




**To:** Development Permit Panel  
**From:** Joe Erceg  
Manager, Development Applications  
**Date:** August 7, 2002  
**File:** DP 02-203209  
**Re:** **Application by Gomberoff Bell Lyon Architects for a Development Permit at  
7780/ 7820 Garden City Road**

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**Manager's Recommendation**

That a development permit be issued for a property at 7780/ 7820 Garden City Road that would:

1. Allow the development of 27 townhouse units on a site zoned Comprehensive Development District (CD/127), and that would
  
2. Vary the regulations in the *Zoning and Development Bylaw* to:
  - reduce the required setback for the entry sign and garbage/ recycling enclosure from 2m (6.56') to 0, and to
  
  - reduce the number of visitor parking stalls from 6 to 5.

  
Joe Erceg  
Manager, Development Applications

JE:aj1  
Att. 1

## Staff Report

### Origin

Gomberoff Bell Lyon Architects, on behalf of Bogner Developments Ltd., have applied for a development permit for 27 townhouses in the McLennan South neighbourhood. The property is in the process of being rezoned to Comprehensive Development District (CD/127).

A copy of the development application filed with the Urban Development Division is appended to this report.

### Development Information

Site Area:	4,568.509 m <sup>2</sup> (49,176.63 ft <sup>2</sup> )
Building Area:	3,552.496 m <sup>2</sup> (38,240 ft <sup>2</sup> )
Site Coverage:	40% Allowed 32% Proposed
F.A.R.:	0.78 Allowed 0.777 Proposed
Parking:	46 Spaces Required (40 resident + 6 visitors) 59 Spaces Proposed (54 resident + 5 visitors)

### Findings of Fact

Guidelines for form and character are found in Schedule 2.10C of Bylaw No. 7100, the Official Community Plan, specifically the *McLennan South Sub-Area Plan*. The guidelines are analyzed in detail later on in this report.

Development surrounding the subject site is as follows:

To the north, is an existing townhouse project (Narland) and an isolated single-family lot.);

To the east, across Garden City Road is an existing multi-family area with townhouses and four storey apartments;

To the south, is a house on a large (0.41 acre) lot and

To the west, is vacant land in the process of rezoning (for Palladium).

### Staff Comments

Note: Staff comments are as follows, with the applicant's response in ***bold italics***.

### URBAN DESIGN

The overall quality of design is appreciated.

We note that tree number 388 (European Beech) is being retained, but needs to be noted as such on the site plan. The grade of this tree, which is fairly close to the building, should not be altered. We require that tree-retention fencing and specifications be noted on the landscape plans. The fencing must be in place prior to site preparation and building permit. An arbourist (or landscape architect) should be retained to supervise all work around existing trees during construction, including periodic site inspections. ***The landscape architect amended the plans accordingly.***

All existing trees 8" calliper or more which are removed are to be replaced with a minimum of two (2) 4" calliper trees (show on landscape plan). Upon completion of the project, we will require a letter of compliance from the Landscape Architect and the arbourist. ***The applicants have agreed.***

We note there is no indoor amenity, but that the developer will be contributing \$27,000 to the community park for facility development. Show type of play equipment and benches on the plan. All fences and wood structures to be painted or stained (two coats). Show materials and colour numbers on the building elevations. The visitor parking stall between block 6 and block 7 interferes with the walkway. Consider eliminating it and asking for a variance for one visitor parking stall. (We note that the total amount of parking on-site exceeds the bylaw requirement.)

***The architect has deleted the parking stalls. Staff support a variance to accommodate this additional green space.***

For detailed design comments, see the Analysis of the *McLennan South* Guidelines in this report. Note that prior to submission of this application to Council, a letter of credit will be required for landscaping.

## **URBAN DEVELOPMENT - UTILITIES**

Definitely need a much better context plan showing access/unit layouts to both the north and south sites, Keefer/Turnill Road design and footprint of structures for Narland, Capital West and Palladium's sites. All utility servicing (water, storm and sanitary sewer, hydro, telephone and gas) must come from Garden City Road as it is simply **NOT** available from Keefer/Turnill Road. ***The applicant has entered into a Servicing agreement as per the above comments.***

## **GARBAGE AND RECYCLING**

The new location for the recycling facility is acceptable. We also recommend a bin for cardboard. The location of the future garbage bin is not acceptable because it is too close to the patio for unit 16 and will likely generate complaints. We suggest putting it near the recycling area (and one bin plus a cardboard bin should be sufficient). ***The applicants have amended the plans accordingly.***

## **URBAN DEVELOPMENT - TRANSPORTATION**

1. Drawings should show the development's driveway in relation to the Turnill/Keefer roadway, i.e. show the road with pavement markings, sidewalks, etc. Need this in order to comment.
2. No turnaround capability if visitor parking spaces are utilized.

3. As shown in the drawing, the property to the south has no turnaround capability, especially for fire trucks.
4. Show dimensions of visitor parking stalls.

*The applicants have amended the plans accordingly.*

### **BUILDING/ZONING APPROVALS**

Comprehensive Development District (CD/127) states the public road setback required is 6m, with the balcony permitted to project 2m into the setback. The plans show the proposed setback at 5.8m. Mailbox gazebo does not meet the minimum 2m setback from the property line, and the maximum height allowed is 5m and the plans show proposed height is 6m. Variances required?

*The building setbacks have been revised to generally conform to the zoning regulations, and the height of the gazebo has been reduced to 5m.*

### **FIRE PREVENTION, DETECTION AND PROTECTION**

1. Access will be required from the Turnill/Keefer Avenue side (east side) of the complex.
2. The Jones Road extension to the Turnill/Keefer Roads is too narrow to allow parking on at least one side. Parking is not controlled on the Jones Road extension and the lane (Turnill Road). Access for normal width vehicles was limited and very poor.
3. The fire hydrant shown on Garden City Road is not adequate to service other than the building (Units 22 to 27) which faces Garden City Road. A fire hydrant will be required on the Turnill/Keefer Avenue at the entry to this site, and another hydrant within the site opposite Unit 15 or 16.
4. The complex needs an available fire flow of about 3,000 imperial gallons per minute at 20 psi residual pressure. We need to ensure that the needed fire flow is available at this site.
5. Fire access from the adjoining south lot is marked as "future". Is this access a continuation of this project as another phase? If so, hydrants and water supply volumes need to be reviewed.
6. The sign indicating the project name and address needs to also indicate "Unit Numbers 1 to 27".
7. A similar sign needs to be posted at the rear (east side) entry to the site, showing address number, street name and unit numbers AND a site map showing the unit number layout for responding emergency services to quickly find the appropriate address.

*The applicants have amended the plans accordingly.*

### **ANALYSIS OF THE McLENNAN SOUTH GUIDELINES**

Note: The guidelines are summarized here, with a  where the project complies.

Staff comments are in **bold** and the applicant's response, where applicable is in ***bold italics***.

**1. General Guidelines for Transition Areas:**

- Setback and landscape between housing types/ neighbourhoods.
- Entry portals, etc. for transition. No vehicle gates.
- Edges between properties to be semi-private but open (no high fences).

**2. General Architectural Guidelines:**

**Building Scale and Form:**

- Single-family form and massing.
- Reduce building scale by varied housing types and design. **Although building types are all the same, the sizes of the blocks are small, ranging from 2 to 4, and therefore a sense of variety is achieved. The introduction of a two-storey unit would have allowed for even more variety and the opportunity to make a unit which is more readily adapted to wheelchair access. Perhaps this unit could have a single garage or carport, to further increase the amount of ground floor living space. *The applicants feel that they are unable to provide a truly accessible unit because of site constraints, however each unit will have an accessible ground floor space( for visitors.)***
- Reduce the apparent height of buildings.
- Balconies inset - no large projecting balconies on street-front.

**Roof Treatment:**

- Pitched forms visible from the street.
- Decorative elements such as dormers to complement the pitched form.
- Re-emphasize the pitch at the ground floor level, such as at front doors.
- Materials should be natural or west-coast. **The roof is asphalt. (Please advise as to warranty - number of years). *The warranty is for 20 years.***

**Windows:**

- Residential scale, operable, and with strong identity.
- Not flat, but bays, box widows, French balconies, trim, shutters, or similar features.
- Visible at sidewalk level and clear glass for surveillance.
- Traditional character, not bubbles or skylights visible from the street.

**Entrances:**

- Direct grade access for front doors.
- Visible from the street.

- Emphasize ground-level entries – no two-storey entries.
- Minimize exterior staircases, except along arterial roads.

**Materials:**

- Use high-quality natural materials, or at least replica materials with wood trim.
- Obviously synthetic materials (plexi-glass, etc.) should not be visible on the outside of buildings.

