



City of Richmond
Urban Development Division

Report to Development Permit Panel

To: Development Permit Panel

Date: May 31, 2006

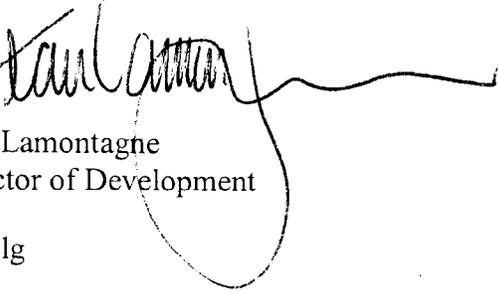
From: Jean Lamontagne
Director of Development

File: DP 06-327868

Re: **Application by Jagtar Singh Sihota for a Development Permit at
6780 No. 4 Road**

Staff Recommendation

That a Development Permit be **denied** which would permit the construction of a local commercial building, consisting of ground floor commercial space and one (1) second floor dwelling unit, at 6780 No. 4 Road on a site zoned Local Commercial District (C1).



Jean Lamontagne
Director of Development

GL:blg
Att.

Staff Report

Origin

Jagtar Singh Sihota, on behalf of Sihota Ventures Ltd., has applied to the City of Richmond for permission to develop a local commercial building, consisting of ground floor commercial space and one (1) second floor dwelling unit, at 6780 No. 4 Road (**Attachment 1**) on a site zoned Local Commercial District (C1). The site is currently vacant.

Development Information

Please refer to attached Development Application Data Sheet (**Attachment 2**) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Council approved a Development Permit for this site (DP 04-280263) on October 11, 2005 (**Attachment 3**). This current development permit proposal includes some considerable variations to the building siting and form originally approved. The applicant is of the opinion that these changes, specifically the placement of surface parking at the front of the building, will make the site more marketable to prospective tenants. The applicant is aware that the proposed application does not meet with the intent of development guidelines within the Official Community Plan (OCP), and has clearly indicated that there is no desire to change or modify the basic premise of the design. Instead, the applicant has requested that the application move forward before the Development Permit Panel without staff support.

Public concerns were brought forward from the gallery at the Development Permit Panel Meeting for the original approved Development Permit. Specifically, an adjacent landowner at 6700 No. 4 Road indicated safety and privacy concerns. These were dealt with through a combination of fencing, landscaping and driveway treatments.

This property is located within the Agricultural Land Reserve (ALR), but is not subject to the *Agricultural Land Commission Act* because it is less than 0.8 ha (2.0 acres) in area and on a separate Certificate of Title as of December 21, 1972. The site has historical zoning of Local Commercial District (C1).

The subject site is located on the boundary of the Agricultural Land Reserve (ALR); properties on the west side of No. 4 Road are not in the ALR. This area contains numerous small lot agricultural holdings and none of the immediate neighbours in the ALR that surround the subject site are intensively farmed.

Development surrounding the subject site is as follows:

- To the north, east and south are single-family residences on lots zoned “Agricultural District (AG1)” and in the ALR; and
- To the west, across No. 4 Road, is a duplex zoned “Two-Family Housing District (R5)” and single-family residences zoned “Single-Family Housing District, Subdivision Area F (R1/F)” (these properties are not in the ALR).

Staff Comments

The proposed scheme attached to this report does not meet a number of general and commercial Development Permit guidelines found within the Official Community Plan (OCP). Specifically the following guidelines are not being met:

- Where possible, parking should be located to the rear or beneath buildings, with vehicular access from lanes. Where lane access is not possible, access should be from streets via narrow driveways.
- Where surface parking is provided, it should typically be situated to the rear of buildings and screened from public streets.
- Street-fronting development that creates an edge to the street is encouraged to help define streets and public spaces.
- Corner sites should be designed to bring visual prominence to the corner and to provide an edge to the intersection.
- Buildings are encouraged to be located at or close to the corner, wherever possible, to provide a built-form definition to the street. The design and shape of the buildings should enhance their potential use as reference points or landmarks.
- When buildings are not located at the corner, the buildings should define the open space, which is part of the corner; and a landscaped area with special features appropriate to the context should be provided.
- Entrances should animate the street, provide separate and distinct identities for businesses and residents, and reinforce a scale and rhythm to the street complementary to local uses, pedestrian activities, street tree planting and landscaping.
- Guidelines pertaining to commercial developments:
 - Access from a main or fronting street should be designed as a single access point; Multiple access points are discouraged.
 - A continuous street orientation of the development should be maintained.
 - Parking should be located at the rear of buildings; any above-ground parking structures should be located at the rear of a development or away from the main or fronting street and should be treated with decorative screening and/or landscaping to minimize the visual impact from the street.
 - Street-oriented development is encouraged; Developments should have a strong and continuous street edge definition.
 - Developments on corner sites should maintain a presence on both streets with particular emphasis on a design that addresses the corner. Massing should help to define the intersection by providing an “edge” to the street.

