



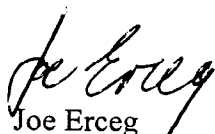
To: Development Permit Panel
From: Joe Erceg
Manager, Development Applications
Date: July 25, 2002
File: DP 01-198040
Re: **Application by Perkins & Company Architecture and Urban Design Inc. for a
Development Permit at 4388 Moncton Street**

Manager's Recommendation

That a Development Permit be issued for 4388 Moncton Street on a site zoned Comprehensive Development District (CD/101), which would allow the development of 10 townhouse units on one (1) lot containing a total floor area of 1,231.3 m² (13,254.036 ft²); and

Vary the provisions of Zoning and Development Bylaw 5300 to permit the following:

1. The projection of the roofline for three (3) gable ends to a maximum of 1.091 m (3.579 ft.) above the 9.0 m (29.528 ft.) maximum building height within 10.0 m (32.808 ft.) from the property line abutting Moncton Street;
2. The reduction of minimum total area of private outdoor space from 37 m² (398.278 ft²) to 28.427 m² (306 ft²) for six (6) townhouse units; and
3. Allow tandem vehicle parking for six (6) of the townhouse uses.


Joe Erceg
Manager, Development Applications

BFG:blg
Att.

Staff Report

Origin

Perkins & Company Architecture and Urban Design Inc. have applied to the City of Richmond for permission to develop 10 townhouse units at 4388 Moncton Street and to vary the height, private open space and parking provisions of Comprehensive Development District (CD/101). This application was reviewed by the Development Permit Panel on June 12, 2002 and referred back to staff with the following referral motion:

“That Development Permit DP 01-198040 be referred back to staff for further comparison of the requested variance projections into the setback along Moncton Street with single family homes and other projects along Moncton Street.”

A copy of the original staff report from the Urban Development Division regarding this development permit application complete with all attachments is appended to this report.

Development Information

The development information remains unchanged from the original report.

Findings of Fact

The findings of fact related to the referral of this development permit application are as follows:

1. Requested Variances

- A. The applicant has eliminated three (3) previously requested variances relating to the setback and height of the porches along Moncton Street. The following previously requested variances have been eliminated.
 2. The projection of the roofline for ten (10) entry porches either as a gable end or a shed roof to a maximum of 0.606 m (1.988 ft.) above the 5.0 m (16.404 ft.) maximum height;
 3. The projection of the roofline for ten (10) living room porches as shed roofs to a maximum of 1.302 m (4.272 ft.) above the 5.0 m (16.404 ft.) maximum height;
 4. The projection of ten (10) living room porches to a maximum of 2.438 m (8.0 ft.) into the required 6.0 m (19.685 ft.) setback along Moncton Street;

These variances have been eliminated by deleting the balconies on the south side of the townhouses and shifting the two (2) buildings south within the development parcel. All living room porches are setback greater than or equal to the minimum building setback of 6.0 m (19.685 ft.) along Moncton Street. All entry porches including stairs are setback greater than or equal to 4.877 m (16 ft.) from the property line along Moncton Street and all the dormer or shed roofs over entry porches do not project higher than the allowed 5.0 m (16.404 ft.) maximum height. The drawings have been amended to reflect the currently requested variances.

B. The applicant has reduced the extent of one (1) previously requested height variance for DP 01-198040 as follows. The applicant requests that the previously requested variance:

1. The projection of the roofline for three (3) gable ends to a maximum of **2.057 m (6.75 ft.)** above the 9.0 m (29.528 ft.) maximum building height within 10.0 m (32.808 ft.) from the property line abutting Moncton Street;

be amended to read as follows:

1. The projection of the roofline for three (3) gable ends to a maximum of **1.091 m (3.579 ft.)** above the 9.0 m (29.528 ft.) maximum building height within 10.0 m (32.808 ft.) from the property line abutting Moncton Street;

2. Comparison of setbacks with single family homes and other projects along Moncton Street

1. Existing single family lots between Railway Avenue and the eastern property boundary of the Imperial Landing development along Moncton Street:

These existing residential lots are zoned Single-Family Housing District (R1) and are a mixture of R1/A, R1/B, R1/C and R1/E. R1/A, R1/B and R1/E have a minimum 6 m (19.685 ft.) front yard setback while R1/C has a minimum 9 m (29.528 ft.) front yard setback.

2. Existing small lot single family residential between the eastern property boundary of the Imperial Landing development and Ewen Avenue on the south side of Moncton Street:

These existing single family residential lots are zoned Comprehensive Development District (CD/102) have a minimum 6 m (19.685 ft.) front yard setback along Moncton Street with the following exceptions:

PROVIDED THAT porches and verandas which form part of the principal **building**, are less than 5 m (16.404 ft.) in height, and are open on those sides which face or are visible from a **public road** or public trail may be located within the **front yard**, but shall be no closer to the **front** property line than 3 m (9.843 ft.); AND PROVIDED THAT cantilevered roofs and balconies, bay windows, unenclosed fireplaces, and chimneys forming part of the principal building may project into the front yard for a distance of not more than 0.5 m (1.640 ft.).

In addition, Council previously approved the following variances for these single-family residential lots in Development Variance Permit DVP 01-197537 that was reviewed by the Development Permit Panel on January 30, 2002.

- 1) Allow an enclosed connection between the house and the garage;
- 2) Allow the accessory garage building to be constructed to a height of 6.1 m (20 ft. 0 in.) to accommodate living space over the garage;
- 3) Allow front roof gable to project beyond the Residential Vertical Envelope (lot depth);
- 4) Allow side roof gables to project beyond the Residential Vertical Envelope (lot width);
- 5) Allow bay window to project 0.60 m (2 ft. 0 in.) into required front yard setback;
- 6) Allow bay window and corner of house to project 0.60 m (2 ft. 0 in.) into required setbacks for end lots;

- 7) Allow porch columns supporting a porch roof to project into front and side yard setback 1 m (3.28 ft.); and
 - 8) Allow fireplace/chimney enclosures to encroach 0.60 m (2.0 ft.) into required side yard.
3. In addition to the School and Public Use District (SPU) on the north side of Moncton Street commonly referred to as Steveston Park, there is also a new School and Public Use District (SPU) zoned site on the south side of Moncton Street between Ewen Avenue and No. 1 Road that was established as part of the rezoning for the former BC Packers lands (i.e. RZ 98-153805). All SPU sites have a 6 m (19.685 ft.) road setback.
 4. A portion of the block between Easthope Avenue and No. 1 Road along the south side of Moncton Street has been rezoned to Comprehensive Development District (CD/100). The setback requirements for this zone are as follows:

Buildings, Parking, and Parking Structures: 4.3 m (14.107 ft.) from **public roads**, and rights-of-ways secured under Public Rights of Passage; EXCEPT THAT where a property line abuts Moncton Street the required setback shall be 6 m (19.685 ft.); PROVIDED THAT porches and verandas which form part of the principal **building**, are less than 5 m (16.404 ft.) in height, and are open on those sides which face or are visible from a **public road** or trail may be located within the required setback, but shall be no closer to a property line or rights-of-way secured under Public Rights of Passage than 3 m (9.843 ft.); AND PROVIDED THAT cantilevered roofs and balconies, bay windows, unenclosed fireplaces, and chimneys forming part of the principal **building** may project into the required setback for a distance of not more than 0.5 m (1.640 ft.); AND FURTHER PROVIDED THAT where parking is contained within a **building** that does not project above the grade of the adjacent **public road**, or rights-of-way secured under Public Rights of Passage, no setback shall be required.

5. Summary Comparison of Setbacks between CD 101 and CD 102 along Moncton Street:

From a review of drawings, the proposed townhouse buildings related to DP 01-198040 at 4388 Moncton Street (Imperial Landing Parcel 'F5') are setback 7.849 m (25.75 ft.) from Moncton Street with no requested building setback variances. The existing buildings on the small lot single family residential lots situated at 4400 to 4468 Moncton Street and located immediately east of Bayview Street have an existing 6 m (19.685 ft.) road setback along Moncton Street. In addition these buildings have approved building setback variances along Moncton Street that permit bay window and porch column projections to a maximum of 1 m (3.28 ft.) into the required 6 m (19.685 ft.) road setback. Therefore, the existing small lot single family dwellings immediately east of Bayview Street are 1.849 m (6.065 ft.) closer to the Moncton Street than the proposed townhouse units related to DP 01-198040 at 4388 Moncton Street (Imperial Landing Parcel 'F5'). Neither the small lot single family residential nor the Parcel 'F5' townhouses require porch or veranda setbacks however the small lot single family porches extend 0.874 m (2.869 ft.) closer to Moncton Street than the townhouse porches. Refer to the following summary table.

Building and Porch Setbacks along Moncton Street	4388 Moncton Street CD 101 Imperial Landing Parcel 'F5'	4400 to 4468 Moncton Street CD 102 Small Lot Single-Family Lots
Required Minimum Building Setbacks	6 m (19.685 ft.) but Bays project 0.457 m (1.5 ft.) in accordance with CD 101	6 m (19.685 ft.)
Proposed or Actual Building Setback	7.849 m (25.75 ft.) proposed	6 m (19.685 ft.) actual
Approved Building Setback Variances	none requested	Max. Bay Window Projection 0.60 m (2 ft. 0 in.) Max. Porch Column Projection 1 m (3.28 ft.)
Required Minimum Porch Setbacks	3 m (9.843 ft.)	3 m (9.843 ft.)
Proposed or Actual Entry Porch Setback	5.055 m (16.583 ft.) proposed	4.18 m (13.714 ft.) actual no stairs required (units are proposed at grade)
Proposed or Actual Living Room Porch Setback	6.172 m (20.25 ft.) proposed	none requested
Approved Porch Variances	none requested	none requested

Staff Comments

The following is the staff assessment related to the currently requested variances to Comprehensive Development District (CD/101) under consideration as part of Development Permit Application DP 01-198040 regarding ten (10) townhouses located at 4388 Moncton Street:

1. The Moncton Street building and porch setback provisions of Comprehensive Development District (CD/101) are identical to the setback provisions of Comprehensive Development District (CD/102). Both require a 6 m (19.685 ft.) building setback and permit porches and verandas to extend within 3 m (9.843 ft.) of the property line along Moncton Street. In addition both allow cantilevered roofs and balconies, bay windows, unenclosed fireplaces and chimneys to project up to 0.5 (1.640 ft.) into required setbacks. The building faces of the townhouses within CD 101 and the single family dwellings of CD 102 are closely aligned however the existing small lot single family dwellings immediately east of Bayview Street are 1.849 m (6.065 ft.) closer to the Moncton Street than the proposed townhouse units related to DP 01-198040 at 4388 Moncton Street (Imperial Landing Parcel 'F5'). Neither the small lot single family residential nor the Parcel 'F5' townhouses require porch or veranda setbacks however the small lot single family porches extend 0.874 m (2.869 ft.) closer to Moncton Street than the townhouse porches. However, since the townhouse porches are elevated approximately 2.428 m (8 ft.) above the boulevard while the small lot single family porches are at grade.

2. The currently requested height variance to Comprehensive Development District (CD/101) regarding DP 01-198040 at 4388 Moncton Street related to related to three (3) gable ends along Moncton Street on Building 'B' are similar to the height variances recently approved for the newly constructed single family residential dwellings related to Comprehensive Development District (CD/102) as part of Development Variance Permit DVP 01-197537. DVP 01-197537 was reviewed by the Development Permit Panel on January 30, 2002 and approved by Council on February 11, 2002. Development Permit Application DP 01-198040 for 4388 Moncton Street requests 1 height variance related to the projection of three (3) gable ends along Moncton Street. The height variance for three (3) gable roof ends is supported because they add character to the exterior elevations. The requested variance that would reduced the amount of private outdoor space and the variance to permit tandem parking are identical to variances recently approved by Council at a Public Hearing on July 15, 2002 regarding DP 01-198040 for Imperial Landing Development Parcel 'F4' located at 4311 Bayview Street. Staff support the requested variances for this development permit application.

Conclusions

It is the staff evaluation that the requested height variance to Comprehensive Development District (CD/101) as part of Development Permit Application DP 010-198040 will add character to the street façade of Building 'B' along Moncton Street. With regard to the requested variances to reduce the private outdoor space and permit tandem parking, there are identical and recently approved variances for DP 01-198040 for Imperial Landing Development Parcel 'F4' located at 4311 Bayview Street. Therefore, staff supports the requested variances and recommends approval of DP 01-918040.



Brian Guzzi, Landscape Architect
Development Planner - Urban Design

BFG:blg



Development Applications Department

6911 No. 3 Road
Richmond, BC V6Y 2C1

City of Richmond

Main (604) 276-4000

Fax (604) 276-4000

DEVELOPMENT APPLICATION

Please submit this completed form to the Zoning, Land Use Planning and Development Applications Centre for each application (ie. rezoning; subdivision; development permit, etc.). All materials submitted to the City for a development application become public property, and therefore, available for public inquiry.

Please refer to the attached forms for details on application attachments and fees.

Type of Application: DP
 Property Address(es): Imperial Landing : F5 (4388 MONCTON ST)
 Legal Description(s): Lot 63, LMP 49897, Sec.11, Block 3 North

Applicant: Perkins & Company Architecture and Urban Design Inc.

Correspondence/Calls to be directed to:

Name: John Perkins Jr.

Address: 1498 West Fifth Avenue, Vancouver, BC

V6H 4G13

Tel. No.: (604) 685-2428
Business

(604) 240-0069
Residence

(604) 685-2467
Postal Code Fax

Property Owner(s) Signature(s): _____

Please print name

or

Authorized Agent's Signature: _____

Attach Letter of Authorization

Please print name

FOR OFFICE USE	
Date Received: <u>Dec 3/01</u>	Application Fee: <u>\$1,470.00</u>
File No.: <u>01-198040 DP</u> <small>Only assign if application is complete</small>	Receipt No.: <u>04-0074817</u>



No. DP 01-198040

To the Holder: PERKINS & COMPANY ARCHITECTURE AND
URBAN DESIGN INC.

Property Address: 4388 MONCTON STREET

Address: C/O MR. JOHN PERKINS JR.
1498 WEST FIFTH AVENUE
VANCOUVER, BC V6H 4G3

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning and Development Bylaw No. 5300" is hereby varied or supplemented as follows:
 - a) The dimension and siting of buildings and structures on the land shall be generally in accordance with Plan #1 attached hereto.
 - b) The siting and design of off-street parking and loading facilities shall be generally in accordance with Plans #1 and #2 attached hereto.
 - c) Landscaping and screening shall be provided around the different uses generally in accordance with the standards shown on Plan #2 attached hereto.
 - d) Roads and parking areas shall be paved in accordance with the standards shown on Plans #1 and #2 attached hereto.
 - e) Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
 - f) Subject to Section 692 of the Local Government Act, R.S.B.C., the building shall be constructed generally in accordance with Plans #1 to #4 attached hereto.
4. As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder, or should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.

To the Holder: PERKINS & COMPANY ARCHITECTURE
AND URBAN DESIGN INC.

Property Address: 4388 MONCTON STREET

Address: C/O MR. JOHN PERKINS JR.
1498 WEST FIFTH AVENUE
VANCOUVER, BC V6H 4G3

There is filed accordingly:

An Irrevocable Letter of Credit in the amount of \$26,508.00.

5. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO. _____
DAY OF _____, _____.