**Colours:**

- Use muted, Heritage colours.
- Less than 50% of any wall area to be a colour which “draws attention” to the wall.
- Vary colours to reinforce smaller components and reduce the apparent scale of buildings.

**3. General Landscape Guidelines:**

**Intent:**

- To preserve wood-lots and hedgerows having mature trees.
- Use lush vegetation and native plants to promote wildlife habitat. **The landscape plans do not indicate any native plants. For recommendations as to appropriate native plants for Richmond, refer to [www.city.richmond.bc.ca/planning/wildflower.htm](http://www.city.richmond.bc.ca/planning/wildflower.htm); in particular there is a list of native perennials. For suggestions for trees and shrubs, refer to [www.city.richmond.bc.ca/planning/environment/esa.htm](http://www.city.richmond.bc.ca/planning/environment/esa.htm) . *The landscape architect has added native shrubs and ground cover, including Salal, Oregon Grape, Wild Rose, etc.***

**Tree Preservation:**

- Plan open spaces based on a tree survey, and group buildings around these spaces.
- Avoid fill and grading on existing tree roots, or use tree wells. **The European Beech tree needs special consideration and protection for the root zone. *The applicants have amended the plans accordingly.***
- Tree wells to be a minimum of 1½ times the diameter of the tree’s drip-line.

**Common Open Space:**

- Co-ordinate contiguous blocks of existing mature trees on adjacent sites. **The arbourist’s report does not contain any information on the adjacent properties.**
- Encourage privately-owned, publicly accessible open space (POPAS). ***None provided.***
- Landscape front yards to enhance the streetscape.

**Driveways:**

- Locate and construct driveways and buildings so as to preserve existing trees.
- Use lanes for vehicle access, or else screen vehicle entrances from the road.
- No driveway access to arterial roads or entry roads.

**Retaining Walls:**

- Maximum height of retaining walls on street frontage to be 1m, except for tree wells for existing trees. *n.a.*

**Water and Habitat:**

- Enhance or create wildlife habitat using ponds or wetlands with native aquatic and terrestrial plants. *No ponds or wetlands were provided.*

**4. Special Character Guidelines for Neighbourhood 'A':****Building Types:**

- Three-storey on parking, 2-2 ½ storey townhouse, or one-storey wheelchair accessible.

**Managing Transitions:**

- 6m setback from arterial roads.
- Concealed parking.
- 9m setback and height step-back on ring road (adjacent to neighbourhood B1). *The setback is 6m, which is consistent with the zoning.*
- Height step-back to neighbourhood C2. *n.a.*
- Screen neighbourhood pub with fence and hedge. *n.a.*

**Architectural Guidelines****Building Scale:**

- Avoid overshadowing of the natural realm.
- Minimum 4m between buildings. *The setback is 3m in two instances.*
- Maximum building width 45m, and 2m x 2m recesses approximately every 8m.

**Entrances, Porches and Stairs:**

- Exterior stairs to front doors along streets. *There are no exterior stairs.*
- Accentuate staircases with traditional railings such as wood or iron.
- Along arterial roads, where there are berms, stairs to blend in. *n.a.*

**Balconies, and Private Open Spaces:**

- Generally discouraged. *Small balconies have been provided on the back side of the units (garage side) to help animate the auto-court area and provide some "eyes on the street".*
- Along arterial roads, balconies may be on the third level, if recessed. *n.a.*

**Materials:**

- See general guidelines, but brick is discouraged, and stucco should be minimized.

**Landscape Guidelines**

**Plant Materials and Open Spaces:**

- Evergreen trees at irregular spacing (20m+) along Garden City Road. **The landscape plans do not indicate any evergreen trees. Consider replacing some of the Styax with evergreens. The applicants have amended the plans accordingly. Added Serbian Spruce and Bowhall Maple, and Dogwood.**
- 60% evergreen plants, grouped where possible.
- Seasonal effect to be provided by flowers with bulbs.
- Windows and doors to be visible from the street.
- Driveways among the ring road to have columnar trees. **The landscape plans do not indicate any columnar trees.**
- Soften buildings along the street edge with vines and shrubs.
- POPAS along the ring road with mature trees, with under-storey trimmed for visibility. **None provided. There is very little frontage on the ring road.**
- Tall columnar trees in side yards.

**Landscape Along Arterial Edges:**

- Tall, rapid-growth trees behind buildings.
- Front berms with hedge to hide parking. *n.a.*

**Parking and Driveway Treatment:**

- The first 10m of driveway (off the ring road) to be grey paving material other than asphalt.
- Parking screened with 2m hedge or trellis.

**Retaining Walls, Planter Walls and Fences:**

- Retaining walls maximum 1m, of stone or treated timber. *n.a.*
- Screen walls with landscaping. *n.a.*
- Hedges maximum 1m at the property line.
- Fences not allowed in front setback.

**Design Panel Comments**

At their meeting of June 19, 2002, the panel gave the project their support, subject to the following conditions:

Critique/Decision

The comments of the Panel were as follows:



- the plan was successful in its attempt to develop character as single units;
- the small clusters were successful;
- the buildings were fairly massive;
- an effort should be made to guide people around the site;
- the end elevations of the buildings required attention;
- the window sizes could be more generous;
- the end unit elevation was more successful in the dead on view;
- it wasn't recognized how all the colour groupings would work;
- the windows were not reflected on the plans; it was suggested round windows would be more in keeping with the project;
- the architecture was good, as were the details;
- the reduced amount of vinyl siding was good;
- the proximity of Unit 1 to the vehicle entry was too close;
- the Garden City Road street trees should have been included in the landscape plan;
- larger type trees should be used at the entry area;
- the architectural design development of the ends and transition points could be improved;
- ground plane is bare in places – no landscaping is evident along the road side;
- the lack of accessibility was noted;
- blocks 8 and 9 could be combined to allow for a widening of the entry;
- five units to a cluster would be acceptable;
- the concrete walkway might be pavers;
- pavers at the front could be widened to six or eight feet;
- credit was given to the applicant for trying something different.

Constable Julie Powroznik provided written comments.

1. This development could be confusing for people looking for a particular unit. Ensure units are numbered clearly and place a map at the entry way.
2. Bench at the children's play area for parents to sit while children play.
3. The main entry doors on the two centre units of block 7 and on the south unit of block 8 are vulnerable and isolated. Ensure good lighting and low vegetation to increase perception of natural surveillance. Use steel frame doors with dead bolts, eye viewers and shatter proof glass in these locations in particular, if not throughout the development.
4. The property to the east is not yet developed. Would prefer to see a high fence rather than a low one used on that side.

The consensus of the Panel was for the item to move forward subject to consideration of the above noted comments.

### **Variances**

The applicants are requesting a few minor variiances to allow for a project sign and a recycling enclosure. The chimney also projects about 1 meter above the maximum building height,

however a variance is not required. A variance to reduce the visitor parking spaces from 6 to 5 would allow for more green space, and the project provides extra resident parking (over the bylaw requirement.) These items do not detract from the appearance of the project, and staff have no objections to these kinds of variances, which are commonly granted.

### **Analysis**

This application is one of several current three-storey townhouse applications in the McLennan South area. A distinguishing feature of this project is that the developer's program called for each unit to have a double garage with side-by-side parking instead of the currently-popular tandem parking. This program came about after the project had received third reading and the applicants changed architects.

This side-by-side parking puts some limitations on the site planning. The project does not take advantage of parking reduction opportunities (the zoning allows for tandem parking and a ratio of 1.7). Nevertheless, this is an attractively-designed complex in which the architect has generally responded to the staff and design panel suggestions, and the overall result complies with most of the City guidelines, except as noted in this report.

### **Conclusions**

The City has received an application for a 27-unit townhouse complex in McLennan South. The design generally responds to the City regulations and guidelines, except for some minor variations as noted in this report. Staff have no objections to this project.



Alex Jamieson  
Planner 2 - Urban Design

AJ1:ajl

Note: There are requirements to be met:

- Prior to submission to Council, a letter of credit will be required for performance; and
- Prior to issuance of a building permit, fencing shall be provided to protect an existing tree on the site.