As the proposed building is located away from the corner position, staff had some of the following concerns:

- No edge or definition is created along either No. 4 Road or Granville Avenue.
- Building entrances are unable to animate the street or provide a scale and form that would enhance the surrounding area.
- No attempt is made to provide an alternative focus point to punctuate the corner to mitigate the setback building location.
- Siting the building at the northeast corner of the property provides less distance and separation to immediate adjacent residential properties.

- Screening of the parking area is proposed through the provision of landscaping; however the visibility of signage may become an issue as a result.
- Proposed design does not comply with the requirements identified through the ongoing site servicing design review process. The proposed offsite street improvements do not meet with city standards identified by staff.
- Development is not designed as a pedestrian oriented community focal point.

Zoning Compliance/Variances

In addition to the concerns noted above, the applicant requests to vary the provisions of the Zoning and Development Bylaw No. 5300 to:

- 1) Permit a reduction of the commercial parking requirements from 22 to 19 spaces;
- 2) Permit two (2) small car parking spaces to be provided;
- 3) Permit two (2) tandem parking spaces for the residential use;
- 4) Permit two (2) tandem parking spaces for the commercial use;

This is unsupportable by staff as there is no precedence or accommodation for this in the Zoning & Development Bylaw or Official Community Plan (OCP), and furthermore, does not meet City standards and requirements. The proposed tandem stalls are also located in a remote location, separate from the main parking area, raising concerns over circulation, safety and functionality of the parking.

- 5) Reduce the driveway width from 7.5 m to 7.3 m; and
- 6) Reduce the side yard setback from 3 m to 2.4 m for a garbage structure.
- 7) Reduce the landscape setback for parking spaces at the corner of No. 4 Road and Granville Avenue.

A number of the variances are required as a result of the proposed building location on site. Staff have not reviewed the supportability of each specific variance as a result.

Advisory Design Panel Comments

This item was not forwarded to the Advisory Design Panel given the background of the proposal.

Conclusions

An approved Development Permit has been recently issued for this site that meets with the design objectives of the Official Community Plan (OCP) and fits with the context of the neighbourhood and streetscape.

The fundamental issue of building location as proposed does not meet with the intent or objectives of the general development guidelines within the Official Community Plan (OCP). In addition, there are unresolved issues such as signage visibility/placement and requests for commercial tandem parking that are unsupportable by staff.

The applicant has clearly indicated that they will not change the building location as proposed, and is unwilling to look at resolving other staff concerns unless they have assurance that the building form remains with the surface parking in front of the building form. As such, staff recommend that this application be **denied**.



Grace Lui, M.U.R.P.

Planner

(Local 4108)

