

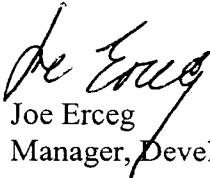


To: Development Permit Panel
From: Joe Erceg
Manager, Development Applications
Date: June 3, 2003
File: DP 02-221259
Re: **Application by Ah Ten Holdings Ltd. for a Development Permit at
6300 Birch Street, 9760 Ferndale Road and 9771 Alberta Road**

Manager's Recommendation

That a Development Permit be issued for a property zoned Comprehensive Development District (CD/71) at 6300 Birch Street, 9760 Ferndale Road and 9771 Alberta Road that would:

1. Enable the construction of 97 townhouse units; and
2. Vary the regulations in the Zoning and Development Bylaw to:
 - reduce the minimum setback from the east property line from 3 m (9.843 ft.) to 2.4 m (7.874 ft.) for some buildings;
 - reduce the minimum setback from the south and west property lines for some buildings from 6 m (19.685 ft.) to 4.5 m (14.763 ft.); and to 0 for recycling/ garbage enclosures & roofed entry, and to
 - allow porches to project a maximum of 2 m (6.561 ft.) into the minimum setback from Alberta Road and Ferndale Road.


Joe Erceg
Manager, Development Applications

AJ:blg
Att.

Staff Report

Origin

Chris Turcotte, on behalf of Ah Ten Holdings Ltd. (Cressey Development Corp.), has applied for a Development Permit for 97 townhouses on a parcel having access to Alberta Road and Ferndale Road. The property is referred to as "Parcel 5 in McNorth." Council issued a previous Permit in 1997 for 94 units, however, the Permit expired.

A copy of the development application filed with the Urban Development Division is appended to this report.

Development Information

Site Area:	27,755.8 m ² (298,769.7 ft ²)
Building Area:	15,750.266 m ² (169,540 ft ²)
Density:	14.12 units per acre
Site Coverage:	41% Allowed 39.7% Proposed
F.A.R.:	0.58 Allowed 0.567 Proposed
Parking:	213 Spaces Required 213 Spaces Proposed

Findings of Fact

Guidelines for form and character for Development Permits appear in Bylaw 7100, the *Official Community Plan*, including the *City Centre Area Plan* and the *McLennan North Area Plan*.

There is little development surrounding the subject site. The property to the north-west is City land intended for a park.

Staff Comments

Generally speaking, we understand that this is a new Development Permit and market conditions change, however our goal in this project is to improve over the previous Permit. The quality of site planning, housing design, landscaping, open space, and environmental quality (preservation of existing trees) are particularly important in this case.

1. Existing healthy trees should be plotted on the landscape plan or site plan, so that it is clear whether they are being retained or not. The ones we especially feel should be retained are a large Willow (*Salix babylonica*) near the City park, a Cedar toward the north-east corner of the site, and a Pine (0.35m) near the east property line. Trees to be retained should be fenced before site work begins. The north-south road may split and go on either side of the Willow, provided it is outside of the drip line (see sketch attached). If the road is within the drip line, we require an arbourist or landscape architect's report as to measures to be taken to protect the roots. Before a Building Permit is issued, we require evidence that a professional will be monitoring existing trees during construction, and that a tree-management plan has been prepared. We note that it is an offence under the *BC Wildlife Act* to cut trees containing active bird nests during the nesting season (starting in March). You may want to have a biologist visit the site and advise on this. ***The existing trees to be retained have all been fenced. The arborist classified some trees along the Ferndale frontage as "not suitable for retention", and they were removed. The applicants commissioned a study by a Biologist who monitored the site for active songbird nests protected during the nesting season pursuant to the BC Wildlife Act and the Canadian Migratory Bird Act. No active nests were found, and subsequently all of the Birches and other trees not suitable for retention were removed. The site is currently being pre-loaded with sand.***
2. Replacement trees should be shown on the landscape plans. We note that the previous Development Permit indicated 160 replacement trees at 4 in. calliper, and 170 at 3 in. calliper. Since that date, City policy has changed, and the *Official Community Plan (OCP)* General Guidelines for Landscaping indicate that: "for every existing major tree which is removed, two trees of minimum 15 cm (5.5 in.) calliper are to be replanted as replacement trees." ***The tree survey prepared by the applicants indicated about 12 mature "trees worthy of retention" and 22 "not worthy of retention". Nine trees are being retained. There was also a forest of generally smaller Birches. In addition to other landscaping, the applicants are planting 117 four-inch (10 cm) calliper trees and 197 three-inch (8 cm) trees as replacements for existing trees lost due to construction.***
3. Amenity space needs to be addressed. Is there an indoor amenity space, or a cash contribution? Regardless, there should be a play area in the central open space. ***There is a play area in the central open space. The indoor amenity space has been eliminated and the developer is contributing \$97,000 to park development.***
4. Park development on the adjacent site is not a Development Permit issue and can be negotiated separately. We understand you are considering some contribution/site work in order to get the City-owned portion of the park cleaned up and functional for the benefit of residents. For the time being, I suggest that you show a fence around the park prior to site work, so that it does not become an area for construction staging/refuse. If that changes, after negotiations with the Parks Department, we can handle the fencing requirement administratively. If your road or the Willow tree are going to end up in the park, please consult Parks Department staff. ***Parks Department staff reviewed the location of the road and have no objections, provided the Willow tree is retained in the future.***

5. Building design should be revised so that front doors are visible from the public streets. A minimum of 8 units should be universally-accessible, as per the previous Permit. ***The architects have revised the plans accordingly.***
6. Visitor parking: Council has been reluctant to grant variances for visitor parking. Resident parking might be a different matter (we note there are two-car garages). ***The architects have revised the plans accordingly.***

Urban Development - Utilities

Developer is responsible for full half road upgrading from No 4 Road to Birch Street on Ferndale Road and to the west edge of frontage on Alberta Road. Development Cost Charge (DCC) credits are available for both frontages. Works include, but are not limited to, road widening, curb and gutter, creation of a 3.91 m grass and treed boulevard, decorative street lighting and a 1.75 m concrete sidewalk. The developer is to enter into the City's standard Servicing Agreement to do these works prior to the issuance of the first Building Permit. Access locations to be approved by Transportation Department. No other Development Application concerns. ***The applicants have generally agreed to the conditions. Details will be worked out in the Servicing Agreement.***

Urban Development - Transportation

No comments received.

Building Approvals

There did not appear to be any major code issues; minor ones will be dealt with at the Building Permit stage. Are the properties being consolidated? Fire fighting: hydrants to be within 90 m of entry door of each unit, note 12 m turning radius required for fire vehicles. ***The properties are being consolidated. Fire fighting issues have been addressed.***

Public Art

Recommend that the applicant provide \$100,000 (\$.60 x 169,055 ft²) of funds to the Public Art Program. The suggested location of the artwork would be in park site located at the corner of Ferndale Road and Birch Street. The applicant is requested to meet with Kari Huhtala, the Public Art Coordinator to discuss Public Art process, contributions and selected siting of the proposed artwork. ***The developer replied that: "Ah Ten Holdings has entered into a Public Art agreement with our Katsura Street project which as you are aware was to be our Public Art donation for all of our McLennan North Projects...(1997)..." (Note: the contribution is \$50,000).***

Development Coordinator

Replaces DP 96-205 which has lapsed. However, the following negative changes have been made from the previously approved Development Permit:

1. The number of units has increased from 94 to 98 at the expense of the 83.6 m²/900 ft² indoor amenity building and an outdoor amenity/play area. ***See Analysis.***

2. The density has increased from 0.53 to 0.573 F.A.R. or 13.7 to 14.26 units per acre and the lot coverage has risen from 37% to 40.2%. ***See Analysis.***
3. Unit concrete pavers have been replaced with asphalt on the internal driveways. ***Concrete pavers have been reinstated.***
4. The grassed mews now have a concrete sidewalk. ***The mews have been widened to allow room for the sidewalk.***
5. The Alberta Road elevations had more detailing and a more interesting roof line.
6. Couldn't the 3 m lane dedication along the No. 4 Road properties be incorporated and utilized with this development (other wise it will be a "no man's land" for a while until the No. 4 Road properties redevelop)? ***The applicants declined to use the road. (It may be utilized for a sewer).***
7. The architect's site plan shows a sidewalk along a portion of the eastern property line whereas the landscape architect's plan does not. Although this was included in DP 96-205, it may be an item we want to revisit since it would not be a very attractive sidewalk abutting a 6 ft. high property fence. ***The sidewalk has been deleted.***
8. The properties should be consolidated and, if necessary, a phased strata subdivision be utilized in favour of keeping three separate legal parcels. ***The properties are being consolidated.***
9. The Design Rationale and appropriate Development Permit Guideline Check Lists need to be completed. ***Done.***
10. The location of the garbage/recycling enclosures needs to be finalized (not shown as "potential" locations).
11. Ferndale Road elevation required. Materials need to be clearly labelled on each elevation (hopefully with a reduction in the amount of vinyl siding). ***The architects have revised the plans accordingly.***
12. All proposed variances to Comprehensive Development District (CD/71) need to be clearly identified. ***There are setback variances.***

ANALYSIS OF THE McLENNAN NORTH GUIDELINES

Landscape, Open Space and Streetscape Guidelines:

1. Landscape theme:
 - ☒ Deciduous street trees at 9 m o.c., in single or double row.
 - ☒ A variety of street trees.
 - ☒ Seasonal colour.
 - ☐ Broad grass boulevards, up to 4 m. ***n/a.***

- ☒ Pedestrian-scale lighting in public areas, consistent with park.
- ☒ Emphasize soft landscaping except in high-traffic areas.
- ☒ Grass areas defined with formal edges.
- ☒ Consistent and attractive pavement on pathways and sidewalks.
- ☒ Streets with: narrow driving lanes, parking, and pedestrian amenities.
- 2. Streetscapes adjacent to public trails:
 - ☒ Edges to private property to be defined by low walls, hedges fence or grade change.
 - ☒ Adjacent landscaping similar.
 - ☒ No high fences.
- 3. Lanes: **n/a.**
- 4. Along arterial roads: **n/a.**
- 5. Pedestrian paths and trails:
 - ☐ 3 m wide paved, minimum 4.5 m from building. **n/a.**
 - ☒ Maximum length 70 m.
 - ☒ Open to the sky.
 - ☒ Good surveillance.
 - ☒ Landscaped and immediately adjacent to residential or parks.
- 6. Semi-Private open spaces:
 - ☒ Defined by change-of-grade, low walls landscaping or fences.
 - ☒ Maximize surveillance, resident access, & enjoyment.
 - ☒ Provided with equipment, features and landscaping for a variety of ages and uses.

Building Guidelines

- 7. Streetscapes should have:
 - ☒ Individual grade-level access.
 - ☒ Front porches, stairs, etc.
 - ☒ Main floor no more than 2 m above grade.
 - ☒ Parking at rear, or accessed from driveways no more than 4 m for low-density uses.
 - ☒ No vehicle gates.
 - ☒ Consistent massing and form on each block.