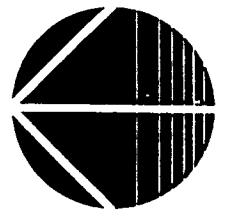
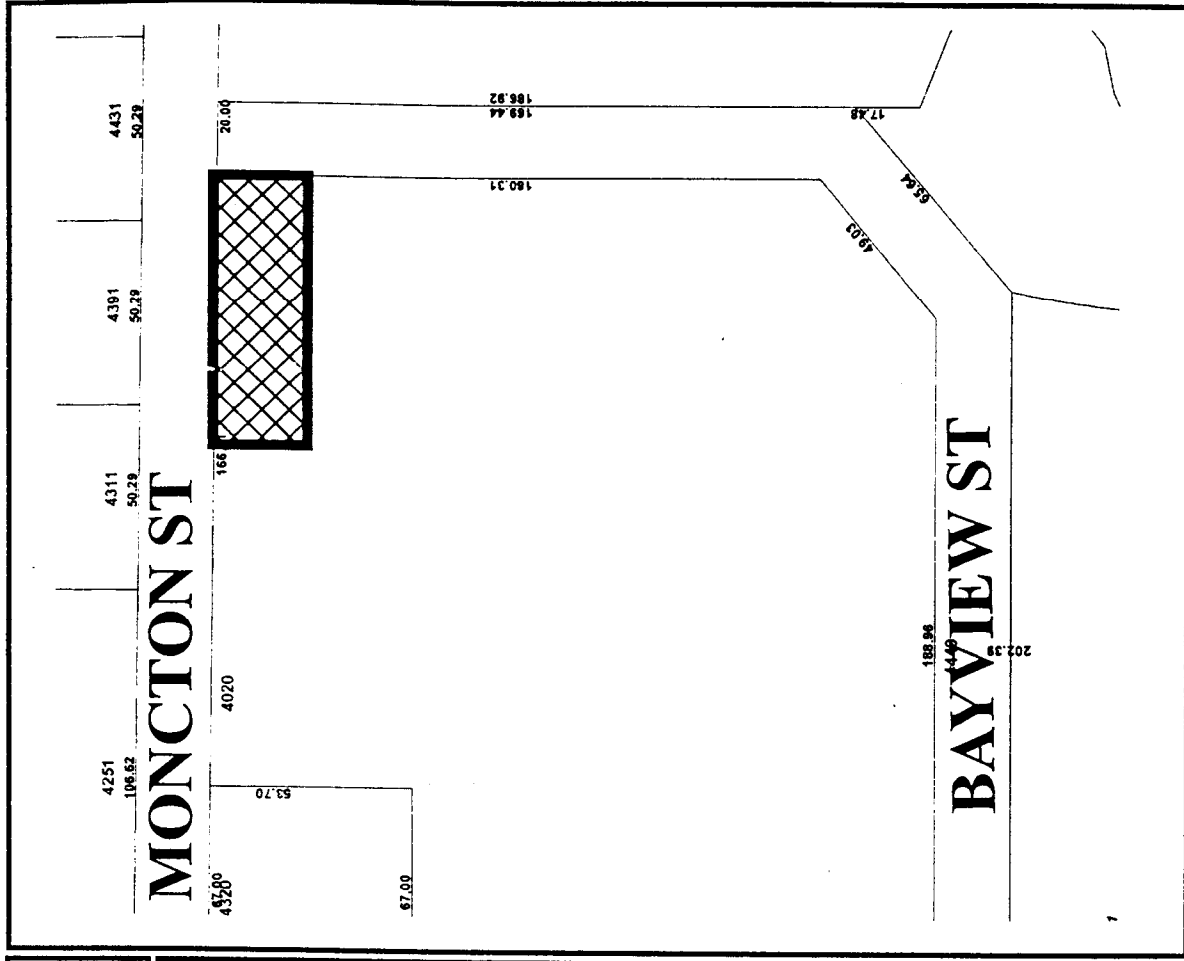
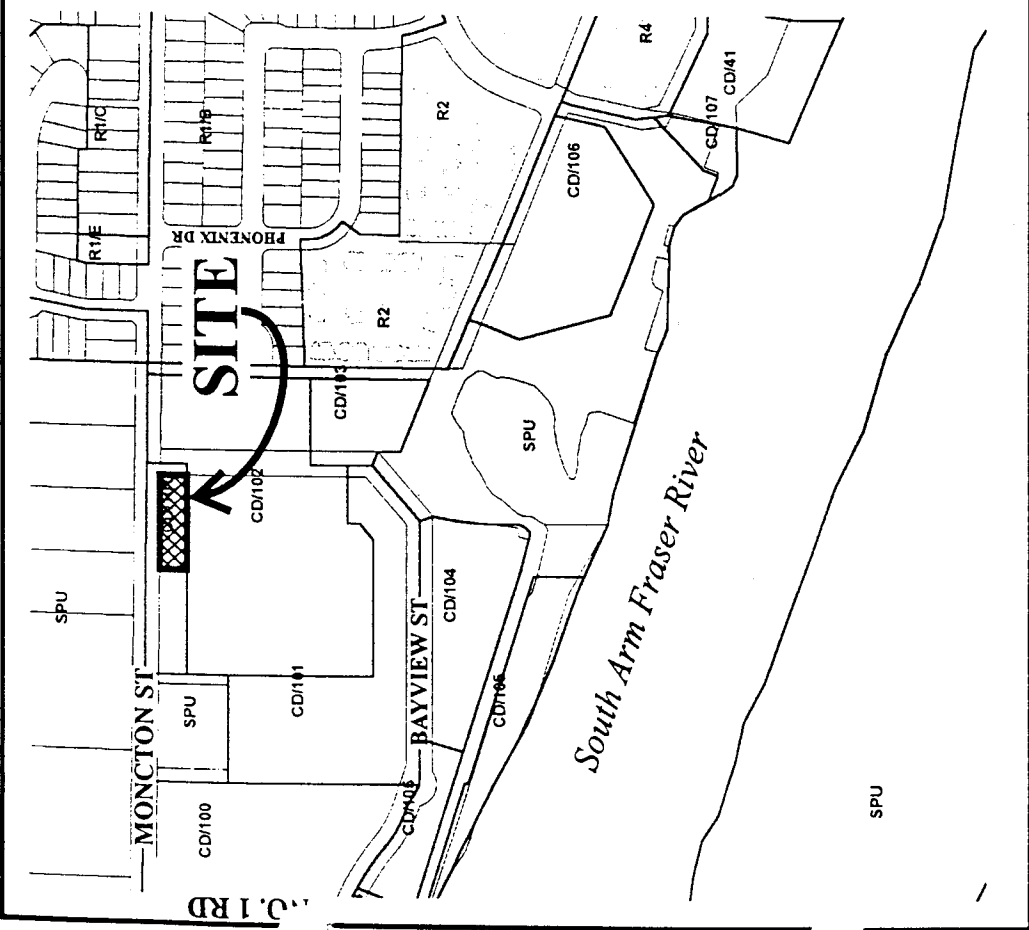
ISSUED BY THE COUNCIL THE

DELIVERED THIS _____ DAY OF _____, _____.

MAYOR



City of Richmond



DP 01-198040 SCHEDULE "A"

Original Date: 12/11/01
 Revision Date:
 Note: Dimensions are in METRES

PARCEL ZONING REQUIREMENTS
 ZONING: COV10
 MAXIMUM LOT COVERAGE: 70.0 %
 MAXIMUM BUILDING HEIGHT: 12m (39.370 ft)
 MAXIMUM BUILDING FOOTPRINT: 10% of a property line abutting a public street
 MINIMUM LOT AREA: 10,000 sq. ft. (2,925.8 sq. m)
 MINIMUM LOT AREA: 10,000 sq. ft. (2,925.8 sq. m)
 OUTDOOR SPACE: 37 sq. m. (356.278 sq. ft.) per dwelling unit

DEVELOPMENT PROGRAM
 TOTAL SITE AREA = 17,295 sq. m. (10,924.34 sq. ft.)
 TOTAL BUILDABLE AREA = 11,259 sq. m. x 0.70 = 7,881.3 sq. m. (10,254.0 sq. ft.)
 UNIT MIX:
 2 THREE BEDROOM UNIT W/ DEN
 2 THREE BEDROOM UNITS
 6 TWO BEDROOM UNITS
 81 TYPICAL UNITS
 TOTAL BUILDING AREA = 13,254.0 sq. ft.

PARKING STATISTICS
 8-5 SPACES/PARKING REQUIREMENT
 VISITOR PARKING REQUIREMENT
 TOTAL PARKING SPACES REQUIRED = 17 SPACES/UNIT
 PARKING SPACES PROVIDED PER UNIT
 TOTAL PARKING SPACES ON PARCEL: 14
 10 UNITS x 2.0 = 20 SPACES
 VISITOR PARKING REQUIREMENT
 10 UNITS x 1.0 = 10 SPACES REQUIRED
 VISITOR PARKING PROVIDED: 2 SPACES

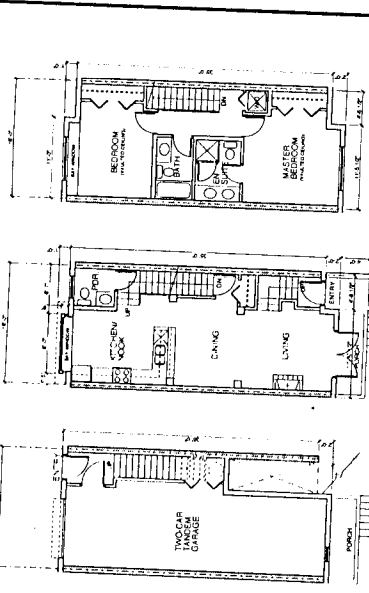
LOT COVERAGE
 LOT COVERAGE = 34.04 %

JUL 26 2002
DP 01-198040

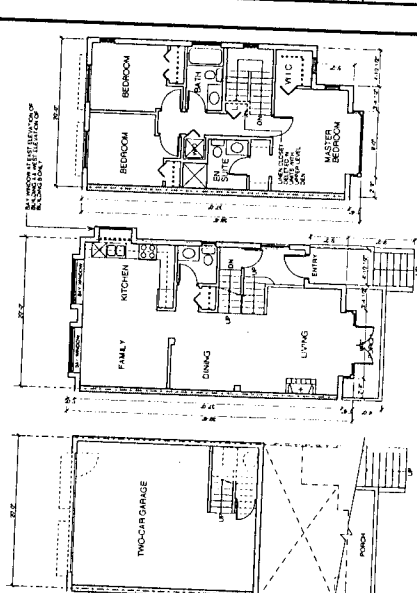
RE-DESIGNED FOR DEVELOPMENT PERMIT	JAN 25 2002
RE-DESIGNED FOR DEVELOPMENT PERMIT	APR 14 2002
RE-DESIGNED FOR DEVELOPMENT PERMIT	APR 16 2002
RE-DESIGNED FOR DESIGN PANEL	FEBRUARY 22 2002
RE-DESIGNED FOR DESIGN PANEL	JANUARY 21 2002
RE-DESIGNED FOR DEVELOPMENT PERMIT	NOVEMBER 30 2001
RE-DESIGNED FOR DEVELOPMENT PERMIT	NOVEMBER 15 2001
DATE	

Perkins & Company
 Architecture and Urban Design Inc.
 1000 West 10th Ave.
 Suite 100
 Vancouver, BC V6H 2Y4
 Tel: (604) 681-1111
 Fax: (604) 681-1112
 www.perkinsandcompany.com

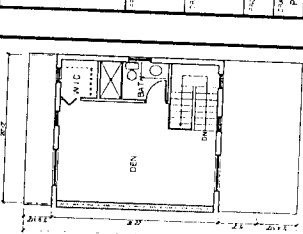
IMPERIAL LANDING AT STEVESTON	
PARCEL F5 SITE / UNIT PLANS	
SCALE	AS SHOWN
DATE	2002
PROJECT	IMPERIAL LANDING AT STEVESTON
CLIENT	IMPERIAL LANDING AT STEVESTON
DESIGNER	PERKINS & COMPANY
DATE	NOVEMBER 15 2001
SCALE	AS SHOWN
PROJECT	IMPERIAL LANDING AT STEVESTON
CLIENT	IMPERIAL LANDING AT STEVESTON
DESIGNER	PERKINS & COMPANY
DATE	NOVEMBER 15 2001



LOWER LEVEL - 433.0 sq. ft.
 MAIN LEVEL - 540.0 sq. ft.
TWO BEDROOM TOWNHOUSE - 16'-0" WIDE MODULE -
TOTAL FLOOR AREA = 1,132.0 sq. ft.



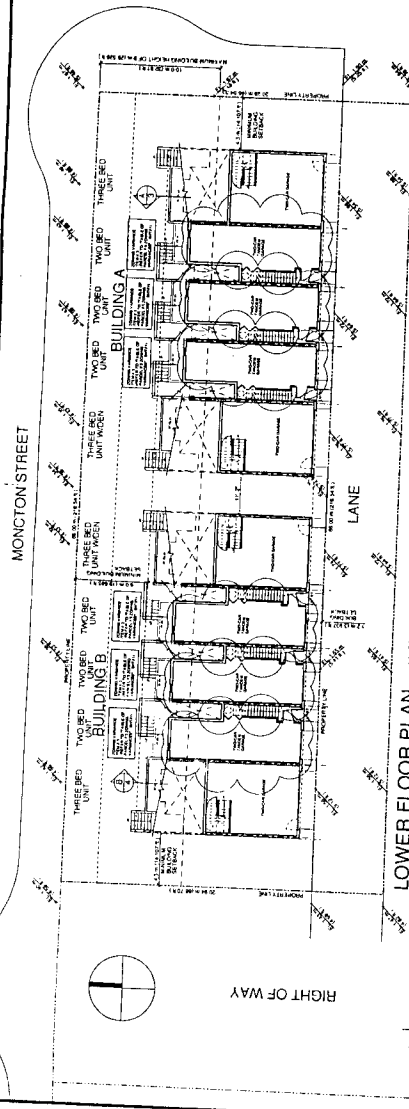
LOWER LEVEL - 613.0 sq. ft.
 MAIN LEVEL - 676.0 sq. ft.
THREE BEDROOM TOWNHOUSE -
20'-0" WIDE MODULE -
TOTAL FLOOR AREA = 1,419.0 sq. ft.



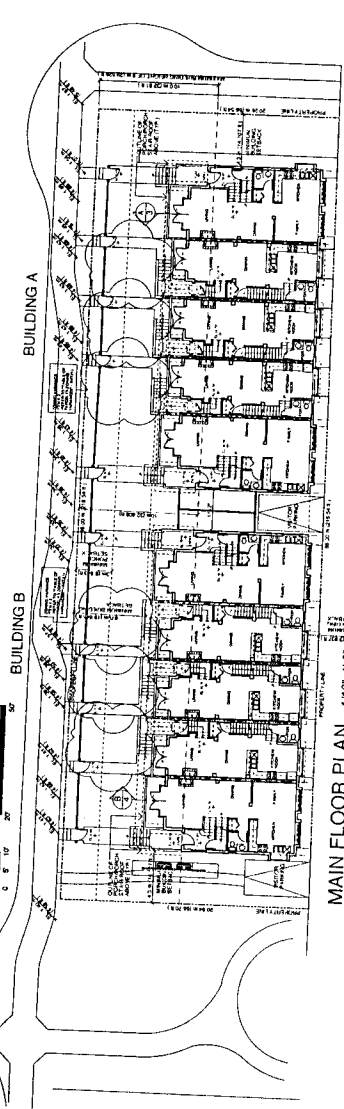
UPPER LEVEL - 399.0 sq. ft.

THREE BEDROOM TOWNHOUSE -
20'-0" WIDE MODULE -
WITH UPPER LEVEL DEN
TOTAL FLOOR AREA = 1,812.0 sq. ft.

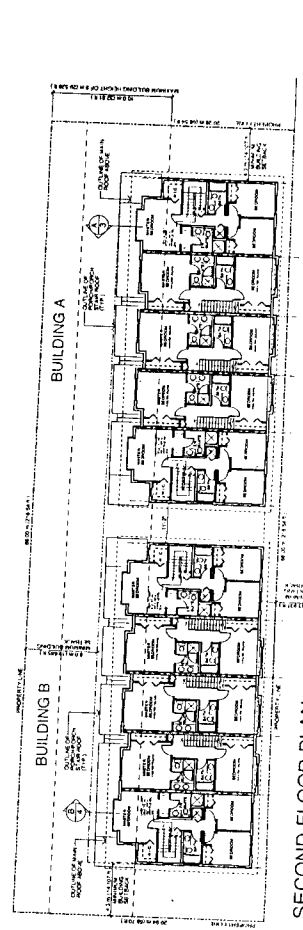
TYPICAL UNIT PLANS 1/8" = 1'-0"
 0 5 10 20



LOWER FLOOR PLAN 1/16" = 1'-0"



MAIN FLOOR PLAN 1/16" = 1'-0"



SECOND FLOOR PLAN 1/16" = 1'-0"



UPPER FLOOR PLAN 1/16" = 1'-0"

DP 01-198040

JUL 26 2002



SEE P&A DWG.
SEE P&A DWG.

IMPERIAL LANDSCAPE ARCHITECTS
3180 BURN STREET
VANCOUVER, BC V6L 2L4
TEL: 604.273.4335
FAX: 604.273.4336
E-MAIL: INFO@IJA.CA



IJA & ASSOCIATES
LANDSCAPE ARCHITECTS
3180 BURN STREET
VANCOUVER, BC V6L 2L4
TEL: 604.273.4335
FAX: 604.273.4336
E-MAIL: INFO@IJA.CA

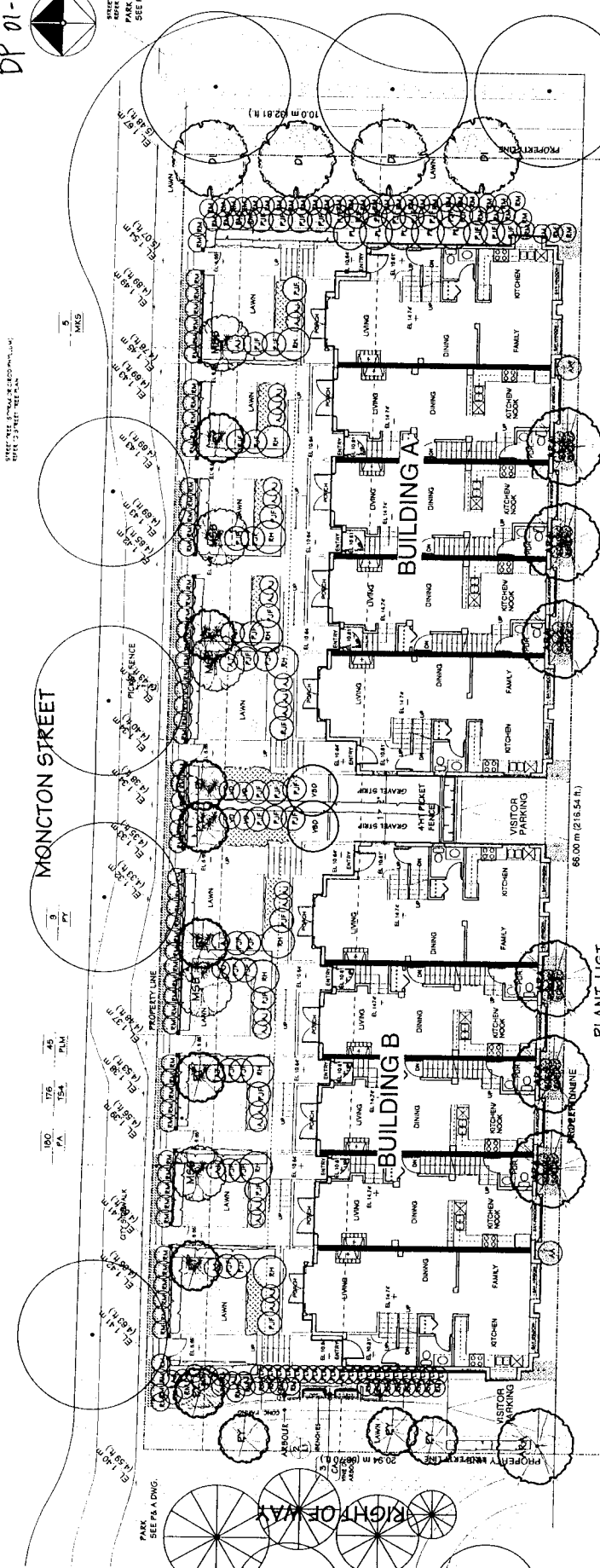
Project: **IMPERIAL LANDING PARCEL F5**
RICHMOND B.C.