GL:blg



City of Richmond

6911 No. 3 Road
 Richmond, BC V6Y 2C1
 (604) 276-4000

**Development Application
 Data Sheet**
 Development Applications Department

DP 06-327868

Attachment 2

Address: 6780 No. 4 Road

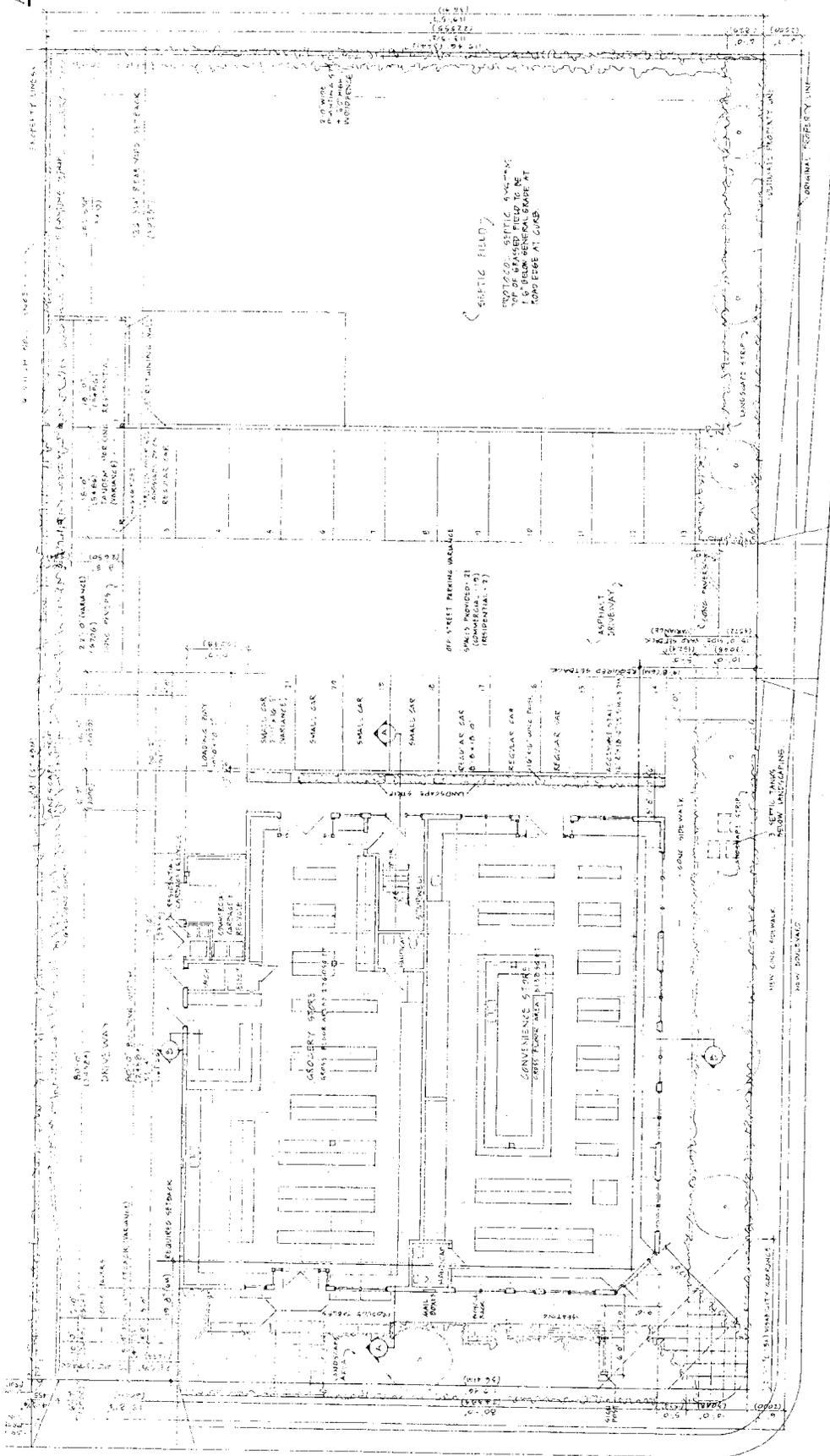
Applicant: Jagtar Singh Sihota Owner: Jagtar Singh Sihota
 (Sihota Ventures Ltd.)

Planning Area(s): East Richmond Area; McLennan Sub-Area

Floor Area Gross: 946 m² (10,182.99 ft²) Floor Area Net: 946 m² (10,182.99 ft²)

	Existing	Proposed
Site Area:	2,448 m ²	2,448 m ²
Land Uses:	Vacant	Commercial/Residential
OCP Designation:	Agricultural	No change
Zoning:	C1	No change
Number of Units:	None	1 Commercial / 1 Residential

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	N/A	0.38	None permitted
Lot Coverage:	Max. 35%	25.1%	None
Setback – Front Yard (No. 4 Road):	Min. 6 m	21.36 m	None
Setback – Side Yard (Granville Avenue):	Min. 6 m	9.28 m	None
Setback – Side Yard (north property line):	Min. 3 m	3.6 m building 2.4 m garbage encl.	0.6 m for garbage encl.
Setback – Rear Yard (east property line):	Min. 3 m	16.21 m	None
Height (m):	Max. 9 m	8.68 m	None
Off-street Parking Spaces – Resident/Commercial:	1.5 (R) and 22 (C)	2 (R) and 19 (C)	3 (C)
Off-street Parking Spaces – Accessible:	1	1	None
Total off-street Spaces:	23.5	21	3 spaces
Tandem Parking Spaces (R)	not permitted	2	2 spaces
Tandem Parking Spaces (C)	not permitted	2	2 spaces
Small Car Parking Spaces (C)	not permitted	2	2 spaces



GRANVILLE AVENUE

GROUND FLOOR PLAN
Scale 1/8" = 1'-0"



PREVIOUSLY APPROVED
04280263

DR

PLAN #2

A1

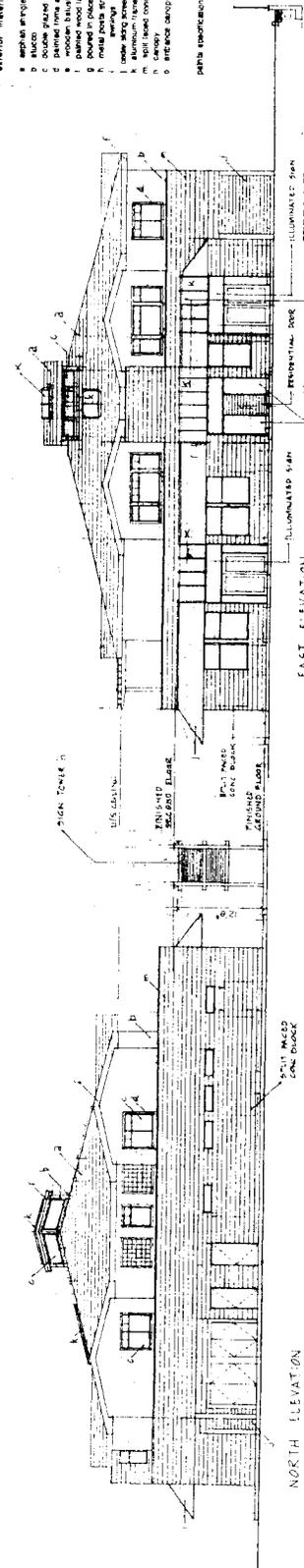
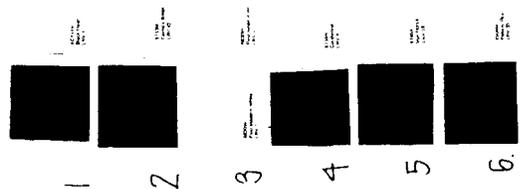
02	DATE: 6/14/11
03	K.C. JUNE 24, 2007
04	04/08/2008
05	07/16/2008
06	08/20/2008
07	08/27/2009
08	08/10/2009