**No. DP 02-203209**

To the Holder: GOMBEROFF BELL LYON ARCHITECTS INC.  
Property Address: 7780/ 7820 GARDEN CITY ROAD  
Address: 101 – 1012 BALFOUR AVENUE, VANCOUVER, BC V6H 1H1

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1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning and Development Bylaw No. 5300" is hereby varied or supplemented as follows:
  - a) The dimension and siting of buildings and structures on the land shall be generally in accordance with Plan #1 attached hereto.
  - b) The siting and design of off-street parking and loading facilities shall be generally in accordance with Plan #1 and 2 attached hereto.
  - c) Landscaping and screening shall be provided around the different uses generally in accordance with the standards shown on Plan #3 attached hereto.
  - d) Roads and parking areas shall be paved in accordance with the standards shown on Plan #2 and 3 attached hereto.
  - e) Sanitary sewers, water, drainage, highways, street lighting, underground wiring, trees and sidewalks, shall be provided as required.
  - f) Subject to Section 692 of the Local Government Act, R.S.B.C., the building shall be constructed generally in accordance with Plans #5 to #11 attached hereto.
4. As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder, or should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived. In addition to other remedies, the City may cash a portion of the letter-of-credit equal to the value of any existing trees which die as a result of construction activities.

To the Holder: GOMBEROFF BELL LYON ARCHITECTS INC.  
Property Address: 7780/ 7820 GARDEN CITY ROAD  
Address: 101 – 1012 BALFOUR AVENUE, VANCOUVER, BC V6H 1H1

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There is filed accordingly:

An Irrevocable Letter of Credit in the amount of \$79,203.

5. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.  
DAY OF

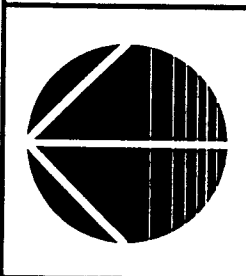
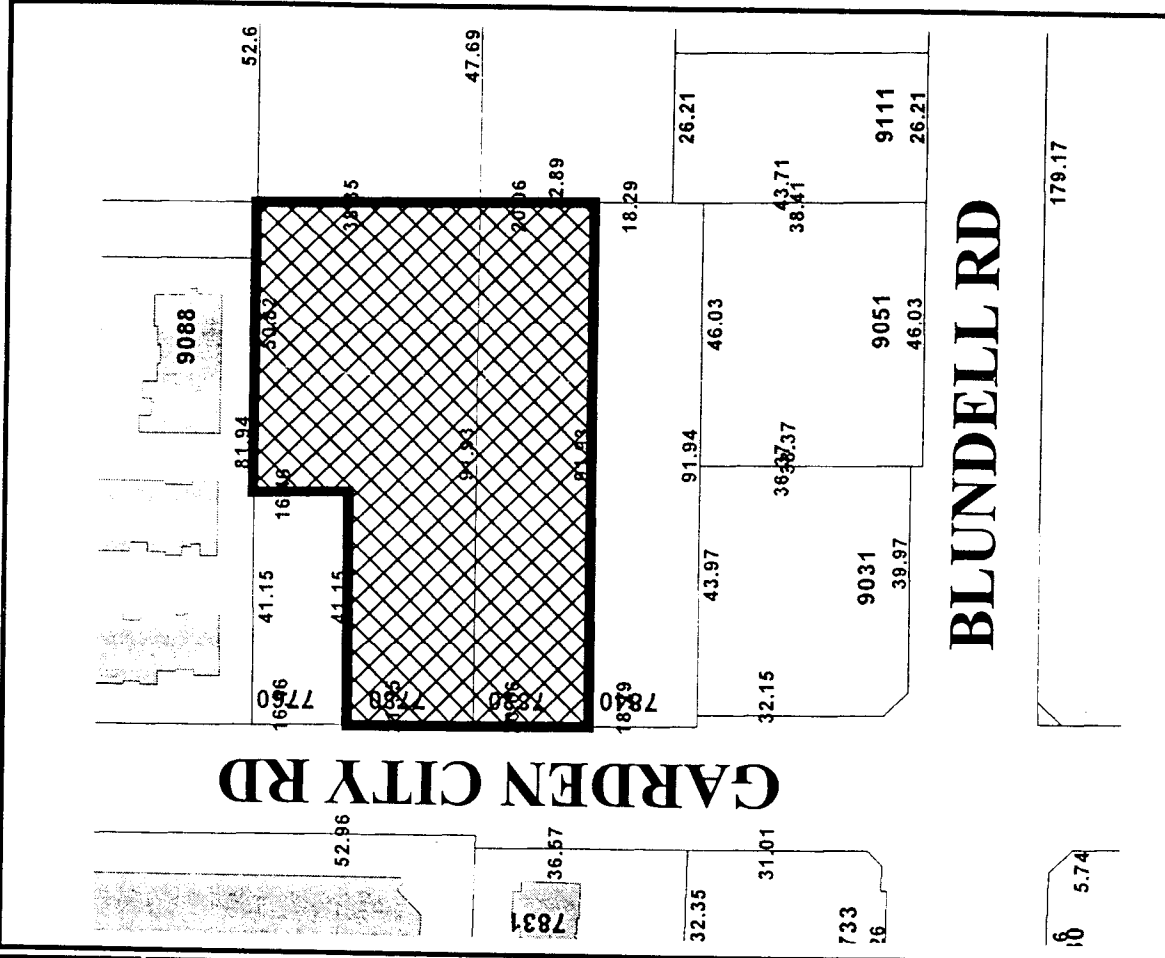
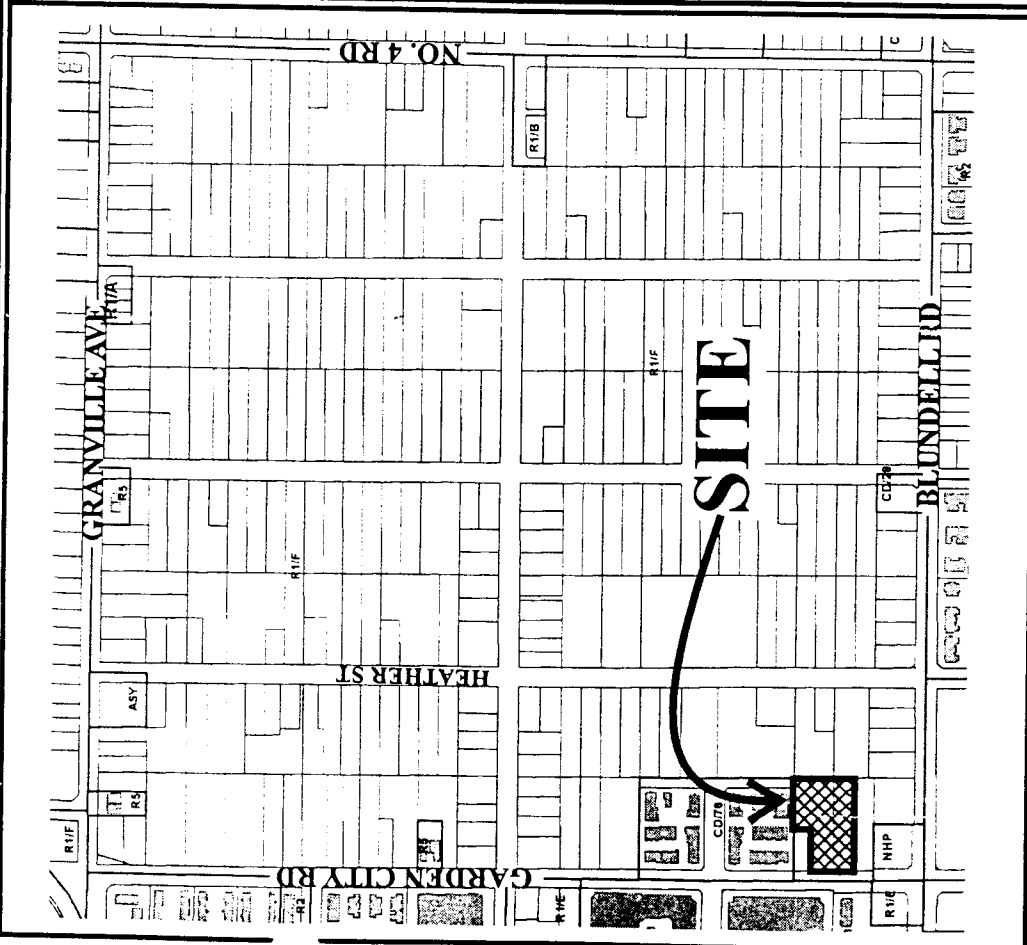
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

\_\_\_\_\_  
MAYOR



# City of Richmond



## DP 02-203209 SCHEDULE "A"

Original Date: 04/15/02

Revision Date:

Note: Dimensions are in METRES

City of Richmond



# Development Applications Department

6911 No. 3 Road  
Richmond, BC V6Y 2C1

City of Richmond

Main (604) 276-4000 Fax (604) 276-4177

## DEVELOPMENT APPLICATION

Please submit this completed form to the Zoning, Land Use Planning and Development Applications Centre for each application (i.e. rezoning; subdivision; development permit, etc.). All materials submitted to the City for a development application become public property, and therefore, available for public inquiry.

