



City of Richmond
Planning & Development

Report to Development Permit Panel

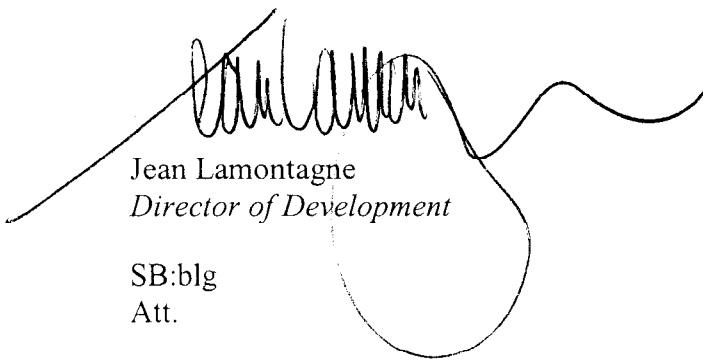
To: Development Permit Panel
From: Jean Lamontagne
Director of Development

Date: June 1, 2006
File: DP 05-292371

Re: **Application by Matthew Cheng Architect Inc. for a Development Permit at
9800 Alberta Road**

Staff Recommendation

That a Development Permit be issued which would permit the construction of six (6) townhouse units at 9800 Alberta Road on a site zoned "Comprehensive Development District (CD/155)".



Jean Lamontagne
Director of Development

SB:blg
Att.

Staff Report

Origin

A staff report on the above-mentioned Development Permit application was presented to the Development Permit Panel on March 29, 2006 (**Attachment 1**), where the application was referred to staff in order to allow the applicant to resolve design issues. Of particular concern to the Panel, were the items listed below, with applicant improvements noted by staff in *'italics'*:

- Lack of design sensitivity to existing neighbours – *The transition from the proposed three-storey buildings to the adjacent two-storey homes has been improved by lowering the project by 0.6 m. The slab elevation and building height have been dropped by 0.3 m each. The building A has been moved 0.6 m to the east to provide the opportunity for additional landscaping along the west edge of the project. Permanent and temporary landscaping and privacy fencing has been provided to provide a sensitive transition to the existing home to the west.*
- Development Permit application sign on the site was on the ground – *Re-instated*
- The site had been filled and the fill had been placed within the canopy drip line of the two (2) trees on the south side of the property and to the trunk of the tree at the front of the property and they appeared to be at risk – *Protective tree fencing has been installed to the satisfaction of the applicant's registered arborist and fill removed from within the protection zones.*
- The Chair asked why the applicant's arborist had indicated the tree in the front yard needed to be removed, and the applicant advised that he believed that if it stayed, it would die. The Chair requested that this advice be reviewed because the tree appears healthy and does not conflict with the buildings or driveways – *Protective fencing has been installed. The arborist had recommended replacement of the existing western Red Cedar tree due to poor condition (Attachment 2). The existing western Red Cedar tree will be retained and Azalea bushes planted underneath.*
- Mr. Erceg continued by noting that one (1) of the trees on the school site has sustained damage and a limb had been removed, and he expressed the hope that this had not been caused by the developer's machinery when filling the site – *The applicant has stated that the limb of the McNeil School Garry Oak tree in question was not damaged by any machinery onsite, but was instead damaged in a strong wind storm earlier this year. With the approval of the Richmond School District, the developer paid for his arborist to prune the damaged limb to safeguard the health of the Garry Oak tree. Some time ago, with the request of the owner, the School Board removed a dead tree from school property adjacent to the southwest corner of the subject development site.*
- The project appeared to be a big three-storey box. The applicant should seriously consider discussing the project further with City staff, particularly in relation to the articulation and design of the buildings – *The applicant has improved all front and back elevations with articulation and a variety of building materials. A greater variety of building materials and colours have been incorporated. The design of the individual east facing unit entries has been improved. Roof forms have been articulated. North facing cantilevered decks have been added, improving building articulation and liveability of the units.*
- There was landscaping on the east side of the property but virtually nothing on the west side which is dominated by the shared driveway – *Planting islands between garage doors and a temporary planting strip along the west edge of the driveway have been incorporated (to be removed when the adjacent site to the west redevelops and the driveway cross-access is*

needed. No tree planting is proposed in the temporary planting area due to concern about difficulty of future tree removal).

- The future height of the development was a concern with three storeys on top of fill towering over neighbouring two-storey homes. There was a development across the street, which was not built on fill, which may be a better way to proceed – *As stated above, the project has been lowered by 0.6 m. The proposed slab elevation is raised from the existing grade to half way between the height difference of the adjacent Alberta Road properties. The proposed slab elevation is 0.21 m lower than the newer home to the east and 0.21 m higher than the older home to the west. The back yards of both adjacent properties slope down, away from the homes, and will be lower than the townhouse site. A 0.6 m high retaining wall is proposed.*
- The second and third floors of the project could be cantilevered to improve articulation and provide an opportunity for landscaping on the west side – *Incorporated.*

Conclusions

With these improvements, staff recommend support of this Development Permit application.



Sara Badyal, M.Arch.

Planner 1

(Local 4282)

SB:blg

The following conditions are required to be met prior to forwarding this application to Council for approval:

- Proof of a contract with a registered arborist for the protection of neighbouring trees (minimum 4 site visits);
- Installation of braced protective tree fencing to the satisfaction of a registered arborist; and
- Receipt of a Letter-of-Credit for landscaping in the amount of \$20,603.

The following is required prior to Building Permit issuance:

- Applicant must provide a construction parking & traffic management plan to the satisfaction of the Transportation Department (refer to <http://www.richmond.ca/services/ttp/special.htm>);
- Work order(s) for access and boulevard restoration works at the developer's sole cost. Works include but are not limited to construction of a new driveway crossing, relocation of a lamp standard and boulevard restoration, including a new street tree; and
- Accessibility measures to be incorporated into the Building Permit drawings.



City of Richmond
Urban Development Division

Development Permit

No. DP 05-292371

To the Holder: MATTHEW CHENG ARCHITECT INC.

Property Address: 9800 ALBERTA ROAD

Address: c/o MR. MATTHEW CHENG
#201 – 445 WEST 6TH AVENUE
VANCOUVER, BC V5Y 1L3

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #4 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$20,603 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 05-292371

To the Holder: MATTHEW CHENG ARCHITECT INC.

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#201 – 445 WEST 6TH AVENUE
VANCOUVER, BC V5Y 1L3

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

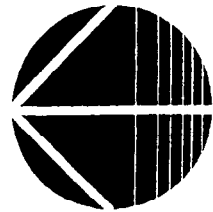
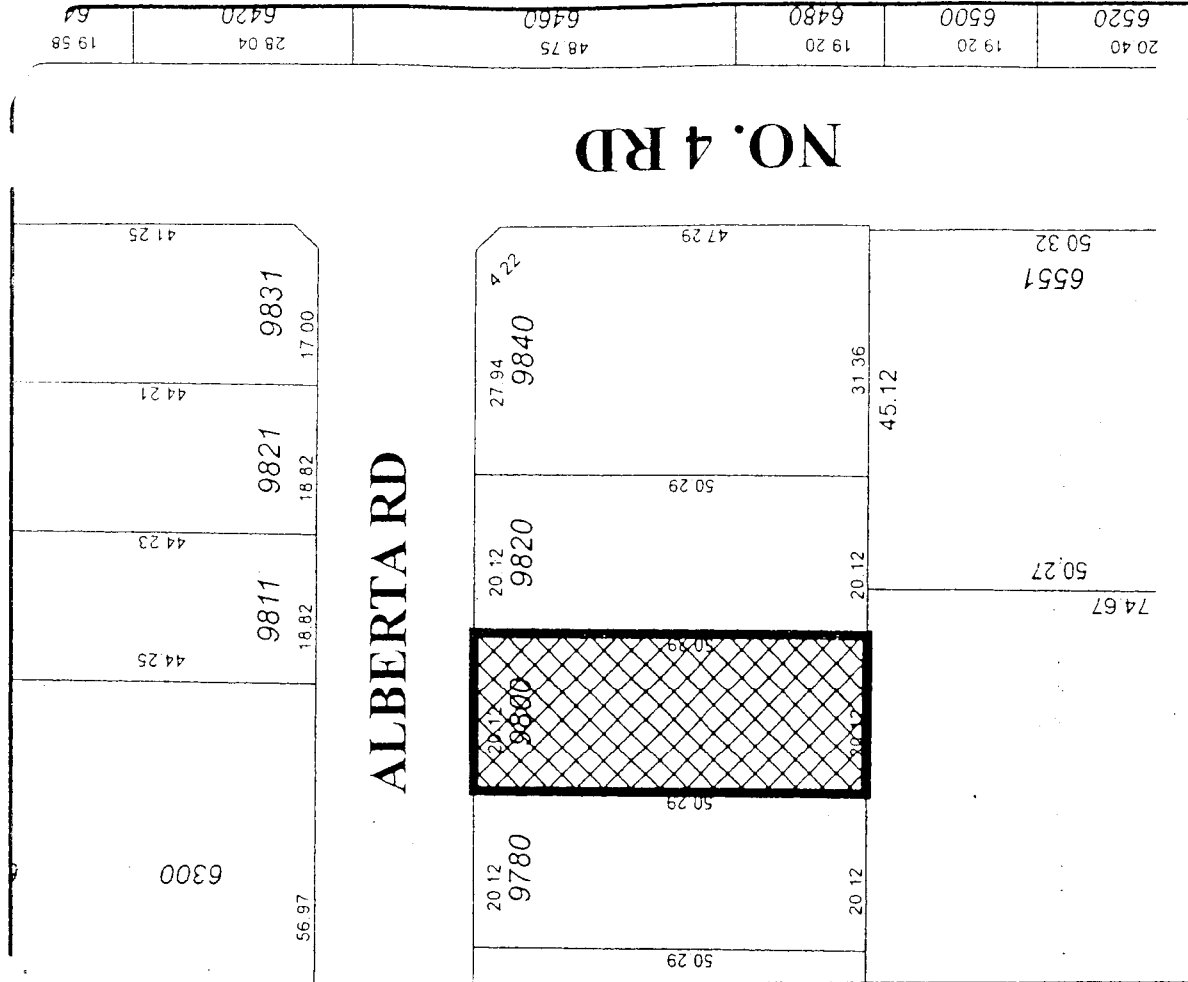
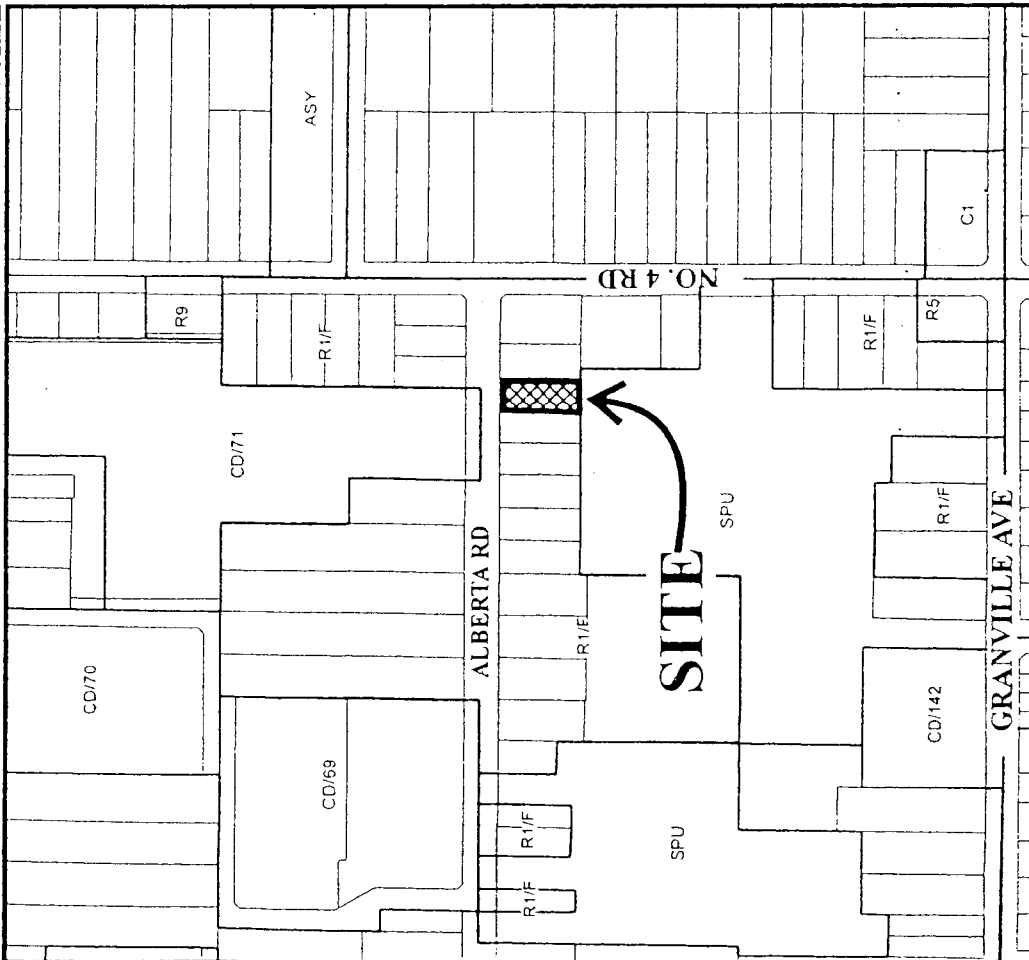
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DELIVERED THIS DAY OF , .