- ☒ Consistent massing and form on each block.
- ☒ Street-wall development: consistent height and setback in mixed-use area, high density area, and medium density area, and in low-density area except near community park.
- ☒ Recessed façades where they project above the street wall (2 m, but 10 m where above 18 m high).
- ☒ Concealed parking, or limited surface parking.
- ☒ Pedestrian-scale signs, not acrylic back-lit.
- 8. Roof design:
 - ☒ Rooftop mechanical to be concealed.
 - ☒ Lower-level roofs sloped minimum 20 degrees, or flat and landscaped.
 - ☒ Parking structure roofs landscaped or concealed.
- 9. Windows:
 - ☒ Human-scale bays, window boxes, balconies, etc.
 - ☒ Well defined frames and sills.
 - ☒ Clear glazing.
- 10. Materials:
 - ☐ Natural (e.g. wood, brick, stone, concrete, or heavily-textured stucco.) *There is some vinyl, but it is offset by the use of brick, and wood trim.*
 - ☐ Where buildings exceed 2 storeys, use 2 or more materials. **n/a.**
 - ☒ Vivid colour highlights (doors, awnings, etc.).

Advisory Design Panel Comments

At their meeting of April 9, 2003, the Design Panel approved the project subject to:

- “the garbage and recycling enclosure could cause a visibility problem for pedestrians crossing the road to exit the park. Perhaps the enclosure could be adjacent to the amenity building.
- universal unit(s) should be designed into the buildings.”

The applicants have amended the plans accordingly.

Previous Development Permit September 10, 1997

The previous application minutes are paraphrased here for information:

- Staff recommendation was favourable. There were some concerns regarding finish materials and retention of existing trees.
- Mr. Strunk, 6251 wished to be connected to sanitary sewer,

- The Chair asked for a lane r.o.w. so that residents on #4 Road could connect to a sanitary sewer, and
- The chair also requested that the applicant's disclosure statement advise purchasers that that it was illegal to add extra floor space in the interior of the building.

These issues have mostly been addressed in the current application. There is provision for a lane for the north portion of the property, however a sanitary sewer will not be installed for on the lots fronting #4 Road until re-development of those lots occurs. (This is Engineering Department policy). Building materials and tree retention issues are more carefully worked out (see staff comments).

Analysis

This project is essentially a redesign of the previously issued Permit, with a few changes, mostly for the better. The concept is for fairly conventional two-storey townhouses with two-car garages.

Surprisingly enough, the present plan has three (3) more units and a slightly higher density than the plans approved in 1997, but the site still has reasonable open space and retains more of the existing trees (most notably, a large old Weeping Willow which makes for a dramatic entrance to the park.) This is accomplished mainly by eliminating the indoor amenity area, designing the site plan more carefully, and slightly decreasing the setbacks to some side yards. The architecture is handsome, with extensive use of brick.

In addition to other landscaping, the applicants are proposing over 300 large-calliper trees as replacements for existing large trees lost due to construction. The tree survey prepared by the applicants indicated about 12 mature "trees worthy of retention" and 22 "not worthy of retention". Nine (9) mature trees are being retained. There were also over 100 Birches of various sizes and conditions not included in the above list, however all of them have already been removed from the site prior to pre-loading.

The project generally conforms to the guidelines and a few setback variances are required. The variances free up some internal space, providing a tree-lined main street through the project, and allowing for porches and trellises. Staff have no objections to the variances.

The applicants are providing cross-access agreements to assure that when the small parcels to the east are redeveloped, they will not need a lane nor access to No. 4 Road. This should also help to preserve some open space (setbacks) immediately to the east.

Conclusions

Ah Ten Holdings Ltd. (Cressey Development Corp.) have re-applied to build townhouses on their "Site 5 in McNorth". The plans generally conform to the guidelines and staff support the minor setback variances.



Alex Jamieson
Planner 2 - Urban Design

AJ:blg

There are conditions to be met:

- Prior to the forwarding the Development Permit to Council, a Letter of Credit is required for landscaping; and
- Prior to a Building Permit, the developer is required to:
 1. enter into the City's standard Servicing Agreement,
 2. submit evidence of a contract with a recognized professional to manage & monitor the existing trees during construction,
 3. provide \$97,000 for park development, and
 4. register a cross-access agreement for the adjacent properties to the east (where there is no lane).



City of Richmond
6911 No. 3 Road
Richmond, BC V6Y 2C1

Development Permit Application

Development Applications Department

(604) 276-4000 Fax (604) 276-4052

Please submit this completed form to the Zoning counter located at City Hall. All materials submitted to the City for a *Development Permit Application* become public property, and therefore, available for public inquiry.

Please refer to the attached forms for details on application attachments and non-refundable application fees.

Property Address(es): 6300 Dixat St 9760 Fernside Rd 9771 Alberta Rd

Legal Description(s): LOT 11 LOT 12 LOT 13
Situated 10 Block 4 North Paloe 6 West Road Unit 34701 (NW)

Applicant: AIT TREN HOLDING LTD

Correspondence/Calls to be directed to:

Name: CARIS TURCOTTE

Address: 1200-1066 W. HATFIELD ST
VANCOUVER BC

Tel. No.: 604.895-0437 Postal Code

Business Residence
chris.turcotte@eressey.com 604-683-7690
E-mail Fax

Property Owner(s) Signature(s): _____

OR

Authorized Agent's Signature: _____
Attach Letter of Authorization

Please print name _____
CARIS TURCOTTE
Please print name _____

For Office Use	
Date Received: <u>Nov. 27/02</u>	Application Fee: <u>\$13,460.00</u>
File No.: <u>02-221259</u> Only assign if application is complete	Receipt No.: <u>15-001114</u>



City of Richmond
Urban Development Division

Development Permit

No. DP 02-221259

To the Holder: AH TEN HOLDINGS LTD.

Property Address: 6300 BIRCH STREET, 8760 FERNDAL ROAD
AND 9771 ALBERTA ROAD

Address: c/o CHRIS TURCOTTE
1200 – 1066 WEST HASTINGS STREET
VANCOUVER, BC V6E 3X1

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning and Development Bylaw No. 5300" is hereby varied or supplemented as follows:
 - a) The dimension and siting of buildings and structures on the land shall be generally in accordance with Plan #1 attached hereto.
 - b) The siting and design of off-street parking and loading facilities shall be generally in accordance with Plan #1 attached hereto.
 - c) Landscaping and screening shall be provided around the different uses generally in accordance with the standards shown on Plan #2 to 8 attached hereto.
 - d) Roads and parking areas shall be paved in accordance with the standards shown on Plan #2 to 7 attached hereto.
 - e) Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
 - f) Subject to Section 692 of the Local Government Act, R.S.B.C., the building shall be constructed generally in accordance with Plans #9 to #18 attached hereto.
4. As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder, or should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived. In addition to other remedies, if existing trees die or are damaged as a result of construction, the City may cash the security in an amount equal to the value of the trees.

Development Permit

No. DP 02-221259

To the Holder: AH TEN HOLDINGS LTD.
Property Address: 6300 BIRCH STREET, 8760 FERNDAL ROAD
AND 9771 ALBERTA ROAD
Address: c/o CHRIS TURCOTTE
1200 – 1066 WEST HASTINGS STREET
VANCOUVER, BC V6E 3X1

There is filed accordingly:

An Irrevocable Letter of Credit in the amount of \$339,080.00.

5. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

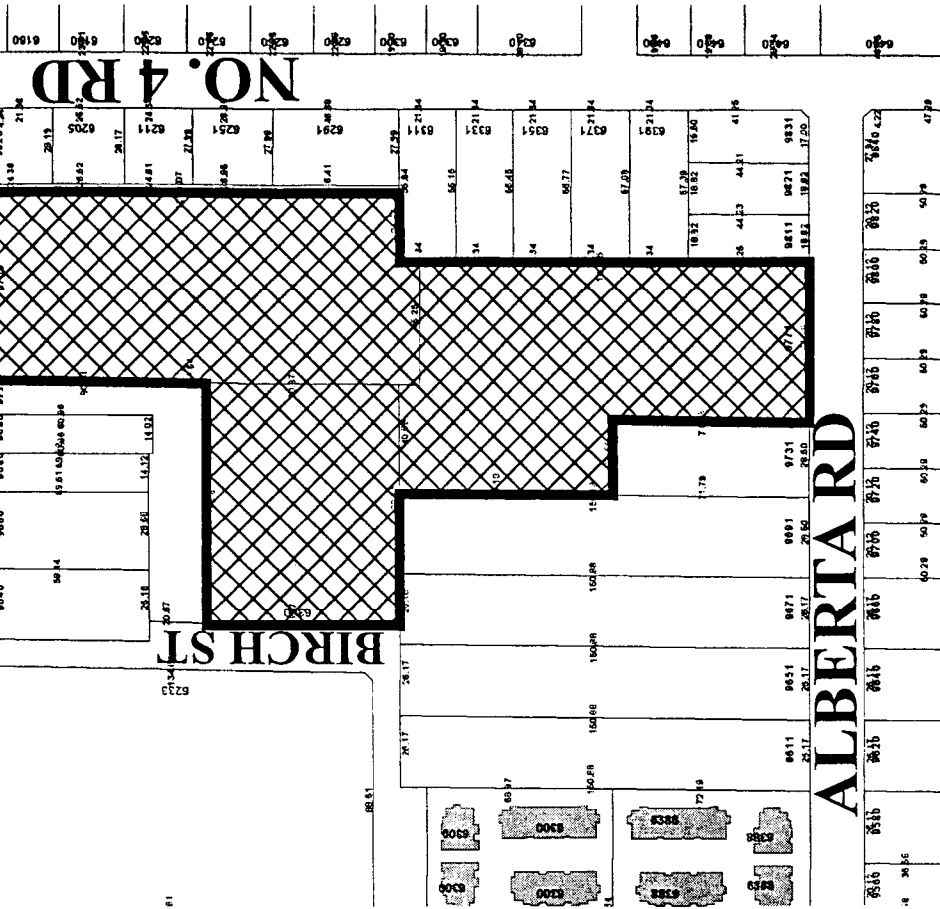
This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR

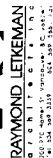


DP 02-221259
SCHEDULE "A"

Original Date: 12/10/02

Revision Date:

Note: Dimensions are in METRES



MAY 23, 2003
RE-ISSUED FOR DEVELOPMENT DESIGN

MAY 16, 2003
RE-ISSUED FOR DEVELOPMENT DESIGN

MARCH 31, 2003
RE-ISSUED FOR DESIGN PANEL

MARCH 7, 2003
RE-ISSUED FOR DESIGN PANEL

FEBRUARY 14, 2003
RE-ISSUED FOR RICHARD REVEN

NOVEMBER 22, 2003
RE-ISSUED FOR DEVELOPMENT DESIGN

Copyright. All rights reserved. Reproduction is made in a part is prohibited. The drawing is an instrument of service is the property of the architect and may not be used in any way without the written permission of the office.

Project No.
Site 5
McLennan North
Richmond, B.C.