ground floor plan
granville place
mixed use development
6780 Granville Avenue, Richmond
Kenneth E. King
Architectural Planning/Urban Design
Architectural Design
12000 Woodloch Lane, Suite 100
Richmond, VA 23134
Tel: 804.271.1234
Fax: 804.271.1235

ATTACHMENT 3

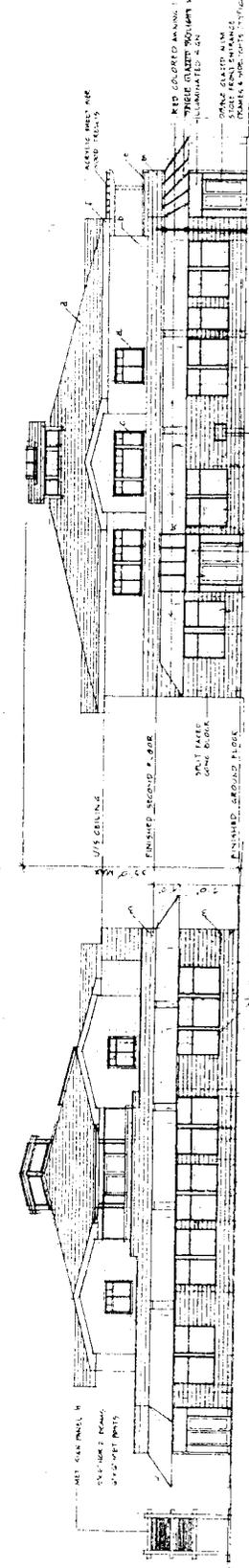
- exterior materials legend color scheme legend
- A BRICK
 - B BRICK
 - C BRICK
 - D BRICK
 - E BRICK
 - F BRICK
 - G BRICK
 - H BRICK
 - I BRICK
 - J BRICK
 - K BRICK
 - L BRICK
 - M BRICK
 - N BRICK
 - O BRICK