Drawn By: _____
Landscape Plan

#2

NO.	DATE	DESCRIPTION
1	10/15/01	PRELIMINARY PLAN
2	07/26/02	FINAL PLAN

L1 of 1



LANE

COMMON NAME	SIZE
ARMSTRONG MAPLE	8.0m - CAL. 8.0m - STD.
DOVE TREE	6.0m - CAL. 6.0m - STD.
SIAM MAHONIA	1.5m - HT. 8.5m
EMERALD CEDAR	6.0m - CAL. 6.5m - STD.
SASKATCHEWAN BERRY	4.5m - STD.
WHITE HAZEL	4.5m - STD.
LYLY OF THE VALLEY	4.5m - STD.
RUBBIA LAUREL	4.5m - STD.
PHODODENDRON	1.5m - HT.
W. OLEANDER	4.5m - STD.
DAFFODIL	4.5m - STD.
SPANISH BELL	2.0m - HT.

PLANT LIST

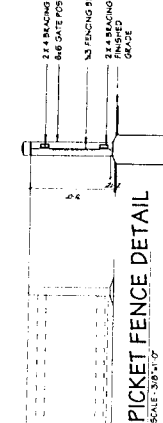
KEY	CITY	BOTANICAL NAME
7	AKER	RUBRUM 'ARMSTRONG'
4	DIVIA	INDIVIDUALIA
W35	11	FRUNUS VERDIBIS 'ALEXAND'
TS4	223	THUJA OCCIDENTALIS 'SMARAGD'
A1	36	AZALEA JAPONICA 'M'
EC	36	ERICA CARNEA
PJ2	50	PIREJA JAPONICA 'FOREST FLAME'
FL	5	FRUNUS LUSITANICA 'REYNARD'
R4	10	RHOODODENDRON 'M'
W	123	W. OLEANDER
D	2	DAFFODIL
W35	2	W. OLEANDER 'BONNANTESE DAWN'

GROUND COVERS

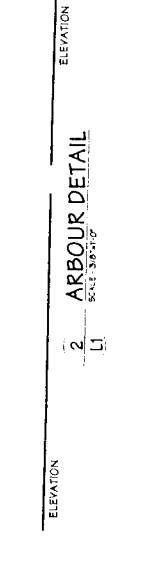
AU1	225	ACTINOPHYLLON UVA LISA
PA	100	PACHYCLADIA TERMINALIS
PA	100	PACHYCLADIA TERMINALIS 'SPIDER'
CA	3	CELANDES ARABANDI
PERENNIALS/ANNUALS/FERNS/GRASSES/AGUATIC PLANTS		
PL	36	POLYSTICHUM MUNITZUM
ANN	100	ANNUALS 'M'
PER	100	PERENNIALS 'M'

VINES

CA	3	CELANDES ARABANDI
PERENNIALS/ANNUALS/FERNS/GRASSES/AGUATIC PLANTS		
PL	36	POLYSTICHUM MUNITZUM
ANN	100	ANNUALS 'M'
PER	100	PERENNIALS 'M'



PICKET FENCE DETAIL
SCALE: 3/8" = 1'-0"



ARBOUR DETAIL
SCALE: 3/8" = 1'-0"

NOTES:
 ** SPECIES SPECIES AND MEETRY TO BE APPROVED BY THE LANDSCAPE ARCHITECT.
 ALL MATERIALS AND EXECUTION SHALL BE IN ACCORDANCE TO THE MOST RECENT BRITISH COLUMBIA LANDSCAPE STANDARDS.
 PLANTS IN THIS LIST ARE SPECIFIED ACCORDING TO THE CITY STANDARDS FOR NURSERY STOCK AND THE SOLA STANDARDS FOR CONTAINER GROWN PLANTS.
 ALL PLANT QUANTITY DISCREPANCIES BETWEEN PLAN AND PLANT LIST SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO SUBMITTING BIDS.
 ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR ONE FULL YEAR FROM THE DATE OF SUBSTANTIAL PERFORMANCE. SUBSTANTIAL PERFORMANCE SHALL BE DEFINED AS THE DATE THE CONTRACT HAS BEEN COMPLETED TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT.
 THE CONTRACTOR SHALL MAINTAIN ACCORDANCE TO THE LANDSCAPE STANDARDS UNTIL THE WORK IS HAND OVER TO THE OWNER.

- ESTIMATOR: FRANK MATEJKA, L.L.E.S.D.C.
- 1) ARCHITECT: PERKINS & COMPANY
 - 2) PROJECT NO.: 2188
 - 3) PROJECT NAME: IMPERIAL LANDING AT STEVESTON
 - 4) DRAWING NO.: 3
 - 5) DATE: 07/26/2002
 - 6) DRAWN BY: J. B. [unreadable]
 - 7) CHECKED BY: J. B. [unreadable]
 - 8) SCALE: 1/8" = 1'-0"
 - 9) SHEET NO.: 3

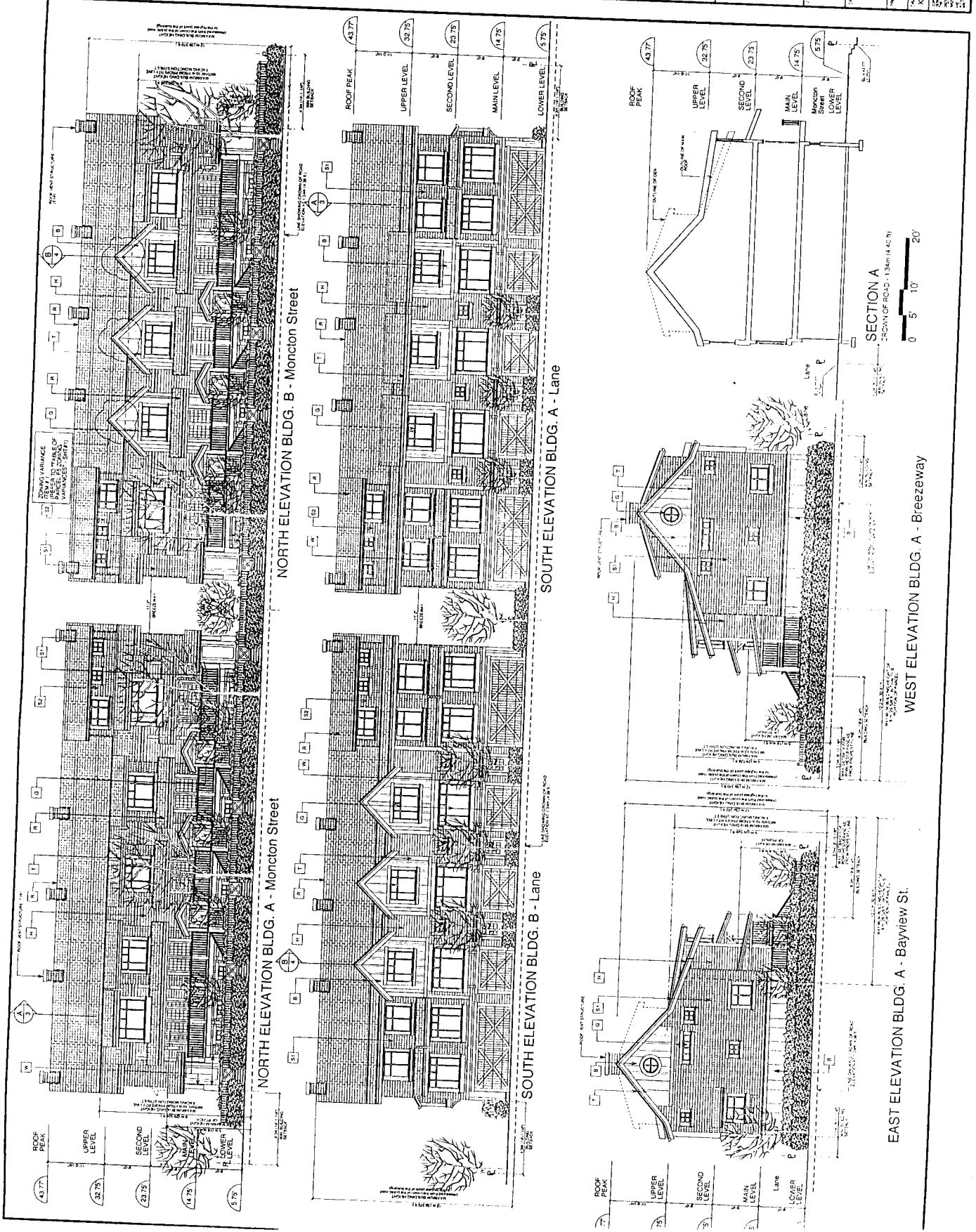
JUL 26 2002
DP 01-198040

#3

NO.	DATE	DESCRIPTION
1	07/26/2002	ISSUED FOR PERMITS
2	08/14/2002	ISSUED FOR PERMITS
3	08/14/2002	ISSUED FOR PERMITS
4	08/14/2002	ISSUED FOR PERMITS
5	08/14/2002	ISSUED FOR PERMITS
6	08/14/2002	ISSUED FOR PERMITS
7	08/14/2002	ISSUED FOR PERMITS
8	08/14/2002	ISSUED FOR PERMITS
9	08/14/2002	ISSUED FOR PERMITS
10	08/14/2002	ISSUED FOR PERMITS

Perkins & Company
Architecture and Urban Design Inc.
1740 University Ave.
Vancouver, BC V6L 2E6
Tel: 604.681.2222
Fax: 604.681.2223
www.perkinsandcompany.com

PROJECT TITLE		IMPERIAL LANDING AT STEVESTON
PROJECT NO.		2188
DRAWING NO.		3
SCALE		1/8" = 1'-0"
SHEET NO.		3
DATE		07/26/2002



EXTERIOR FINISH MATERIALS LEGEND

(1)	SINGLE SIDING Barnwood Shingles 2 1/2" x 5" "Slate Green" Slate Green 1/2" x 3" "Slate Green" Slate Green 1/2" x 3" "Slate Green"
(2)	CORNER SIDING Slate Green 1/2" x 3" "Slate Green"
(3)	WOOD TRIM Dark Stain Pine Dark Stain Pine Dark Stain Pine
(4)	PAINT White White White
(5)	ROOFING Asph/Flt Shingles Asph/Flt Shingles Asph/Flt Shingles
(6)	ROOFING & DOWNSPOUTS Asph/Flt Shingles Asph/Flt Shingles Asph/Flt Shingles

JUL 26 2002
DP 01-198040

#4

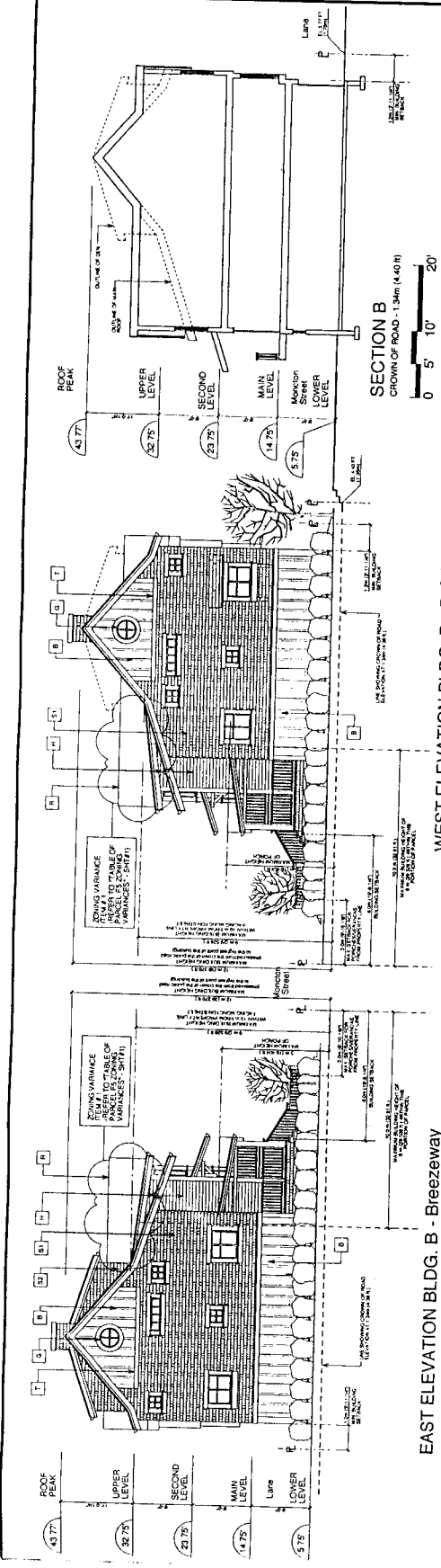
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RECEIVED FOR DEVELOPMENT PERMIT	NOV 26 2002
RECEIVED FOR DESIGN PANEL	NOV 26 2002
RECEIVED FOR DESIGN PANEL	NOV 26 2002
RECEIVED FOR DEVELOPMENT PERMIT	NOV 26 2002
RECEIVED FOR DEVELOPMENT PERMIT	NOV 26 2002
DATE	

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Architecture and Urban Design
2000 Bay Street, Suite 200
Baltimore, MD 21201
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PROJECT TITLE
IMPERIAL LANDING
AT STEVESTON

COMPANY TITLE
ARCHITECT

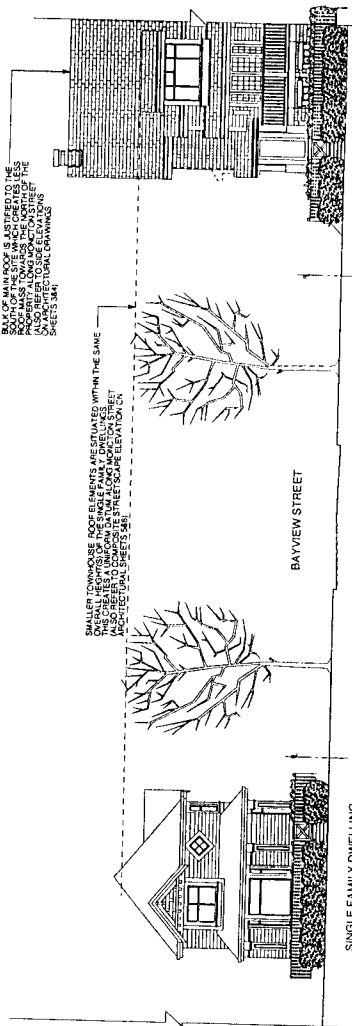
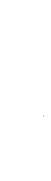
PARCEL F5 ELEVATIONS & SECTION	
PROJECT NO.	2198
TOWN	IMPERIAL
DATE	NOV 26 2002
SCALE	1/8" = 1'-0"
DRAWING NO.	4



EAST ELEVATION BLDG. B - Breezeway

WEST ELEVATION BLDG. B - R.O.W.

SECTION B
CROWN OF ROAD - 1.34m (4.40 ft)



STUDY SECTION/ELEVATION THROUGH BAYVIEW STREET

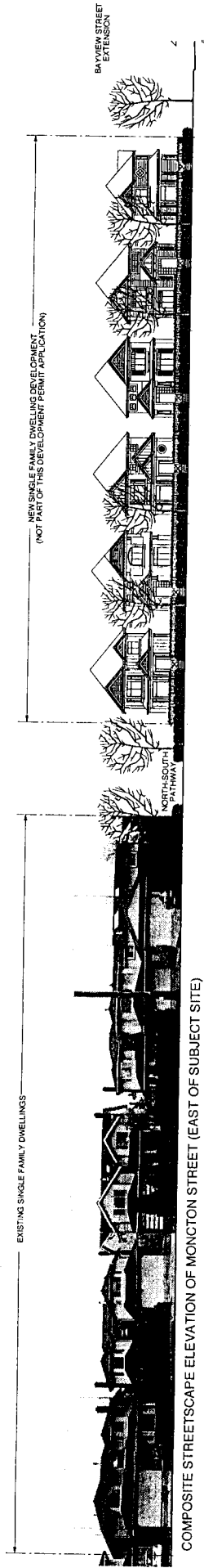
NOTE: ALL MAIN ROOF ELEVATIONS ARE REFERENCED TO THE BOUNDARY LINE OF THE LOT. ALL INTERIOR FLOOR ELEVATIONS ARE REFERENCED TO THE FINISH FLOOR OF THE MAIN LEVEL. ALL INTERIOR FLOOR ELEVATIONS ARE REFERENCED TO SHEETS 3.541.