MAYOR



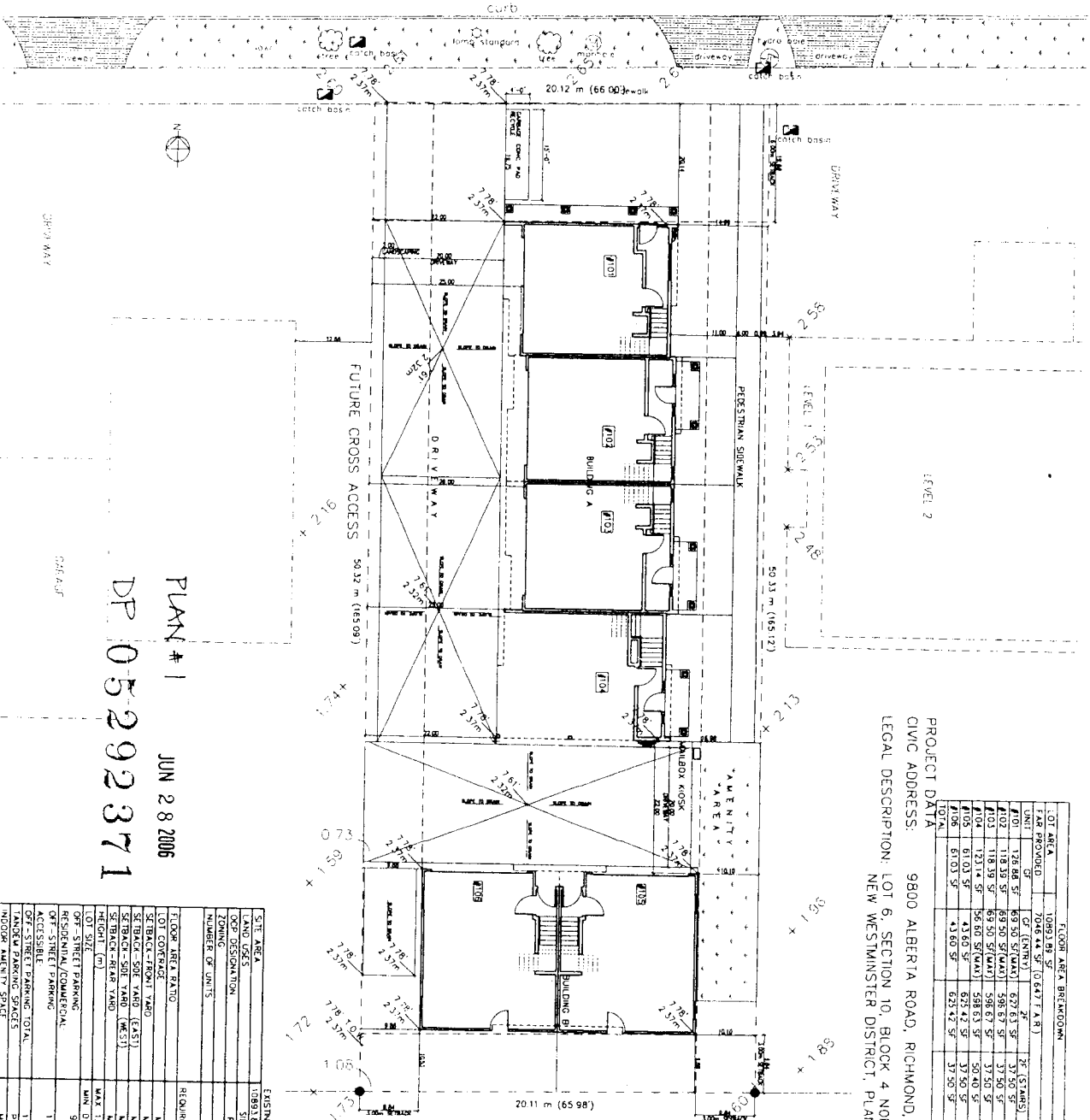
City of Richmond



DP 05-292371 SCHEDULE "A"

Original Date: 02/16/05
Revision Date:
Note: Dimensions are in METRES

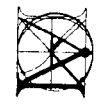
ALBERTA ROAD



PLAN #1
JUN 28 2006
DP 05292371

PROJECT DATA
CIVIC ADDRESS: 9800 ALBERTA ROAD, RICHMOND, B.C.
LEGAL DESCRIPTION: LOT 6, SECTION 10, BLOCK 4 NORTH, RANGE 6 WEST
NEW WESTMINSTER DISTRICT, PLAN 1712

FLOOR AREA BREAKDOWN									
LOT AREA	FAR PROVIDED								
UNIT	OF (ENTR)	2F	3F	4F	5F	6F	7F	8F	TOTAL
F101	126.00 SF	67.63 SF	37.50 SF	584.97 SF	32.75 SF	1199.67 SF			
F102	69.50 SF (MAX)	596.67 SF	23.25 SF	1165.35 SF					
F103	118.30 SF	37.50 SF	596.67 SF	23.25 SF	1165.35 SF				
F104	123.14 SF	596.67 SF	37.50 SF	596.67 SF	23.25 SF	1165.35 SF			
F105	123.14 SF	596.67 SF	37.50 SF	596.67 SF	23.25 SF	1165.35 SF			
F106	61.03 SF	43.80 SF	62.42 SF	40.75 SF	198.22 SF				
TOTAL									1073.53 SF



MATTHEW CHENG
ARCHITECT INC.

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DATE: 17/02/2005
BY: J.P. CHENG
FOR: DEVELOPMENT PERMIT
17/02/2005
C: FOR REVIEW
AUG 17, 2005

Project Name:
6-UNIT TOWNHOUSE
8800 ALBERTA RD.
RICHMOND, B.C.