Please refer to the attached forms for details on application attachments and fees.

Type of Application: Development Permit

Property Address(es): 7780/7820 GARDEN CITY

Legal Description(s): PID 004-302-915 LOT 5 EXCEPT: PART SUBDIVIDED BY PLAN 46184 BLOCK OF SECTION 15 BLOCK 4 NORTH RANGE 6 WEST NWD PLAN 1207 PID 003 741 028 LOT 39 SECTION 15 BLOCK 4 NORTH RANGE 6 WEST NWD PLAN 34006

Applicant: ABCOR PROPERTIES INC.

Correspondence/Calls to be directed to:

Name: Julio Comberoff - Comberoff Bell Lyon, Arch.

Address: #101-1012 Balfour Avenue

VANCOUVER BC V6H 1X1

Tel. No.: 604-736-1156

Business

Residence

Postal Code

604-731-5279

Fax

Property Owner(s) Signature(s): \_\_\_\_\_

or

Please print name

Authorized Agent's Signature: X

Attach Letter of Authorization

Julio Comberoff

Please print name

<b>FOR OFFICE USE</b>	
Date Received: <u>March 27/02</u>	Application Fee: <u>\$4095<sup>00</sup></u>
File No.: <u>02-203209</u>	Receipt No.: <u>04-0077846</u>
<small>Only assign if application is complete</small>	

CR 01-185781 RZ 02-203133 SA

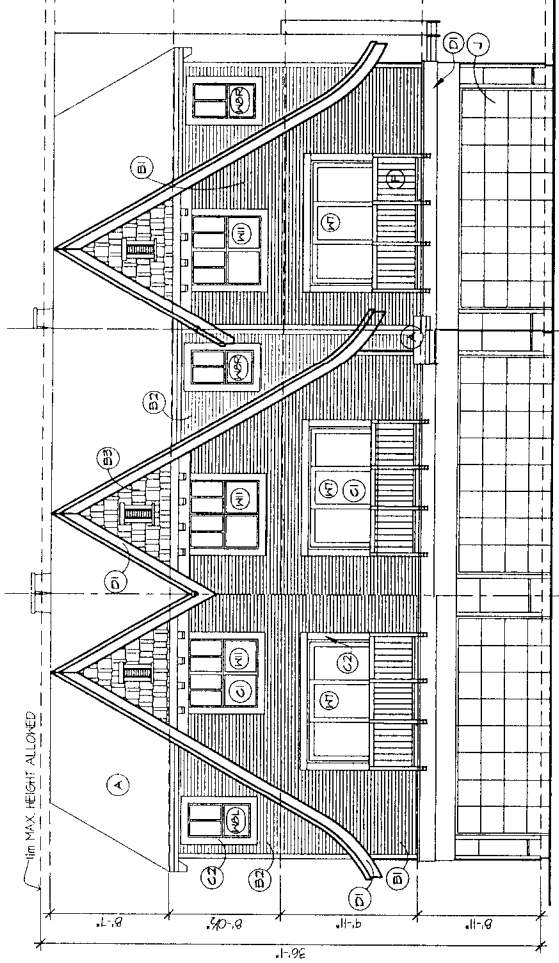




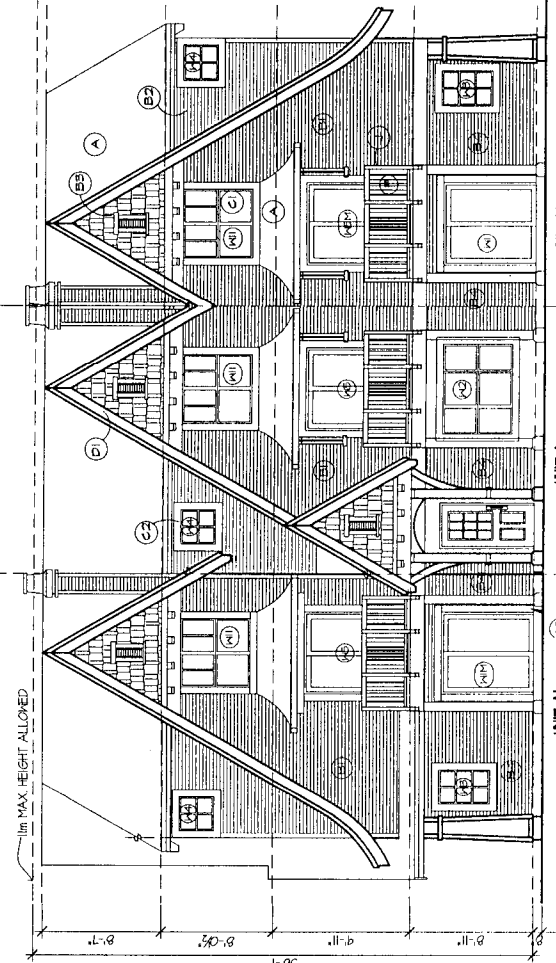






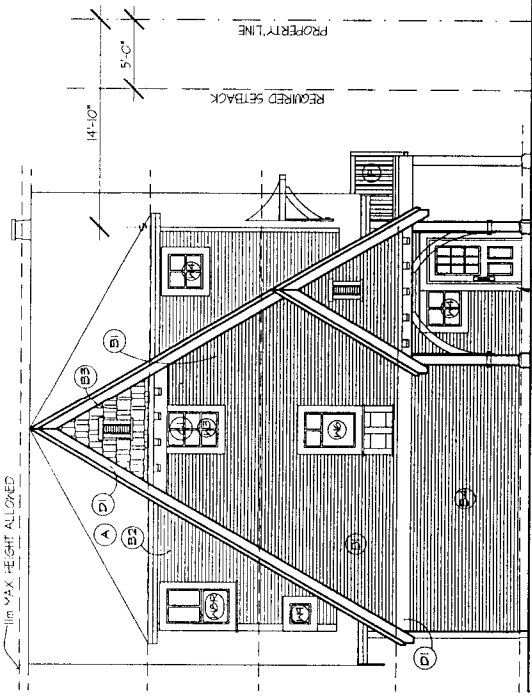


UNIT A1  
INTERIOR ELEVATION

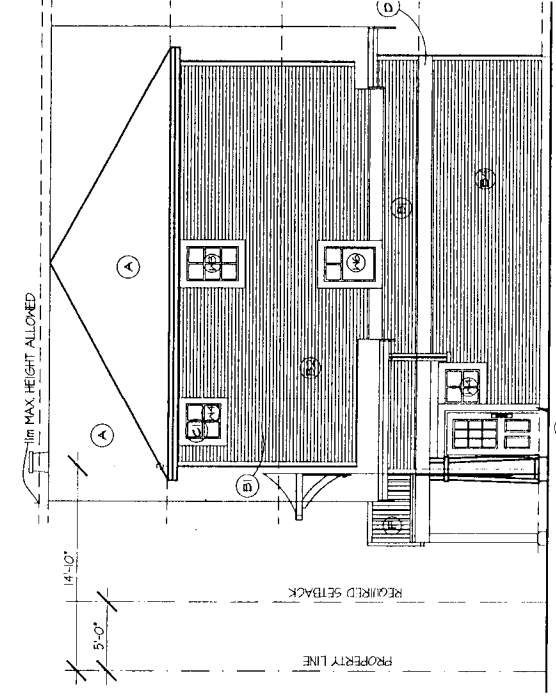


UNIT A1  
FRONT ELEVATION

ELEVATIONS BLOCK 1



UNIT A1  
SIDE ELEVATION



UNIT A1  
SIDE ELEVATION

REVISIONS

NO.	DATE	DESCRIPTION
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EXTERIOR FINISHES