SMALLER TOWNHOUSE ROOF ELEMENTS ARE SITUATED WITHIN THE SAME BOUNDARY AS THE MAIN TOWNHOUSE ALONG BAYVIEW STREET. THE CHIMNEY IS SITUATED WITHIN THE TOWNHOUSE BOUNDARY. SEE ARCHITECTURAL SHEETS 3.541.

JUL 26 2002

DP 01 - 198040

#5



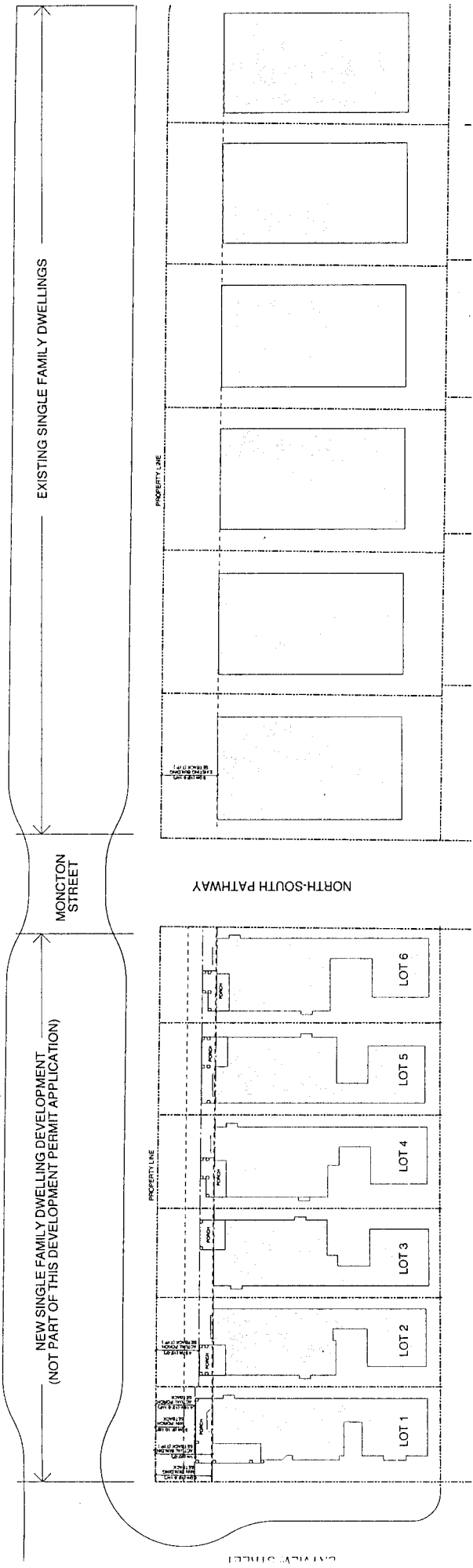
COMPOSITE STREETSCAPE ELEVATION OF MONCTON STREET (EAST OF SUBJECT SITE)

Perkins & Company Architecture and Urban Design Inc. <small>1440 W. 4th Ave. Suite 100 Vancouver, BC V6L 2K7 Tel: (604) 681-2277 Fax: (604) 681-2278 Web: www.perkinsandcompany.com</small>		PROJECT TITLE IMPERIAL LANDING AT STEVESTON DRAWING TITLE PARCEL FE COMPOSITE ELEVATION - East
PROJECT NO. 2158	DATE 2/18/02	SCALE 1/8" = 1'-0"
DESIGNED BY J.P.	CHECKED BY J.P.	DATE 2/18/02
REVISIONS		
REVISION NO.	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	JAN 22, 2002
2	REVISION FOR DEVELOPMENT PERMIT	MAR 15, 2002
3	ISSUED FOR DEVELOPMENT PERMIT	MAR 15, 2002
4	REVISION FOR DEVELOPMENT PERMIT	MAR 15, 2002
5	ISSUED FOR DEVELOPMENT PERMIT	MAR 15, 2002

JUL 26 2002
 DP 01 - 198040

#7

STEVESTON PARK



Perkins & Company
 Architecture and Urban Design Inc.

1400 West 10th Ave.
 Suite 100
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 E-Mail: info@perkins.com
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PERKINS & COMPANY
 ARCHITECTS
 1400 WEST 10TH AVENUE
 EDMONTON, ALBERTA T6A 1K5
 CANADA

DATE: JAN 17, 2002

PROJECT TITLE
**IMPERIAL LANDING
 AT STEVESTON**

PROJECT NO.
21168

DATE
21th Feb 2002

SCALE
1/16" = 1'-0"

PROJECT NO.
21168

DATE
21th Feb 2002

SCALE
1/16" = 1'-0"

PROJECT NO.
21168

DATE
21th Feb 2002

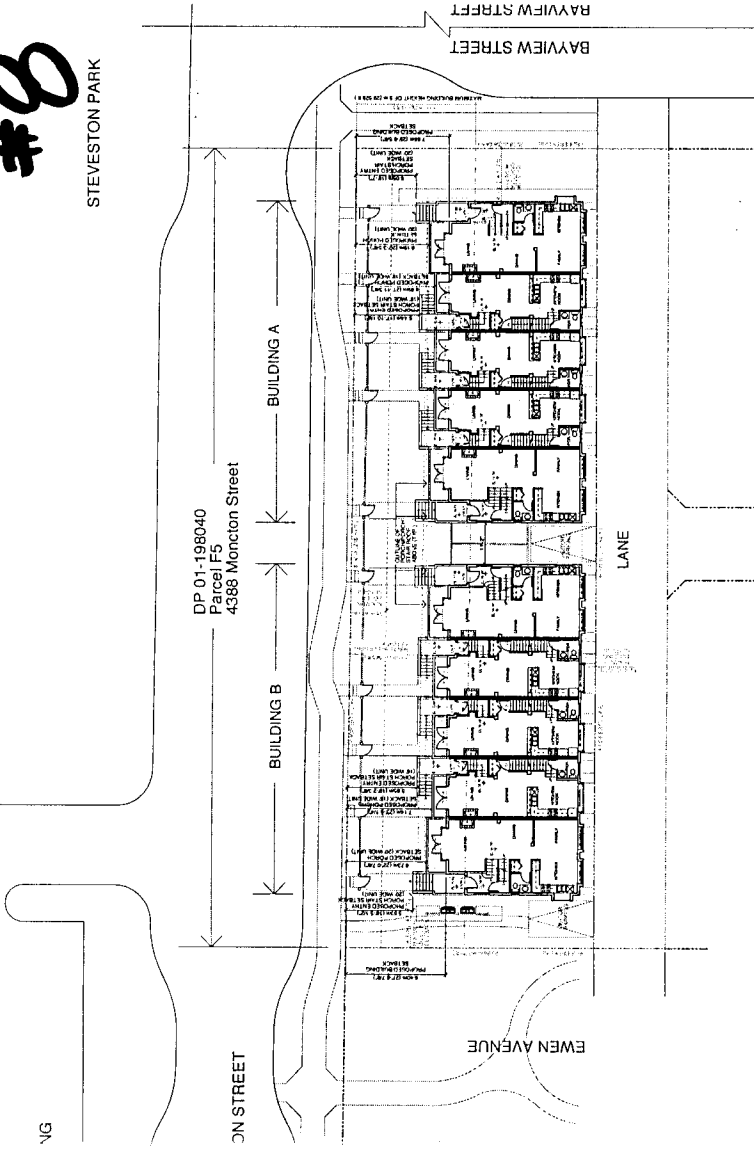
**PARCEL F5
 COMPOSITE CONTEXT
 PLAN - east**

JUL 26 2002

DP 01-198040

#8

STEVESTON PARK



Perkins & Company Architecture and Urban Design Inc. <small>1000 West Broadway, Suite 200 Vancouver, BC V6H 1G5 Tel: 604-681-1111 Fax: 604-681-1112 Web: www.perkinscompany.com</small>	PROJECT TITLE IMPERIAL LANDING AT STEVESTON	
	PROJECT NO. 2168	
<small>DESIGNED BY PERKINS & COMPANY ARCHITECTURE AND URBAN DESIGN INC. 1000 WEST BROADWAY, SUITE 200 VANCOUVER, BC V6H 1G5 TEL: 604-681-1111 FAX: 604-681-1112 WWW.PERKINSCOMPANY.COM</small>	DATE 2108 PM 15 2002	SCALE 1/16" = 1'-0"
	NO. SHEETS 15	NO. SHEETS USED 15
DESIGNED FOR PERKINS & COMPANY ARCHITECTURE AND URBAN DESIGN INC.	DATE JAN 28 2002	NO. SHEETS USED 15
DESIGNED FOR THE CLIENT PERKINS & COMPANY ARCHITECTURE AND URBAN DESIGN INC.	DATE JAN 27 2002	NO. SHEETS USED 15
SCALE 1/16" = 1'-0"	NO. SHEETS USED 15	NO. SHEETS USED 15



To: Development Permit Panel
From: Joe Erceg
Manager, Development Applications
Date: May 13, 2002
File: DP 01-198040
Re: Application by Perkins & Company Architecture and Urban Design Inc. for a
Development Permit at
4388 Moncton Street

Manager's Recommendation

That a Development Permit be issued for 4388 Moncton Street on a site zoned Comprehensive Development District (CD/101), which would allow the development of 10 townhouse units on one (1) lot containing a total floor area of 1,231.3 m² (13,254.036 ft²); and

Vary the provisions of Zoning and Development Bylaw 5300 to permit the following:

1. The projection of the roofline for three (3) gable ends to a maximum of 2.057 m (6.75 ft.) above the 9.0 m (29.528 ft.) maximum building height within 10.0 m (32.808 ft.) from the property line abutting Moncton Street;
2. The projection of the roofline for ten (10) entry porches either as a gable end or a shed roof to a maximum of 0.762 m (2.5 ft.) above the 5.0 m (16.404 ft.) maximum height;
3. The projection of the roofline for ten (10) living room porches as shed roofs to a maximum of 1.448 m (4.75 ft.) above the 5.0 m (16.404 ft.) maximum height;
4. The projection of ten (10) living room porches to a maximum of 2.438 m (8.0 ft.) into the required 6.0 m (19.685 ft.) setback along Moncton Street;
5. The reduction of minimum total area of private outdoor space from 37 m² (398.278 ft²) to 28.427 m² (306 ft²) for six (6) townhouse units; and
6. Allow tandem vehicle parking for six (6) of the townhouse uses.

Joe Erceg
Manager, Development Applications

BFG:blg
Att.

Staff Report

Origin

Perkins & Company Architecture and Urban Design Inc. have applied to the City of Richmond for permission to develop 10 townhouse units at 4388 Moncton Street and to vary the minimum setback requirements of Comprehensive Development District (CD/101).

A copy of the development application filed with the Urban Development Division is appended to this report.

Development Information

Site Area:	1,759.0 m ² (18,934.337 ft ²)
Building Area:	1,231.3 m ² (13,254.036 ft ²)
Density:	57 du per ha 23 du per ac.
Site Coverage:	50.0 % Allowed 34.04 % Proposed
F.A.R.:	0.7 Allowed 0.7 Proposed
Parking:	17 Spaces Required (including 2 visitor spaces) 22 Spaces Proposed (including 2 visitor spaces)

Findings of Fact

Criteria and policies for the issuance of Development Permits are contained in the following:

- Schedule 1 of Bylaw 7100, the Official Community Plan, Section 9 – Development Permit Guidelines; and
- Schedule 2 of Bylaw 7100, the Official Community Plan, Section 2.4 - Steveston Area Plan.

The key Development Permit Guidelines are listed below followed by the applicant's response identified in *bold italics*.

1. Townhouses should be designed in clusters of 25 units or less, and have less than six (6) units in a row. ***Project complies.***
2. Townhouse units should have a minimum private outdoor space of 9 m (29.53 ft.) in depth and 37 m² (398.28 ft²) in area. The depth of private outdoor space may be reduced to 5.25 m (17.22 ft.) where adequate privacy screening is provided. ***This project does not comply even when the front yard is combined with the area of the entry porches, living room porches and the kitchen/family room balconies.***
3. Townhouses and apartments adjacent to public roads should have their main front doors visible and accessible from that road, where practicable. ***Project complies.***

4. Townhouses should have a maximum transitional height gradient of no more than 26° to all property lines. These gradients may be varied provided privacy, sunlight, view and human scale criteria are met. ***Project complies.***
5. Buildings should have an apparent length of less than 70 m (229.66 ft.). ***Project complies.***
6. Each dwelling unit should have a near view, an intermediate view and a distant view. Special views, such as of the mountains or waterfront, should be taken advantage of where possible. ***Project complies.***
7. Sunlight should not be blocked for a minimum of 75% of dwellings in each development on every day of the year. The minimum north-south spacing between residences to conserve available sunlight is determined by the sun angle of 17° at noon during the winter solstice. ***Project complies.***
8. Natural features should be retained and enhanced. Screening and landscaping, including street trees, should be provided in each multiple-family development. ***Project complies.***
9. Amenity space should average more than 2.0 m² (21.53 ft²) per each bedroom. Developments with more than 70 bedrooms should provide a minimum of 70 m² (753.50 ft²) of indoor amenity space. ***This project does not comply with all development permit guidelines regarding the provision of outdoor amenity space and in particular the provision of an outdoor play area. Both Onni Project Management Services Ltd. and the City of Richmond have agreed to a compromise compensation value for the lack of outdoor play area amenities regarding both development Parcels 'F5' and 'J' in the amount of \$60,000.00.***
10. Vehicle and pedestrian access should be separated from each other and appropriately located. ***Project complies.***
11. Resident parking should be in small, defensible open parking lots or should be located in locked, defensible garages screened from view from the road. Visitor parking should be in public view and easily accessible near the main entry. Parking lots should have landscaping to separate every fourth parking space. ***Project complies.***
12. Provision should be made for emergency vehicles, moving vans, and service vehicles. ***Project complies.***

Development surrounding the subject site will be as follows:

To the north, across Moncton Street is Steveston Park;

To the east, across the extension of Bayview Street will be small lot detached residential units;

To the south, across a lane will be small lot detached residential units; and

To the west, across a closed and as yet unnamed new road end currently referred to as Ewen Avenue will be either a future townhouse development or a private school.

Staff Comments

Staff comments are identified below followed by the applicant's responses in ***bold italics***.