EXISTING		PROPOSED	
SITE AREA	10891.89 SF (1012.15M)	10891.89 SF (1012.15M)	
LAND USES	SINGLE HOUSE	TOWNHOUSE	
DEVELOPMENT	RESIDENTIAL	NO CHANGE	
NUMBER OF UNITS	1	5	
FLOOR AREA RATIO	REQUIRED 0.65	PROPOSED 0.65	
LOT COVERAGE	MAX 40%	37.65%	
SETBACK-FRONT YARD	MIN 6M	19.25' (5.87M)	
SETBACK-SIDE YARD (EAST)	MIN 3M	10.10' (3.08M)	
SETBACK-SIDE YARD (WEST)	MIN 3M	9.88' (3.01M)	
SETBACK-REAR YARD	MIN 3M	9.88' (3.01M)	
LOT SIZE (M)	MAX 12M & 3 STOREY	51.02' (15.55M) 3 STOREY	
OFF-STREET PARKING	MIN 0.10/HA (100.55M)	MIN 0.10/HA (101.21M)	
OFF-STREET PARKING	9 AND 2	11 AND 2	
ACCESSIBLE	1	1	
OFF-STREET PARKING TOTAL	11	13	
LANDSCAPE PARKING SPACES	MIN 705M	NOISE	
INDOOR AMENITY SPACE		CASH-IN-THEU	

20.12 m (66'00")

50.33 m (165'12")

FUTURE CROSS ACCESS

27.00

25.00

26.00

21.00

22.00

30.00

20.11 m (65'98")

PARKING

MAILBOX KIOSK

ACCESS AREA

BUILDING

VISITOR PARKING

A1, A2, A3, A4, A5, A6, A7, A8, A9, A10, A11, A12, A13, A14

PARKING DATA			
	REQUIRED	PROPOSED	VARIANCE
OFFSTREET PARKING SPACES (RESPONSE)	15 SPACES/UNIT = 6 = 9	2 SPACES/UNIT = 3 + 1 SPACE/UNIT = 3 = 9 (+2 SMALL CAR)	NONE
OFFSTREET PARKING SPACES (VISIONS)	0 SPACES/UNIT = 6 = 2	13	NONE
OFFSTREET PARKING SPACES (TOTAL)	11	NONE	NONE
TOTAL PARKING SPACES	MAY BE PROVIDED	NONE	NONE



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FEB. 02, 2005
B. FOR REVISION
MAR. 30, 2005
C. FOR REVISION
AUG. 17, 2005

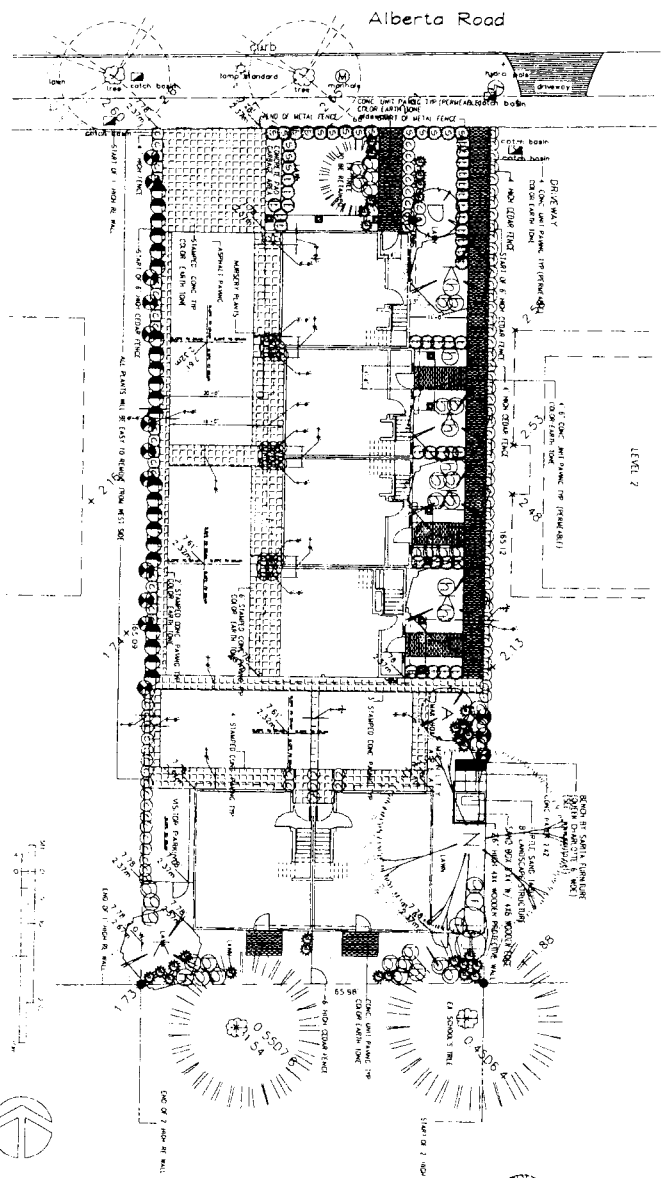
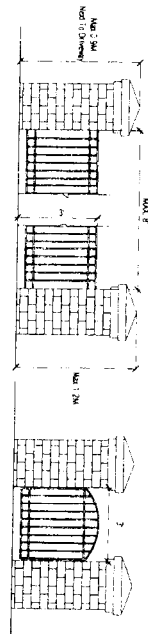
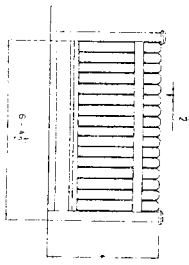
Conclusions

Project Title
6-UNIT TOWNHOUSE
8800 ALBERTA RD.
REDMOND, A.C.

Sheet Title
PLAN #2
PARKING PLAN

PLAN #2 JUN 28 2006
DP 05292371

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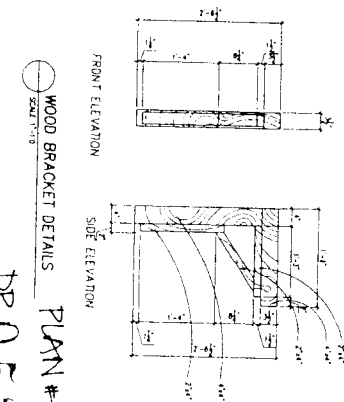
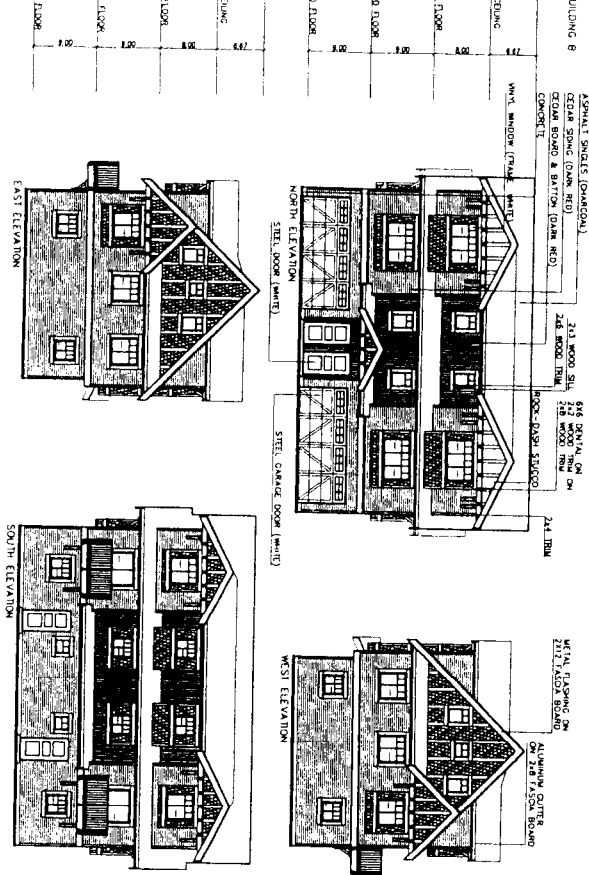
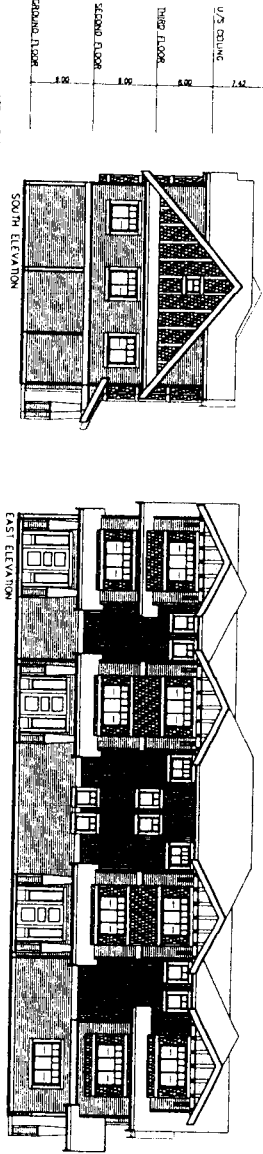
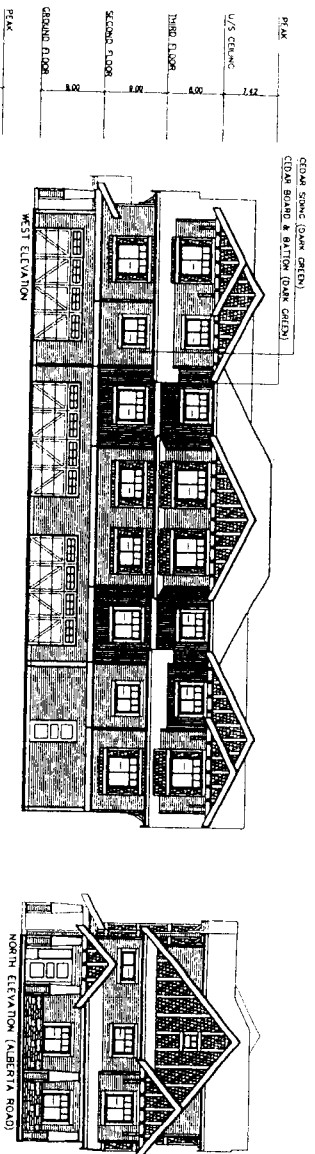
PLAN # 3 JUN 28 2006
DP 05292371

Plan #3

See Construction Plans
Prior to Construction

DATE	BY	PROJECT NO.	DATE	BY	PROJECT NO.	DATE	BY	PROJECT NO.
<p>L.A. West LANDSCAPE ARCHITECT 10000 WILSON BOULEVARD, SUITE 100 WEST HOLLYWOOD, CALIF. 90240</p>			<p>PROJECT NAME Proposed 6 Unit Townhouse Development 10000 WILSON BOULEVARD, SUITE 100 WEST HOLLYWOOD, CALIF. 90240</p>			<p>SHEET NO. LANDSCAPE CONCEPT PLAN SHEET 1 OF 1</p>		
<p>DATE APR 02 06</p>			<p>SCALE 1/8" = 1'-0"</p>			<p>PROJECT NO. 10000 WILSON BOULEVARD, SUITE 100 WEST HOLLYWOOD, CALIF. 90240</p>		

BUILDING A



MATTHEW CHENG
ARCHITECT INC.