For
Cressey
Development
Corporation

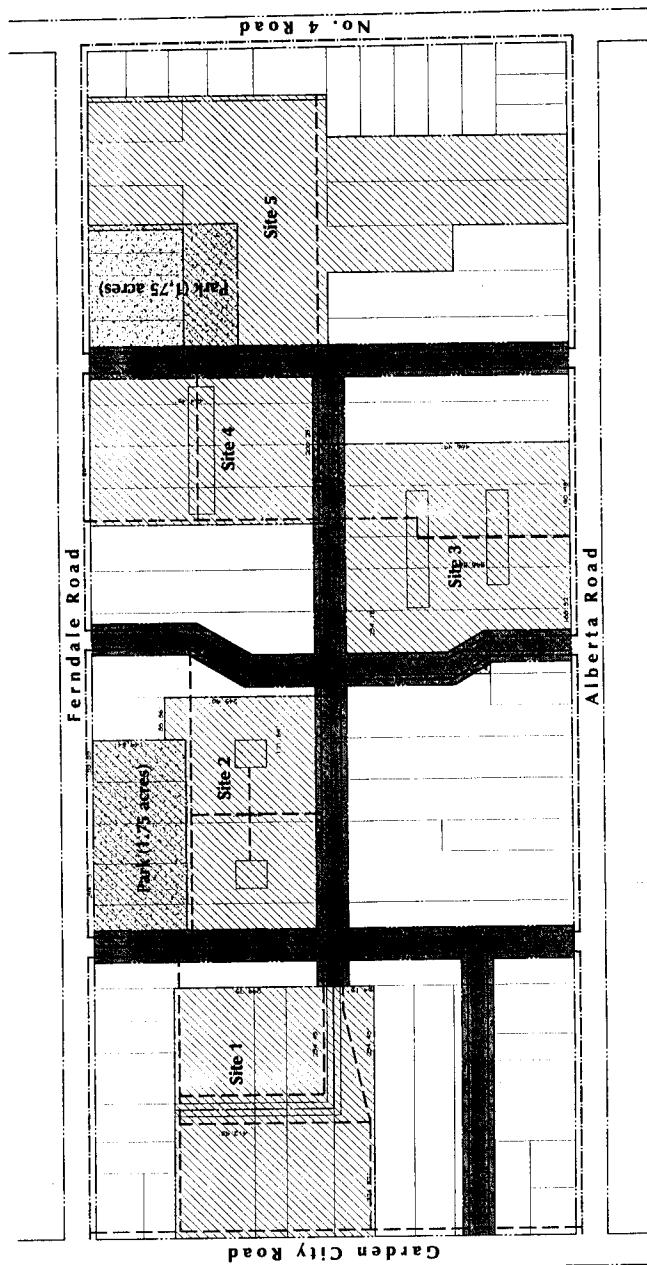
Master Site Plan

DATE _____
TIME _____
PAGE _____
NO. _____

SK-1.0

MAY 28 2003

DP02 221259



Site Five

Legend

SITE No.	DEVELOPMENT SITE AREAS	20 METRE WIDE ROAD R.O.W.

 PARK

PEDESTRIAN WALKWAYS

PEDESTRIAN WALKWAYS &

STREET BOULEVARDS

 LANDSCAPE OPEN SPACE

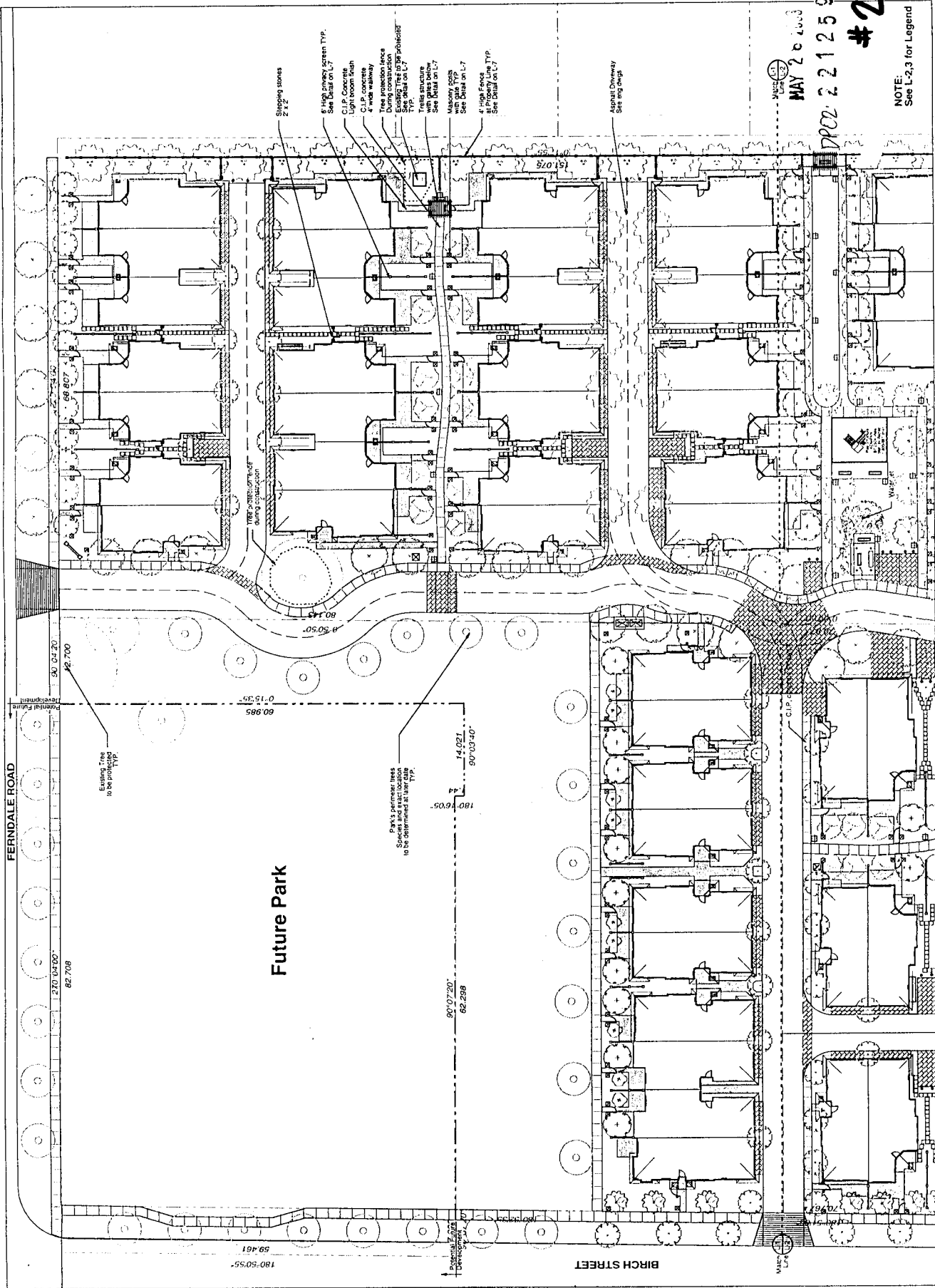
SCALE: 1" = 100'-0"



FERNDALE ROAD

Future Park

BIRCH STREET



RAYMOND LUTEMAN
Landscape Architect
10000 Ferndale Road
Ferndale, MI 48008
Phone: 588-1111
Fax: 588-1112

MAY 22, 2002
RESUBMITTED FOR DEVELOPMENT PERMIT
MAY 20, 2002
RESUBMITTED FOR DEVELOPMENT PERMIT
MAY 07, 2002
FOR L-1 COORDINATION
APRIL 08, 2002
RESUBMITTED FOR DEVELOPMENT PERMIT
NOVEMBER 02, 2001
ISSUED FOR DEVELOPMENT PERMIT
JULY 02, 2001
ISSUED FOR DEVELOPMENT PERMIT

DURANTE KRELUK LTD
Landscape Architect
10000 Ferndale Road
Ferndale, MI 48008
Phone: 588-1111
Fax: 588-1112

Site 5
McLennan North
Ferndale, MI 48008

For
Cressey
Development
Corporation

Hard
Landscape
Plan
North Area

PKG
NOVEMBER 02, 2002
1" = 20'

L-1

MAY 20, 2003
#2
2002.2.21.25.9
NOTE:
See L-2,3 for Legend

MAY 23, 2003
 RE-ISSUED FOR DEVELOPMENT PERMIT

MAY 28, 2003
 RE-ISSUED FOR DEVELOPMENT PERMIT

MAY 07, 2003
 ISSUED FOR COORDINATION

APRIL 08, 2003
 RE-ISSUED FOR DEVELOPMENT PERMIT

MAY 07, 2003
 RE-ISSUED FOR DEVELOPMENT PERMIT

DURANTE KREUK LTD
 101-1100 WEST 10TH AVENUE
 VANCOUVER, B.C. V6H 1T1
 TEL: 604-681-1111
 FAX: 604-681-1112

Site 5
 M. Sennan North
 Richmond, B.C.