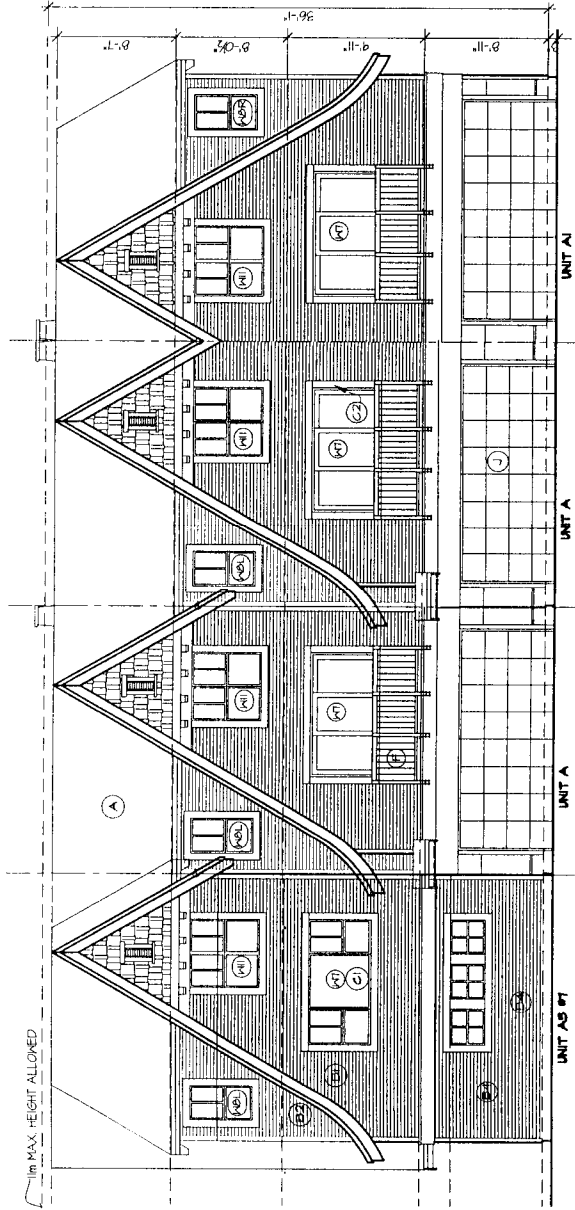
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7780/7820  
GARDEN CITY ROAD  
RICHMOND, BC  
27 TOWNHOUSES  
FOR BOOKER GROUP

F & R ELEVATIONS  
BLOCK 1

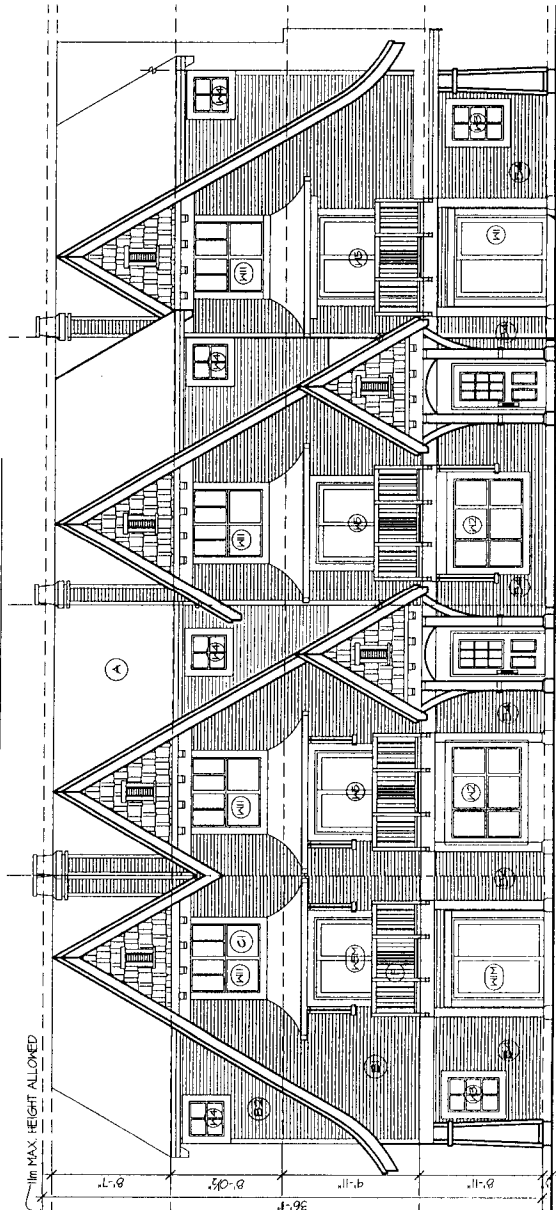
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CADD FILE: [Name]  
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DP02-203209 4 A-4.01



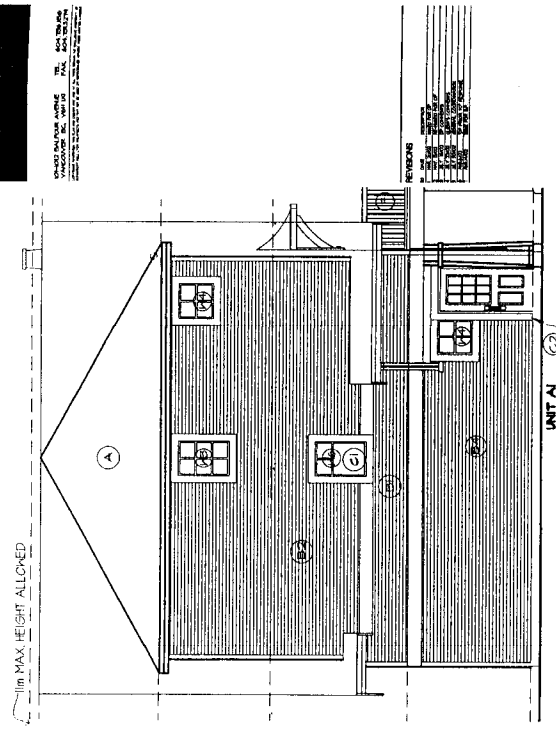
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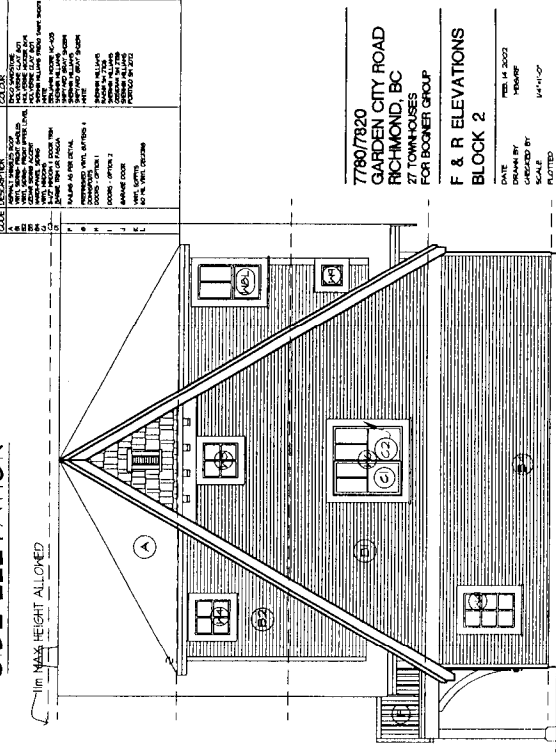
1m MAX. HEIGHT ALLOWED

INTERIOR ELEVATION



1m MAX. HEIGHT ALLOWED

SIDE ELEVATION



1m MAX. HEIGHT ALLOWED

SIDE ELEVATION

**EXTERIOR FINISHES**

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96	PAINTED ALUMINUM
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98	PAINTED ALUMINUM
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100	PAINTED ALUMINUM

77807820  
GARDEN CITY ROAD  
RICHMOND, BC  
27 TOWNHOUSES  
FOR BOONER GROUP

F & R ELEVATIONS  
BLOCK 2

DATE: FEB 14 2002  
DRAWN BY: HANCOCK  
CHECKED BY: JAH/107  
SCALE: AS SHOWN  
PLOT DATE: 02/14/02  
JOB NO: 0201

5  
A-4.02

DP02-203209

ELEVATIONS BLOCK 2

7760/7820  
 GARDEN CITY ROAD  
 RICHMOND, BC  
 27 TOWNHOUSES  
 FOR BOOKER GROUP

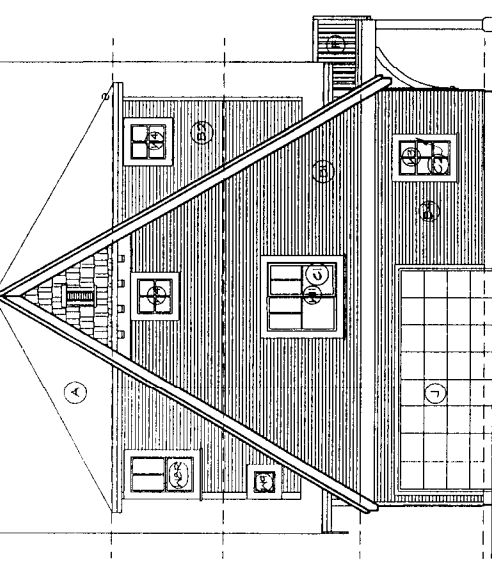
DATE: FEB 14 2002  
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 SCALE: 1/4" = 1'-0"  
 PLOTTED: CAD FILE  
 ELEVATIONS: 0201  
 JOB NUMBER:

7760/7820  
 GARDEN CITY ROAD  
 RICHMOND, BC  
 27 TOWNHOUSES  
 FOR BOOKER GROUP

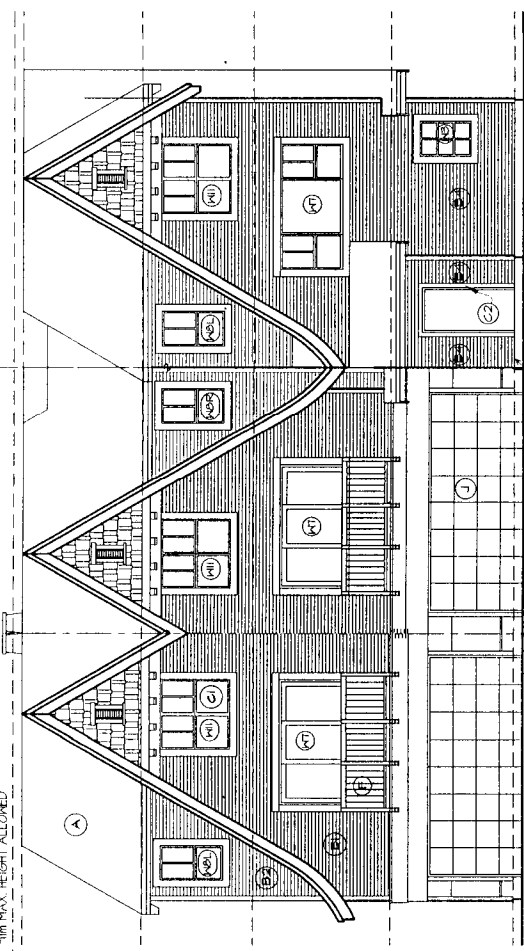
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 PLOTTED: CAD FILE  
 ELEVATIONS: 0201  
 JOB NUMBER:

7760/7820  
 GARDEN CITY ROAD  
 RICHMOND, BC  
 27 TOWNHOUSES  
 FOR BOOKER GROUP

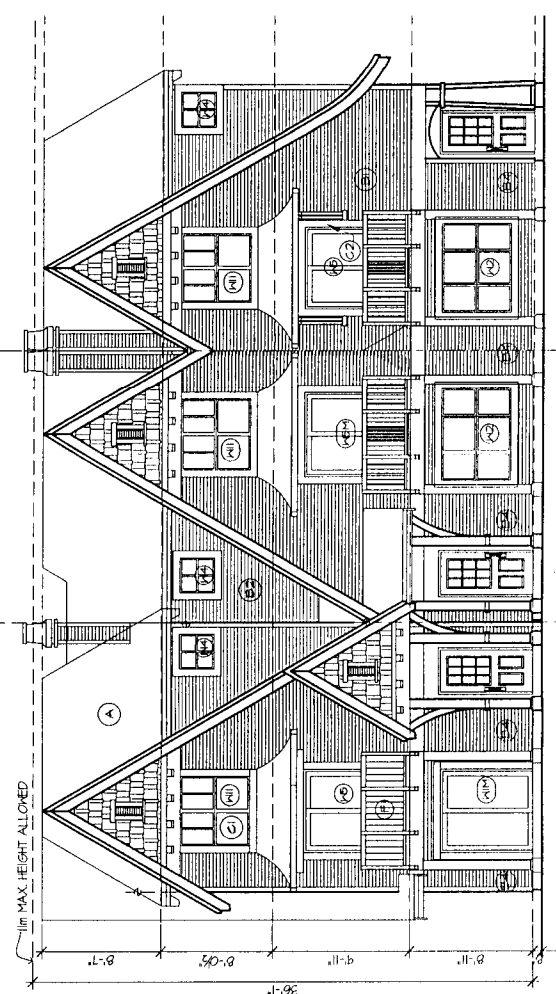
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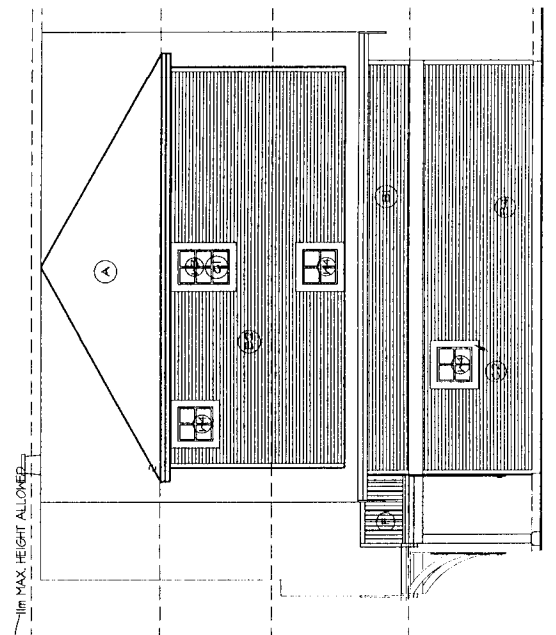
UNIT A2  
 SIDE ELEVATION



UNIT A  
 INTERIOR ELEVATION



UNIT A  
 FRONT ELEVATION



UNIT B  
 SIDE ELEVATION

ELEVATIONS BLOCK 3

DP02-203209

6

A-4.03

EXTERIOR FINISHES

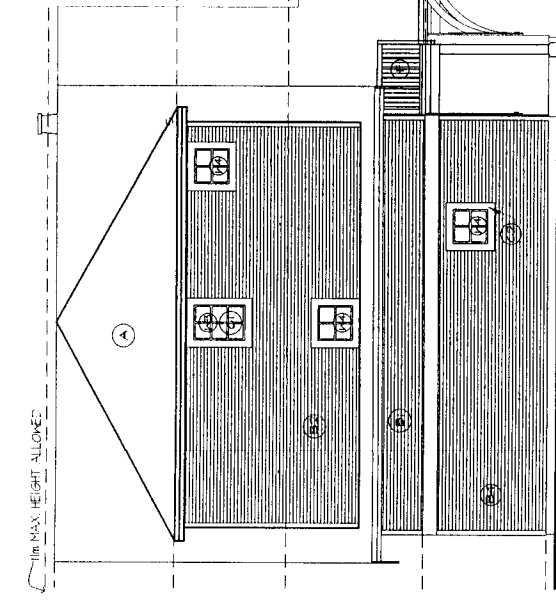
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2	WALLS	PLASTER
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7760/7820  
 GARDEN CITY ROAD  
 RICHMOND, BC  
 27 TOWNHOUSES  
 FOR BOOKER GROUP

F & R ELEVATIONS  
 BLOCK 3

DATE: FEB 14 2002  
 CHECKED BY: HERRICK  
 SCALE: 1/4" = 1'-0"  
 PLOTTED: CAD FILE  
 ELEVATIONS: 0201  
 JOB NUMBER:

7/20/2019 10:00 AM  
 7/20/2019 10:00 AM  
 7/20/2019 10:00 AM  
 7/20/2019 10:00 AM



UNIT B  
 SIDE ELEVATION

**EXTERIOR FINISHES**

CODE	DESCRIPTION	LOCATION
1	CLAY TILE	ROOF
2	CONCRETE	FOUNDATION
3	BRICK	CHIMNEY
4	WOOD SHAKES	ROOF
5	WOOD SHAKES	ROOF
6	WOOD SHAKES	ROOF
7	WOOD SHAKES	ROOF
8	WOOD SHAKES	ROOF
9	WOOD SHAKES	ROOF
10	WOOD SHAKES	ROOF
11	WOOD SHAKES	ROOF
12	WOOD SHAKES	ROOF
13	WOOD SHAKES	ROOF
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17	WOOD SHAKES	ROOF
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98	WOOD SHAKES	ROOF
99	WOOD SHAKES	ROOF
100	WOOD SHAKES	ROOF