General Development Comments

1. Update the 'Illustrative Development Plan' dated April 19, 1999 and provide six (6) copies of the revised, overall development master plan colour rendering, at the following sizes. (i.e. 24 in. x 36 in. and 11 in. x 17 in.). Mount one (1) large color rendering on a presentation board. Ensure the following changes are reflected on the revised drawing. Show the road and lane locations as per the Service Agreements, delete the Imperial Cannery option, revise the location of the tram alignment as per the Service Agreement, reflect the major water features for the 2 'L' shaped apartment buildings, reflect the 'Steveston Academy Proposal' and revise/reduce the amount of residential accordingly, revise the layout of Parcels 'F5' and 'I' to reflect the current Development Permit applications, locate, identify and label the Community Use Site, the Bucket Tower and all the major artifacts along the waterfront as well as on the Community Use Site. *The applicant has complied. The only current inaccuracy on the Illustrative Development Plan is the alignment of the tram line. The Service Agreement drawings suggest that the tram alignment will run along the south side of Bayview Street and Westwater Drive; the west and south sides of Railway Avenue. This current schematic alignment would not enter the Maritime Mixed-Use (MMU) zone near the intersection of No. 1 Road. However, staff are currently underway with a tram feasibility study that will investigate alternative tram line corridor and route alignments as well as other aspects of this potential link.*
2. Provide a detailed schedule for the timing and sequence of infrastructure improvements including road and foreshore improvements as well as the anticipated construction phasing for the overall development site and each development parcel. *The applicant anticipates completion of all construction by the end of 2005 with certain qualifications.*
3. Provide a detailed description of the proposed interim landscape treatment for the various public zones and private development parcels as development of the overall site proceeds. *Private undeveloped land will be fenced to protect the developer's liability and as much as possible treated in a neat and tidy appearance in the interim, prior to any redevelopment activity.*
4. Provide an understanding of proposed public access through and around the site during construction time period of the entire development site. *Construction of the riverfront park improvements are currently underway. The developer will open the riverfront pedestrian route as quickly construction is complete which is anticipated in the Summer of 2002. In addition, the developer has assured the City that the riverfront park improvements will be open for the Tall Ships event during August of 2002. The developer has also indicated that the north-south walkway along the east property line will also be open for the Tall Ships event.*
5. Identify the revised total number of residential units for the overall development site (i.e. 750) that will result from the current proposal to redevelop the BC Packers head office building for the Steveston Academy. *The developer has indicated that the total number of residential units will not change significantly from rezoning. Furthermore, the developer indicates that at this stage, the overall number of units will not exceed 750. Since the rezoning only regulates the amount of floor space and not the number of units, this is a moot discussion with the exception that any significantly larger number of units may impact servicing considerations and any significant deviation from the currently anticipated 750 residential units would trigger a reassessment of infrastructure requirements.*

6. Provide building elevations for every side of all proposed buildings. *The applicant has complied.*
7. Use colour to differentiate the various townhouse projects. *The applicant has complied.*
8. Incorporate landscape details similar to the heavy timber character of furnishings and appointments that have been developed for public spaces (i.e. benches, etc.). Increase the dimensions of selected wood elements that form part of the landscape details (i.e. trellis structures, 6 ft. high fences and benches). Consider the strategic use of rough sawn lumber where appropriate and specify the finishes for all proposed landscape furnishings and appointments. *The applicant has complied.*
9. Provide more detailed information for the outdoor amenity spaces including the appropriate details. *The applicant has complied.*
10. No special heritage provisions were made for the individual development parcels through the rezoning of the site. All heritage interpretation in the public realm, except on the Community Use Site, will be executed along the waterfront and is required as part of the Servicing Agreement that establishes the approved park design. However, there is an opportunity, when designing the built form for each development parcel to reference the heavy timber character of former cannery structures. In addition, there are opportunities on each development parcel to incorporate landscape features that reflect the character of the former BC Packers site through the careful design of site furnishings and appointments. *The architect and landscape architect have complied.*
11. On each individual development parcel, consider the inclusion of salvaged artefacts or Public Art that relates to the fishing history of Steveston and the former BC Packers site. *The applicant has selected several artifacts that will be incorporated into the landscape and open space design of Parcel 'J'.*

Development Coordinator Comments

1. No outdoor amenity space has been provided. *Both Onni Project Management Services Ltd. and the City of Richmond have agreed to a compromise compensation value for the lack of outdoor play area amenities regarding both development Parcels 'F5' and 'J' in the amount of \$60,000.00.*
2. Incorporate more variety in the character, materials and colours used on the various townhouse development parcels. *Variety in character, materials and colours have been incorporated on the various townhouse development parcels. Parcels F4, F5 and I all have different roof lines and colour combinations. Some elements on each parcel are similar to each other so as to show some continuity of design in Steveston (refer to Parcel 'F5' elevations sheets). Colour elevations have also been submitted.*
3. Eliminate variances where possible. *Roof height variances have almost been eliminated by changing some of the gable-end dormers into shed dormers, reducing the slope of the larger shed dormers and by eliminating the roof decks between the buildings. Three (3) gable dormers have been retained for architectural interest on Building B. Gable dormers for Building B will require a variance as previously requested (refer to Parcel 'F5' elevations sheets).*

Rezoning Comments

No further comments. *Acknowledged by the applicant.*

Building and Zoning Comments

1. Ensure that this project complies with all Building Code requirements including hydrant locations, fire fighting access, etc. Provide an updated code analysis. *An updated code analysis has been provided.*
2. The proposed building height exceeds the permitted 9 m height limit within 10 m of Moncton Street and a variance is required. *Roof height variances have almost been eliminated by changing some of the gable-end dormers into shed dormers, reducing the slope of the larger shed dormers and by eliminating the roof decks between the buildings. Three gable dormers have been retained for architectural interest on Building B. Gable dormers for Building B will require a variance as previously requested (refer to Parcel 'F5' elevations sheets).*

Fire Department Comments

No further comments. *Acknowledged by the applicant.*

Public Works and Engineering Comments

There are no servicing concerns as proposed off-site improvements are defined by existing and previously negotiated Servicing Agreements. *Acknowledged by the applicant.*

1. There is an access covenant registered on title ensuring that there be no direct vehicular access to Moncton Street and restricting vehicle access for this lot to and from the lane. *Acknowledged by the applicant.*

Built Form and Urban Design Comments

1. It is understood by City of Richmond staff that the owner/developer has recently submitted Building Permit applications for the small lot residential dwellings along Moncton Street to the east of Bayview Street. In order to comment on the transition of built form along Moncton Street, staff requests that the applicant provide a composite streetscape elevation of the south side of Moncton Street. This streetscape elevation should extend from approximately 60 m east of the east property line for the entire development site and include the proposed 'Steveston Academy' site to the west of development parcel 'F5'. *A composite streetscape elevation has been included in this resubmission (refer to Parcel 'F5' supplemental elevation sheets).*
2. Consider a split-level main floor plan for the units at the end of each townhouse block to ease the transition between the finished floor elevation of the main floor and the boulevard sidewalk elevation. *Transitions between the boulevard and the main floor have already been achieved by a group of level changes in the entry porch, the front entry door and the entry hall inside the townhouse (refer to F5 site plan sheet for finish grade information).*

3. Consider changes to the massing of the proposed built form, which creates a more friendly transition from this townhouse parcel to the small lot single-family residential area across Bayview Street (i.e. to the east). For example, consider stepping down the roof and the building massing along the east property line adjacent to Bayview Street or consider transposing the locations of Buildings A and B. Retain the upper level dens in the present location and consider the relocating the high dormer closer to the west property line. Provide a section across Bayview Street to help assess this issue. *Locations of Building A and B have been transposed thereby relocating the high dormer closer to the west property line. The bulk of the main roof is justified towards the south portion of the site thereby reducing the massing at the north of the site along Moncton Street. The smaller roof elements line up with the maximum roof heights of the single-family dwellings thereby creating a continuous datum along Moncton Street (refer to Parcel 'F5' elevation sheets).*
4. Identify the location of building Section 'A'. *Section A has been identified on the elevations and plans (refer to Parcel 'F5' site plan and elevation sheets).*
5. Vinyl siding is not supported for this project. Use wood cladding and consider rough sawn rather than dressed lumber. *Vinyl siding will remain as one of the cladding materials for this project. Its use is limited to recessed areas on all the townhouse elevations. Vinyl siding is a durable and long lasting product, which is extremely desirable for preventing moisture ingress in the building. Many buildings in Richmond use this product because of its versatility and its resemblance to wood siding. We have previously provided examples of successful projects in the lower mainland that use vinyl siding as minor cladding elements and we feel that the same success will be achieved on the townhouses.*
6. Clarify the lower level cladding material and colour for the side elevations (i.e. board and batten wood siding?) *The lower level cladding material is board and batten (refer to Parcel 'F5' elevation sheets).*
7. Asphalt shingles are not supported for this project. Substitute a high quality wood shake or metal roof in lieu of asphalt shingles. *Asphalt shingles will remain as the roof covering material for the townhouses. Metal roofing will be used on Parcel J. Asphalt roofing is a durable material, which has been used extensively in most of the heritage-looking buildings in the Steveston area.*
8. Gang roof vents together to create boxed-out chimney elements as part of the roofscape design. *Roof vent elements have been included in our submission (refer to Parcel 'F5' elevation sheets).*
9. Substitute the sliding glass doors along Moncton Street with double 'French' doors. *All sliding glass doors along Moncton Street have been replaced with double French doors (refer to Parcel 'F5' site plan and elevation sheets).*
10. Reduce the width of the balconies along the south side of the buildings and shift the building footprints south to reduce the impact of the requested height variances for the roof dormers along Moncton Street. *The widths of balconies along the south side of the buildings will not be reduced and the buildings will not be shifted to the south. Instead, we have mitigated the building heights by replacing the higher gable end dormers with sloped shed dormers on building A. Also, we have lowered the main roof slope to meet the maximum 9 m height. By doing this, we have reduced the impact of the requested height variances for the roof dormers along Moncton Street (refer to Parcel 'F5' elevation sheets).*

11. Reduce the depth of the entry-level porch at the north-east corner of the site and eliminate the entry stair encroachment variance. *Depth of the entry level porch at the north-east corner of the site has been reduced and the variance eliminated (refer to Parcel 'F5' site plan sheet).*
12. Delete the upper level deck and eliminate the need for this height variance. Alternatively, consider an upper level deck along the south elevation of the building. *The upper level roof deck has been eliminated (refer to F5 site plan and elevation sheets).*

Site Planning and Landscape Comments

1. Indicate with spot elevations the grade transition from the sidewalk on the boulevard to the finished floor elevation of the main floors. *Spot elevations have been indicated on the plans (refer to Parcel 'F5' site plan sheet).*
2. Relocate the visitor parking stall along Bayview Street into the space between the two (2) blocks of townhouses along the lane and increase the landscape planting along the street. *Visitor parking will remain in the same location along Bayview Street however the stall has been moved closer to Building A to allow for more planting along the street as requested by the planning department. The space between the two townhouse buildings will remain as a landscaped area, which is much more desirable (refer to Parcel 'F5' site plan sheet and elevation sheets).*
3. Provide an outdoor amenity space for this development or negotiate a cash contribution for amenity improvements to Steveston Park. *Both Onni Project Management Services Ltd. and the City of Richmond have agreed to a compromise compensation value for the lack of play amenities regarding both development Parcels 'F5' and 'J' in the amount of \$60,000.00.*
4. Eliminate the fencing and hedging that separates the landscape side yard from the Bayview Street boulevard. Create a semi-public space in this location along the street and propose a landscape treatment that is more transparent and visually accessible from the sidewalk. Consider foundation planting at the base of the building rather than perimeter planting. In addition, provide benches and a trellis structure similar to the treatment along the west property line. *The landscape consultant has eliminated the fencing and hedging that separates the side yard from Bayview Street and has created a more transparent and visually accessible space as requested by City of Richmond staff.*

Parks Department Comments

No further comments. *Acknowledged by the applicant.*

Transportation Department Comments

1. Applicant should ensure that the laneway west of this site would be operational at the time construction of these units are complete. *The developer will ensure that the laneway west of the site will be operational at the time these units are completed.*
2. As requested, the applicant has provided minimum 1.2 m setback from the garages to the lane right-of-way. *Acknowledged by the applicant.*

Refuse and Recycling Comments

1. This development qualifies for the City of Richmond refuse and recycling pick-up programs. Lane collection is possible but this development parcel will be the only site in this area with lane collection and therefore this is not recommended. Pick-up will be limited to street collection. *Acknowledged by the applicant.*

Design Panel Comments

This project was presented to the Advisory Design Panel on Wednesday, February 6, 2002 at which time the Advisory Design Panel had several concerns and suggestions regarding this project. At that time, it was the consensus of the Panel that this project be brought back for further review and consideration. Accordingly, this project was brought back to the Advisory Design Panel on Wednesday, March 6, 2002. The Advisory Design Panel critique and comments are followed by the applicant's response, noted in *bold italics*.

1. The landscaping is more open and amenable to the public. *Acknowledged by the applicant.*
2. The treatments on the townhouses, especially the end units, were good. *Acknowledged by the applicant.*
3. A building up of grade change in front yards was not considered preferable. *Acknowledged by the applicant.*

The consensus of the Panel was that the project move forward with consideration of the suggestions noted.

Analysis

Implications on the Overall Development Plan

This is one of the first four (4) residential redevelopment parcels on the former BC Packers site currently referred to as the Imperial Landing. These four (4) projects will set the stage for future development on this site and become important precedents with regard to the form and character of subsequent phases within the overall Imperial Landing project. The rezoning of the overall site (±44 acres) which is located in close proximity to the Village of Steveston has been the subject of much public discussion and debate over the past decade including five (5) years of detailed negotiations between BC Packers and the City of Richmond. Significant upgrades to public infrastructure including a ±1 kilometre riverfront park and public walkway system were required as part of the rezoning approval. Much of this public infrastructure including the entire riverfront park will be constructed in sequence with the upland development. In order to obtain occupancy permits for any units in phase one of the overall development plan, the eastern third (1/3) of the entire riverfront public access corridor plus the Bayview Street extension and all other ancillary roads deemed necessary by the City of Richmond will need to be complete. Over the next 3 to 5 years a new residential neighbourhood of ±750 units will emerge in Steveston. This new residential community will contribute to the sense of place in Steveston and continue the process of evolution within the Village. The scale of this overall project will inevitably have a significant impact on the existing Village of Steveston and the City of Richmond remains concerned and sensitive to any unintended or negative impacts of these dramatic changes. As such, the City of Richmond will continue to closely monitor development activity as this large project unfolds and continue to fine tune and improve the form and character of future built form and public open space. Staff remain satisfied with the overall package of public infrastructure improvements that were negotiated as part of the rezoning associated with this development permit application notably, the riverfront park and walkway however, the details of some components within the overall development plan remain to be negotiated including the following:

- Coordination with the Tall Ships event;
- Discussions and negotiations regarding the future development of the water lots; and

- Final determination of the form and character of the Maritime Mixed-Use (MMU) District.

Given the residential zoning, staff supports the proposed built form and character of this individual development parcel and believes that this proposal respects the marine industrial heritage of the overall site and establishes an appropriate character for a riverfront residential community in the Village of Steveston.

Assessment of the Conditions of Adjacency

This site is a development parcel along the south side of Moncton Street directly across the street from Steveston Park. This site is surrounded to the east, south and west by new development as part of the overall development plan for the Imperial Landing project. Certain boulevard and curb alignment improvements has been previously negotiated as part of the rezoning which will improve the sidewalk and boulevard along the south side of Moncton Street and strengthen the pedestrian link between Steveston Park and the riverfront improvements which are currently under construction. Staff supports the improved connection between Steveston Park and the riverfront. Furthermore, this development contributes semi-public open space complete with benches and trellis structures to the pedestrian spine along Bayview Street as well as adjacent to the Ewen Avenue road end which is proposed as public green space. As this site is on Moncton Street, it forms part of the progression of built form to the commercial heart of Steveston.

This continuum of built form progresses from larger lot single-family residential to the west of the overall Imperial Landing site to commercial and retail buildings west of No. 1 Road. As such the proposed townhouse massing represents an appropriate transition between the single-family development to the east and the commercial retail development in the Village of Steveston. However, the requested variances tend to crowd the pedestrian environment along the boulevard and this impact is further described in the section entitled 'Assessment of Requested Variances'.

Site Planning and Urban Design Evaluation

This corner site is across Moncton Street from the open playfields of Steveston Park and orients to Moncton Street. Vehicle access and parking will occur from the laneway along the south side of the site. In this instance, the elevation of the laneway is higher than Moncton Street which complicates the relationship between the finished floor elevation of the main level for the townhouse units and the front yards including the street boulevard and public sidewalks. Ideally, the laneway should be lowered or the end units of this development could incorporate a split level main floor plan to minimize the difference in elevation between the finished floor elevation of the main level and the public sidewalk along the boulevard. The majority of private outdoor space is located along the north side of these townhouses and oriented to both the street and Steveston Park across Moncton Street. This approach creates a positive contribution to the street which is designated as a 'greenway' and takes maximum advantage of views to the adjacent public open space. In addition, this development includes two semi-private spaces along the east and west sides of this site that contribute both semi-public amenities and an enhanced the proposed streetscape. Staff supports the site planning and orientation of this proposed development.

Assessment of the Architectural Form and Character

The architect has responded to the marine industrial heritage of the Steveston waterfront with the built form that is proposed on this site. These six (6) blocks of townhouses repeat both building elements and materials from other proposed townhouse parcels within the overall development site that will create continuity to link the various development parcels. In addition, there is sufficient diversity of built form and colour within this development parcel to create a discrete and unique identity. Porches create a transition element from the elevation of the front yard to the proposed finished floor elevation of the main level the townhouse units. Staff would have preferred that the porches be constructed at a lower elevation which would relate better with the street and boulevard grades. In addition, staff would prefer that the vinyl siding and asphalt shingle roof be substituted with high-quality, natural materials as called for in the Development Permit Guidelines on such a high profile site and within this unique development. However, the current configuration of built form and the use of materials and colour are deemed to be durable and acceptable to staff.

Evaluation of the Landscape and Open Space Design

The landscape architect has created appropriate buffering between the public and private realms in order to establish and separation and privacy in front yards and on balconies. In other locations this proposal provides a more integrated approach to private open space by incorporating semi-public spaces on private property along the adjacent street and public boulevard. Similarly, the applicant has demonstrated considerable good will to permit a flexible landscape treatment and definition of space along legal boundaries that responds more to the appropriate program requirements of various open space elements than to a dogmatic defence of private property rights. Staff appreciates and applauds this community spirited approach to the development of open space on this site. The landscape design attempts to minimize the significant grade separation between the balconies and the boulevard. The front yards are large enough to be useable and also contribute to the transition between the units and the street. The landscape detailing is appropriate and consistent with the architectural expression. Staff supports the landscape and open space design of this proposal.

Assessment of Requested Variances

The applicant requests six (6) variances to the provisions of Zoning and Development Bylaw 5300 as follows:

1. The projection of the roofline for three (3) gable ends to a maximum of 2.057 m (6.75 ft.) above the 9.0 m (29.528 ft.) maximum building height within 10.0 m (32.808 ft.) from the property line abutting Moncton Street.
2. The projection of the roofline for ten (10) entry porches either as a gable end or a shed roof to a maximum of 0.762 m (2.5 ft.) above the 5.0 m (16.404 ft.) maximum height.
3. The projection of the roofline for ten (10) living room porches as shed roofs to a maximum of 1.448 m (4.75 ft.) above the 5.0 m (16.404 ft.) maximum height.
4. The projection of ten (10) living room porches to a maximum of 2.438 m (8.0 ft.) into the required 6.0 m (19.685 ft.) setback along Moncton Street;
5. The reduction of minimum total area of private outdoor space from 37 m² (398.278 ft²) to 37 28.427 m² (306 ft²) for six (6) townhouse units, and;
6. Allow tandem vehicle parking for six (6) of the townhouse uses.

