ROOMS	08/12/2009
6	REVISED PER PLAN ROOMS	08/12/2009
7	REVISED PER PLAN ROOMS	08/12/2009
8	REVISED PER PLAN ROOMS	08/12/2009
9	REVISED PER PLAN ROOMS	08/12/2009
10	REVISED PER PLAN ROOMS	08/12/2009
11	REVISED PER PLAN ROOMS	08/12/2009
12	REVISED PER PLAN ROOMS	08/12/2009
13	REVISED PER PLAN ROOMS	08/12/2009
14	REVISED PER PLAN ROOMS	08/12/2009

RIVER ROCK CASINO RESORT
GREAT CANADIAN GAMING CORPORATION
EAST PARKADE
1000 WEST PARKADE, WINDSOR, ONTARIO, CANADA



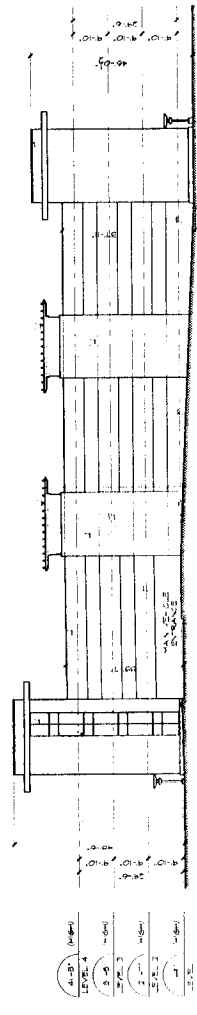
BUILDING ELEVATIONS
SCALE: 1/8" = 1'-0"
DATE: 08/12/09
DRAWN BY: JDA, AC, JAC
CHECKED BY: JDA, AC, JAC
SHEET: A402

1 2 3 4 5 6 7 8 9 10 11 12 13 14



1 EAST BUILDING ELEVATION
8/12/09

A B C



2 SOUTH BUILDING ELEVATION
8/12/09

- MATERIAL LEGEND
- 1 ACRYLIC STUCCO
 - 2 CAST IN PLACE CONCRETE
 - 3 PRECAST CONCRETE SPANDREL PANEL
 - 4 SPANSE - ILLUMINATED
 - 5 CLEAR DOUBLE GLAZED ALUMINUM CURTAIN WALL
 - 6 GREENGLASS SYSTEM
 - 7 1/2" x 3/4" STUCCO (NOTED)
 - 8 FINE STUCCO
 - 9 PAINTED METAL DOOR
 - 10 PAINTED STEEL DOOR

04265053
SEP 29 2009

Plan #4b

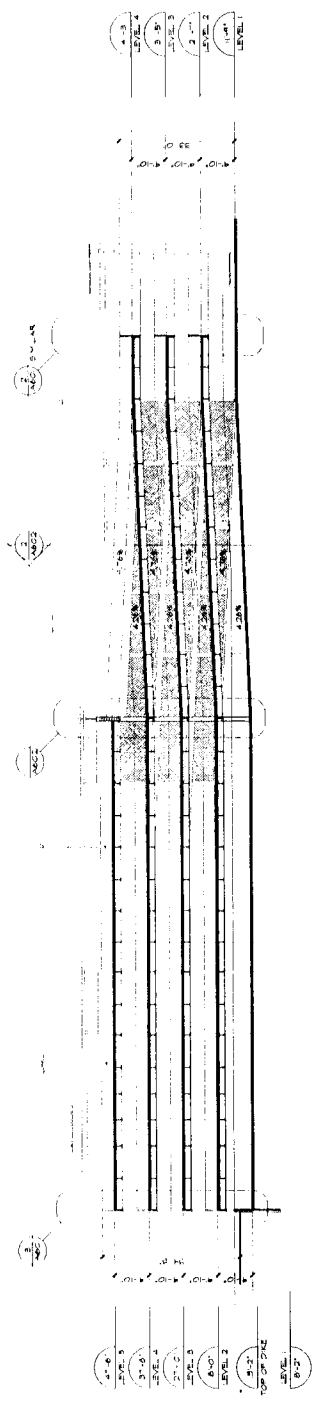
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NO.	DATE	DESCRIPTION
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5	04.23.04	FOUNDATION
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10	04.23.04	FOUNDATION
11	04.23.04	FOUNDATION
12	04.23.04	FOUNDATION
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14	04.23.04	FOUNDATION

RIVER ROCK CASINO RESORT
GREAT CANADIAN GAMING CORPORATION
EAST PARKADE

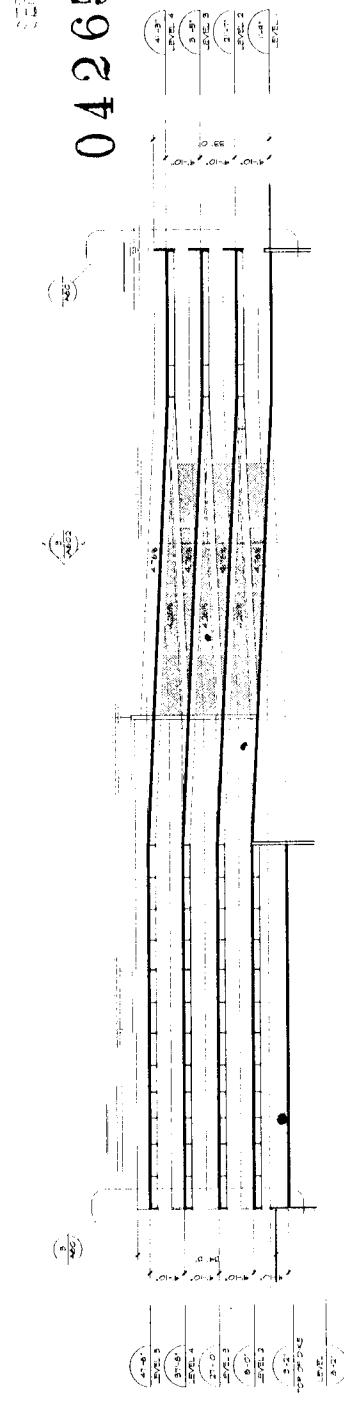
RAJA & KNILL
ARCHITECTS LTD.
 BUILDING SECTIONS
 SCALE: 1/8" = 1'-0"
 0378
 2004.09.17
 A301

⑭ ⑬ ⑫ ⑪ ⑩ ⑨ ⑧ ⑦ ⑥ ⑤ ④ ③ ② ①



① BUILDING SECTION
1/8" = 1'-0"

⑭ ⑬ ⑫ ⑪ ⑩ ⑨ ⑧ ⑦ ⑥ ⑤ ④ ③ ② ①



② BUILDING SECTION
1/8" = 1'-0"

SEP 29 2004
 04265053

Plan #5

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