1000 ALBERTA RD.
EDMONTON, ALBERTA T6A 1A1
CANADA
TEL: (780) 463-0000
FAX: (780) 463-0001
WWW.MCHENGARCHITECT.COM

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C. FOR REVISION
AUG 17 2005

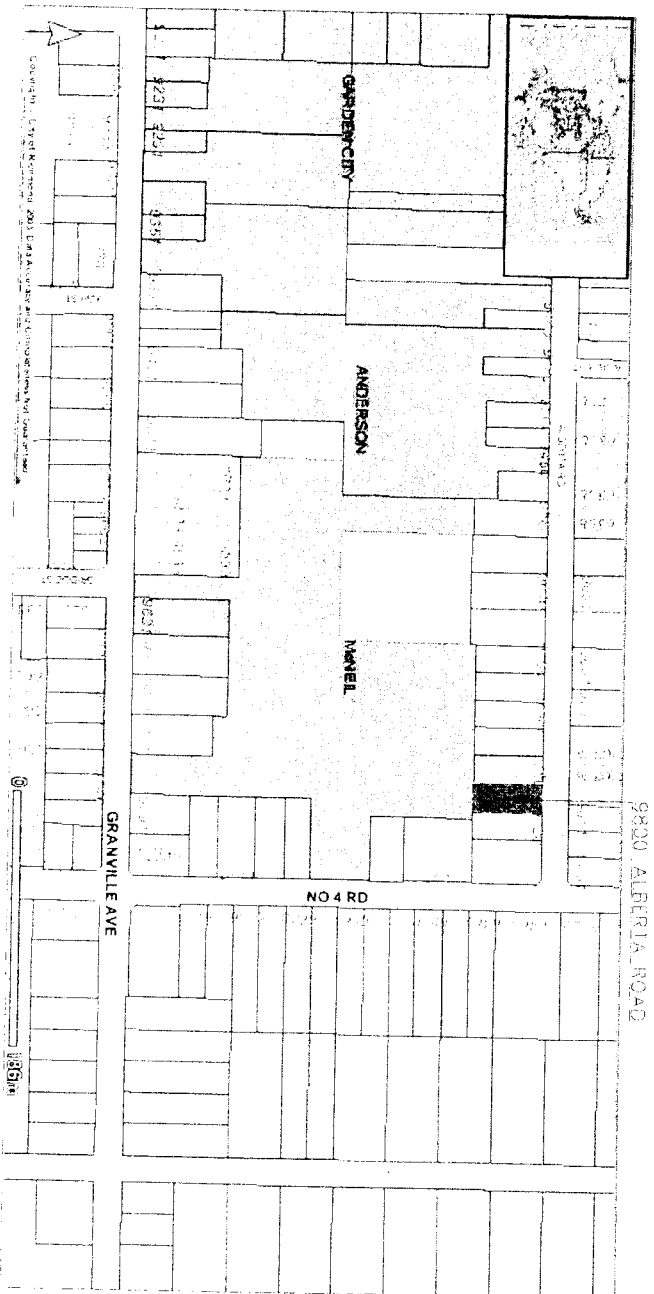
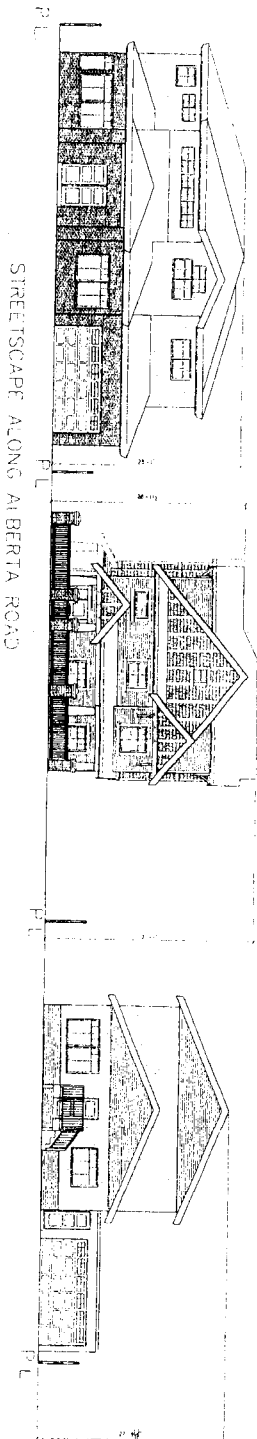
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PLAN #4 JUN 28 2006
DP05292371
#4



REFERENCE
PLAN A
JUN 28 2006
DP 05292371



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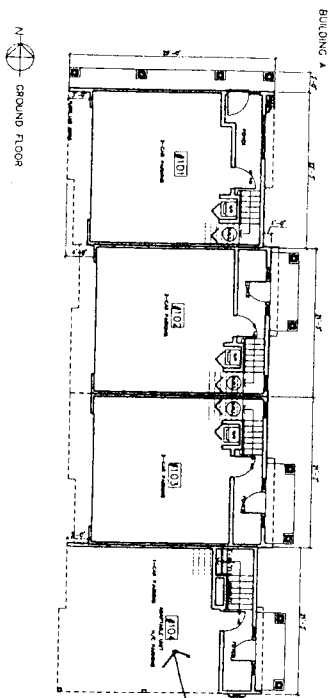
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NO. DATE REVISION
A FOR DEVELOPMENT PERMIT
B FOR 2005
C FOR 2006
D FOR 2007
E FOR 2008
F FOR 2009
G FOR 2010
H FOR 2011
I FOR 2012
J FOR 2013
K FOR 2014
L FOR 2015
M FOR 2016
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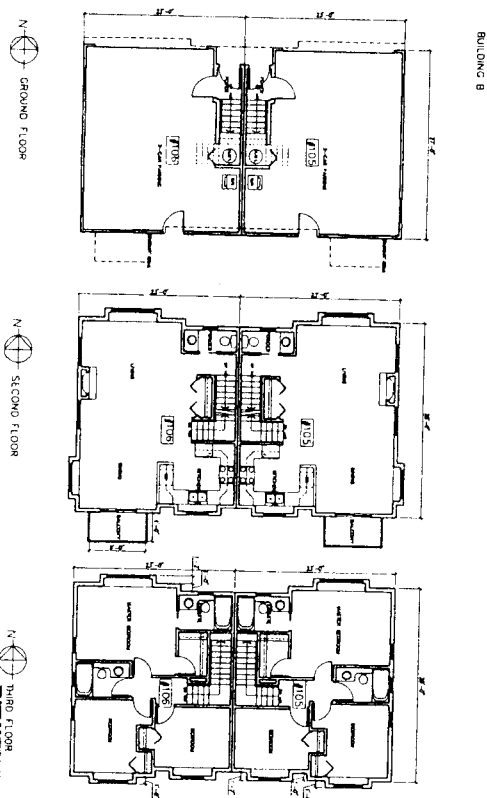
Project Title
6-UNIT TOWNHOUSE
9800 ALBERTA RD
RICHMOND, BC

Project Title
PLAN #5 CONTEXT PLAN
/ STREETSCAPE


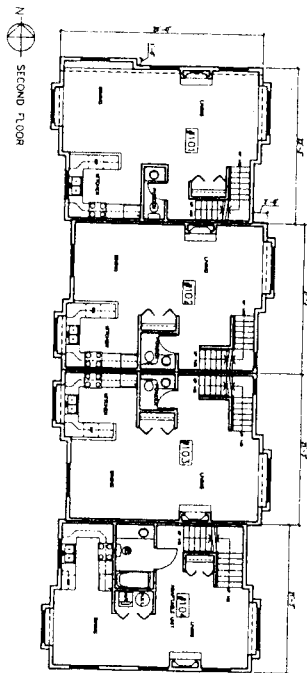
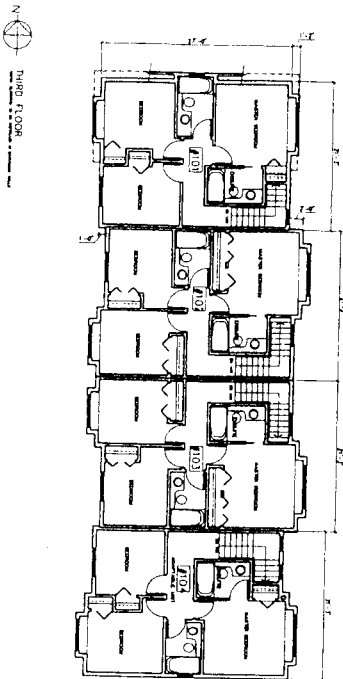
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PLAN #6
/ STREETSCAPE



ADAPTABLE UNIT
WILL ACCOMMODATE
A CHAIR LIFT IN
THE WIDER STAIRCASE



REFERENCE
PLAN # B JUN 28 2006
DP 05292371



**MATTHEW CHENG
ARCHITECT INC.**

OFFICE AND WAREHOUSE: 4040 KENNEDY RD., 2ND FLOOR
SCARBOROUGH, ONTARIO M1T 3X4
Tel: (416) 291-0888 Fax: (416) 291-1188

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No.	Date	Revision
A	FEB 02, 2005	FOR DEVELOPMENT PERMIT
B	MAR 30, 2005	FOR REVISION
C	AUG 17, 2005	FOR REVISION

Project Title
6-UNIT TOWNHOUSE
8800 ALBERTA RD.
ROCKFORD, ILL.

[illegible]



City of Richmond
Urban Development Division

**Report to
Development Permit Panel**

To: Development Permit Panel

Date: March 2, 2006

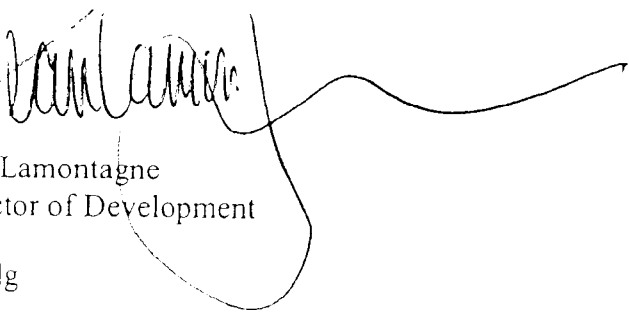
From: Jean Lamontagne
Director of Development

File: DP 05-292371

Re: **Application by Matthew Cheng Architect Inc. for a Development Permit at
9800 Alberta Road**

Staff Recommendation

That a Development Permit be issued which would permit the construction of six (6) townhouse units at 9800 Alberta Road on a site zoned "Comprehensive Development District (CD/155)".