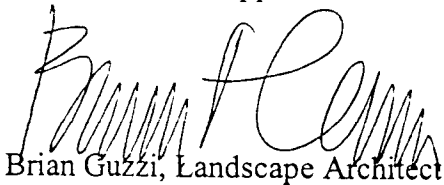
The majority of these variances deal with porches either entry porches or porches off the living rooms of the main level of the townhouse units. Staff remain concerned about the amount and extent of these variances and believe that the majority of the porch variances will significantly detract from the pedestrian experience along Moncton Street. It has been suggested that the end units with the side-by-side parking layout could be designed with a split-level main floor which would step down toward the street. In addition, the living room porches could be stepped down from the main floor level of the living rooms to help ease the transition between the building and the street. Some of units have less than the required amount of private outdoor space but staff believe that this will not seriously impact the liveability of these units. While there is some concern that the northern half of the tandem garages may be converted into habitable space, there are numerous examples within the City of Richmond where similar variances for tandem parking has been permitted for townhouse units.

Conclusions

Staff believes this project:

- Provides an important precedent for future development parcels within the overall project;
- Will not have a negative impact on surrounding existing development;
- Establishes a logical pattern of organization and internal site planning;
- Defines an appropriate built form response to the marine industrial heritage for the site;
- Creates defensible private open space plus some opportunities for semi-public open space; and
- The applicant has requested several variances that are seen to have impacts that crowd the pedestrian experience along Moncton Street by creating an uncomfortable overlook situation with the living room porches significantly elevated above the boulevard however the porches are small and should have minimal impacts on the street.

Therefore, staff supports this Development Permit application.



Brian Guzzi, Landscape Architect
Development Planner - Urban Design

BFG:blg

Prior to the final approval of this development permit, the applicant is required to submit the following:

1. Provide a landscape letter of credit to the City of Richmond in the amount of \$26,508.00, and;
2. Provide a cash contribution to the City of Richmond in the amount of \$5,000.00 as compensation for the lack of an outdoor children's play area.



Development Applications Department

6917 No. 3 Road
Richmond, BC V6Y 2C1

City of Richmond

Main (604) 276-3000

DEVELOPMENT APPLICATION

Please submit this completed form to the Zoning, Land Use Planning and Development Applications Centre for each application (ie. rezoning; subdivision; development permit, etc.). All materials submitted to the City for a development application become public property, and therefore, available for public inquiry.

Please refer to the attached forms for details on application attachments and fees.

Type of Application: DP
Property Address(es): Imperial Landing: F5 (4388 MONCTON ST)
Legal Description(s): Lot 63, LMP 49897, Sec. 11, Block 3 North

Applicant: Perkins & Company Architecture and Urban Design Inc.

Correspondence/Calls to be directed to:

Name: John Perkins Jr.
Address: 1498 West Fifth Avenue, Vancouver, BC

V6H 4G13

Tel. No.: (604) 685-2428 (604) 240-0069 (604) 685-2467
Business Residence Fax

Property Owner(s) Signature(s): _____

Please print name

or

Authorized Agent's Signature: _____

Attach Letter of Authorization

Please print name

Perkins & Co

FOR OFFICE USE	
Date Received: <u>Dec 3/01</u>	Application Fee: <u>\$ 1,470.00</u>
File No.: <u>01-198040 DP</u> <small>Only assign X application is complete</small>	Receipt No.: <u>04-0074817</u>

ENTERED



No. DP 01-198040

To the Holder: PERKINS & COMPANY ARCHITECTURE AND
URBAN DESIGN INC.

Property Address: 4388 MONCTON STREET

Address: C/O MR. JOHN PERKINS JR.
1498 WEST FIFTH AVENUE
VANCOUVER, BC V6H 4G3

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning and Development Bylaw No. 5300" is hereby varied or supplemented as follows:
 - a) The dimension and siting of buildings and structures on the land shall be generally in accordance with Plan #1 attached hereto.
 - b) The siting and design of off-street parking and loading facilities shall be generally in accordance with Plans #1 and #2 attached hereto.
 - c) Landscaping and screening shall be provided around the different uses generally in accordance with the standards shown on Plan #2 attached hereto.
 - d) Roads and parking areas shall be paved in accordance with the standards shown on Plans #1 and #2 attached hereto.
 - e) Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
 - f) Subject to Section 692 of the Local Government Act, R.S.B.C., the building shall be constructed generally in accordance with Plans #1 to #4 attached hereto.
4. As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder, or should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.

To the Holder: PERKINS & COMPANY ARCHITECTURE
AND URBAN DESIGN INC.

Property Address: 4388 MONCTON STREET

Address: C/O MR. JOHN PERKINS JR.
1498 WEST FIFTH AVENUE
VANCOUVER, BC V6H 4G3

There is filed accordingly:

An Irrevocable Letter of Credit in the amount of \$26,508.00.

5. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF

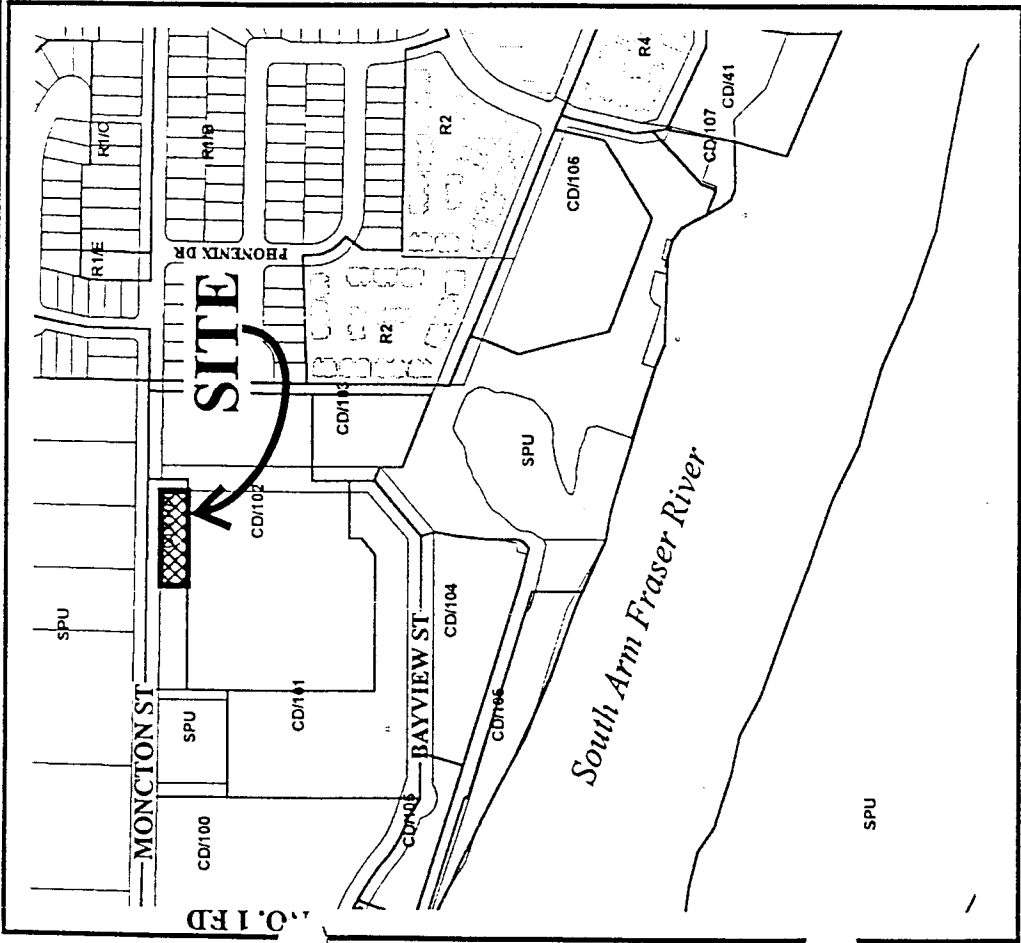
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

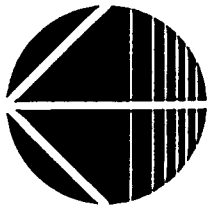
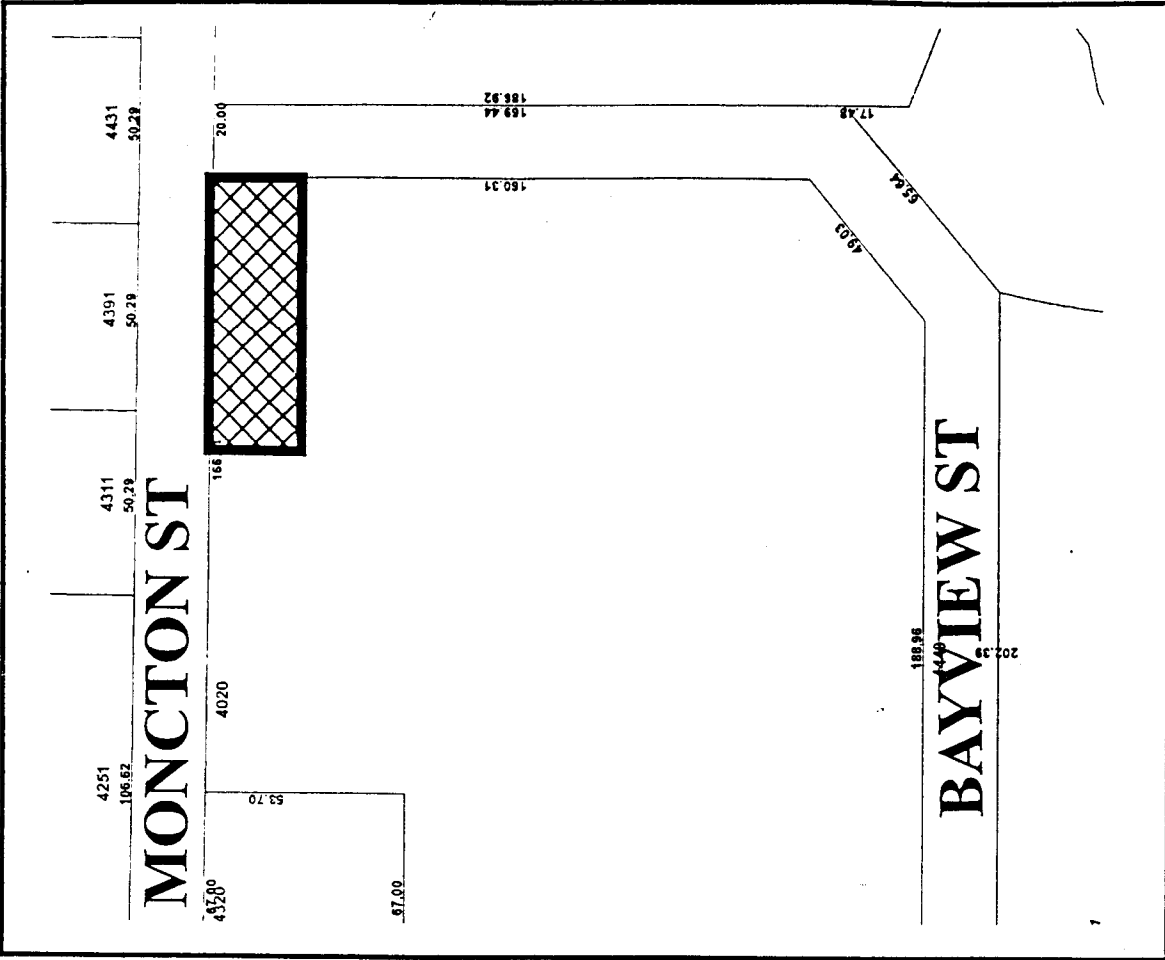
MAYOR



City of Richmond



NO. 1 FD



DP 01-198040 SCHEDULE "A"

Original Date: 12/11/01

Revision Date:

Note: Dimensions are in METRES

MAY 28 2002
 DP 01-198 0 4 0

#0

IMPERIAL LANDING AT STEVESTON - Parcel F5

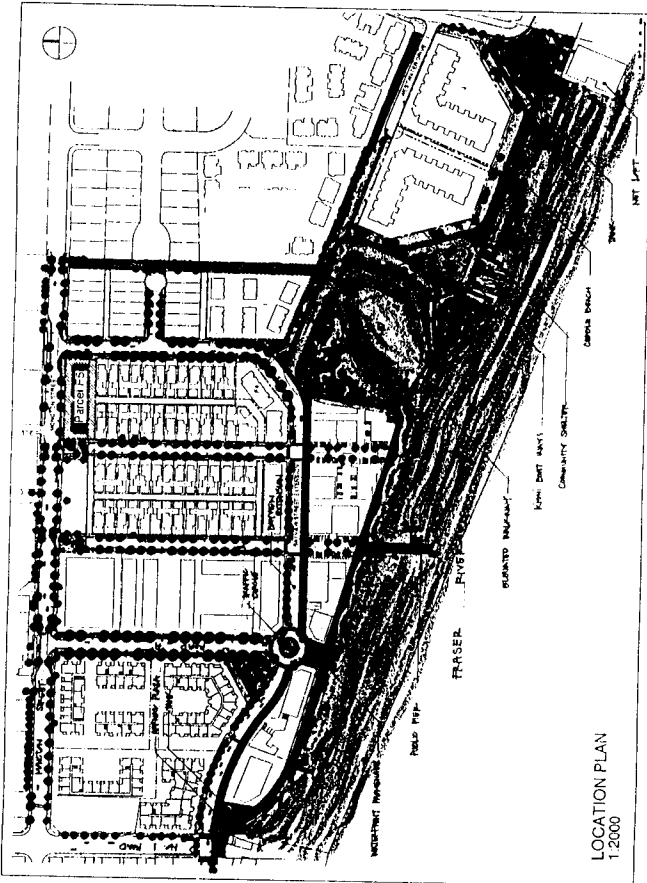
DRAWING LIST - Parcel F5

- LOCATION PLAN / STATISTICS
- CONCEPT SITE PLAN
- ELEVATIONS & SECTION
- ELEVATIONS & SECTION
- COMPOSITE ELEVATION 2
- COMPOSITE ELEVATION 2

STATISTICS AND PROJECT DATA

PARCEL F5 - ZONING REQUIREMENTS
 MAXIMUM GROUND AREA 0.70
 MAXIMUM LOT COVERAGE 50%
 MINIMUM LOT AREA (30 x 30 ft)
 MINIMUM SETBACK FROM PROPERTY LINE 3 m (9.84 ft)
 MINIMUM SETBACK OF BUILDING FROM PROPERTY LINE 1.2 m (3.94 ft)
 MINIMUM SETBACK OF PORCHES/BALCONIES FROM PROPERTY LINE 1.2 m (3.94 ft)
 MINIMUM SETBACK OF BUILDING TO ADJACENT PUBLIC SPACE 1.2 m (3.94 ft)
 MINIMUM SETBACK OF BUILDING TO ADJACENT PUBLIC SPACE 1.2 m (3.94 ft)

DEVELOPMENT PROGRAM
 TOTAL SITE AREA = 1,759 sq.m. (18,924 sq.ft.)
 TOTAL BUILDABLE AREA = 1,231.50 sq.m. (13,254 sq.ft.)
 UNIT MIX:
 2 - TWO BEDROOM UNITS (W/EN 2)
 2 - THREE BEDROOM UNITS (W/EN 2)
 6 - TWO BEDROOM UNITS (W/EN 2)
 1,029 sq.m. per unit = 6,792.0 sq.ft.
 TOTAL BUILDING AREA = 13,254 sq.ft.



LOCATION PLAN
 1:2000

TABLE OF PARCEL F5 ZONING VARIANCES

File DP 01-198240

Var. the provisions of zoning and Development Scheme 5302 to permit the following:

1. The maximum height of the building to be a maximum of 2.07 m (6.75 ft) above the 9.0 m maximum height of the ground level.
2. The maximum height of the building to be a maximum of 2.07 m (6.75 ft) above the 9.0 m maximum height of the ground level.
3. The maximum height of the building to be a maximum of 2.07 m (6.75 ft) above the 9.0 m maximum height of the ground level.
4. The maximum height of the building to be a maximum of 2.07 m (6.75 ft) above the 9.0 m maximum height of the ground level.
5. The maximum height of the building to be a maximum of 2.07 m (6.75 ft) above the 9.0 m maximum height of the ground level.
6. The maximum height of the building to be a maximum of 2.07 m (6.75 ft) above the 9.0 m maximum height of the ground level.
7. The maximum height of the building to be a maximum of 2.07 m (6.75 ft) above the 9.0 m maximum height of the ground level.
8. The maximum height of the building to be a maximum of 2.07 m (6.75 ft) above the 9.0 m maximum height of the ground level.
9. The maximum height of the building to be a maximum of 2.07 m (6.75 ft) above the 9.0 m maximum height of the ground level.
10. The maximum height of the building to be a maximum of 2.07 m (6.75 ft) above the 9.0 m maximum height of the ground level.

