



City of Richmond
Planning and Development Department

Report to Development Permit Panel

To: Development Permit Panel
From: Jean Lamontagne
Director of Development
Date: May 14, 2007
File: DP 06-349392
Re: **Application by Patrick Cotter Architect Inc. for a Development Permit at 7700, 7720, 7740, and 7760 Bridge Street**

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of 32 townhouses at 7700, 7720, 7740, and 7760 Bridge Street on a site zoned Comprehensive Development District (CD/128); and
2. Vary the provisions of the Zoning and Development Bylaw No. 5300 to:
 - a) Increase the maximum lot coverage to 43%;
 - b) Reduce the minimum public road setback from Bridge Street from 5 m to 4.3 m for two-storey bay projections;
 - c) Reduce the minimum property lines at a public road setback from Keefer Avenue from 4.57 m to 4 m for two-storey bay projections; and
 - d) Reduce the minimum south side yard setback from 3 m to 2.5 m for two-storey bay projections.



Jean Lamontagne
Director of Development

JL:ef
Att. 3

Staff Report

Origin

Patrick Cotter Architect Inc. has applied to the City of Richmond for permission to develop 32 townhouses at 7700, 7720, 7740, and 7760 Bridge Street on a site zoned Comprehensive Development District (CD/128). The site currently contains four single-family dwellings.

The site is being rezoned from Single Family Housing District, Subdivision Area F (R1/F) to Comprehensive Development District (CD/128) for this project under Bylaw 8158 (RZ 05-296361).

Development Information

Please refer to attached Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the north, a mix of older and several newer existing single-family homes on large lots (typically 18 m wide or wider), fronting Bridge Street, and zoned as Single-Family Housing District, Subdivision Area F (R1/F);
- To the east, an area designated for townhouse re-development, with a mix of older and several newer existing single-family homes on large lots (typically 18 m wide or wider), fronting No. 4 Road and Blundell Road, and zoned as Single-Family Housing District, Subdivision Area F (R1/F); and the recently constructed Polygon Westbury 42 unit 2 and 3-storey townhouse development (DP 04- 280617); and the proposed 12 unit townhouse development at 7791,7931 No 4 Rd. (RZ 05-313124).;
- To the south, four existing single-family homes on large lots fronting Blundell Road, in an area designated for townhouse re-development; and the proposed 10-unit townhouse development at 9631, 9651 Blundell Road (RZ 05-321063). and
- To the west, a mix of older and several newer existing single-family homes on large lots (typically 18 m wide or wider), fronting Bridge Street, and zoned as Single-Family Housing District, Subdivision Area F (R1/F).

Rezoning and Public Hearing Results

During the rezoning process, staff identified the following design issues to be resolved at the Development Permit stage:

- Detailed review of building form and character;
- Review of units providing opportunities for enhanced accessibility;
- Pedestrian frontage along Keefer Avenue and Bridge Street;
- Building heights, to maintain a neighbourly transition to the adjacent single-family neighbourhood; and

- Landscaping design, including the retention or replacement of existing trees, in accordance with the preliminary landscape plan.

The Public Hearing for the rezoning of this site was held on December 18, 2006. At the Public Hearing, the following concerns about rezoning the property were expressed:

- Traffic issues related to Bridge Street;
- Privacy issues related to the height of the proposed buildings; and
- Potential drainage of water onto the neighbouring property from the new developments.

Staff worked with the applicant to address these issues in the following ways:

- The addition of brick accent walls and half-timber detailing have enhanced the streetscape residential character of the buildings and achieve
- An alternate accessible unit plan has been provided;
- Building heights are below the permitted maximum height, and dormers are contained within the roof forms to achieve a neighbourly transition across the “ring road” to the single-family neighbourhood to the north;
- Landscaping design has been refined to ensure adequate screening at property lines, for the retention of three on-site trees, and for replacement at a ratio of 2:1 for trees to be removed; and
- Adequate perimeter drainage to City standards is required at the building permit.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the Comprehensive Development District (CD/128) except for the zoning variances noted below.

Zoning Compliance/Variations (staff comments in bold)

The applicant requests to vary the provisions of the Zoning and Development Bylaw No. 5300 to:

- 1) Increase the maximum lot coverage to 43%;

(Staff supports the proposed variance as the proposal meets the intent of the McLennan South Sub-Area for a distinct, estate-like environment. The applicant has provided a full road dedication for Keefer Avenue, including additional open space on the north side of the road dedication to allow for the alignment with existing portions of the “ring road” to the east and west. The provision of ten units that include substantial living areas on the ground floor (e.g., living room, kitchen, dining room and bathroom), providing opportunities for enhanced accessibility and aging in place support the variance for the additional site coverage.)