depth specification general data



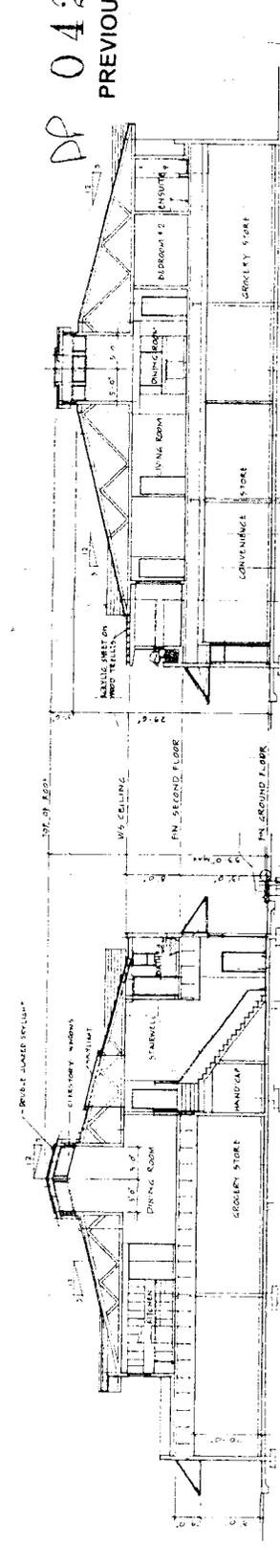
NORTH ELEVATION

EAST ELEVATION

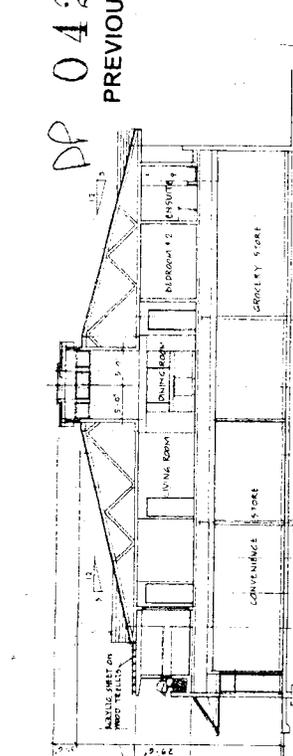


SOUTH ELEVATION

WEST ELEVATION



BUILDING SECTION A-A



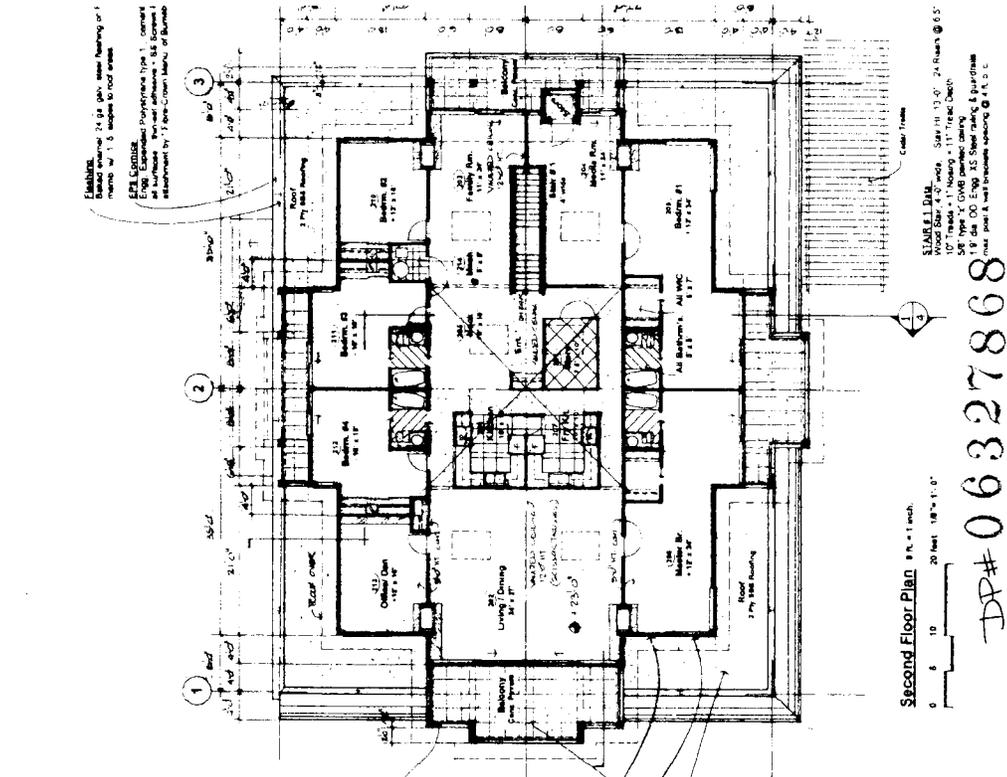
BUILDING SECTION B-B

SCALE 1/8" = 1'-0"

DESIGNED BY
 DRAWN BY
 CHECKED BY

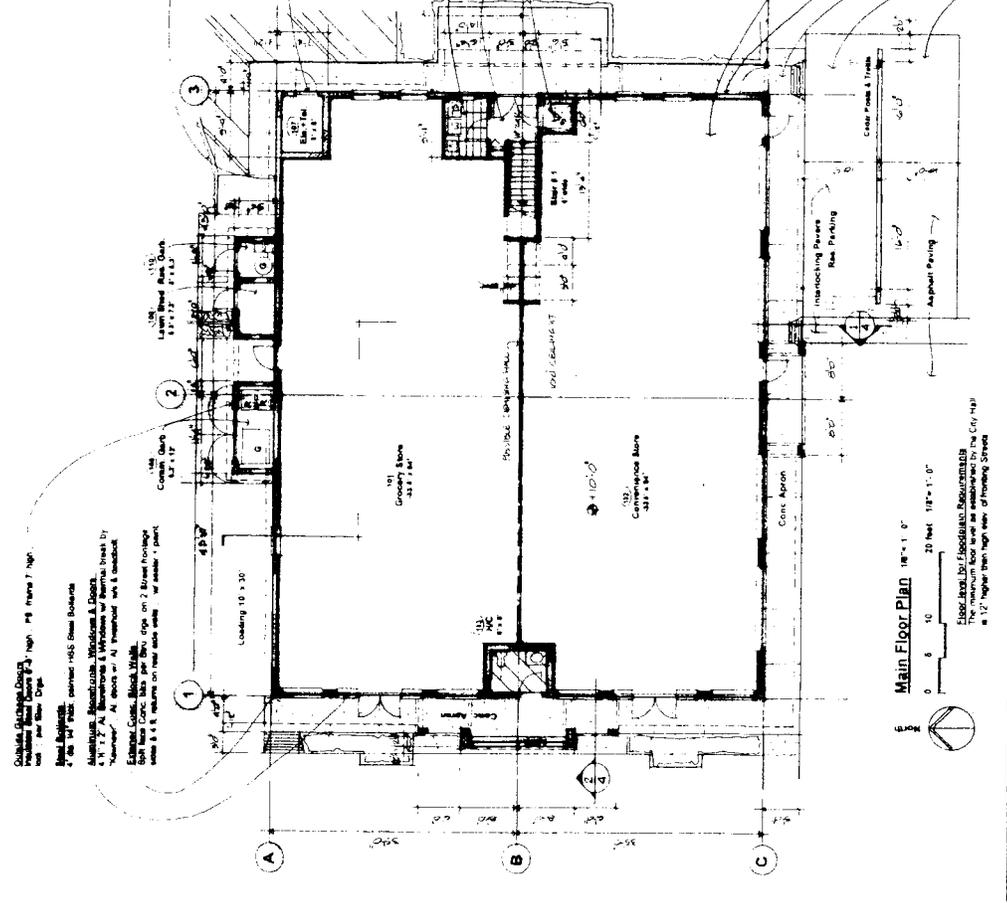
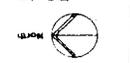
DP 04280263
 PREVIOUSLY APPROVED
 PLAN #4