For
 Cressey
 Development
 Corporation

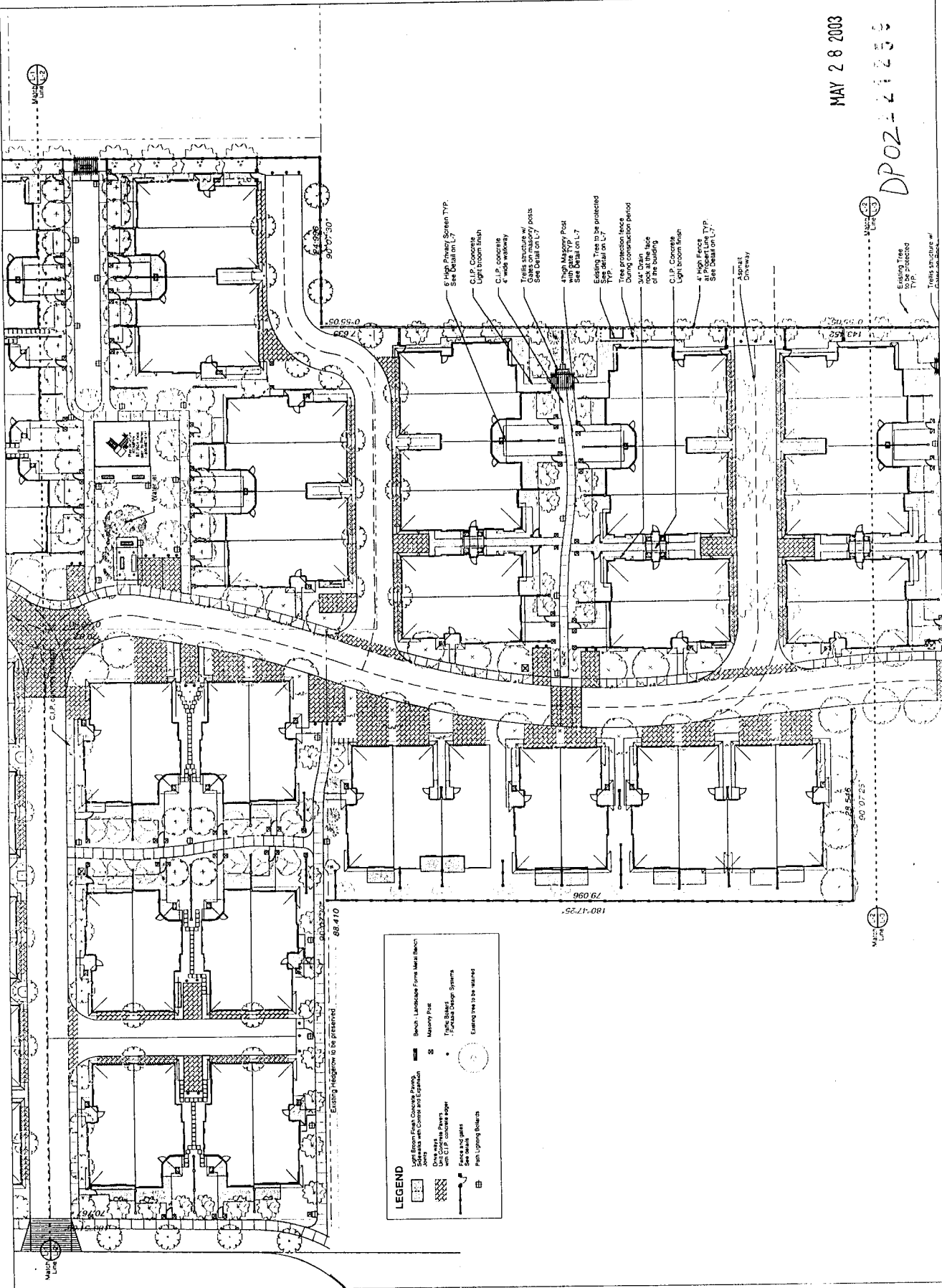
**Hard
 Landscape
 Plan
 Central Area**

Drawn	PMG
Check	
Date	NOVEMBER 30, 2002
Scale	1" = 20'
Sheet	

3 L-2

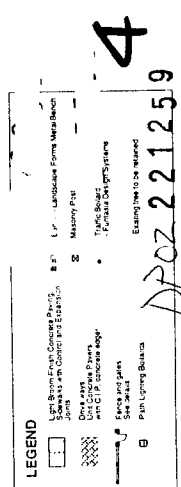
MAY 28 2003

DP02-21203



LEGEND


	6\"/>		Bench - Landscape Form Metal Bench
	Masonry Post		Tree to be planted
	Tree to be protected		Tree to be removed
	Tree to be maintained		Tree to be planted
	Tree to be protected		Tree to be removed
	Tree to be maintained		Tree to be planted
	Tree to be protected		Tree to be removed
	Tree to be maintained		Tree to be planted
	Tree to be protected		Tree to be removed
	Tree to be maintained		Tree to be planted



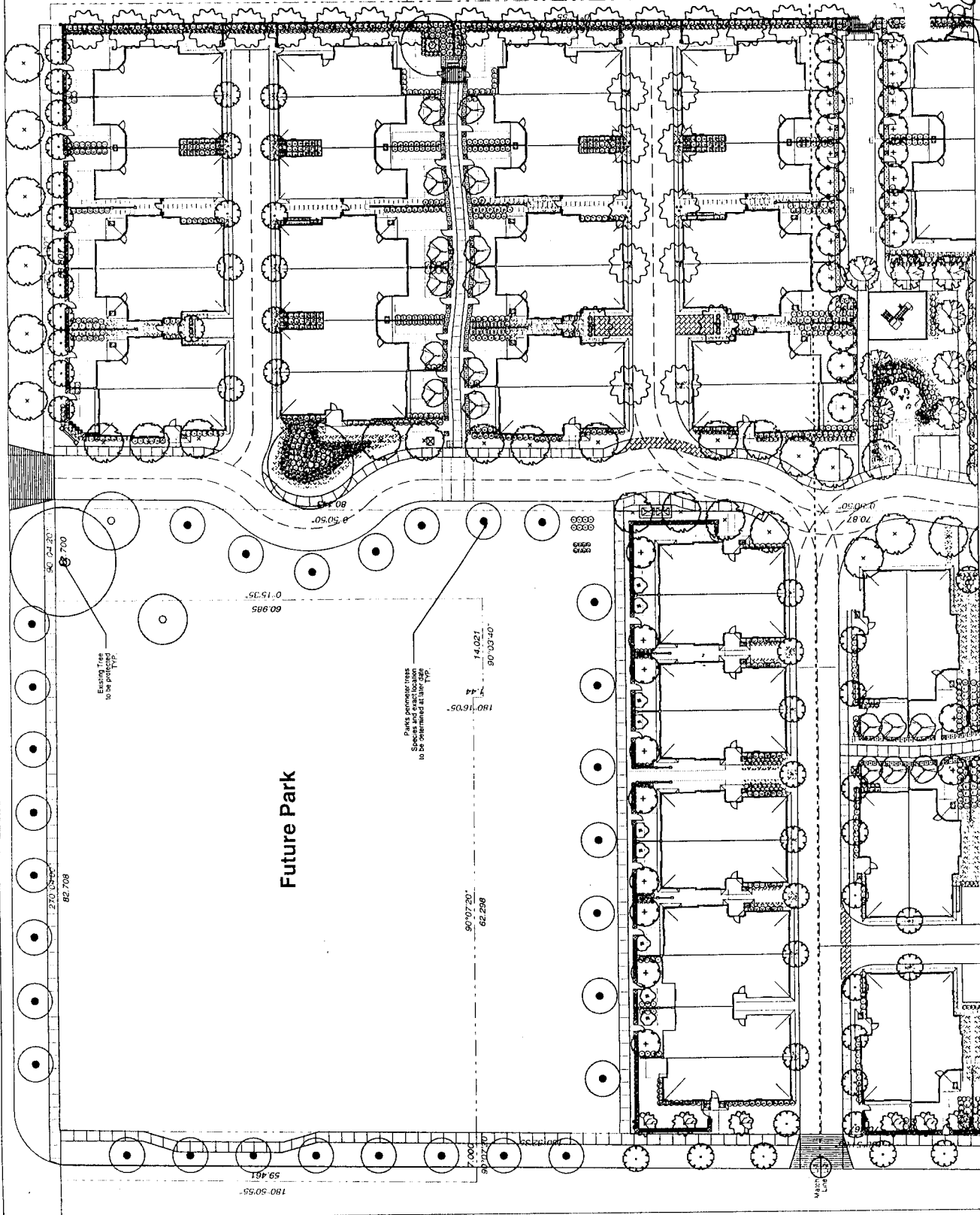
ALBERTA ROAD

NOTE: Proximity of the existing willow tree to the building and the characteristics of the species together with the existing growing conditions of this tree may prove this tree unretainable.

L-4

- Match Line  MAY 28 2003

NOTE:
See L-6 for Plant List



MAY 23, 2003
 RE-ISSUED FOR DEVELOPMENT PERMIT
 MAY 28, 2003
 RE-ISSUED FOR DEVELOPMENT PERMIT
 MAY 27, 2003
 ISSUED FOR COORDINATION
 APRIL 04, 2003
 RE-ISSUED FOR DEVELOPMENT PERMIT
 APRIL 04, 2003
 RE-ISSUED FOR DEVELOPMENT PERMIT
 APRIL 04, 2003
 RE-ISSUED FOR DEVELOPMENT PERMIT

DURANTE KREUK LTD
 1001 15th Street
 Suite 1000
 Denver, CO 80202
 Tel: 303.733.1111 Fax: 303.733.1112

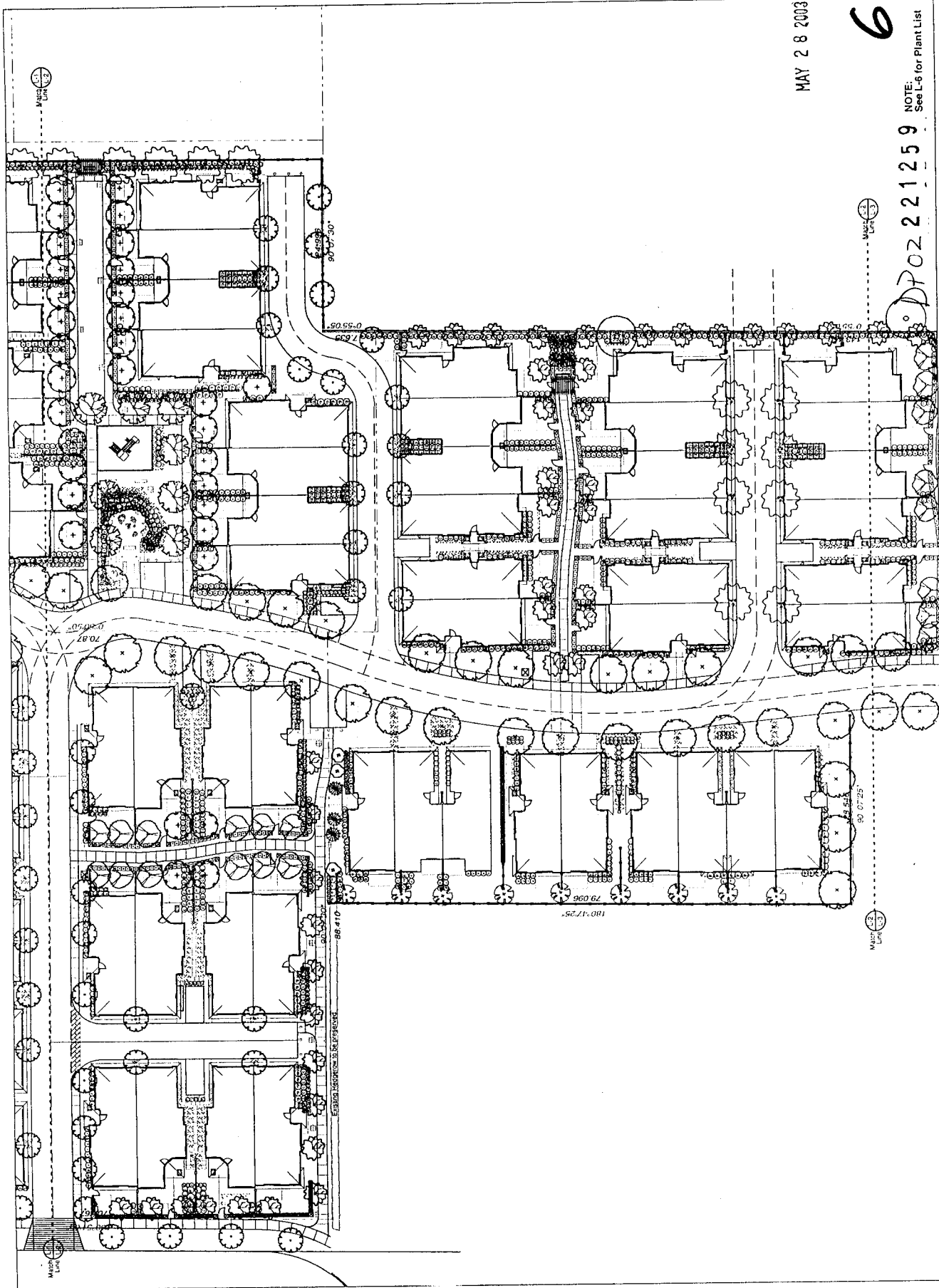
Site 5
 McLean North
 Richmond, B.C.