- 2) Reduce the minimum public road setback from Bridge Street from 5 m to 4.3 m for two-storey bay projections;

(Variances to setbacks are proposed at Bridge Street for Buildings 1, 2 & 3. These are requested to provide increased separation to side entries for the intervening units, and to allow the massing to be subdivided into the more desirable combination of duplex and triplex units as a response to the single family context across the street and to the north. Staff supports the proposed variance as the projections are limited to bay projections on the first and second storeys and do not present adjacency issues. The building bays enhance the building character and articulation, and reinforce the two-storey single-family residential streetscape, consistent with the McLennan South Development Permit Guidelines. The site plan is generally consistent with the proposal presented to Council with the Rezoning application.)

- 3) Reduce the minimum public road setback from Keefer Avenue from 4.57 m to 4 m for two-storey bay projections; and

(Variances to setbacks are proposed at Keefer St. for Bldg 3, 4 & 6. These are required to provide additional space for public amenity and visitor parking at the centre, and to increase building spacing for units with side entries. Staff supports the proposed variance. See comments for Variance #2, above.)

- 4) Reduce the minimum south side yard setback from 3 m to 2.5 m for two-storey bay projections.

(Staff supports the proposed variance. See comments for Variance #2, above. These variances, while providing the specific benefits noted above are also a result of a site which is dimensionally tight as a result of dedication offered to accommodate and construct a full road section for Keefer Street, as well as the reduction in building height of all 10 units facing Keefer and Bridge Street in order to integrate into the existing single family context to the west and north, delivering a public benefit and improved relationship to the street.)

Advisory Design Panel Comments

The Advisory Design Panel was unanimously supportive of the proposal. The panel sought improvements to the exterior architectural detailing, privacy and overlook between units, and detailed plans for the accessible units. A copy of the relevant excerpt from the Advisory Design Panel Minutes from February 7, 2007 is attached for reference (**Attachment 2**). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '*bold italics*'.

Analysis

Conditions of Adjacency

- The proposed two and a half storey height street fronting buildings and three-storey height if interior buildings, and the siting and orientation of the buildings respect the massing of the surrounding existing residential development and generally complies with Official Community Plan (OCP) guidelines for McLennan South Sub-Area of City Centre;
- The transition to existing single-family homes, to the south, east and west, which may ultimately redevelop as a similar multi-family development, as indicated by the McLennan

South Sub-Area Plan, is supported. An increased setback is provided where a rear yard interfaces with an existing single family dwelling;

- The increased side and rear yard setbacks address privacy to neighbours and provides appropriate outdoor open space;
- The units fronting onto Bridge Street and Keefer Avenue present an appropriate pedestrian front yard interface with a landscaped walkway and low wood picket fence and gates opening onto the public streets;
- Relationship to the townhouse developments (existing and as proposed) to the east is complementary;
- Relationship to existing single-family homes to the south which front Blundell Road is appropriate. Cross access to these sites for future townhouse development has not been required as these sites can be redeveloped with future access by a lane (right-of-way) from Bridge Street; and
- The applicant is proposing to raise the low site to meet elevation of the crown of the road and to provide habitable floor area at grade. The adjacent older single-family lots will also likely raise their sites through redevelopment anticipated in the area plan. Perimeter drainage will be installed as part of the building permit to ensure the proposed grade change does not adversely impact the surrounding sites.

Urban Design and Site Planning

- The Bridge Street and Keefer Avenue streetscapes are animated with pedestrian-oriented front entries (**Plans #1, #4, #5 and #10**);
- Contributions of both land and construction costs to construct the full width of Keefer Avenue along the north frontage, and upgrades to Bridge Street frontage to the west will provide improvements to the neighbourhood, and are a significant public benefit;
- Vehicle access is provided from Keefer Avenue with moving truck loading onsite in the drive aisle;
- With the provision of a two-car garage in each townhouse unit, resident parking exceeds the Bylaw requirement. The provision of visitor parking meets the Bylaw requirement with seven (7) spaces provided, including one (1) accessible parking space. Tandem resident parking is permitted under the bylaw, and is proposed for 36 spaces serving 18 units in this 32 unit development. A registered covenant will be secured to prohibit conversion of the tandem parking area into habitable space;
- Headlight glare into adjacent single-family lots is mitigated by new trees, hedge planting, 1.8 m height privacy fencing, and a road end trellis (**Plan #3**);
- The site has been designed to accommodate fire-fighting requirements and moving truck turning movement onsite. Mailbox and recycling cart enclosures have been centrally provided adjacent to the interior entrance driveway and amenity building (**Plan #1**);
- The applicant has provided ten units in this 32-unit development that include substantial living areas at the ground floor (e.g., living room, dining room, kitchen and bathroom),

providing opportunities for enhanced accessibility and aging in place. Details of these units are shown in Reference Plans for Units A, B3, B4, and C;