sections + elevations
 granite place
 mixed use development
 6780 no 4 road, richmond
 Kansas E King
 Architecture Planning/Urban Design



General Notes:
 1. All work shall conform to the City of Richmond Building Code.
 2. The minimum floor level shall be established by the City of Richmond.
 3. All work shall be in accordance with the City of Richmond Building Code.
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 9. All work shall be in accordance with the City of Richmond Building Code.
 10. The minimum floor level shall be established by the City of Richmond.

Main Floor Plan 18'-11" 0"



Second Floor Plan 18'-11" 0"



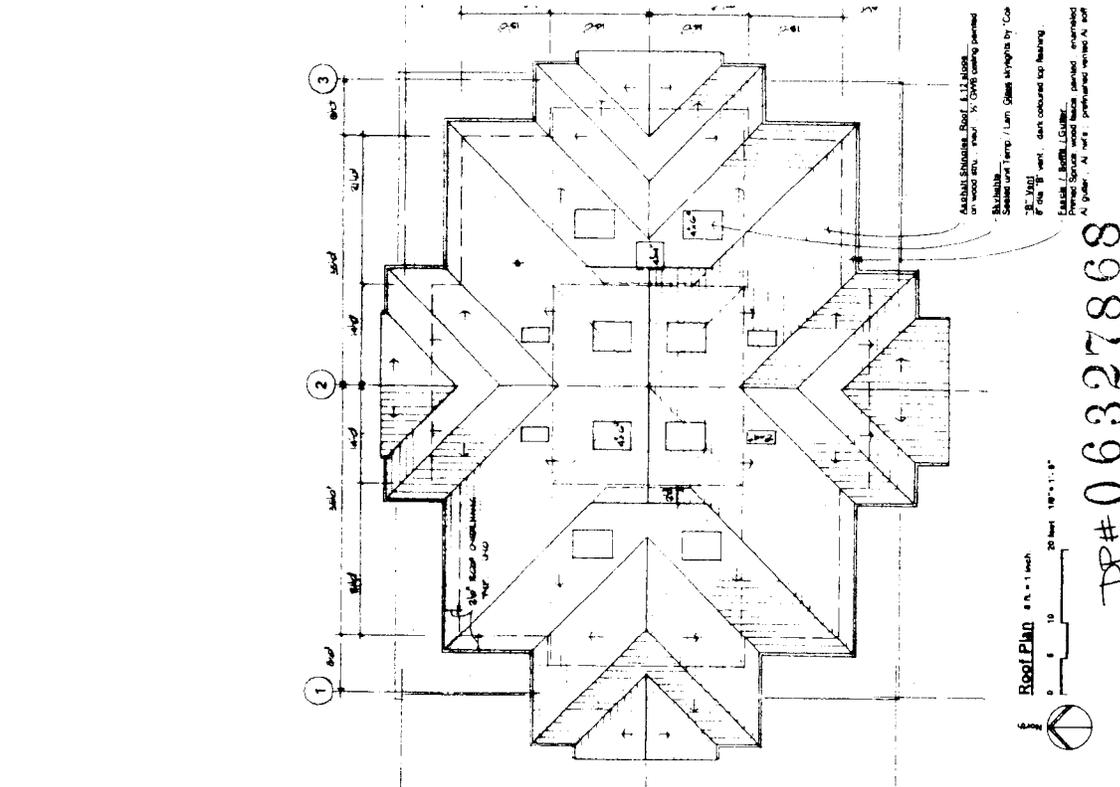
DR# 06327868

granville place
 Mixed Use Development for Mr. Jagto Shook, Shook Ventures Ltd.
 8110 No. 4 Road, Richmond, BC