PROJECT TITLE	IMPERIAL LANDING AT STEVESTON
DRAWING TITLE	PARCEL F5 LOCATION PLAN / PROJECT STATISTICS & DRAWING LIST
PROJECT NO.	DP 01-198 0 4 0
DATE	MAY 28 2002
DESIGNED BY	PERKINS & COMPANY
DRAWN BY	PERKINS & COMPANY
CHECKED BY	PERKINS & COMPANY
SCALE	AS SHOWN
DATE	MAY 28 2002

Perkins & Company
 Architecture and Urban Design Inc.
 1000 West 10th Avenue
 Vancouver, BC V6H 3G9
 Tel: 604-681-1111
 Fax: 604-681-1112

PARCEL ZONING REQUIREMENTS
 MINIMUM LOT AREA 8,170 sq. ft.
 MAXIMUM LOT COVERAGE 50%
 MINIMUM FRONT YARD SETBACK 10' (OR 30% OF FRONT LOT WIDTH)
 EXCEPT THAT SETBACKS MAY BE REDUCED TO 5' ON THE SIDE AND REAR OF A PARCEL
 MINIMUM TOTAL AREA OF FRONT YARD SETBACKS 1,000 sq. ft.
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 MINIMUM TOTAL AREA OF FRONT YARD SETBACKS 1,000 sq. ft.
 MINIMUM TOTAL AREA OF FRONT YARD SETBACKS 1,000 sq. ft.

DEVELOPMENT PROGRAM
 TOTAL SITE AREA
 * 1,759 sq. ft. (18,834 sq. ft.)
 TOTAL BUILDABLE AREA
 * 1,759 sq. ft. (18,834 sq. ft.)
 UNIT MIX:
 2 THREE BEDROOM UNIT WIDEN
 8 1,812.0 sq. ft. per unit = 14,496.0 sq. ft.
 2 THREE BEDROOM UNITS
 8 1,812.0 sq. ft. per unit = 14,496.0 sq. ft.
 6 1,132.0 sq. ft. per unit = 6,792.0 sq. ft.
 TOTAL BUILDING AREA = 13,254.0 sq. ft.

PARKING STATISTICS
 BASIC UNIT PARKING REQUIREMENT
 9.15 SPACES/UNIT
 VISOR CAR PARKING REQUIREMENT
 TOTAL PARKING SPACES REQUIRED
 - 1.7 SPACES/UNIT
 19.85 SPACES PROVIDED PER UNIT
 TOTAL PARKING SPACES ON PARCEL 64
 10 UNITS x 2.0 = 20 SPACES REQUIRED
 10 SPACES PARKING REQUIREMENT
 10 UNITS x 2.0 = 20 SPACES REQUIRED
 VISOR PARKING PROVIDED: 2 SPACES

LOT COVERAGE
 LOT COVERAGE = 34.4%

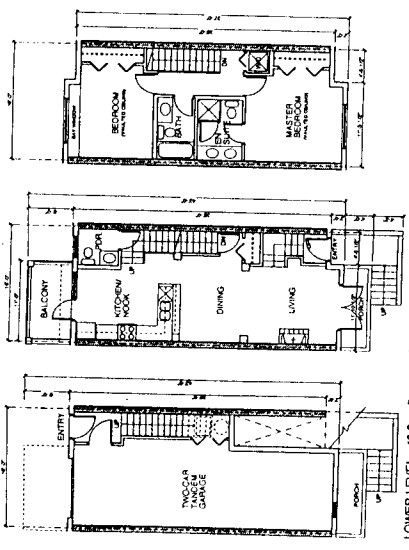
DP 01-198 040
 MAY 15 2002

DESIGNED FOR DEVELOPMENT PERMIT	MAY 14, 2002
RECEIVED FOR DEVELOPMENT PERMIT	MAY 14, 2002
RECEIVED FOR DEVELOPMENT PERMIT	FEBRUARY 22, 2002
RECEIVED FOR DEVELOPMENT PERMIT	JANUARY 27, 2002
RECEIVED FOR DEVELOPMENT PERMIT	NOVEMBER 30, 2001
RECEIVED FOR DEVELOPMENT PERMIT	NOVEMBER 19, 2001
SCALE	DATE

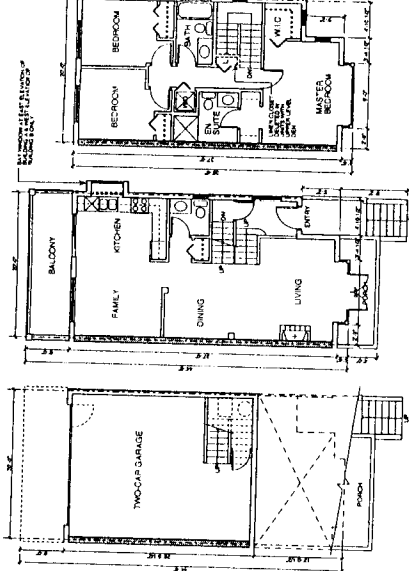


Perkins & Company
 Architecture and Urban Design, Inc.
 1000 West 10th Street, Suite 100
 Vancouver, BC V6H 2G6
 Telephone: (604) 681-1111
 Fax: (604) 681-1112
 Website: www.perkinsandcompany.com

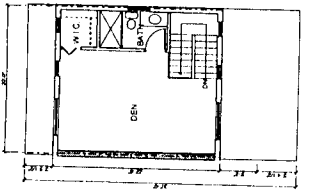
PROJECT TITLE IMPERIAL LANDING AT STEVESTON	
PARCEL #5 SITE / UNIT PLANS	
SCALE AS NOTED	DATE MAY 15 2002
DRAWING NO. 2108	
RECORD SCALE AS NOTED	DATE AS NOTED
SHEET NO. 2	



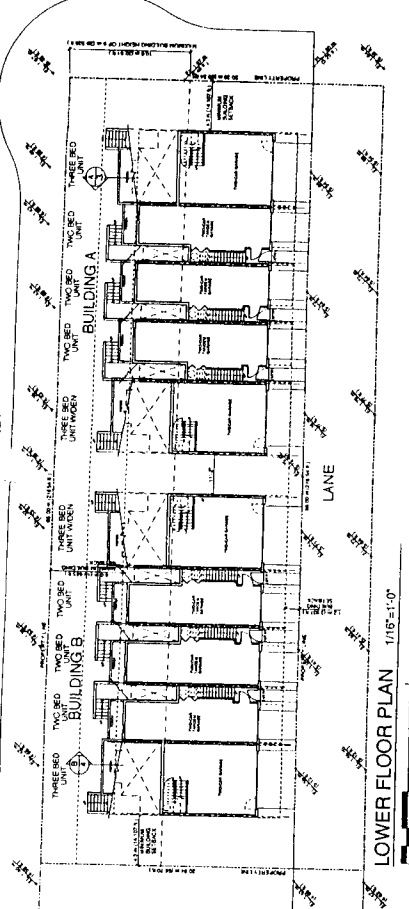
LOWER LEVEL - 43.0 sq. ft.
 TWO BEDROOM TOWNHOUSE - 16'-0" WIDE MODULE -
 TOTAL FLOOR AREA = 1,132.0 sq. ft.



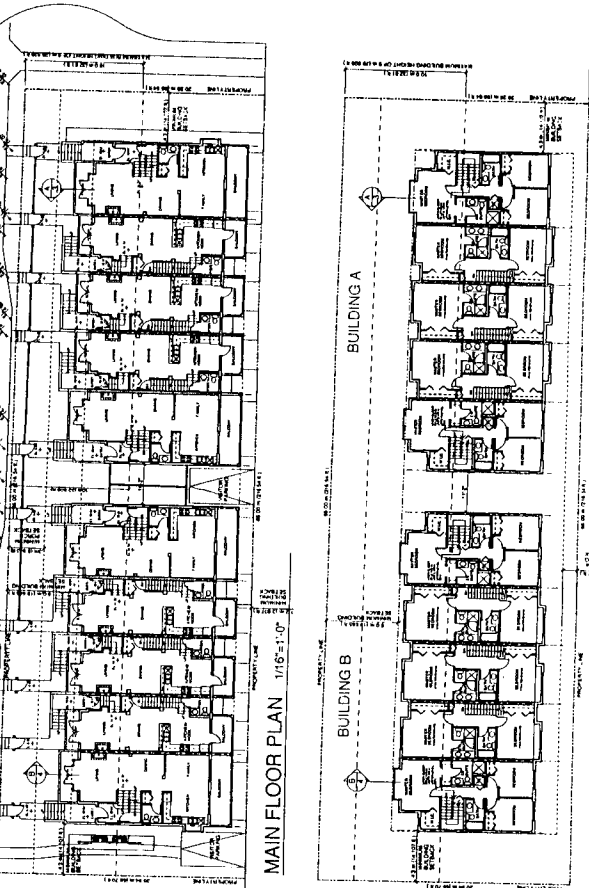
LOWER LEVEL - 61.0 sq. ft.
 THREE BEDROOM TOWNHOUSE -
 20'-0" WIDE MODULE -
 TOTAL FLOOR AREA = 1,419.0 sq. ft.



SECOND LEVEL - 582.0 sq. ft.



LOWER LEVEL - 43.0 sq. ft.
 THREE BEDROOM TOWNHOUSE -
 20'-0" WIDE MODULE -
 TOTAL FLOOR AREA = 1,812.0 sq. ft.



LOWER LEVEL - 61.0 sq. ft.
 THREE BEDROOM TOWNHOUSE -
 20'-0" WIDE MODULE -
 TOTAL FLOOR AREA = 1,419.0 sq. ft.

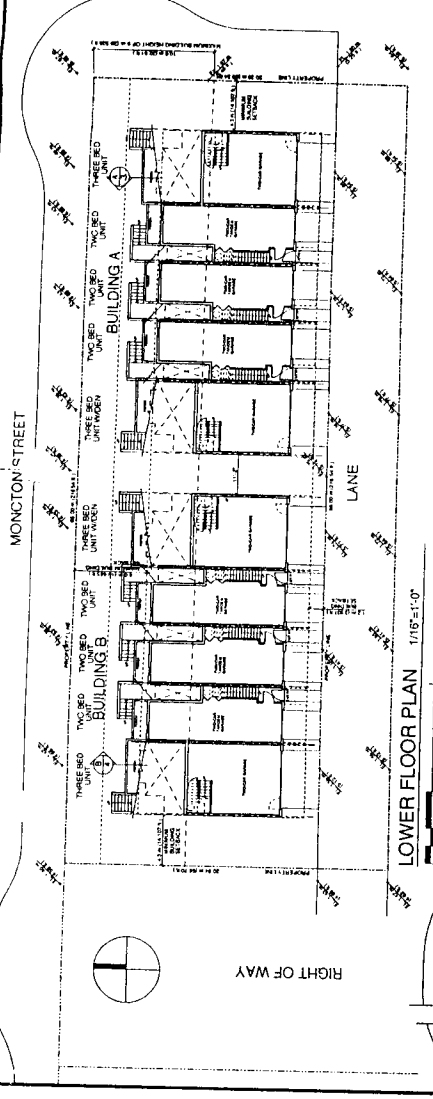


SECOND LEVEL - 582.0 sq. ft.

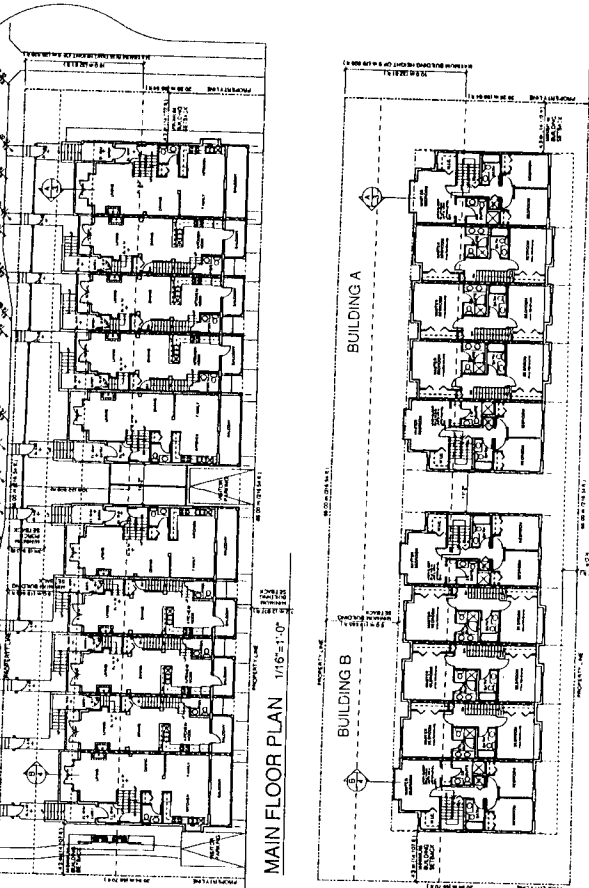


UPPER LEVEL - 390.0 sq. ft.

TYPICAL UNIT PLANS
 1/8" = 1'-0"



LOWER FLOOR PLAN 1/16" = 1'-0"



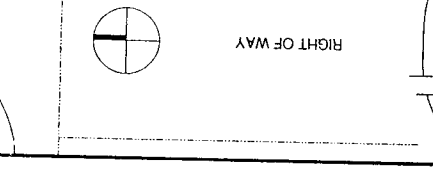
MAIN FLOOR PLAN 1/16" = 1'-0"



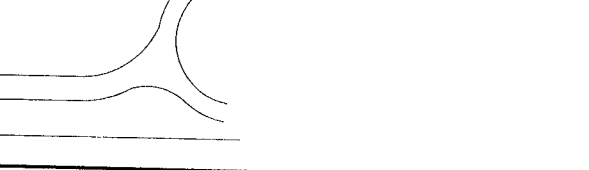
SECOND FLOOR PLAN 1/16" = 1'-0"



UPPER FLOOR PLAN 1/16" = 1'-0"



LOWER FLOOR PLAN 1/16" = 1'-0"



MAIN FLOOR PLAN 1/16" = 1'-0"



SECOND FLOOR PLAN 1/16" = 1'-0"



UPPER FLOOR PLAN 1/16" = 1'-0"

MAY 15 2002

02-198040

SEE TYPICAL PLAN
SEE P&A DWG.

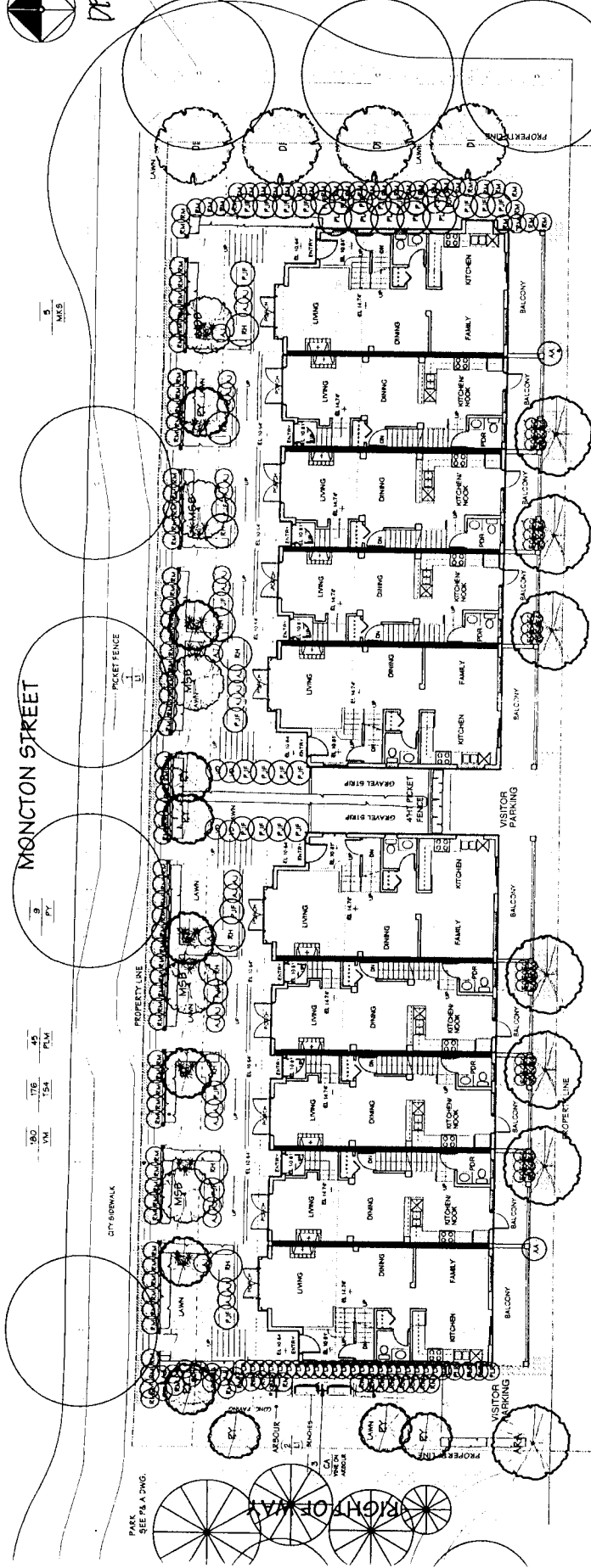
#2

SEE TYPICAL PLAN
SEE P&A DWG.