For
 Cressey
 Development
 Corporation

**Soft
 Landscape
 Plan
 Central Area**

PHG
 NOVEMBER 22, 2002
 1" = 20'

L-5

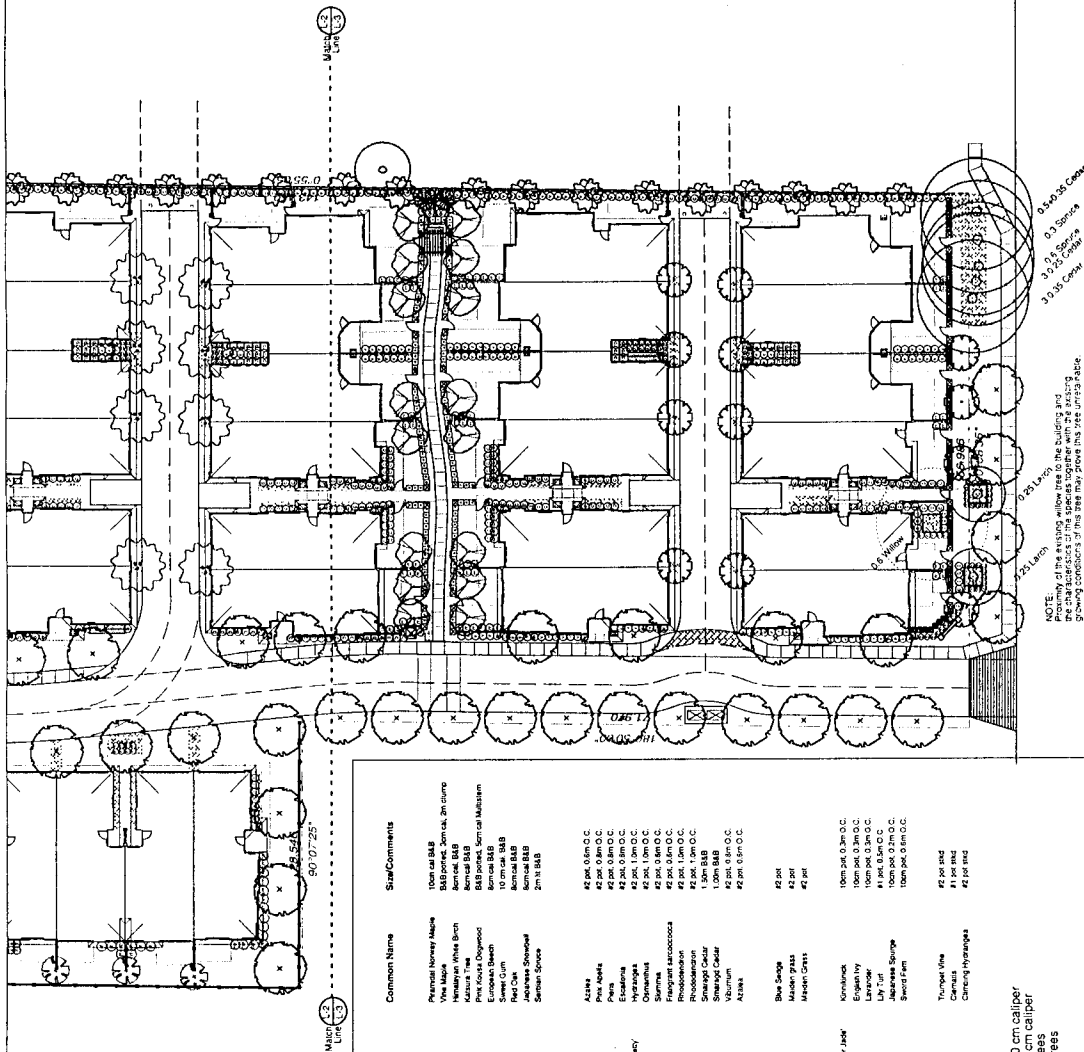


MAY 28 2003

6

DP02 21259

NOTE: See L-6 for Plant List

[illegible]

New trees size summary :

117 trees with 10 cm caliper
197 trees with 8 cm caliper
52 multistem trees
10 evergreen trees

Tree Relacement Note:

The total number of new trees on site is 378, providing a 1 for 1 replacement. Of the 340 trees, a total of 12 trees were noted suitable for retention, 2 of which "add to the removed due to maintenance with construction and pruning. A total of 10 trees are being retained.

DP02 221259 MAY 28 2003 7

MAY 21, 2003
 RE-DESIGNED FOR DEVELOPMENT PERMIT
 MAY 20, 2003
 RE-DESIGNED FOR DEVELOPMENT PERMIT
 MAY 17, 2003
 ISSUED FOR COORDINATION

APRIL 08, 2003
 RE-DESIGNED FOR DEVELOPMENT PERMIT
 MAY 17, 2003
 RE-DESIGNED FOR DEVELOPMENT PERMIT
 MAY 17, 2003
 ISSUED FOR DEVELOPMENT PERMIT

NOTE: ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
 ALL MATERIALS ARE TO BE OF THE HIGHEST QUALITY AND TO BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN NATIONAL BUILDING CODE AND THE BRITISH COLUMBIA BUILDING CODE.

DURANTE KREUK LTD
 (604) 271-1111
 1000 RIVERVIEW AVE.
 RICHMOND, B.C. V6X 1A1

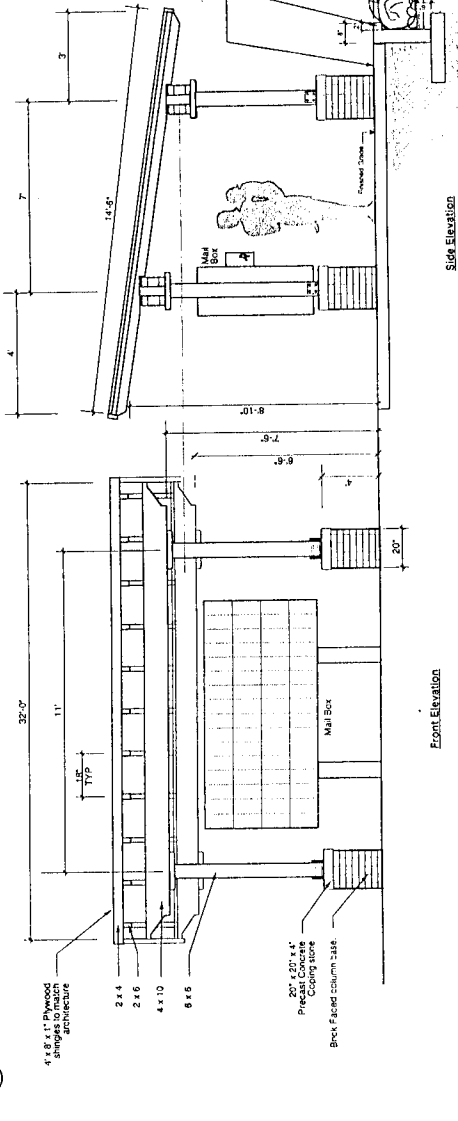
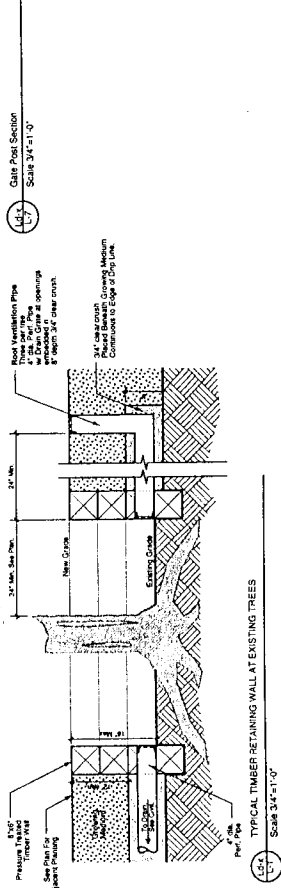
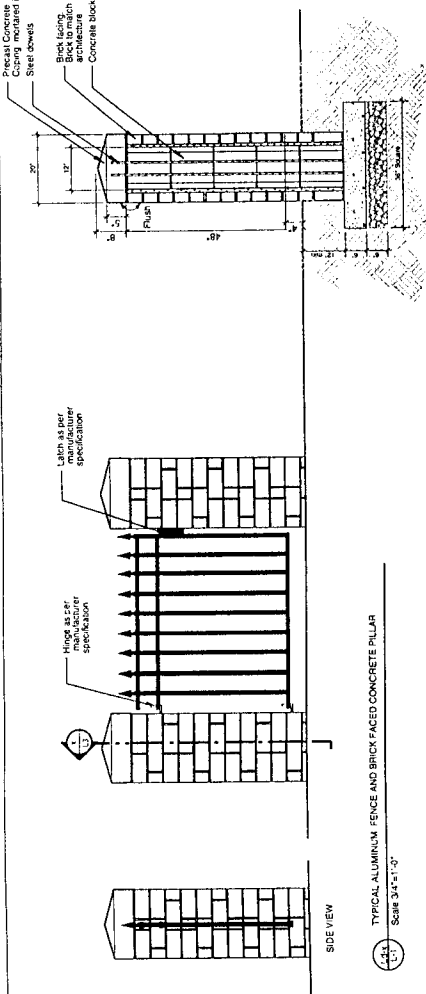
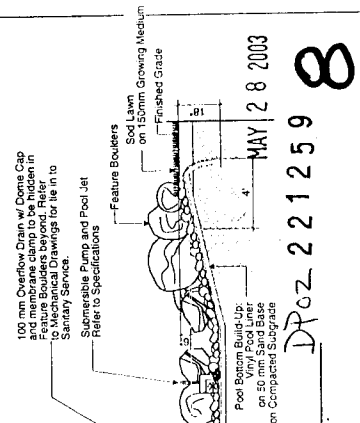
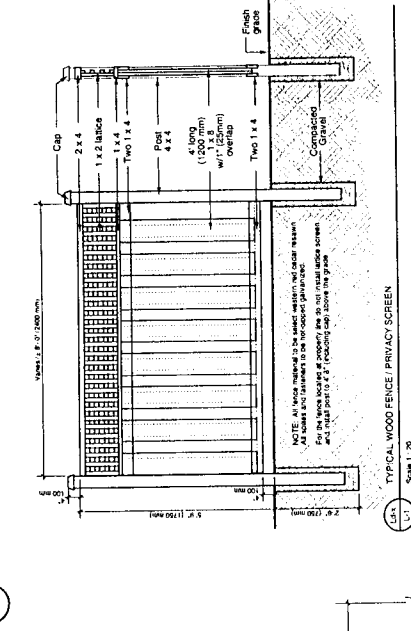
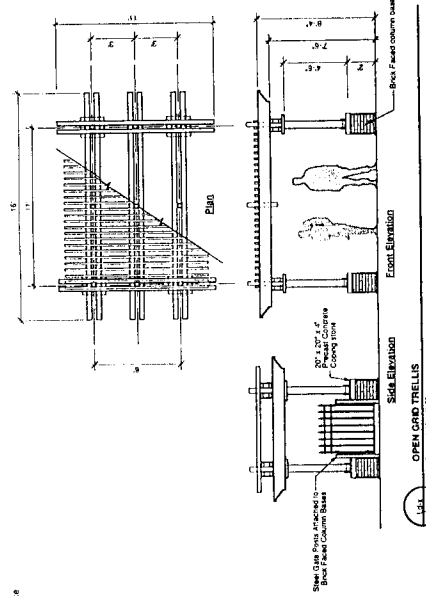
Site 5
 Main North
 Richmond, B.C.