Jean Lamontagne
Director of Development

SB:blg
Att.

Staff Report

Origin

Matthew Cheng Architect Inc. has applied to the City of Richmond for permission to develop six (6) townhouse units (in three-storey fourplex and duplex) at 9800 Alberta Road. The site formerly contained a single-family house.

The site is being rezoned from “Single-Family Housing District, Subdivision Area F (R1/F)” to “Comprehensive Development District (CD/155)” for this project under Bylaw 7926. Rezoning Application RZ 04-277069.

Development Information

Please refer to attached Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

The subject site is in the City Centre Area (McLennan North Sub-Area) and is located on Alberta Road, near the corner of No. 4 Road and Alberta Road. The existing development surrounding the site is as follows:

- To the north: Across Alberta Road, are a townhouse development and single-family homes, zoned “Comprehensive Development District (CD/71)” and “Single-Family Housing District, Subdivision Area F (R1/F)”;
- To the east and west: Are single-family homes fronting onto Alberta Road, zoned “Single-Family Housing District, Subdivision Area F (R1/F)”;
- To the south: Is the McNeil Secondary School site, zoned “School & Public Use District (SPU)”.

Rezoning and Public Hearing Results

During the rezoning process, staff identified the following design issues to be resolved at the Development Permit stage (staff response in ***bold italics***):

- Design development to site planning regarding the outdoor amenity area, mailboxes, garbage and recycling collection areas, ***which has been incorporated***;
- Continued sensitivity for the adjacent single-family properties, ***which has been consistently included***;
- Design development to architectural design, streetscape presence and relationship of interior spaces with outdoor spaces (public, semi-private and private), ***which has been incorporated***;
- Design development to landscape design to mitigate expanse of paving and the introduction of additional greenery, ***which has been incorporated***;
- Tree replacement strategy: A tree survey, arborist report and retention/replacement strategy are required. ***A registered arborist has assessed the existing substantial Cedar tree in the front yard setback and recommended its removal due to several major defects. The removal of this one (1) existing tree will be compensated for with the planting of seven (7) new trees. Retention of a registered arborist is required to mitigate impact of development on the west neighbour's row of Cottonwood trees adjacent to the proposed internal roadway and two (2) existing Evergreen trees on the school property to the south.***

The Public Hearing for the rezoning of this site was held on July 18, 2005. At the Public Hearing, the following architectural form and character concerns about rezoning the property were expressed (staff response in *bold italics*):

- Increased traffic and demand for on-street parking, including construction crew parking. *Prior to the issuance of Building Permit, the applicant will be required to submit to the Transportation Department for approval a construction parking and traffic management plan including a description of the following (if applicable): location for parking for services, deliveries, workers and loading; application for request for any lane closures (including dates, times, and duration); and proper construction traffic controls. Transportation staff will review the plan and work with the applicant to minimize the traffic and parking impact due to construction;*
- Alberta Road not designed to accommodate increase in density evidenced by lack of pedestrian crosswalks. *City Transportation staff advise that along Alberta Road between No. 4 Road and Garden City Road, there are three (3) existing crosswalk locations at the No. 4 Road, Alder Street and Garden City Road intersections. In addition, the City plans to mark the pedestrian crossing on the west leg of the intersection of Alberta Road and No. 4 Road this Spring, weather permitting;*
- Vehicle access. *The development will include a vehicle access to Alberta Road along the west edge of the site which will be shared with future potential redevelopment of the neighbouring single-family lot to the west. A cross-access easement was secured through the Rezoning;*
- Buffer between subject property and 9820 Alberta Road to the east to reduce impact of development. *Provided buffering includes a 3 m to 5 m setback, 1.8 m solid wood privacy fencing and the planting of five (5) new trees, bamboo and shrubs along the east edge of the site;*
- Three-storey building height fit with neighbourhood. *The proposed three-storey building height is consistent with the McLennan North Sub-Area Plan;* and
- Increase in crime. *The design of this small development generally meets the intent of CPTED principles of establishing territoriality, providing transitions between public and private spaces, natural surveillance, and controlled access.*

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the "Comprehensive Development District (CD/155)".

Advisory Design Panel Comments

Without a quorum, individual members of the Advisory Design Panel provided comments on the design proposal. A copy of the relevant excerpt from the Advisory Design Panel Minutes from September 21, 2005 is attached for reference (**Attachment 2**). In response, the design was revised and improved by the applicant.

Analysis

Conditions of Adjacency

- The proposed height, siting and orientation of the buildings respect the massing of the existing adjacent homes and McNeil Secondary School to the south. The applicant has

addressed privacy for the adjacent homes through: providing 3 m to 6.7 m setbacks; the planting of shrubs and trees especially along the east side; and the provision of 1.8 m height solid wood privacy fencing; and

- The applicant is providing a vehicle access to Alberta Road with cross-access agreement for the benefit of future redevelopment of the adjacent lot to the west at 9780 Alberta Road.

Urban Design and Site Planning

- Pedestrian-oriented frontage character has been incorporated in the unit fronting onto Alberta Road and views into the development improved with tree planting. This development proposes a three-storey duplex interface with McNeil Secondary School and a three-storey building with four (4) units interface with the adjacent single-family homes;
- The applicant is providing the required outdoor amenity space onsite. Due to the small scale of the development, the amenity space is also relatively small. A sandbox with turtle table and lid has been incorporated for children's play equipment. The outdoor amenity space has been designed with mailboxes and seating;
- Vehicle access is provided through a driveway to Alberta Road at the west edge of the property, over 60 m (over 197 ft.) from the intersection of Alberta Road and No. 4 Road. A cross-access agreement for vehicle access to future potential redevelopment on the adjacent single-family lot at 9780 Alberta Road was secured during the rezoning;
- Parking is located off of the internal manoeuvring aisle. Resident parking exceeds the onsite parking requirements and visitor parking meets the requirements, including one (1) accessible parking space;
- An adaptable unit has been provided. Unit #104 is designed as an adaptable unit, complete with a wider staircase that will accommodate future potential installation of a chairlift and a second floor washroom layout that will accommodate a wheelchair (**Reference Plan B**). Blocking will be provided in the bathroom walls of all units to facilitate future installation of grab bars to improve accessibility;
- A paved area has been provided adjacent to the driveway for garbage and blue box recycling collection; and
- Payment of \$6,000 cash-in-lieu of onsite indoor amenity space was secured through the rezoning.

Architectural Form and Character

- The two buildings have simple forms with pitched roofs and articulation provided through bay and porch projections; and
- The proposed building materials (horizontal cedar siding, cedar board and batten, rock-dash stucco, painted wood trim and brackets, steel pedestrian and garage doors, and asphalt shingles) are generally consistent with the Official Community Plan (OCP) Guidelines.

Landscaping Design and Open Space Design

- There is an existing Evergreen tree onsite which has been recommended for removal by a registered arborist due to several major defects;
- The developer will need to take measures to protect a row of existing deciduous trees on the neighbouring property to the west and may need to take measures to protect two (2) existing Evergreen trees on the neighbouring school site to the south. To this end, retention of a

registered arborist and installation of protective tree fencing to the arborist's satisfaction are required prior to issuance of Development Permit;

- The landscape design includes seven (7) new trees. It also includes bamboo and shrub planting;
- An outdoor amenity space has been provided in a central location with mailboxes, seating, and special paving treatment including patterning and colour. A sandbox with turtle table and cover is proposed for children's play equipment;
- Fencing will include low and open metal picket fencing between brick posts along Alberta Road, and 1.8 m height solid wood privacy fencing along the east, west and south property lines (reduced to maximum 1.2 m height in the front yard setback); and
- Existing frontage includes a sidewalk behind a grass boulevard with a street tree. Construction of a new driveway crossing, relocation of a lamp standard and boulevard restoration, including a new street tree will be required prior to Building Permit issuance.

Crime Prevention Through Environmental Design

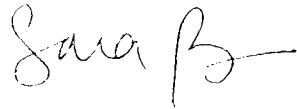
- The line of sight to the recessed northeast unit front entry is improved with low planting, adjacency with the open visitor parking space, alignment with the amenity area and pedestrian connection to Granville Avenue. Also, this entrance will become centrally located with the ultimate development of the adjacent lot to the east; and
- The location of the mailboxes and outdoor amenity space allows for natural surveillance from the drive aisle, pedestrian front entry path connection to Alberta Road and adjacent units.

Servicing and Utilities

- The developer has submitted a storm sewer capacity analysis as requested by the City Engineering Department. There are no identified upgrades required to facilitate the proposed development.

Conclusions

The applicant has satisfactorily addressed issues that were identified through the rezoning process, as well as staff and the Advisory Design Panel's comments regarding conditions of adjacency, site planning and urban design, architectural form and character, and landscape design. The applicant has presented a development that fits into the emerging McLennan North neighbourhood context. Staff recommend support of this Development Permit application.



Sara Badyal, M.Arch.
Planner 1
(Local 4282)

SB:blg

The following conditions are required to be met prior to forwarding this application to Council for approval:

- Proof of a contract with a registered arborist for the protection of neighbouring trees (minimum 4 site visits);
- Installation of braced protective tree fencing to the satisfaction of a registered arborist; and
- Receipt of a Letter-of-Credit for landscaping in the amount of \$20,603.

The following is required prior to Building Permit issuance:

- Applicant must provide a construction parking & traffic management plan to the satisfaction of the Transportation Department (refer to <http://www.richmond.ca/services/tp/special.htm>);
- Work order(s) for access and boulevard restoration works at the developer's sole cost. Works include but are not limited to construction of a new driveway crossing, relocation of a lamp standard and boulevard restoration, including a new street tree; and
- Accessibility measures to be incorporated into the Building Permit drawings.



City of Richmond

6911 No. 3 Road
Richmond, BC V6Y 2C1
604-276-4000

Development Application Data Sheet Development Applications Department

DP 05-292371

Attachment 1

Address: 9800 Alberta Road

Applicant: Matthew Cheng Architect Inc.

Owner: Wondland Develop Inc.