- Reference Plan for Unit “B4-Alt” provides details on the potential conversion of these seven (7) units to fully accessible units on all three floor levels;
- Universal accessibility measures have been incorporated into this development. Blocking inside of the walls will be provided in all washrooms in all “B4-Alt” units to facilitate future potential installation of grab bars/handrails; and
- Site layout maximizes internal public open space and allows landscaped back yards within the side and rear setbacks.

Architectural Form and Character

- Architectural character and materials are appropriate to the neighbourhood context;
- The building forms are articulated with a combination of a mix of finish building materials, projecting bays, and gable roof dormers;
- The proposed exterior finish materials (Horizontal vinyl siding, painted wood grain Hardipanel board and batten siding, painted wood trim, mullioned vinyl windows, brick veneer, metal clad garage doors with transom windows, and asphalt roof shingles) are generally consistent with the OCP Guidelines;
- Visual interest and variety has been incorporated with six (6) different unit types; and
- The impact of blank garage doors has been mitigated with panel patterned doors, transom windows, overhanging roof skirts, planting islands, and pedestrian entries.

Landscape Design and Open Space Design

- The Arborist advises that there are forty-nine (49) existing bylaw trees on site (**Attachment 3**). The developer is proposing to retain three (3) trees growing along the Northwest and South East property lines;
- A total of forty-six on-site trees are to be removed, due to conflicts with proposed building locations, internal roadways and driveways, or poor health of the tree;
- An additional twelve trees are located within the Keefer Avenue right-of-way and are to be removed to permit the road construction;
- Existing trees in the City road easement will be removed for the installation of frontage improvements required through a separate Servicing Agreement prior to future Building Permit issuance. Improvements include road widening, grass boulevard with street trees and a 1.75 m wide sidewalk at the property line;
- The removal of forty-six (46) bylaw size trees onsite will be replaced with the planting of 91 new trees ranging in size from 2 m height to 8 cm calliper including both evergreen and deciduous, which (with a credit of three trees for the three retained trees) achieves the 2:1 replacement goal in the OCP. In addition to new trees, the landscape design includes shrubs, ground cover, vines, perennials, annuals and lawn planting (**Plan #3a**);

- The mailbox stand is centrally located off the drive aisle, in close vicinity of the amenity area and the recycling cart enclosure;
- Children's play opportunities on-site include private yards and a central outdoor amenity. Children's play equipment is provided in the outdoor amenity area with a climbing structure with slide (Kompan Triple Shifter, Model #M7021P). The outdoor amenity area size (192 m²) achieves the minimum requirement (192 m²) and also includes trees, under-storey planting, lawn and pavers;
- The applicant will not be contributing to the City's Public Art Fund;
- Fencing will include low and open wood picket fencing along Bridge Street and Keefer Avenue, and 1.8 m height wood privacy fencing along the south and east property lines; and
- Paving treatment includes a variety of materials to mitigate the length of the drive aisle and to differentiate between pedestrian entries and vehicle areas. Concrete pavers and permeable pavers with patterning and colour have been incorporated throughout the site, significantly improving the permeability of this development.

Affordable Housing

- The applicant has agreed to the payment of a contribution of \$0.60 per buildable sq. ft. (e.g., \$27,489) towards the City's Affordable Housing Reserve Fund at rezoning, in accordance with the Interim Affordable Housing Strategy.

Accessible Housing

- The applicant has agreed to the incorporation of accessibility measures for aging in place in Building Permit drawings for the convertible "B4" Unit Types, including lever handles for doors and faucets and blocking in washroom walls to facilitate future potential installation of grab bars/handrails.

Crime Prevention Through Environmental Design

- Site lighting will be provided for the central drive aisle and should not impact the neighbouring single-family lots;
- Natural surveillance opportunities are provided for the central outdoor amenity space, mailboxes, and visitor parking spaces;
- Natural surveillance opportunities are provided for the front entries which face the drive aisle, central walkway or Bridge Street and Keefer Avenue; and
- Space differentiation has been established between public and semi public outdoor spaces with landscape buffers.

Flood Indemnity Covenant

- The registration of a flood indemnity covenant (Minimum 0.9 m geodetic) is an agreed condition of rezoning.

Amenity Space

- The applicant has agreed on a payment-in-lieu for indoor amenity space in the amount of \$45,000 towards the development of the McLennan South neighbourhood parks.