For
 Cressey
 Development
 Corporation

**Landscape
 Details**

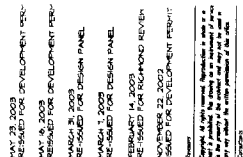
PWG
 NOVEMBER 22, 2002
 AS SHOWN

L-7



MAY 28 2003
 DP02 221259
 8

MAIL BOX GATE
 Scale 1/2" = 1'-0"

Site 5
Street Elevations[illegible]

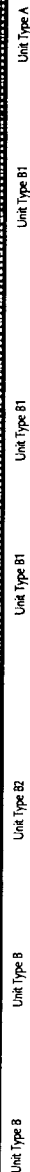
SK-2.0



1. Street Elevation ~ Birch Street



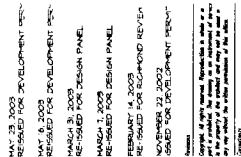
2. Street Elevation ~ Alberta Road



3. Street Elevation ~ Ferndale Road

MAY 28 2003

DP02 221259 9



For
Cressey
Development
Corporation

Sheet No.
Site 5
Building Type #1
A-81 Duplex
Floor and Roof Plans
Section

[illegible]

SK-4.2



1. Front Elevation



2. Side Elevation

Spatial Separation Calculations - Unit B1

AREA OF OPENINGS ON EXPOSED FACE	7.63 MM
AREA OF EXPOSED FACE	156.00 MM ²
PERCENTAGE OF UNPROTECTED OPENINGS	7.24 %
LEAKING DISTANCE (MINIMUM)	4.00 FT
REPORTED % OF UNPROTECTED OPENINGS	7.00 %
	1.22 M

Finish Legend

- ASPHALT ROOF SHINGLES
- BOARD & BATTEN (UNPAINTED)
- BRICK (UNPAINTED)
- COBBLE SLATING / UNTILED ROOFS
- ALUM. GLAZING AND RAIN WATER LEADERS
- 2 x 6 MOOD TRIMS AT WINDOWS / DOORS
- 2 x 10 MOOD TRIMS
- ALUMINUM SAWNED BAILS
- MOOD PANELLED SHANGHAI DOORS
- MOOD BRACKETS w/ SHUTTLES
- 24" x 30" ROOF OVERHANGS w/ PLAGIOMERAD
- BRICK VENEER

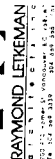


3. Rear Elevation



4. Side Elevation

DPoz 221259
MAY 28 2003



RAYMOND LETKEMAN
 3121161172
 100 J.L. -mees St. Vondelaar B.C. 138, m.
 101 104 305 3330 354 305 355 101

MAY 23, 2008
 RE-DESIGNED FOR DEVELOPMENT MEET-
 MAY 6, 2008
 RE-DESIGNED FOR DEVELOPMENT MEET-
 MARCH 31, 2008
 RE-DESIGNED FOR DESIGN PANEL
 MARCH 7, 2008
 RE-DESIGNED FOR DESIGN PANEL
 FEBRUARY 14, 2008
 RE-DESIGNED FOR RICHMOND REVIEW
 NOVEMBER 22, 2002
 ISSUED FOR DEVELOPMENT MEET-
 Proposed

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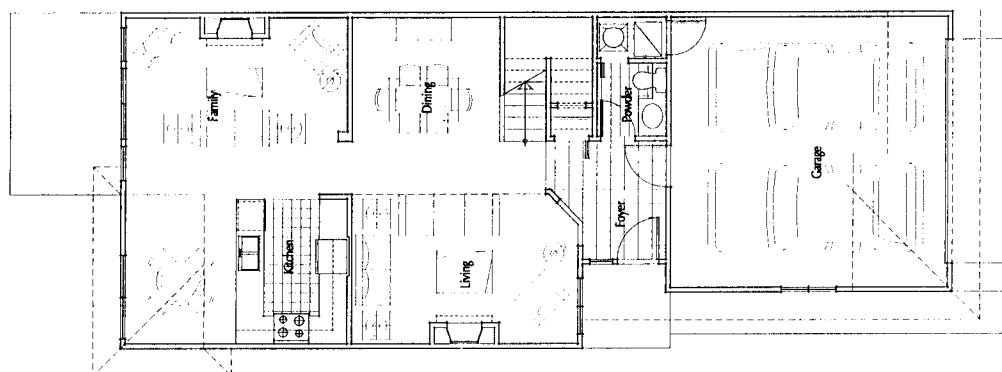
Site 5
McLennan North
Richmond, B.C.

For
Cressey
Development
Corporation

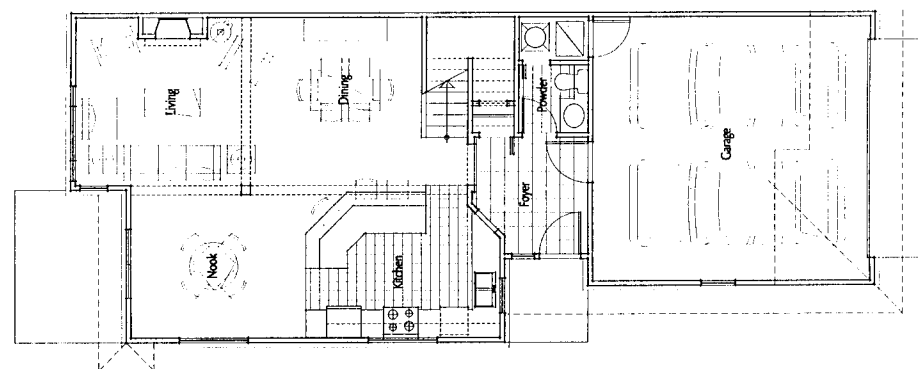
Unit Plan A2 & A3

DATE	NOV 23, 2003
BY	0-11-01
BY	
BY	
BY	

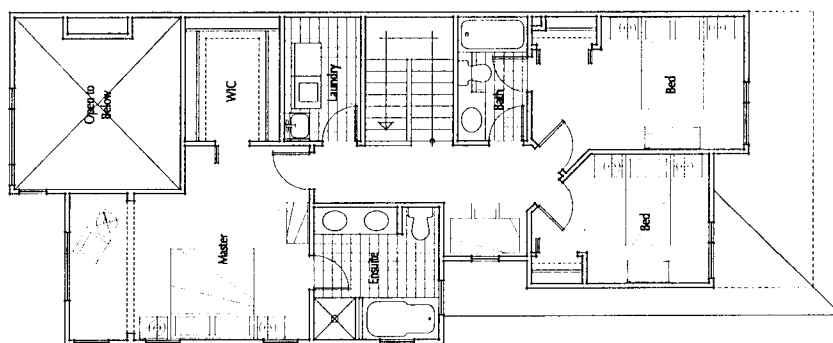
SK-11.2



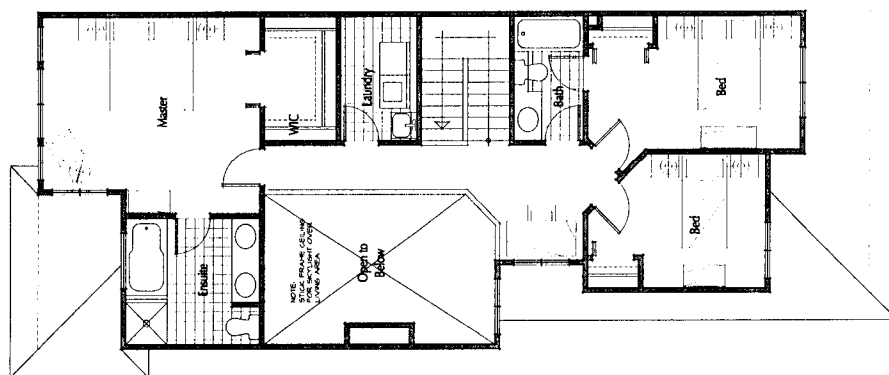
Unit A3
Main Floor Plan
Area: 1,884 sf



Unit A2
Main Floor Plan
Area: 1,792 sf



Unit A2
Upper Floor Plan



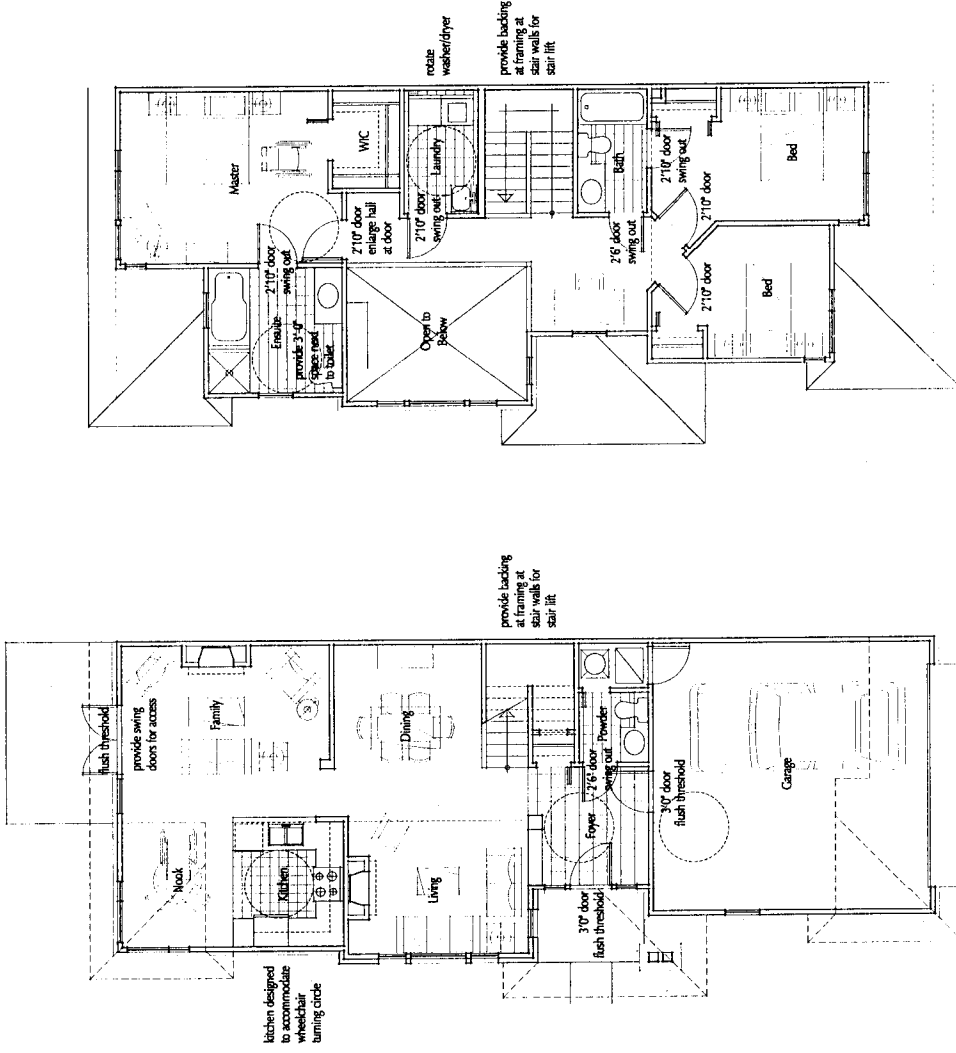
Unit A3
Upper Floor Plan
APCZ 221259
MAY 28 2003