Planning Area(s): City Centre Area, McLennan North Sub-Area Plan (Schedule 2.10C)

Floor Area Gross: 957 m²

Floor Area Net: 657 m²

	Existing	Proposed
Site Area:	1011 m ²	No change
Land Uses:	Formerly Single-Family Residential	Multi-Family Residential
OCP Designation:	Residential, 2 ½ to 3 storeys, Townhouse, designated for a base density of 0.65 F.A.R.	No change
Zoning:	Formerly Single-Family Housing District, Subdivision Area F (R1/F)	Comprehensive Development District (CD/155)
Number of Units:	Formerly 1 house	6 townhouse units

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.65 F.A.R.	0.65 F.A.R.	None Permitted
Lot Coverage – Building:	Max. 40%	32%	None
Lot Size (area)	Min. 0.101 ha (0.25 ac.)	0.101 ha (0.25 ac.)	None
Setback – Front Yard:	Min. 6 m	6 m	None
Setback – Side Yard:	Min. 3 m	3 m - 5 m to east and 3 m - 6.7 m to west	None
Setback – Rear Yard:	Min. 3 m	3 m	None
Height (m):	Max. 12 m & Max. three-storey	10.1 m & three-storey	None
Off-street Parking Spaces – Resident and Visitor:	9 and 2	11 and 2	None
Off-street Parking Spaces – Total:	11	13	None
Tandem Parking Spaces	permitted	0	None
Amenity Space – Indoor:	Min. 60 m ²	Cash-in-lieu provided as part of RZ 04-277069	None
Amenity Space – Outdoor:	Min. 36 m ²	42 m ²	None

Annotated Excerpt from the Minutes from
The Design Panel Meeting

Wednesday, September 21, 2005 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall

The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '*bold italics*'.

4. Townhouses
Matthew Cheng Arch.
9800 Alberta Road

DP 05-292371

With the aid of a model and artist's renderings, Matthew Cheng, briefly described the project. He stated that the garbage/recycling area and mailbox would be on an open pad at the entrance off the driveway. He would try to make a better transition along the drive aisle with pavers. He would recess the entry doors to add some planting. He queried whether an accessible unit was needed as this was a small complex.

Without Quorum, the Panel provided the following comments:

- Amenity area not set up to be used the way they should be. Embellish mailbox structure to make more interesting. – *Mailboxes moved to amenity area and amenity area improved. Visitor parking relocated, amenity area extended and reconfigured.*
- The sandbox in the play area should be flipped so that benches were closer to doorway – *Incorporated.*
- There is a need for a direct access from living area to back yard. The only access now is through the garage. Consider external stairs – *Internal access reconfigured for 4 of 6 units.*
- Flush entry doors in driveway a concern – recess and define paving so cars are not an issue – *Incorporated.*
- Concerned about flush entry doors - recess. More greening needed. There was a lot of driveway – make a carriageway versus pavers for driveway – *Incorporated.*
- Low roofscape can be hit by vans. This would be a better project with one less module. It would be better if projects came to panel before rezoning. Split building – move building to get a better amenity area – add extra planting – *Low cantilevered gables removed and extra planting incorporated.*
- Split building, push front 2 units tighter – this will create buffer zones for more landscaping. If visitor car stall taken away, space would be more liveable and useful. Decorative pavers needed in entry way and some accent places – *One resident parking space removed and visitor parking space relocated out of amenity area. Decorative pavers incorporated.*
- Create entry besides doors, decorative paving needed at front. More trees along east property line and have a larger shade tree – *Incorporated.*
- Garages were too deep, could recess first floor to create transition – *Dens incorporated at grade.*



City of Richmond
Urban Development Division

Development Permit

No. DP 05-292371

To the Holder: MATTHEW CHENG ARCHITECT INC.

Property Address: 9800 ALBERTA ROAD

Address: #201 – 445 WEST 6TH AVENUE
VANCOUVER, BC V5Y 1L3

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #4 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$20,603. to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 05-292371

To the Holder: MATTHEW CHENG ARCHITECT INC.

Property Address: 9800 ALBERTA ROAD

Address: #201 – 445 WEST 6TH AVENUE
VANCOUVER, BC V5Y 1L3

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

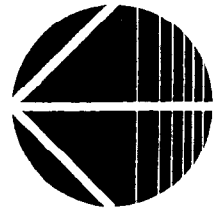
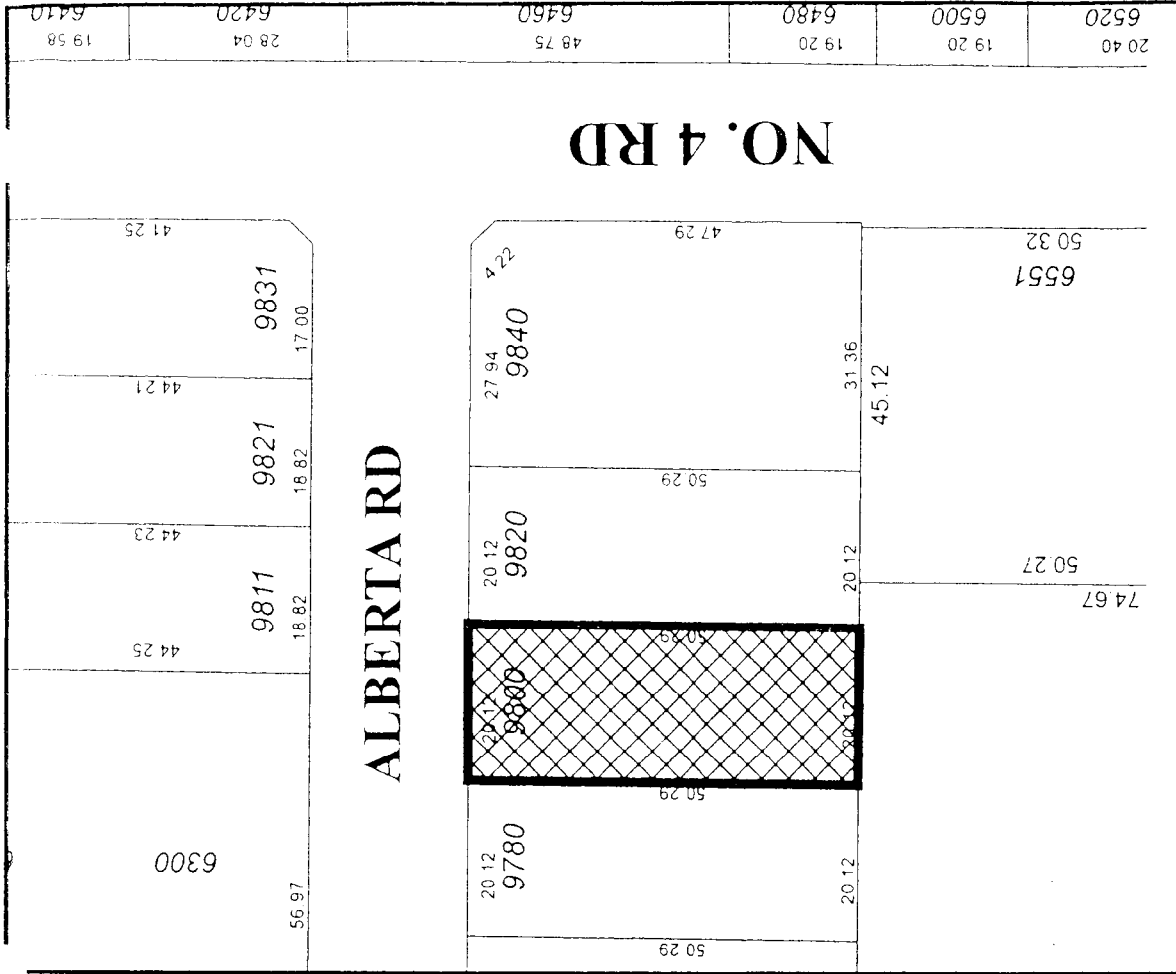
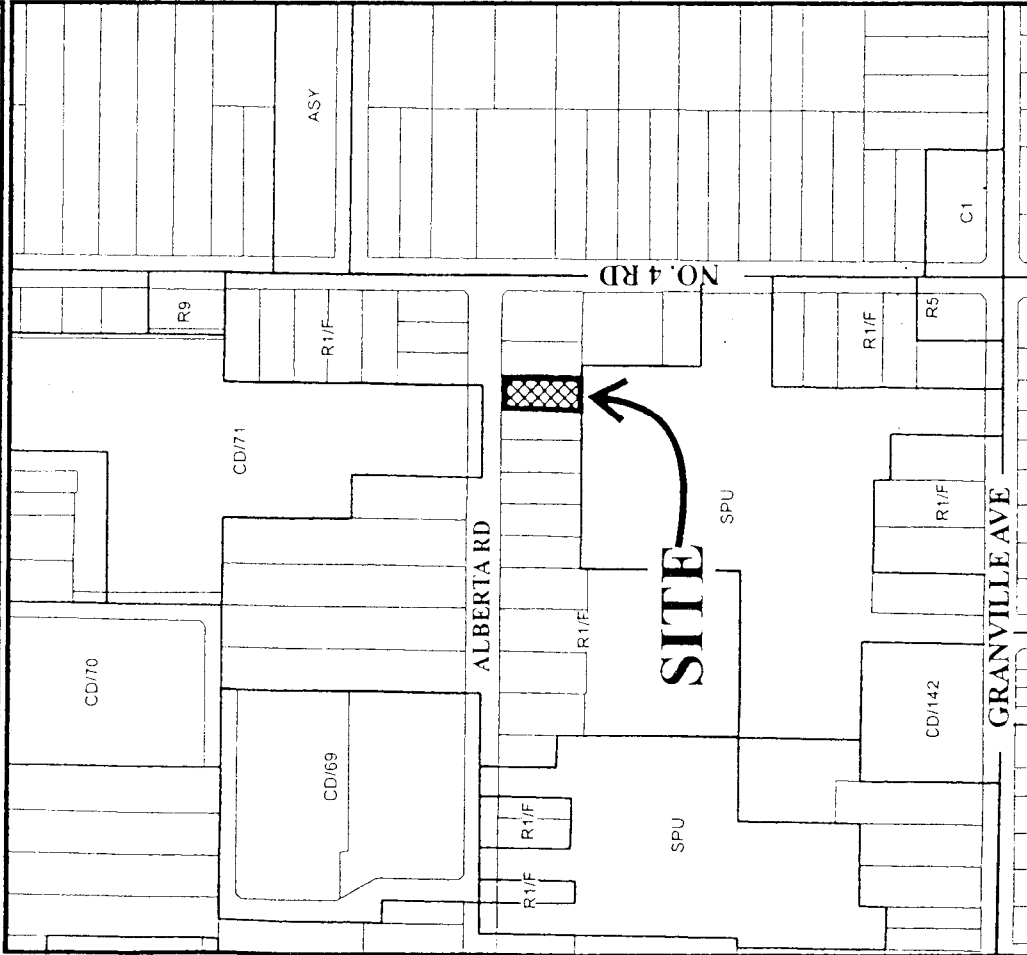
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond



DP 05-292371 SCHEDULE "A"

Original Date: 02/16/05

Revision Date:

Note: Dimensions are in METRES



MATTHEW CHENG
ARCHITECT INC.