3

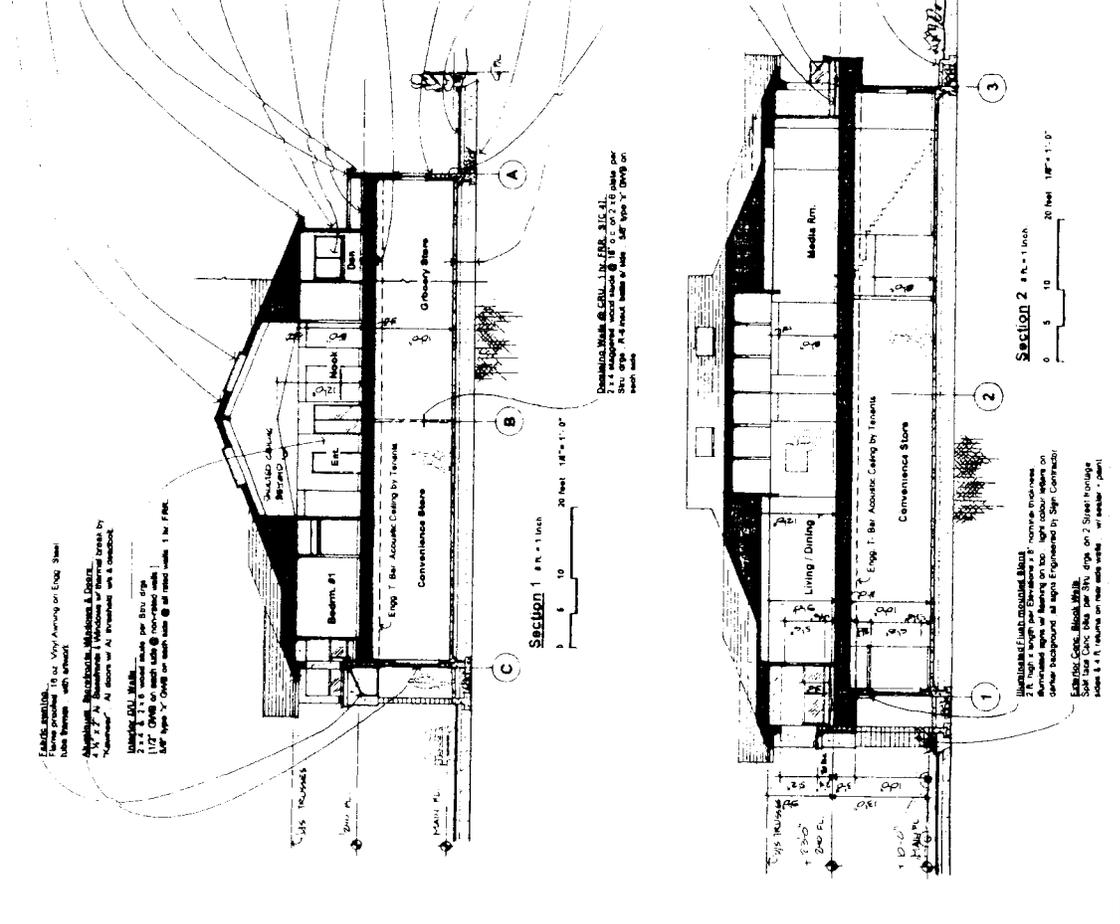
Main Floor Plan

Second Floor Plan



General Notes:

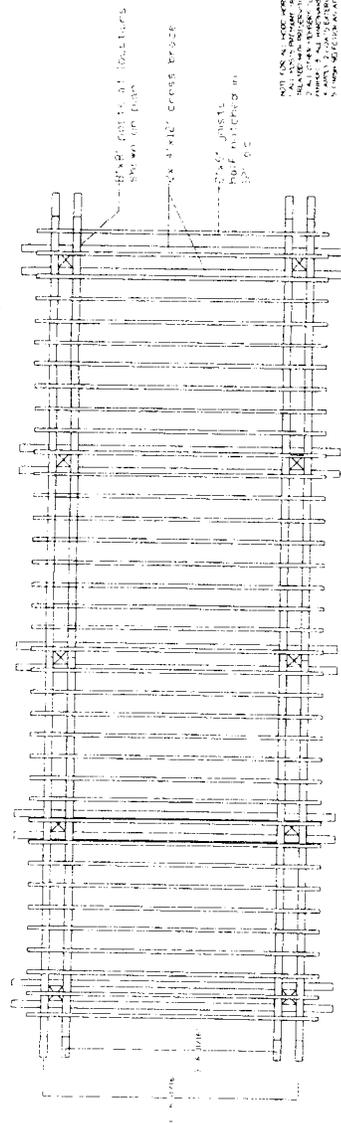
- Roof Structure: Steel, A.L.C. Joist
- Roof Deck: 1/2" Plywood
- Roofing: 30 Year Asphalt Shingles by GAF
- Flashing: 3/8" x 3/8" x 1/2" galvanized steel
- Drainage: 2" PVC Drain
- Structural: 2" x 4" Joists @ 16" o.c.
- Trusses: 2" x 6" Trusses @ 16" o.c.
- Decking: 1/2" Plywood
- Insulation: 1/2" R-19 Insulation
- Finish: 1/2" Gypsum Board
- Paint: 1/2" Latex Paint
- Roofing: 30 Year Asphalt Shingles by GAF
- Flashing: 3/8" x 3/8" x 1/2" galvanized steel
- Drainage: 2" PVC Drain
- Structural: 2" x 4" Joists @ 16" o.c.
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- Insulation: 1/2" R-19 Insulation
- Finish: 1/2" Gypsum Board
- Paint: 1/2" Latex Paint