MAY 23, 2003
 RE-DESIGNED FOR DEVELOPMENT REVIEW
 MAY 16, 2003
 RE-DESIGNED FOR DEVELOPMENT REVIEW
 MAY 15, 2003
 RE-DESIGNED FOR DEVELOPMENT REVIEW
 MAY 14, 2003
 RE-DESIGNED FOR DESIGN PANEL
 FEBRUARY 14, 2003
 RE-DESIGNED FOR DESIGN PANEL
 NOVEMBER 22, 2002
 RE-DESIGNED FOR DESIGN REVIEW
 ISSUED FOR DEVELOPMENT REVIEW
 COMMENTS

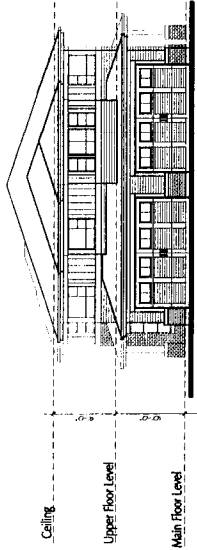
Project No.
 Site 5
 McLennan North
 Richmond, IL
 For
 Chesney
 Development
 Corporation
 Architect
 Site 5
 Unit Plan A
 Handicap Accessible
 Conversion

DATE	10/11/07
BY	SK-12.1
CHKD	SK-12.1
DATE	10/11/07
BY	SK-12.1
CHKD	SK-12.1

SK-12.1

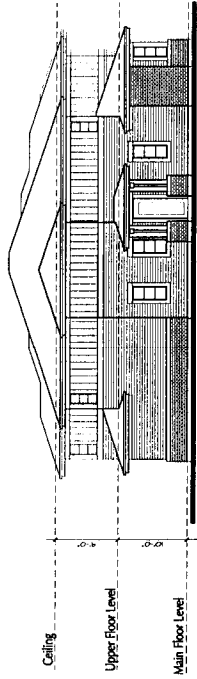


MAY 28 2003
 DPO222125912



Unit Type A

1. Front Elevation



Unit Type C

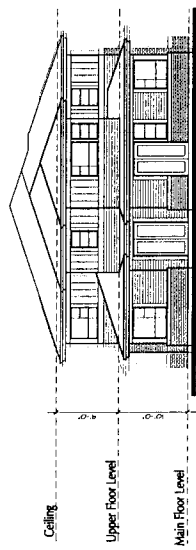
2. Side Elevation

Spatial Separation Calculations - Unit C

AREA OF OPENINGS ON EXPOSED FACE	7450 SF	7.24 SF
AREA OF EXPOSED FACE	10200 SF	0.715 SF
PERCENTAGE % OF UNLIMITED OPENINGS	6.84 %	
- MINIMUM DISTANCE (MINIMUM)	500 FT	157 FT
PERCENTAGE % OF UNLIMITED OPENINGS	100 %	

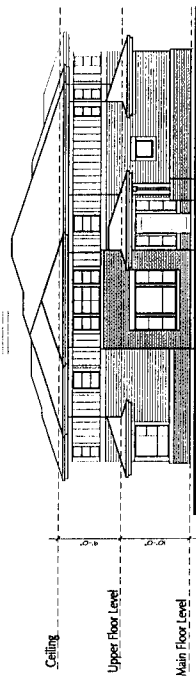
Finish Legend

- BRICK - EXTERIOR WALLS
- BRICK - EXTERIOR ROOF
- HORIZONTAL VINYL SIDING
- ALUM. SHUTTERS AND RAIN WATER LEAKERS
- 2 X 6 FLOOR TRUSS AT PREVIOUS / DOORS
- ALUM. SHUTTERS AND RAIN WATER LEAKERS
- WOOD PANELLED GARAGE DOORS
- 24" X 36" ROOF OVERHANG TO PARALLEL
- BRICK VENEER



Unit Type A

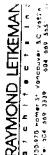
3. Rear Elevation



Unit Type A

4. Side Elevation

MAY 28 2003
Doc 221259 13



RAYMOND LETKEMAN
3141 9th St. N.E.
20670 Homer 314 Vancouver, B.C. V6T 1A1
Tel. 304 869 3330 Fax 304 869 3331

MAY 28, 2003	RE-SEALED FOR DEVELOPMENT REVIEW
MAY 16, 2003	RE-SEALED FOR DEVELOPMENT REVIEW
MARCH 30, 2003	RE-SEALED FOR DESIGN PANEL
MARCH 7, 2003	RE-SEALED FOR DESIGN PANEL
FEBRUARY 14, 2003	RE-SEALED FOR RICHMOND REVIEW
NOVEMBER 22, 2002	RE-SEALED FOR DEVELOPMENT REVIEW

Comments:

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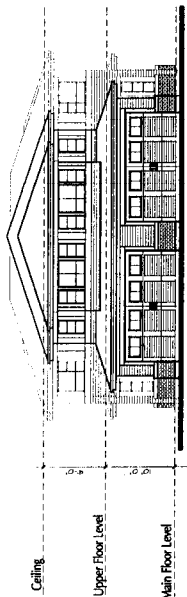
Project 508
Site 5
McLennan North
Richmond, B.C.

Cressey Development Corporation

Part 2
 Site 5
 Building Type #3
 81-81 Duplex
 Elevations

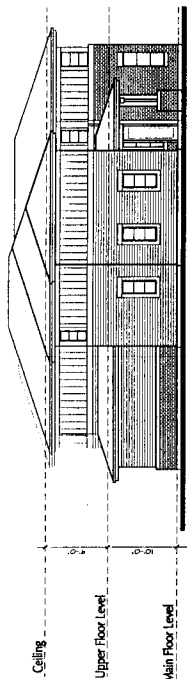
	0-1	8/6	MS
E002 V2 AVM			pp2
A000C			
msd			
h. c.			

SK-6.2



Unit Type B1

1. Front Elevation



Unit Type: B1

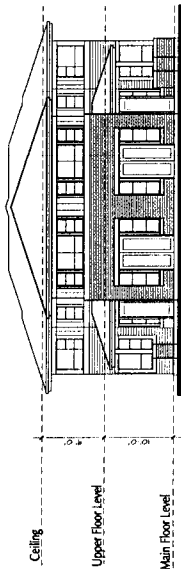
2. Side Elevation

Spatial Separation Calculations - Unit B1

AREA OF OPENINGS ON EXPOSED FACE	7.56 SQ
AREA OF EXPOSED FACE	107.34 SQ
PERCENTAGE OF UNPROTECTED OPENINGS	7.00 %
LEAKING DISTANCE (MINIMUM)	4.00 FT
PERCENTAGE OF UNPROTECTED OPENINGS	7.00 %

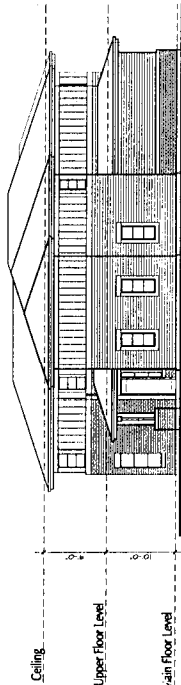
Finish Legend

ASPHALT ROOF SHINGLES
BOARD & BATTEN - PRE-STAINED
HORIZONTAL VINYL SIDING
DOUBLE GLAZING IN VINYL FRAMES
ALUM. SITTERS AND RAIN WATER LEADERS
2 X 6 WOOD TRIMS AT WINDOWS / DOORS
2 X 2 BASE TRIMS
ALUMINUM GUARD RAILS
WOOD PANELLED GARAGE DOORS
WOOD BRACKETS W/ SCREWS
24" x 30" ROOF OVERHANG TO FASCIABOARD
VINYL FENCING



Unit Type B1

3. Rear Elevation



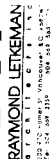
Init Type B1

4. Side Elevation

MAY 28 2003

1702 22125914 MAY 20 2003

SK-7.2



RAYMOND LETKEMAN
Architects Inc.
1000 - 3rd Avenue S.E. 4th Fl.
Calgary, Alberta T2G 1G1
Tel. 244 888 3338 Fax 244 888 3443

MAY 23, 2003
 RE-ISSUED FOR DEVELOPMENT DESIGN PANEL
 MAY 6, 2003
 RE-ISSUED FOR DEVELOPMENT DESIGN PANEL
 MARCH 30, 2003
 RE-ISSUED FOR DEVELOPMENT DESIGN PANEL
 MARCH 1, 2003
 RE-ISSUED FOR DEVELOPMENT DESIGN PANEL
 FEBRUARY 14, 2003
 RE-ISSUED FOR RICHMOND RE-DESIGN PANEL
 NOVEMBER 22, 2002
 RE-ISSUED FOR DEVELOPMENT DESIGN PANEL

Approved _____
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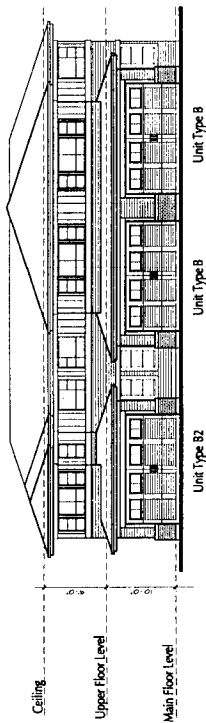
Site 5
McLennan North
Richmond, B.C.