PROFESSIONAL ARCHITECT, B.C. REG. NO. 1200
100-1000 WEST 4TH AVENUE, SUITE 100
VANCOUVER, B.C. V6H 1T6

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NO. 1000
A. PLAN OF THE PROJECT
B. SITE PLAN
C. SECTION
D. ELEVATION
E. DETAIL
F. OTHER

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NO. 1000
E. UNIT TO BE CONSTRUCTED
9800 ALBERTA RD
RICHMOND, B.C.

NO. 1000
PLAN #9 - CONTEXT PLAN
/STREETSCAPE

NO. 1000
STREETSCAPE

NO. 1000
STREETSCAPE

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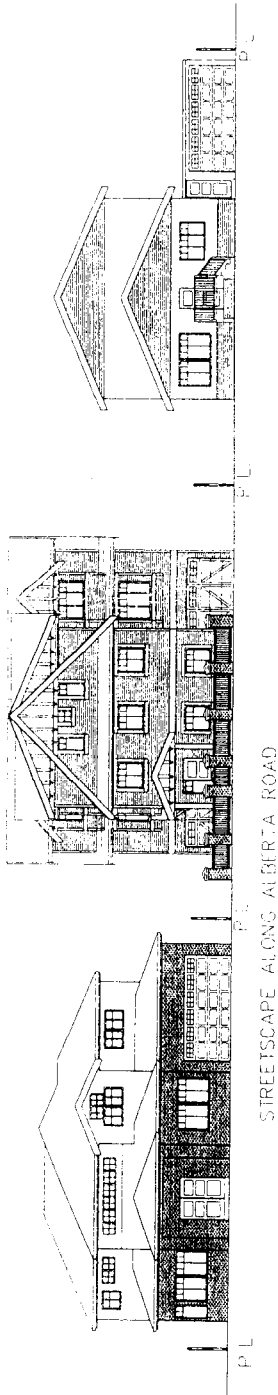
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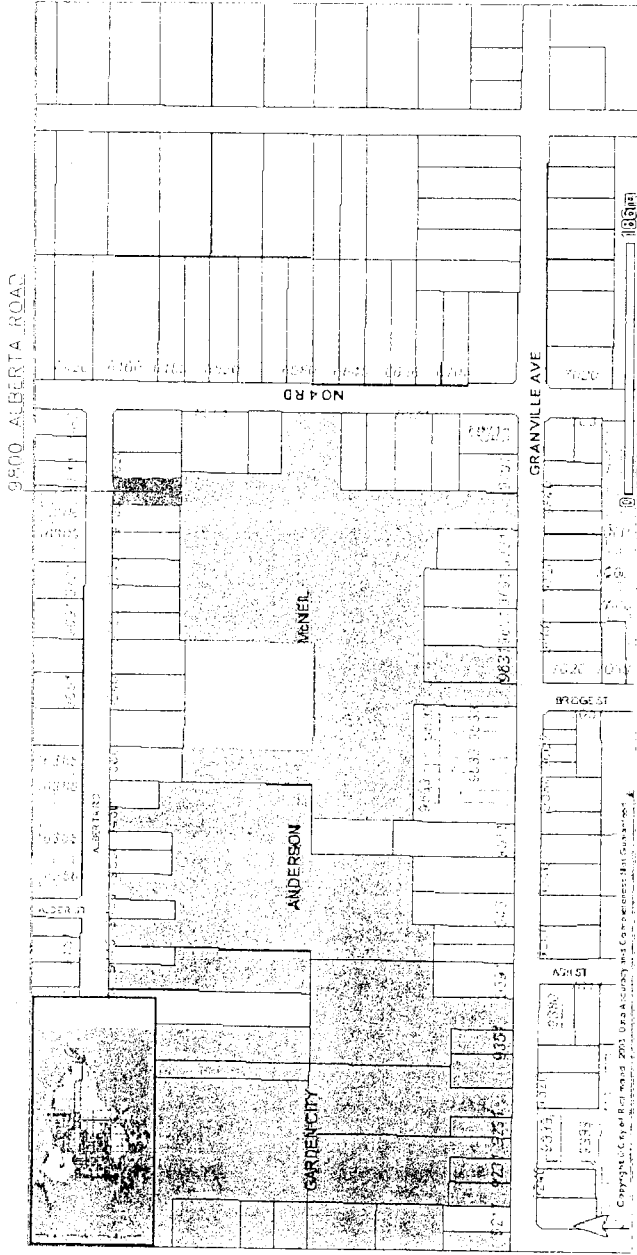
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STREETSCAPE ALONG ALBERTA ROAD



Reference Plan A MAR 29 2006
DP 05292371

ALBERTA ROAD

PARKING DATA			
REQUIRED	PROVIDED	DEFICIENCY	VARIANCE
1. TOTAL PARKING SPACES	100	100	0
2. TOTAL VISITOR PARKING SPACES	10	10	0
3. TOTAL TRUCK/TRANSIT PARKING SPACES	0	0	0
4. TOTAL BICYCLE PARKING SPACES	0	0	0
5. TOTAL PEDESTRIAN PARKING SPACES	0	0	0
6. TOTAL MOTORCYCLE PARKING SPACES	0	0	0
7. TOTAL CARPOOLING SPACES	0	0	0
8. TOTAL TRUCK/TRANSIT PARKING SPACES	0	0	0
9. TOTAL BICYCLE PARKING SPACES	0	0	0
10. TOTAL PEDESTRIAN PARKING SPACES	0	0	0
11. TOTAL MOTORCYCLE PARKING SPACES	0	0	0
12. TOTAL CARPOOLING SPACES	0	0	0



MATTHEW CHENG
ARCHITECT INC.

REGISTERED ARCHITECT, B.C. REG. NO. 10000
10000 BURNABY ROAD, SUITE 100
BURNABY, B.C. V5C 4P5

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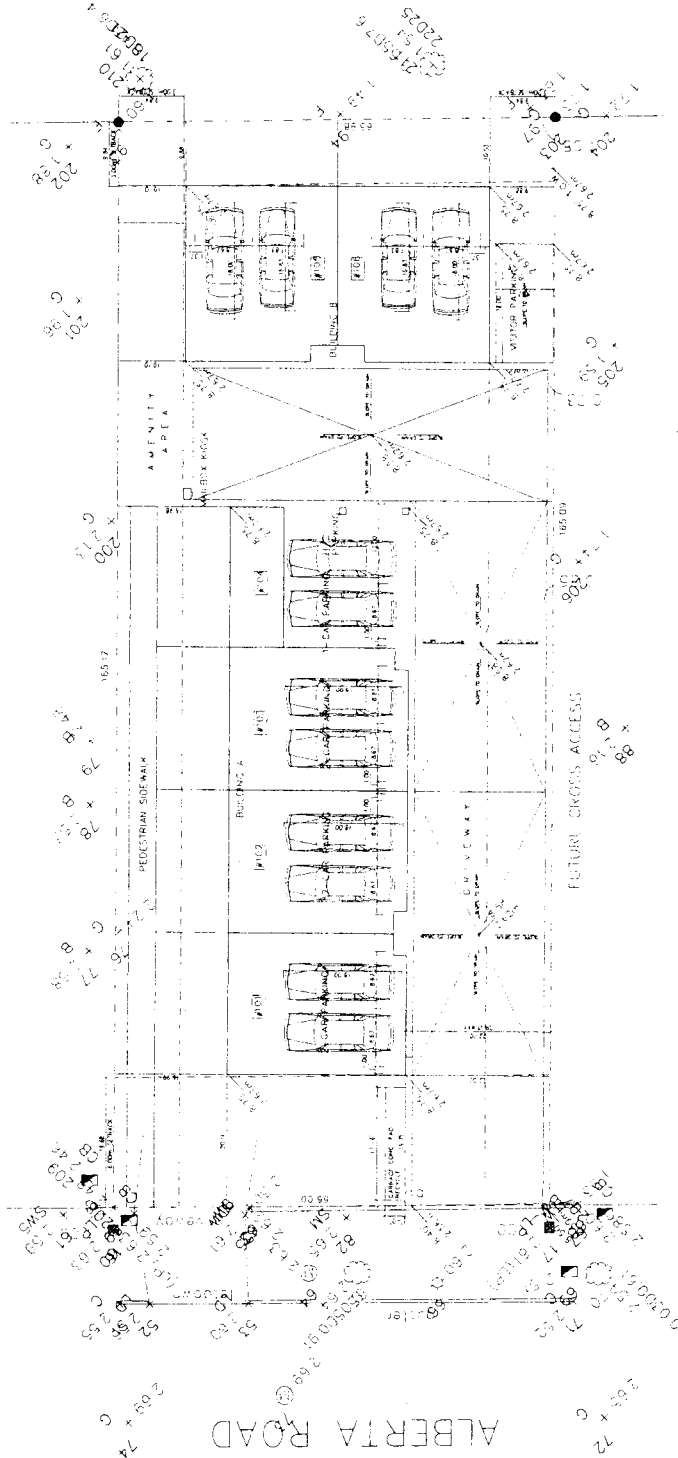
DATE: 11/20/2005
BY: MCH
FOR: 10000 BURNABY ROAD
SHEET NO. 10000
PROJECT NO. 10000