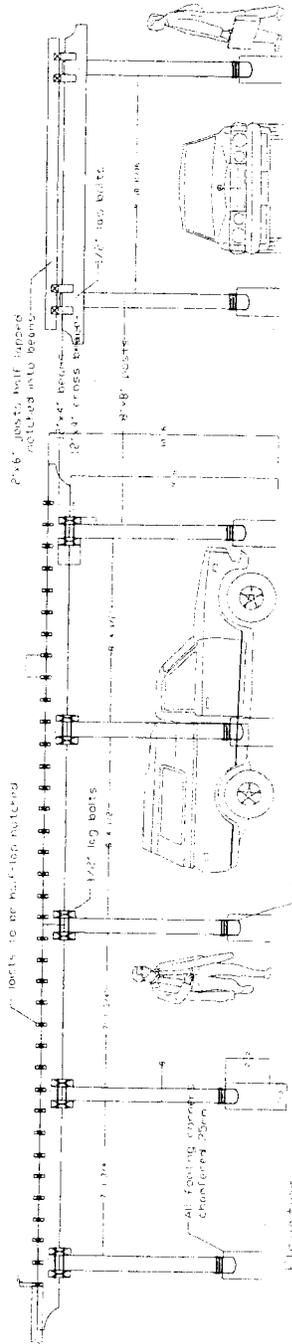
Section 1: 1/8" = 1'-0"

Section 2: 1/8" = 1'-0"

<p>Granville Place Mixed Use Development for Mr. Jagat Shaha Shaha Ventures Ltd 6766 No. 4 Road Richmond BC</p>		<p>Roof Plan Sections</p>
<p>4</p>		<p>Scale: 1/8" = 1'-0"</p>

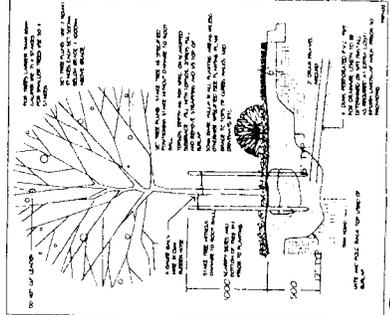


Plan

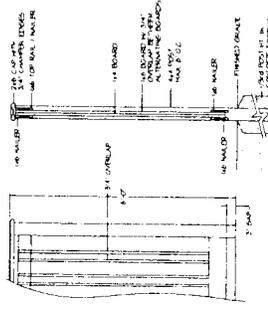


Elevation

1 TRELLIS OVER RESIDENTIAL PARKING



3 TREE PLANTING DETAIL



2 6'-0" HEIGHT SOLID WOOD FENCE

- NOTES:
1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 2. ALL OTHER DIMENSIONS TO BE GIVEN IN CONSTRUCTION SHALL BE THROUGH DIMENSIONS UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 4. FINISH SELECTED BY ARCHITECT.
 5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

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NO.	DATE	REVISIONS/DESCRIPTION	BY	CHK.
1	10/15/14	ISSUED FOR PERMITS	DMG	DMG
2	10/15/14	ISSUED FOR PERMITS	DMG	DMG
3	10/15/14	ISSUED FOR PERMITS	DMG	DMG
4	10/15/14	ISSUED FOR PERMITS	DMG	DMG
5	10/15/14	ISSUED FOR PERMITS	DMG	DMG
6	10/15/14	ISSUED FOR PERMITS	DMG	DMG
7	10/15/14	ISSUED FOR PERMITS	DMG	DMG
8	10/15/14	ISSUED FOR PERMITS	DMG	DMG
9	10/15/14	ISSUED FOR PERMITS	DMG	DMG
10	10/15/14	ISSUED FOR PERMITS	DMG	DMG

DMG
 landscape architects
 A Partnership of
 DMG Landscape Architects Ltd.
 1000 West 1st Avenue, Suite 100
 Vancouver, BC V6C 1P5
 Tel: 604-681-1111
 Fax: 604-681-1112

PROJECT
GRANVILLE PLACE
 6780 NO. 4 ROAD
 RICHMOND, BC

DRAWING TITLE
**LANDSCAPE
 DETAILS**

DATE	BY	SCALE	DRAWING NUMBER
10/15/14	DMG	1/4" = 1'-0"	L2
10/15/14	DMG	1/4" = 1'-0"	L2
10/15/14	DMG	1/4" = 1'-0"	L2

DP#06327868