For
Cressey
Development
Corporation

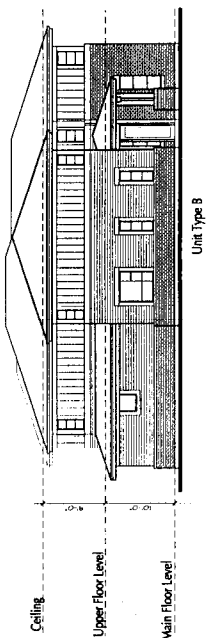
Sheet 70
Site 5
Building Type #5
B-8-82 Triplex
Elevations

DATE MAY 29 2003
TIME 10:10
NAME

SK-8.2



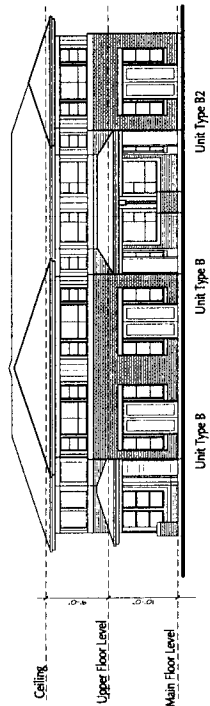
1. Front Elevation



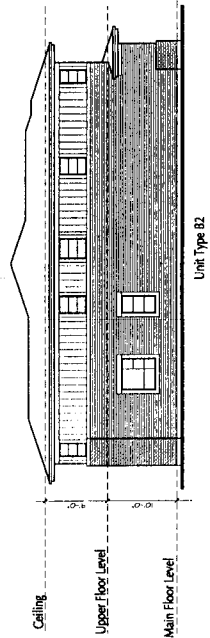
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Finish Legend

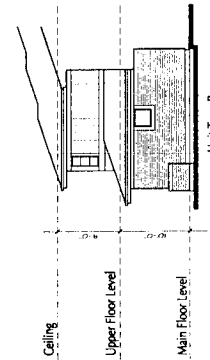
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- BOARD & BATTEN - PRESTAINED
- HORIZONTAL VINYL SIDING
- DOUBLE SLAZING IN VINYL FRAMES
- ALUM. SITTINGS AND RAIN WATER LEADERS
- 2 X 6 FLOOR TRIMS AT WINDOWS / DOORS
- 2 X 10 BASE TRIMS
- ALUMINUM GUARD RAILS
- WOOD PANKLED GARAGE DOORS
- WOOD BRACKETTS W/ SHIPITS
- 24" X 36" ROOF OVERHANGS TO PARADEAROUND
- BRICK VENEER



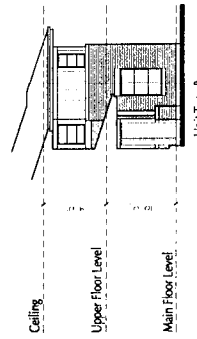
3. Rear Elevation



2. Side Elevation



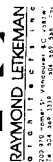
5. Side Elevation



6. Side Elevation

DP 02 221259 16
MAY 28 2003

MAY 28 2003



RAYMOND LETKEMAN
O R G A N I Z E R

MAY 29, 2003	RE-ISSUED FOR DEVELOPMENT DESIGN
MAY 16, 2003	RE-ISSUED FOR DEVELOPMENT DESIGN
MARCH 31, 2003	RE-ISSUED FOR DESIGN PANEL
MARCH 7, 2003	RE-ISSUED FOR DESIGN PANEL
FEBRUARY 14, 2003	RE-ISSUED FOR RICHMOND REVIEW
NOVEMBER 22, 2002	ISSUED FOR DEVELOPMENT DESIGN

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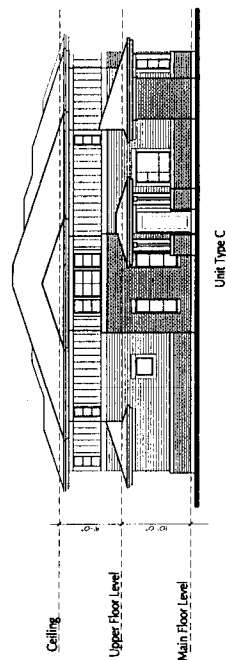
Project: 306
Site 5
McLennan North
Richmond, B.C.

For
Cressey
Development
Corporation

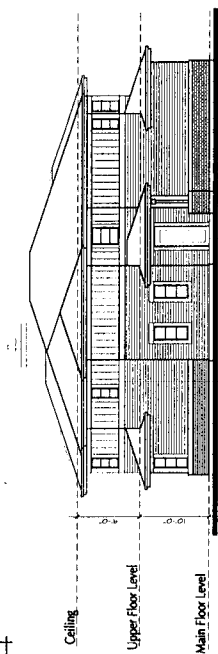
Site 5
Building Type #6
Type A-A1-A1-C Fourplex
Elevations

DATE _____
TYPE _____
DOCTOR _____
OF MAY 28, 2003
LOW 1/8" x 1'-0"

SK-9.2



2. Side Elevation



4. Side Elevation

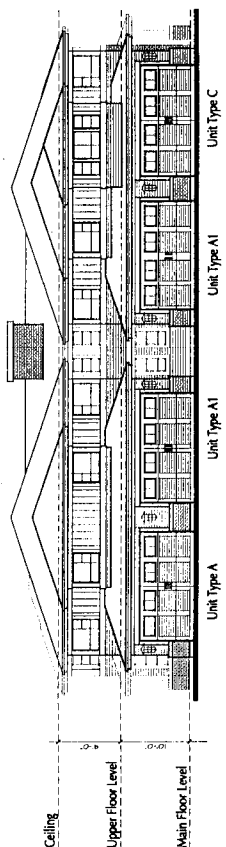
Spatial Separation Calculations - Unit A, A-a

(Unit Type A-a similar)

AREA OF CHANGES ON EXPOSED FACE	AREA OF CHANGES ON UNEXPOSED FACE
87.50 SF	0.13 SF
100.00 SF	105.46 SF
7.75 SF	122 SF
4.00 SF	7.00 SF

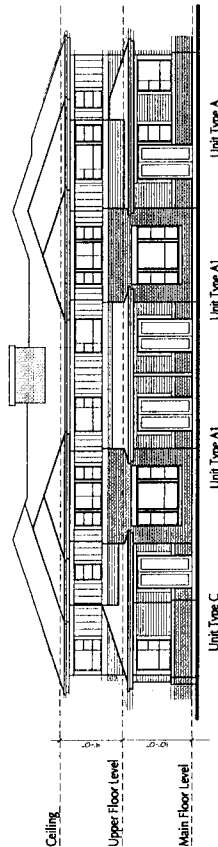
DP C2 221259
MAY 28 2003

17

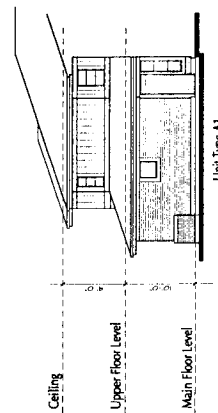


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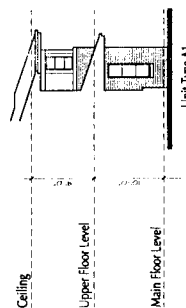
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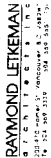
3. Rear Elevation



5. Side Elevation



6. Side Elevation



RAYMOND LETKEMAN
a / c / h / i / t / e / c / i / n / c
220-810-0000 • 5000 S. VANCOUVER ST. VANCOUVER, BC V6M 2A6
Fax 604 569 3320 504 350 5345 • 170

MAY 28, 2003
RE-ISAIED FOR DEVELOPMENT REVIEW

MAY 16, 2003
RE-ISAIED FOR DEVELOPMENT REVIEW

MARCH 31, 2003
RE-ISAIED FOR DESIGN PANEL

MARCH 7, 2003
RE-ISAIED FOR DESIGN PANEL

FEBRUARY 14, 2003
RE-ISAIED FOR RUC+OHD REVIEW

NOVEMBER 22, 2002
RE-ISAIED FOR DEVELOPMENT REVIEW

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Project 109
Site 5
McLennan North
Richmond, B.C.

For
Cressey
Development
Corporation

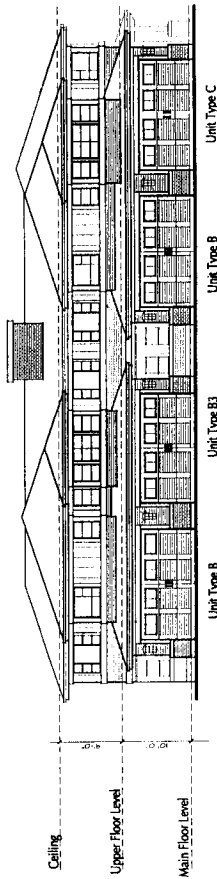
Sheet 5 of 5

Building Type #7
Type B-B3-B-C Fourplex

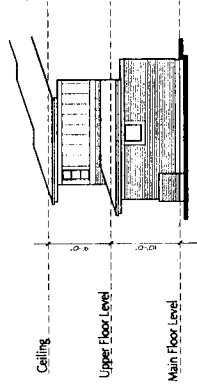
Elevations

100°C
 200°C
 300°C
 400°C
 500°C
 600°C
 700°C
 800°C
 900°C
 1000°C
 1100°C
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 1300°C
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SK-10.2



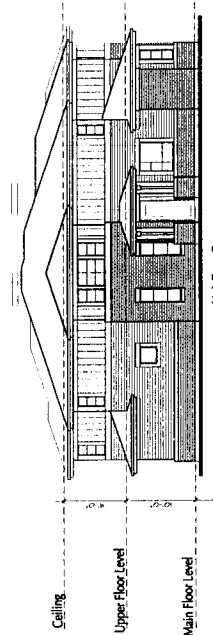
1. Front Elevation



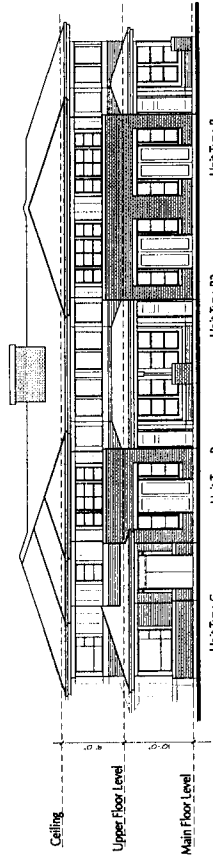
2. Side Elevation

Finish Legend

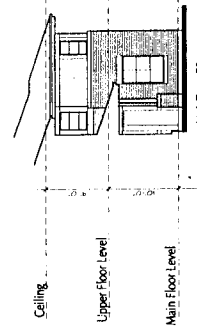
- ASPHALT ROOF SHINGLES
- BONDED & BATTEN - RESTAINED
- HORIZONTAL FIVE - 1/2" SPACES
- DOUBLE SHINGLES - 1/2" SPACES
- FLAT SHINGLES AND MAIN WATER LEAKERS
- 2 X 6 WOOD TRIM AT WINDOWS / DOORS
- 2 X 10 WOOD TRIM AT BASE
- ALUMINUM TRIM - BALLS
- WOOD PANELLED GARAGE DOORS
- WOOD BRACKETS W/ SCUFFING
- 24" X 30" ROOF OVERHANG TO PASCADORA
- BRICK VENEER



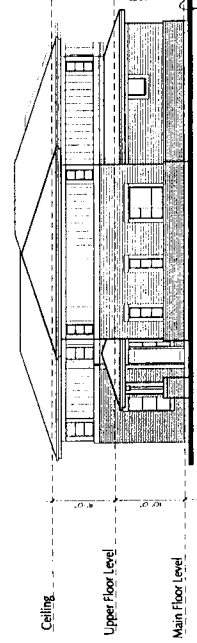
3. Side Elevation



4. Rear Elevation



5. Side Elevation



6. Side Elevation

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