Aircraft Noise

- The subject site is outside the boundary of the Aircraft Noise Sensitive Development Policy Area. A noise covenant, therefore, is not required.


Servicing Capacity

- The City has completed a storm and sewer capacity analysis for the McLennan South Development Area Catchment and has determined the requirements and associated costs to accommodate on-going development within the area in the near future. The City requires that the developers contribute their proportionate amount based on the area of their development with respect to the entire catchment area affected; and
- The applicant has agreed to contribute the proportionate amount of approximately \$83,903 to the storm drainage upgrade along Blundell Road, from Garden City Road to Ash Street.

Conclusions

Staff recommend support for this application. The proposed extension to Keefer Avenue will complete access from No. 4 Road to Bridge Street, and improve opportunities for single-family development of the back lands of properties fronting Bridge Street and Le Chow Street.

Rezoning of the subject site as proposed conforms to city-wide, City Centre, and McLennan South objectives for residential growth and development and merits favourable consideration.



Eric Fiss, MAIBC, MCIP
Policy Planner

EF:cas

The following are to be met prior to forwarding this application to Council for approval:

- Receipt of a Letter-of-Credit for landscaping in the amount of \$123,928 (based on total gross floor area of 61,964 ft²);
- Registration of a restrictive Covenant required to prevent conversion of tandem parking spaces to habitable space; and
- Installation of protective tree fencing during construction to the satisfaction of the City's Tree Preservation official for the protection of onsite and neighbouring trees.

Prior to future Building Permit issuance, the developer is required to complete the following requirements:

- Receipt of a construction parking and traffic management plan to the satisfaction of the Transportation Division (<http://www.richmond.ca/services/ttp/special.htm>); and
- Incorporation of accessibility measures for aging in place in Building Permit drawings for all units including lever handles for doors and faucets and blocking in all washroom walls to facilitate future potential installation of grab bars/handrails.

Attachment 1 Development Application Data Sheet
Attachment 2 Advisory Design Panel Minutes
Attachment 3 Summary Table of Arborist Report



City of Richmond

6911 No. 3 Road
 Richmond, BC V6Y 2C1
 www.richmond.ca
 604-276-4000

Development Application Data Sheet Development Applications Division

DP 06-349392

Attachment 1

Address: 7700, 7720, 7740, and 7760 Bridge Street

Applicant: Patrick Cotter Architect Inc. Owner: Jatinder S. Minhas

Planning Area(s): Centre Area Plan, McLennan South Sub-Area Plan (Schedule 2.10D)

Floor Area Gross: 5,756.5 m² (61,964 ft²) Floor Area Net: 4,274 m² (46,006.4 ft²)

	Existing	Proposed
Site Size (m2): (by applicant)	7,076.75 m ² (76,176 ft ²)	5,387.6 m ² (57,994 ft ²) The gross site area is reduced by: <ul style="list-style-type: none"> 16.3 m (32.8 ft.) to 20.6 m (67.6 ft.) wide dedicated right-of-way along the site's north edge for road (Keefer Ave.), complete with 4 m x 4 m corner cut at Bridge Street.
Land Uses:	Single-Family Residential	Multi-Family Residential
OCP Designation:	Single or Multi-Family Residential	No change
Area Plan Designation:	Residential	No change
Zoning:	Single-Family Housing District, Subdivision Area F (R1/F)	Comprehensive Development District (CD/128)
Number of Units:	4 Single-Family Dwelling Units	32 Townhouse Units

	Bylaw Requirement (CD/128)	Proposed	Variance
Floor Area Ratio:	Max. 0.80 FAR	0.80	none permitted
Lot Coverage:	Max. 40%	43%	variance required
Setback – Public Roads - Bridge Street (m):	Min. 5.0 m Subject to adoption of Bylaw 8158	4.3 m	variance required
Setback – Public Roads – Keefer Avenue (m):	Min. 4.57 m Subject to adoption of Bylaw 8158	4 m	variance required
Setback – Side & Rear Yards (m):	Min. 3 m	2.5 m Min.	variance required

	Bylaw Requirement (CD/128)	Proposed	Variance
Height (m):	Max. 12 m 3 storeys	11 m and 3 storeys; except within 20 m of public road, 10 m and 2 1/2 storeys	none
Lot Size (min. dimensions):	0.405 ha (1.0 ac.)	0.538 ha (1.3 ac.)	none
Off-street Parking Spaces – Regular (R) / Visitor (V):	1.5 spaces/unit x 32 = 48 (R) 0.2 spaces/unit x 32 = 7 (V)	2 spaces/unit x 32 = 64 (R) 0.2 spaces/unit x 32 = 7 (V)	none
Off-street Parking Spaces – Total:	55	71	none
Tandem Parking Spaces:	Permitted	36 Resident spaces provided for 18 units	none
Off-street Parking Spaces – Accessible:	1	1	none
Amenity Space – Indoor:	Min 70 m ²	\$45,000 cash-in-lieu	none
Amenity Space – Outdoor:	Min. 6 m ² /unit = 192 m ²	192 m ²	none