ITC & ASSOCIATES
LANDSCAPE ARCHITECTS
3100 Hunt Street
Richmond, BC V7E 2L4
Voice: (604) 272-2812
Facsimile: (604) 272-4836
E-mail: itc@itc.ca

IMPERIAL
LANDING
PARCEL F5
RICHMOND B.C.

LANDSCAPE PLAN

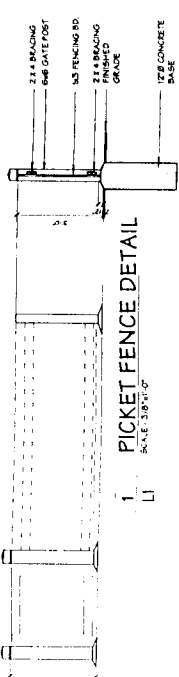


LANE

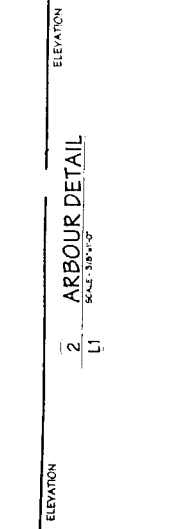
PLANT LIST
IMPERIAL LANDING PARCEL F5

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
TREES				
TA	7	ACEB RUBRUM 'ARMSTRONG'	ARMSTRONG MAPLE	8-10" CAL. 8-10" H. STD.
MB	5	MAGNOLIA SENSIBILIS	ORIENTAL MAGNOLIA	6-8" CAL. 8-10" H. STD.
MS	5	MAGNOLIA SENSIBILIS	ORIENTAL MAGNOLIA	6-8" CAL. 8-10" H. STD.
TS	169	TRIFOLIUM OXYLOBYUM 'SUNSHINE'	SHRUB CLOVER	12-18" HT.
SHRUBS				
AA	3	ANEMONE 'HONOLULU'	ANEMONE	43 POT
AJ	33	ADONIS 'JAPONICA'	JAPANESE ANEMONE	43 POT
EC	36	ERICA 'GARDEN'	HEATH	43 POT
PK	27	PRUNUS 'LAUREOLA'	ORIENTAL PRUNUS	43 POT
PK	5	PRUNUS 'LAUREOLA'	ORIENTAL PRUNUS	43 POT
PK	5	PRUNUS 'LAUREOLA'	ORIENTAL PRUNUS	43 POT
PK	117	PRUNUS 'LAUREOLA'	ORIENTAL PRUNUS	43 POT
PK	4	PRUNUS 'LAUREOLA'	ORIENTAL PRUNUS	43 POT
GROUND COVERS				
ALU	285	ARCTOSTAPHYLOS 'JVA 1851'	JAPANESE SPICE	43 POT
PA	100	PERSEA 'MAYING 'SUNSHINE'	PERSEA	43 POT
VINES				
CA	3	CLEMATIS 'REMINDI'	EVERGREEN CLEMATIS	1" POT
PERENNIALS/ANNUALS/FERNS/GRASSES/RADIANT PLANTS				
PL	30	POLYSTICHUM 'MUN-TUM'	WESTERN BIRD FEEN	1" POT
PER	20	PERENNIALS "		1" POT

NOTES
 ** QUANTITIES SPECIFIED AND VARIETY TO BE APPROVED BY THE LANDSCAPE ARCHITECT.
 ALL MATERIALS AND EXECUTION SHALL BE IN ACCORDANCE TO THE MOST RECENT
 BRITISH COLUMBIA LANDSCAPE STANDARDS.
 PLANTS IN THIS PLANT LIST ARE SPECIFIED ACCORDING TO THE OLYMPIA STANDARDS
 FOR NURSERY STOCK AND THE BCMA STANDARDS FOR CONTAINER GROWN PLANTS.
 ALL PLANT QUANTITY DISCREPANCIES BETWEEN PLAN AND PLANT LIST SHALL BE
 REPORTED TO THE LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO SUBMITTING BIDS.
 ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR ONE FULL
 YEAR AFTER THE DATE OF SUBSTANTIAL PERFORMANCE. SUBSTANTIAL PERFORMANCE
 OF THE LANDSCAPE ARCHITECT.
 THE CONTRACTOR SHALL MAINTAIN ACCORDANCE TO THE LANDSCAPE
 STANDARDS UNTIL THE WORK IS TURNED OVER TO THE OWNER.



1 PICKET FENCE DETAIL
SCALE: 3/8" = 1'-0"



2 ARBOUR DETAIL
SCALE: 3/8" = 1'-0"

- EXTENSION MATERIALS LEGEND
- 1) BRICK: COMMON BRICK, 2 1/4" x 3 1/2" x 8"
 - 2) SHINGLE: ASBESTOS, 36" x 48" x 5/8"
 - 3) ROOFING: ASBESTOS, 36" x 48" x 5/8"
 - 4) GUTTER: ALUMINUM, 6" x 6"
 - 5) SIDING: VERTICAL SLAT, 1 1/2" x 8"
 - 6) SIDING: HORIZONTAL SLAT, 1 1/2" x 8"
 - 7) SIDING: SHINGLE, 36" x 48" x 5/8"
 - 8) SIDING: SHINGLE, 36" x 48" x 5/8"
 - 9) SIDING: SHINGLE, 36" x 48" x 5/8"
 - 10) SIDING: SHINGLE, 36" x 48" x 5/8"

MAY 15 2002

DP 01-198 040
#3

NO.	DESCRIPTION	DATE
1	PREPARED FOR DEVELOPMENT PERMIT	April 11, 2002
2	REVISED FOR DESIGN PANEL	February 27, 2002
3	REVISED FOR DEED PANEL	January 27, 2002
4	REVISED FOR DEVELOPMENT PERMIT	November 20, 2001
5	REVISED FOR REVIEW	November 13, 2001
6	DATE	

Perkins & Company
Architecture and Urban Design, Inc.
1145 Main Street, Suite 200
Stevenson, MD 21153
Phone: (410) 421-5100
Fax: (410) 421-5101
E-Mail: info@perkinsandcompany.com

PROJECT TITLE
**IMPERIAL LANDING
AT STEVENSON**

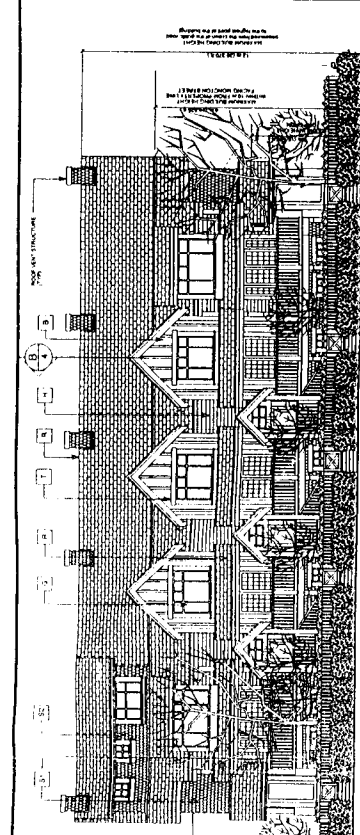
CLIENT TITLE
**PARCEL F5
ELEVATIONS & SECTION**

PROJECT NO.
2168

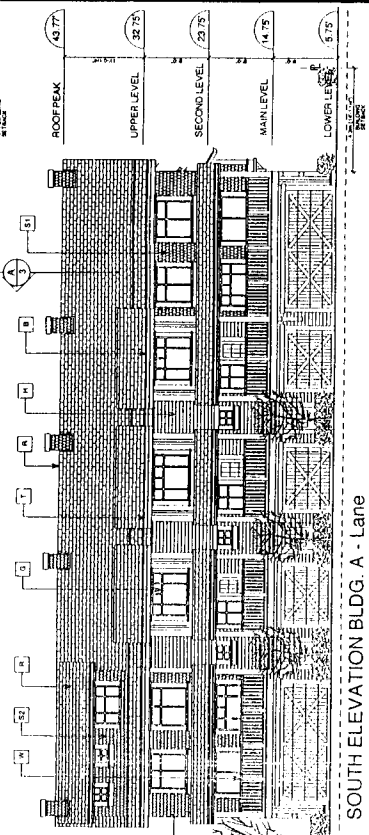
DATE
2/16/02

SCALE
1/8" = 1'-0"

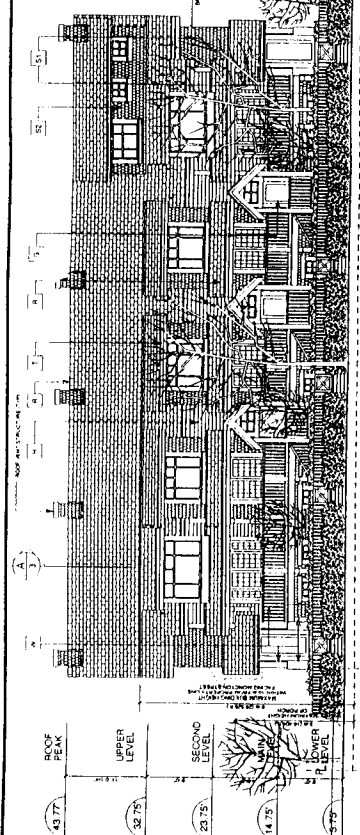
DRAWING NO.
3



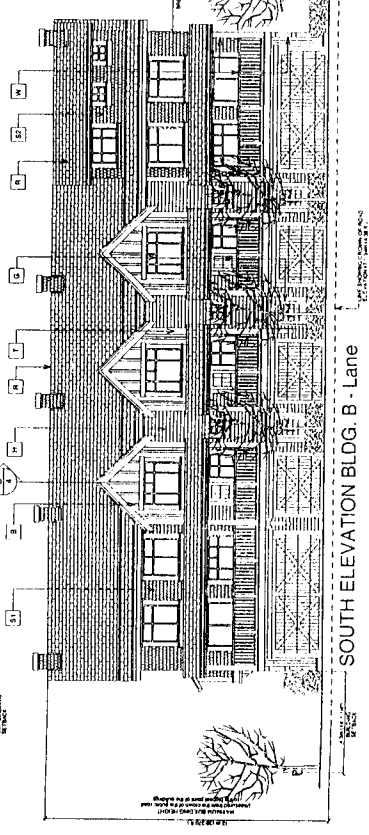
NORTH ELEVATION BLDG. B - Moncton Street



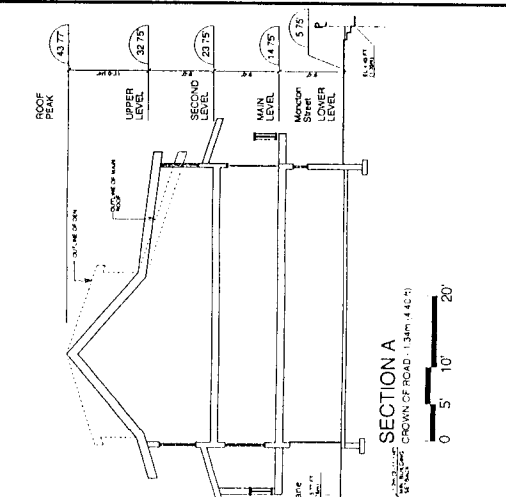
SOUTH ELEVATION BLDG. A - Lane



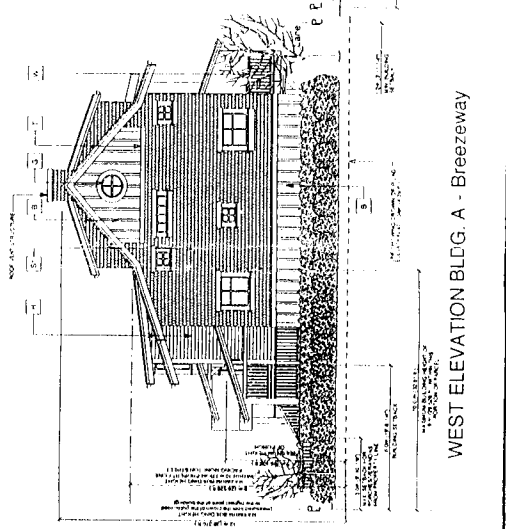
NORTH ELEVATION BLDG. A - Moncton Street



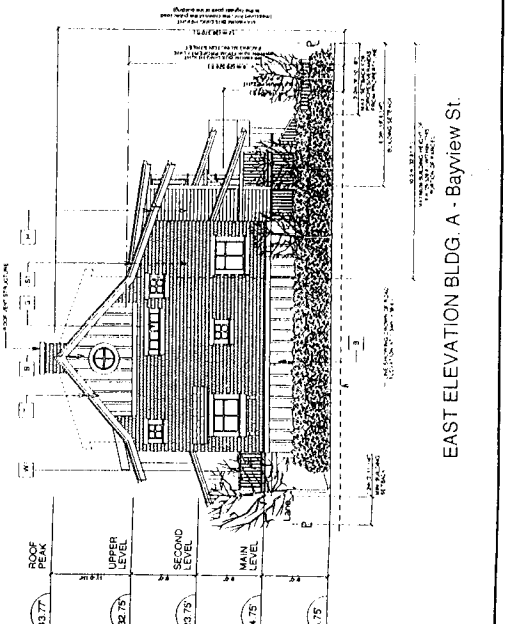
SOUTH ELEVATION BLDG. B - Lane



SECTION A
GROWN OF PCHD - 13.3m (44.2')
0 5' 10' 20'



WEST ELEVATION BLDG. A - Breezeway

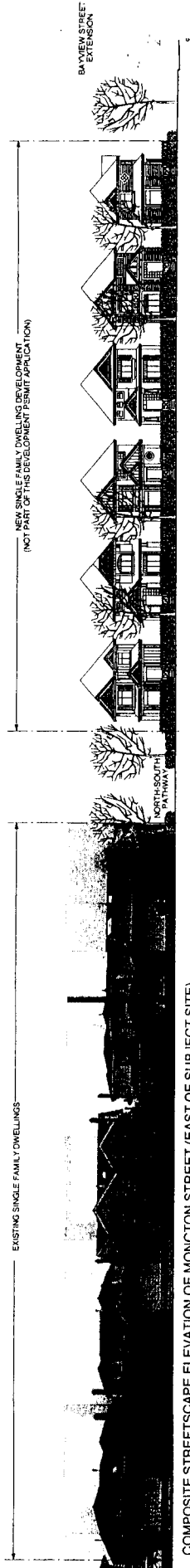


EAST ELEVATION BLDG. A - Bayview St.

MAY 15 2002

DP 01-198040

#5



COMPOSITE STREETSCAPE ELEVATION OF MONCTON STREET (EAST OF SUBJECT SITE)

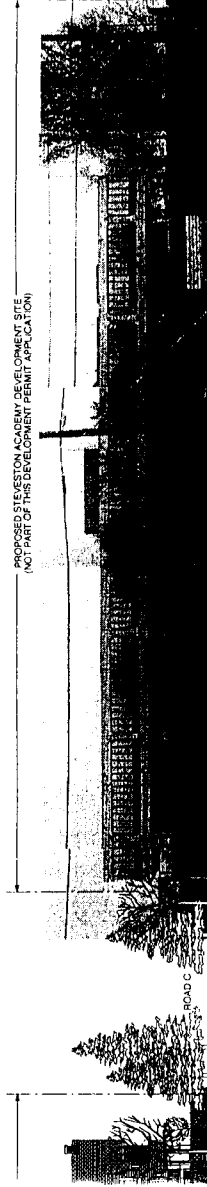
PROJECT TITLE IMPERIAL LANDING AT STEVESTON		DATE MAY 15 2002	
OWNER PERKINS & COMPANY ARCHITECTURE AND URBAN DESIGN INC. 1000 WEST 10TH AVENUE VANCOUVER, BC V6H 3G9 TEL: 604-273-1111 FAX: 604-273-1112 WWW.P&C.COM		SCALE 1/8" = 1'-0"	
PROJECT NO. 2158		DATE MAY 15 2002	
PROJECT TITLE PARCEL F5 COMPOSITE ELEVATION - E		SCALE 1/8" = 1'-0"	
DATE MAY 15 2002		DATE MAY 15 2002	
REVISIONS		DATE	
1. INITIAL DESIGN		1. INITIAL DESIGN	
2. REVISED FOR DEVELOPMENT PERMIT		2. REVISED FOR DEVELOPMENT PERMIT	
SCALE		DATE	
5		5	

MAY 15 2002

DP 01 198040

#6

PROPOSED STEVENSON LAUNDRY DEVELOPMENT SITE
(NOT PART OF THIS SECRETARY PERMIT APPLICATION)



(SUBJECT SITE)

Perkins & Company Architecture and Urban Design, Inc. <small>1000 North 10th Street Suite 100 Minneapolis, MN 55412 Phone: (612) 338-1111 Fax: (612) 338-1112 E-Mail: info@perkinsandcompany.com</small>		PROJECT TITLE IMPERIAL LANDING AT STEVENSON	
PROJECT NO 2168		DATE DATE 5/15/02	
COUNTY MN		SCALE 1" = 100'	
CITY STEVENSON		SHEET NO. 6	
PARCEL # COMPOSITE ELEVATION - WES			
<small>NOT TO SCALE THIS PLAN IS A PRELIMINARY DESIGN AND IS SUBJECT TO CHANGE WITHOUT NOTICE. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE DESIGNER ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED OR FOR THE RESULTS OF ANY INVESTIGATION OR ANALYSIS CONDUCTED BY THE DESIGNER.</small>			