7780/7820  
 GARDEN CITY ROAD  
 RICHMOND, BC  
 27 TOWNHOUSES  
 FOR BOOKER GROUP

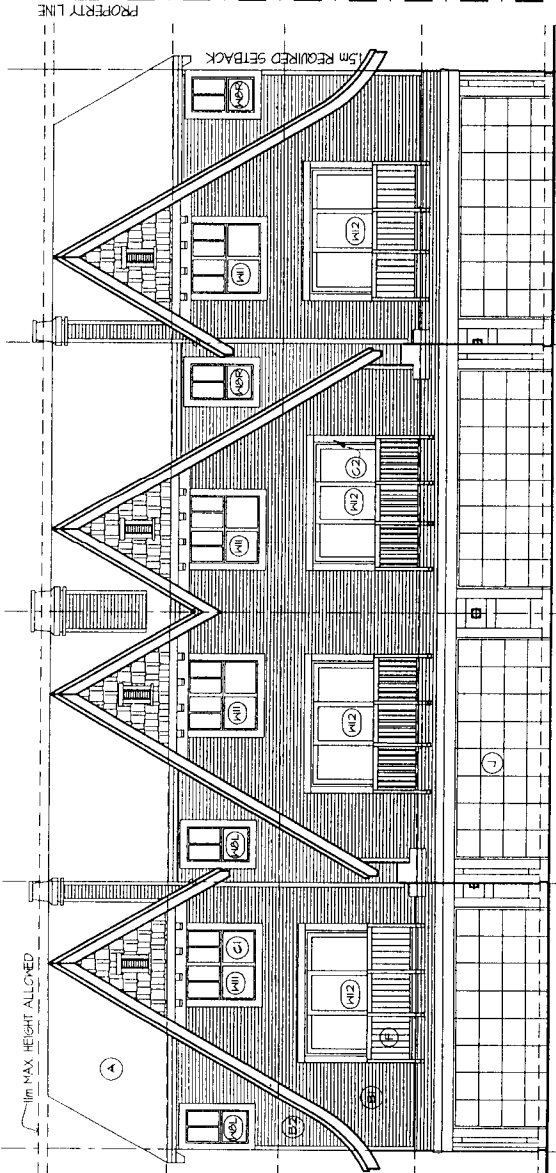
F & R ELEVATIONS  
 BLOCK 4

DATE: 07/20/2019  
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 JOB NUMBER: 0201

A-4.04

7

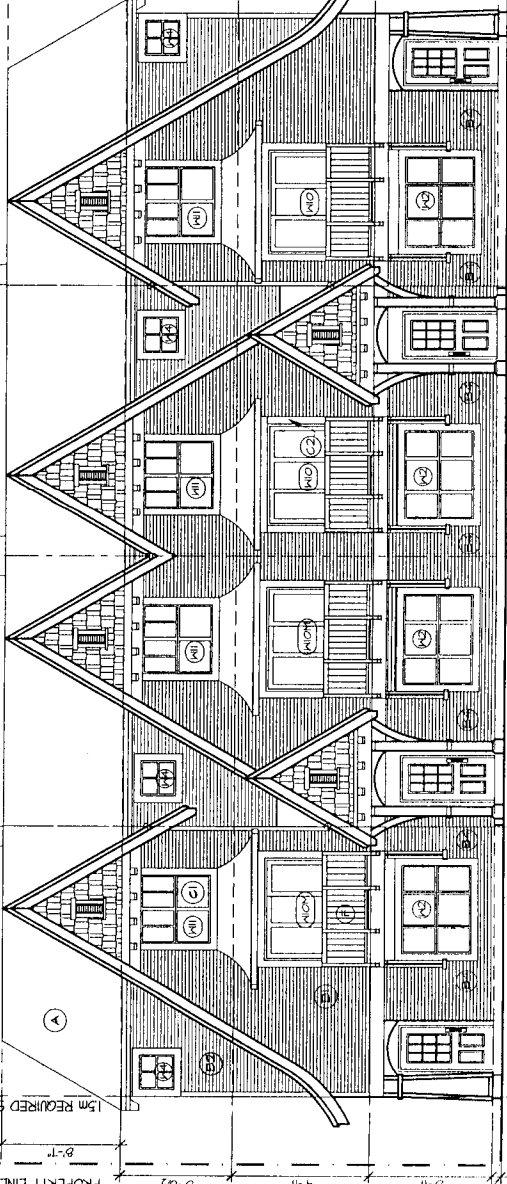
DP02-203209



UNIT B  
 INTERIOR ELEVATION

**EXTERIOR FINISHES**

CODE	DESCRIPTION	LOCATION
1	CLAY TILE	ROOF
2	CONCRETE	FOUNDATION
3	BRICK	CHIMNEY
4	WOOD SHAKES	ROOF
5	WOOD SHAKES	ROOF
6	WOOD SHAKES	ROOF
7	WOOD SHAKES	ROOF
8	WOOD SHAKES	ROOF
9	WOOD SHAKES	ROOF
10	WOOD SHAKES	ROOF
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99	WOOD SHAKES	ROOF
100	WOOD SHAKES	ROOF