10000 BURNABY ROAD

10000 BURNABY ROAD
SHEET NO. 10000
PROJECT NO. 10000

10000 BURNABY ROAD
SHEET NO. 10000
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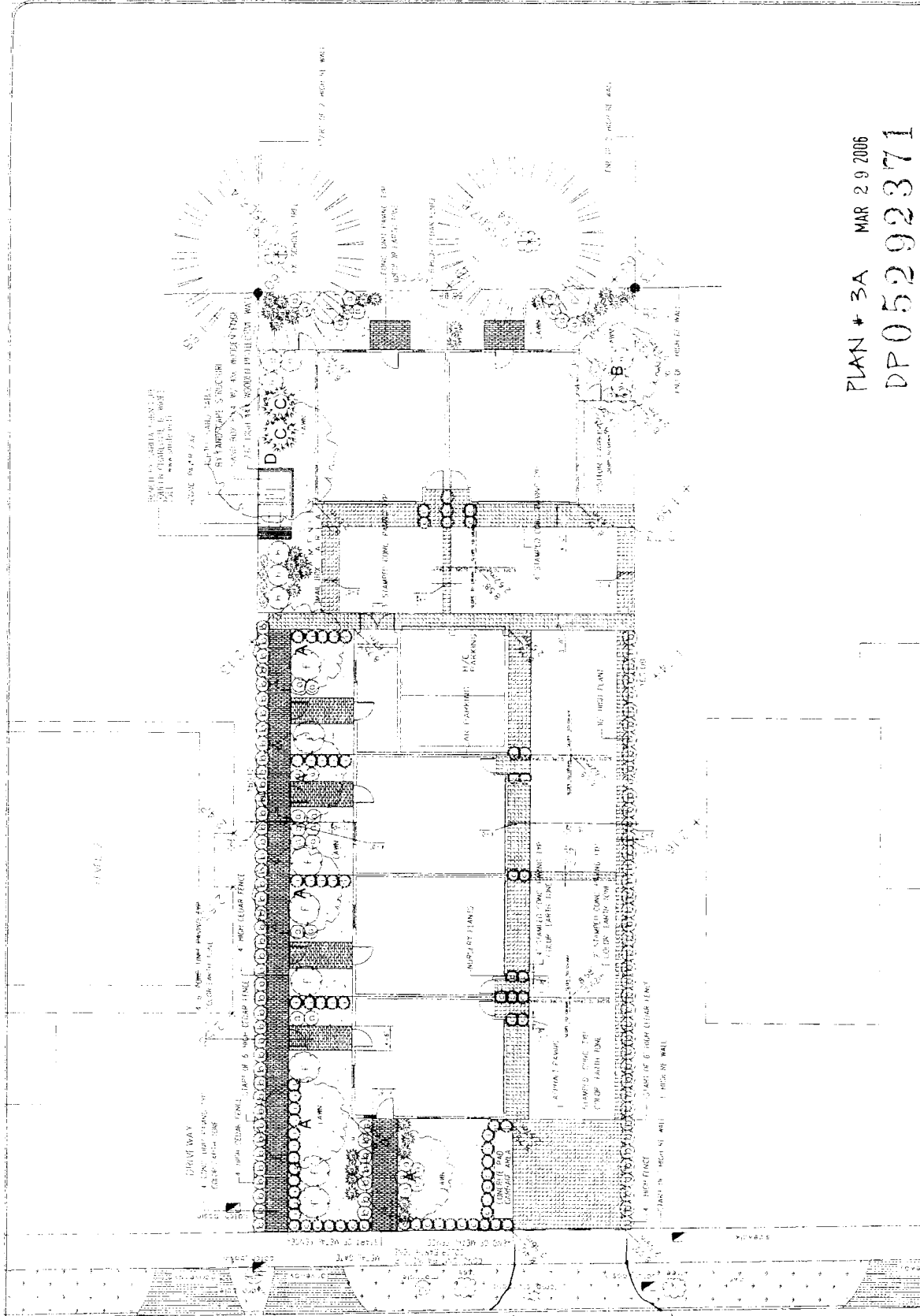
10000 BURNABY ROAD
SHEET NO. 10000
PROJECT NO. 10000



10000 BURNABY ROAD

PLAN # 2 MAR 29 2006
DP 05292371

#2



PLAN # 3A MAR 29 2006
DP05292371

#3

9800 Alberta Road, Richmond, BC
PLAN #3
LANDSCAPE PLAN

Scale	1/8" = 1'-0"
North	Map 02 2006
Project No.	02
Job No.	02
App No.	02

JHL Design Group Inc.
Landscape Architecture • Urban Design
4119 Main Street, Vancouver, BC
Tel: 604-263-2613
Fax: 604-263-2613
Email: jhl@jhl.ca



NEW DRIVEWAY,
LAMP RELOCATION
& BLVD RESTORATION
BY SEPARATE
WORK ORDER(S)

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Ft. Worth, TX 76122 • Fax: (817) 771-7928
Call: (817) 771-7928 • Email: info@adamsco.com

[illegible]

	Date	Description
A	FEB 22, 2006	FOR DEVELOPMENT DEBIT
B	MAR 30, 2005	FOR REMOVAL
C	AUG 17, 2005	FOR REMOVAL

[illegible]

UNIT TOWNHOUSE
1800 ALBERTA RD
MONTGOMERY, AL

PLAN 24 ELEVATIONS

Page _____ Date _____

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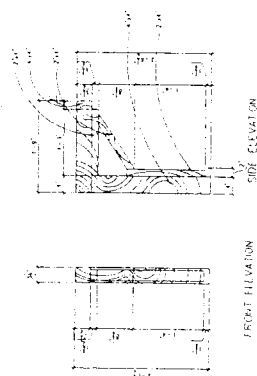
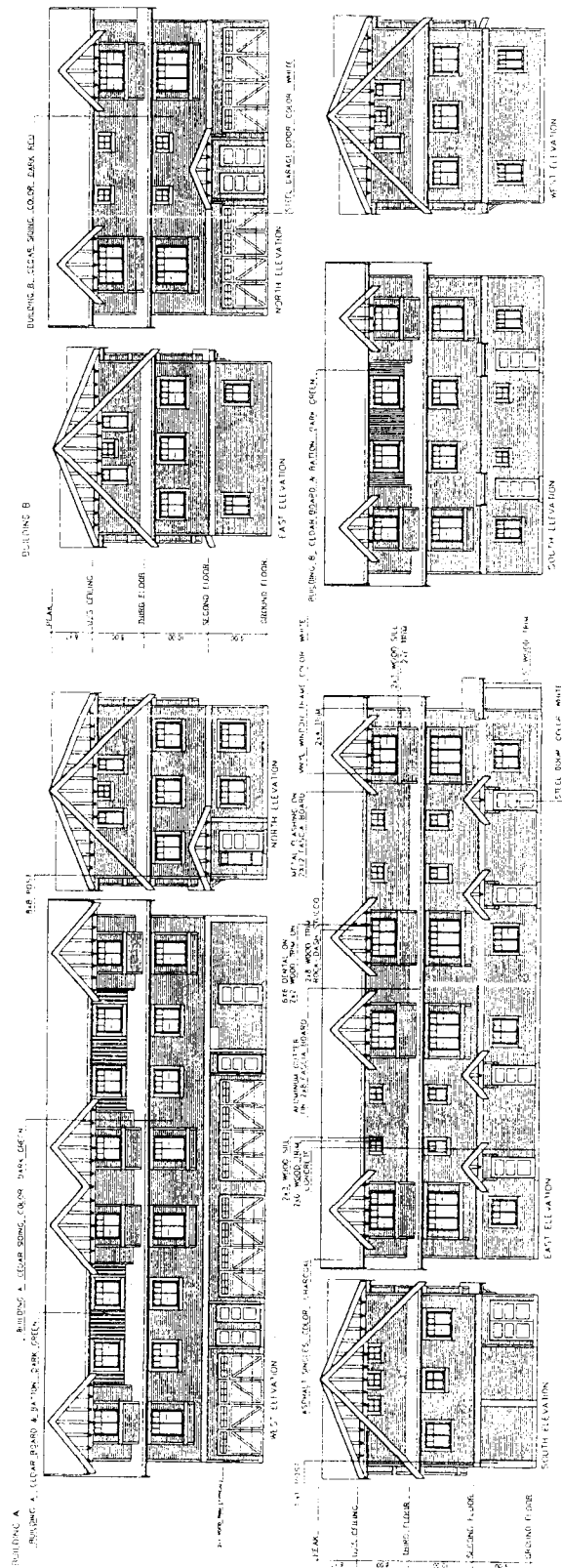
98th

99th

100th

#4

PLAN#4 MAR 29 2006
DP 05292371



WOOD BRACKET DETAILS

WOOD BR

RATHBURN TREE EXPERTS

Max Rathburn

PO BOX 26575 BLUNDELL CENTRE RICHMOND B.C. V7C 5M9 Telephone, 604-323-1840

maxrath@shaw.ca

DP 05-292371

12/19/2005

Wondland Develop Inc.

101-8300 General Currie Road

Richmond, BC

Attention: Moe

Re: 9800 Alberta Road, Richmond

Scope of assignment:

To assess and document the health and long term viability of one Western Red Cedar (*thuja plicata*) located at 9800 Alberta Road, Richmond.

Summary:

The tree is a semi-mature Western Red Cedar (*thuja plicata*) of no specimen value located approximately ten feet from the Hydro lines. This tree has several major defects that would warrant its expeditious removal.

Observations and condition:

A Western Red Cedar (*thuja plicata*) with multiple stems approximately 8" to 9" in D.B.H. and twenty five feet in height. This tree has previously been topped several times. The topping has resulted in several upper leaders and an unstructured growth pattern. BC Hydro has also done clearance pruning on the tree several times leaving the tree with a hedge effect on one side.

The trees root system has been drastically compromised by a recent excavation. There is also buttress root damage as a result of older wounds at the base of the tree.

Major defects:

1. Decay present in the main trunk.
2. Co-dominant leaders.

3. Poor stem attachments.
4. Included bark in all stem attachments.
5. Compromised root zone.
6. Hydro Pruning done on tree's crown.

Conclusion:

The above mentioned tree has defects that have forced the tree in to decline. Tree removal would be the only form of hazard abatement recommended.

Any questions pertaining to this matter may be addressed to Max. Rathburn at the above address or by telephone (604)-323-1840 page @ 604-622-9995.

Respectfully Submitted

Max Rathburn I.S.A. CERTIFIED ARBORIST PN-0599