UNIT B  
 FRONT ELEVATION

UNIT B

UNIT B

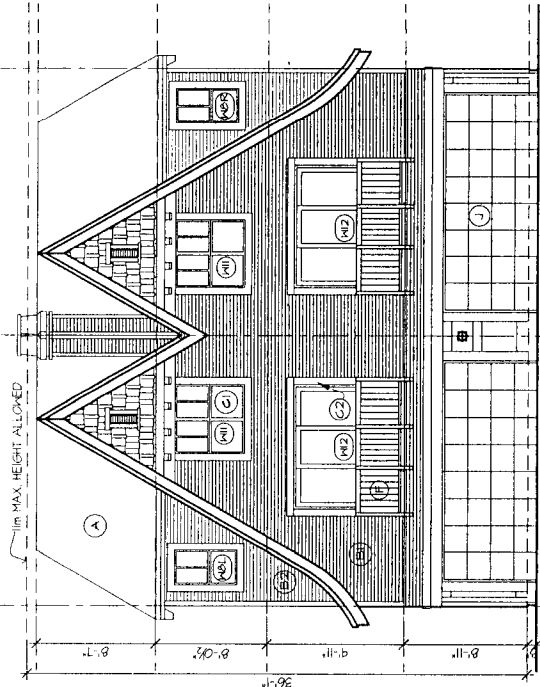
UNIT B  
 SIDE ELEVATION

ELEVATIONS BLOCK 4



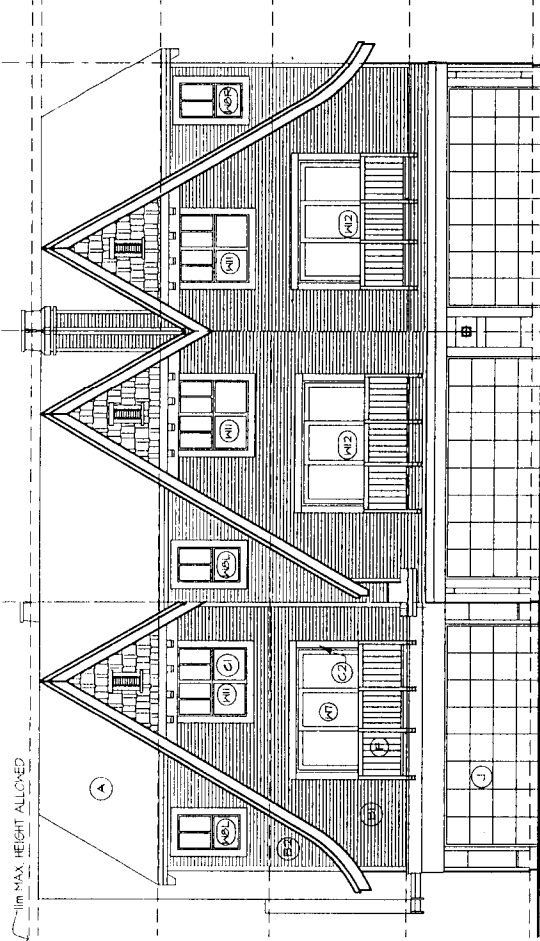






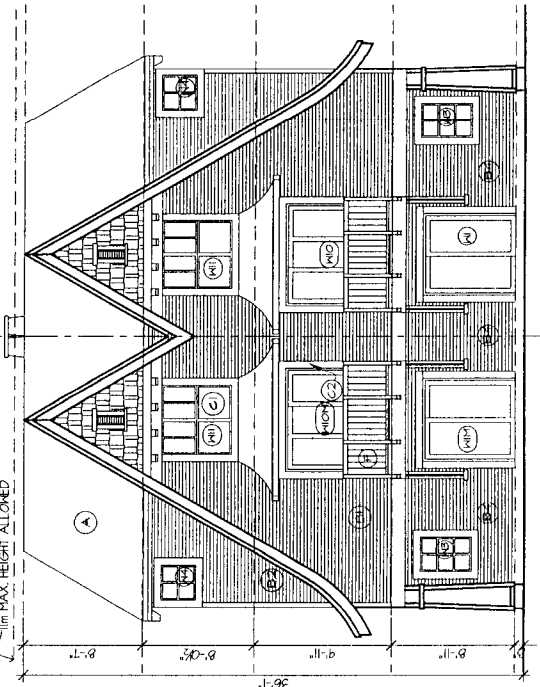
UNIT B  
FRONT ELEVATION

ELEVATIONS BLOCK 8

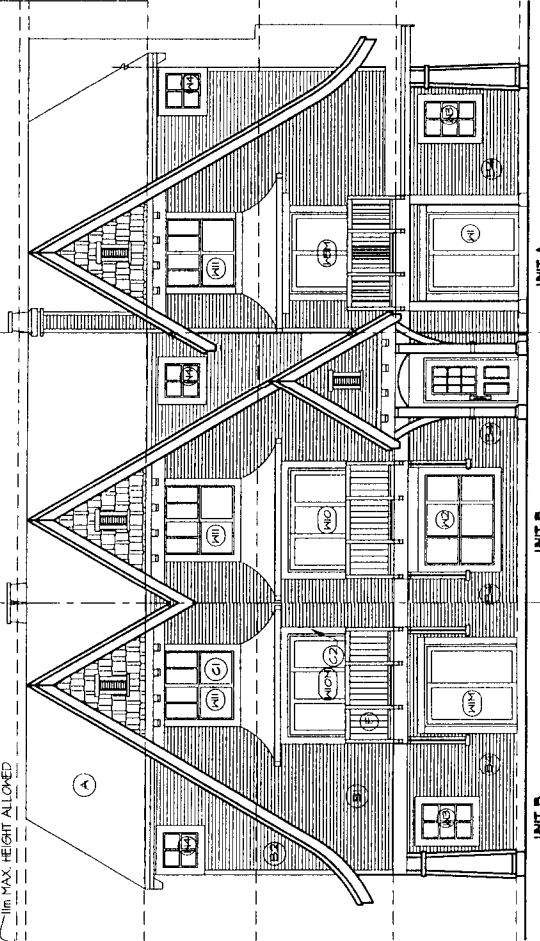


UNIT A  
FRONT ELEVATION

ELEVATIONS BLOCK 9



UNIT B  
INTERIOR ELEVATION



UNIT A  
INTERIOR ELEVATION

UNIVERSITY MICROFILMS  
SERIALS ACQUISITION  
300 N ZEEB RD  
ANN ARBOR MI 48106-1500  
TEL: 734 763 0700  
WWW.UMI.COM

REVISIONS

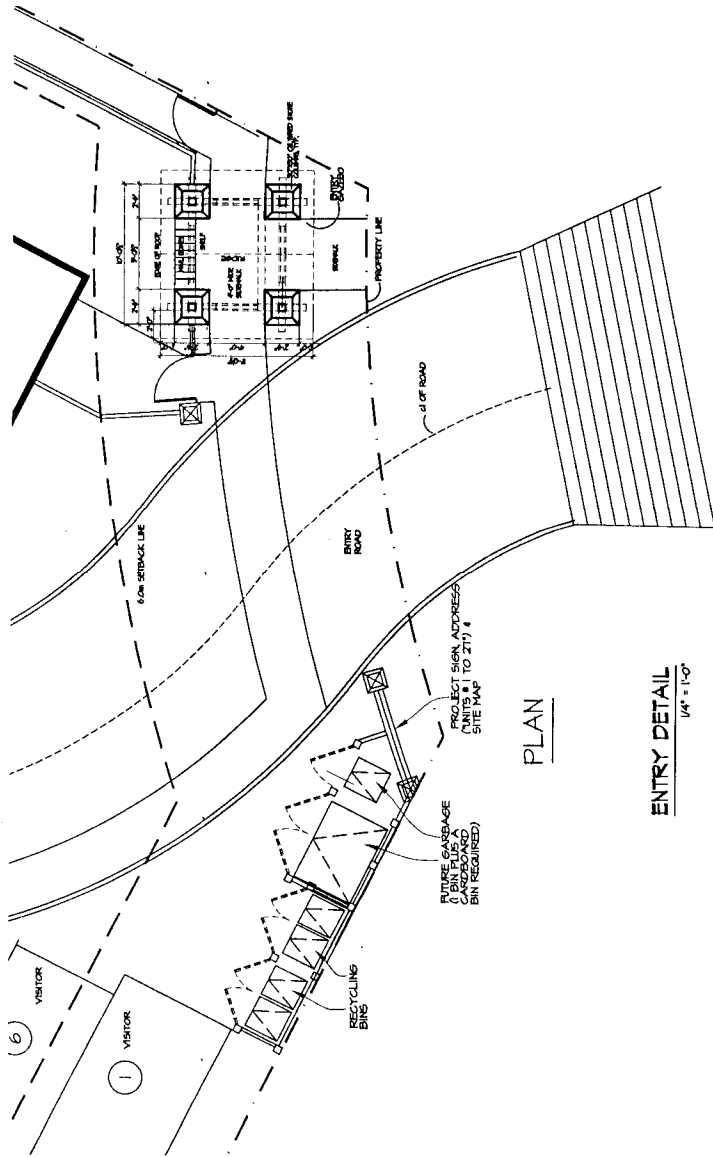
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3		
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5		
6		
7		
8		
9		
10		

EXTERIOR FINISHES

CODE	DESCRIPTION	LOCATION
1	PAINT	WALLS
2	PAINT	CEILING
3	PAINT	FLOOR
4	PAINT	ROOF
5	PAINT	CHIMNEY
6	PAINT	SCREEN DOOR
7	PAINT	SCREEN DOOR
8	PAINT	SCREEN DOOR
9	PAINT	SCREEN DOOR
10	PAINT	SCREEN DOOR
11	PAINT	SCREEN DOOR
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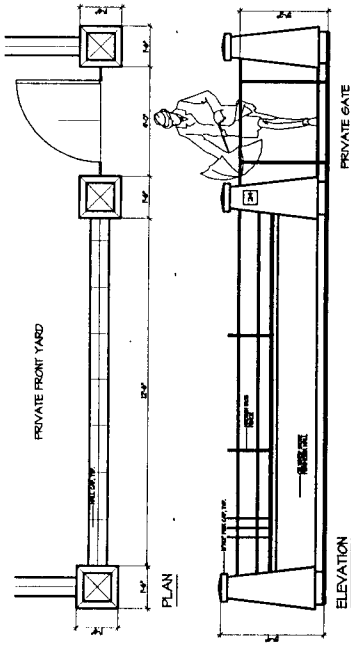
7780/7820  
GARDEN CITY ROAD  
RICHMOND, BC  
27 TOWNHOUSES  
FOR BOONER GROUP  
F & R ELEVATIONS  
BLOCK 8 & 9  
DATE: FEB. 14, 2020  
DRAWN BY: [REDACTED]  
CHECKED BY: [REDACTED]  
PROJECT NO.: [REDACTED]  
JOB NO.: 0201

A-4.07  
ELEVATIONS BLOCK 8 & 9  
2020.02.20

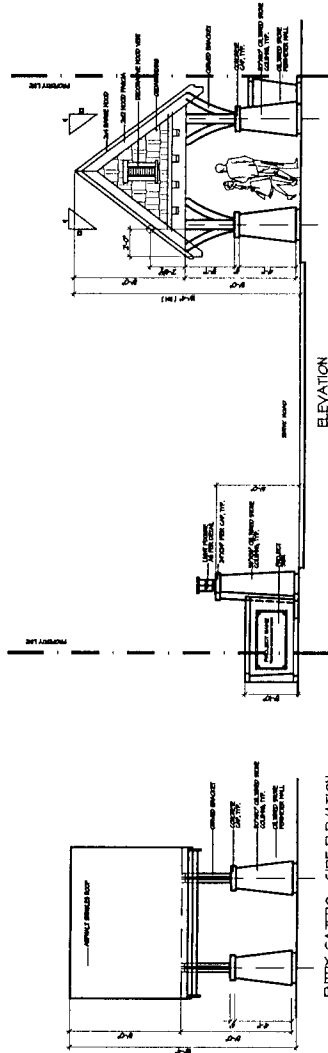


PLAN

ENTRY DETAIL  
1/4" = 1'-0"



FENCE ALONG GARDEN CITY ROAD  
1/2" = 1'-0"



KEEPER ST. ELEVATION  
1/4" = 1'-0"



DATE: 02/27/2009  
TIME: 10:00 AM  
PROJECT: 7780/7820

REVISIONS:  
NO. DESCRIPTION  
DATE

7780/7820  
GARDEN CITY ROAD  
RICHMOND, BC  
77 TOWNHOUSES  
FOR BOONEN GROUP

FENCE DETAILS  
DATE: FEB 28 2009  
DRAWN BY: AS SHOWN  
CHECKED BY: UNK  
PROJECT: UNK  
JOB FILE: UNK  
JOB NUMBER: 0201

A-6.01

DP 02 - 203209