**Excerpt from the Minutes from
The Design Panel Meeting**

**Wednesday, February 7, 2007 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall**

Townhouses

DP 06-349392

Patrick Cotter Architect Inc

7700, 7720, 7740, and 7760 Bridge Street
(Formal)

General comments from the panel were as follows:

- appreciates the asymmetrical design;
- balance of materials is well handled;
- extend the brick in the front doorways to include other features such as windows;
- the amenity space is isolated, extend it to the core of the project;
- needs more brick emphasis in a horizontal manner, especially by the roof massing and edges;
- the straight edges of the road are disappointing, maintain the curb and incorporate more green space to break up the site lines;
- ensure that the double spiral amenity arbour is reinforced;
- the plant selection should be more tailored to reflect heritage nature;
- strong and well resolved project;
- the buildings need a stronger base, consider more brick;
- appreciates the Tudor style of building, works well with the massing perspective;
- consider a high quality pavement for the internal street, avoid black top or asphalt;
- ensure that the garbage enclosure is adequately detailed;
- the scale is satisfactory;
- the asymmetrical design works well, and should be carried into the interior buildings;
- buildings 1, 2 and 3 have extensive glazing, leading to privacy issues between the buildings;
- appreciated the unit identity, consider enhancing it further;
- a detailed drawing of provisions for accessibility has not been provided;
- the project illustrates a good effort in bringing the Tudor style back;
- careful execution of the details is crucial to the final result of this project;
- the project has the potential to be a beautiful development.

The Chair provided a summary of the Panel comments as follows:

- consider more brick detailing, and extending the brick to include windows or other features;
Brick walls were used to accent the elevations and were also added to the base of interior units.
- consider further development of the connection between the amenity space and the outer road;
A gate structure on the north side and path ways are provided in the amenity area.

- consider addressing the issue of isolation of the amenity space as a result of the handicap parking space;
Handicap parking will be finished with pavers to blend with the amenity area.
- consider enhancing the horizontal nature of the brick;
Brick walls were also extended across the base of the three-storey building.
- consider adding curve and variety to the straight edges of the road;
Curves were added at the west and east interior roads.
- consider revising the existing plant list to incorporate more heritage variety;
See Landscape plant list for native species.
- consider potential issues associated with half timbering and ensure attention to the details of execution. (Staff to undertake careful review of final details);
Half timbering will be carefully detailed with the building envelope consultant.
- consider a high quality finish for the roads;
Contrasting sections of pavers were added on the site plan.
- ensure that the garbage enclosure is treated sensitively;
Garbage enclosure detail is provided.
- Consider extending the Tudor details to the internal building facades;
The revised elevations show Tudor details to the internal building facades as well.
- provide lighting on pathways;
Bollard lights are to be provided on pathways by the landscape architect.
- address privacy and overlook issues between units fronting the internal walkways;
Bedroom windows over units facing each other at the north-west walkway (between bldg. 3 and bldg. 2) were placed in staggered positions.
Bedroom windows over units facing each other at the south-west walkway (between bldg. 1 and bldg. 2) were made high windows (i.e., high floor to sill height).
- lack of detail related to accessible units on the existing drawings, provide details in a legible scale.
An alternate accessible plan was added on the drawings.

The applicant responded to the Panel's comments, noting that the curves along the edges of the driveway will be reintroduced, offsetting windows and using other techniques could resolve the adjacency and privacy issues, attention to the details of execution will be undertaken, and landscape comments will be incorporated.

With regard to the accessible units, advice was provided that the project has a number of 2 storey units that may be modified to provide a lift or shaft in the entrance space or den. Consideration has been given to modifying the kitchen design with an alternative scheme, providing an easily removable island without plumbing. Mr. Cotter concluded by advising the Panel that their comments were noted, and a detailed accessible unit plan would be provided to staff.

It was moved and seconded

That Development Permit 06-349392 proceed to the Development Permit Panel taking into consideration the comments of the Advisory Design Panel and upon providing drawings addressing accessibility.

CARRIED

Gye and Associates Ltd.
Consultants in Urban Forestry and Arboriculture

March 19, 2007

City of Richmond
Policy Planning Department
6911 No. 3 Rd,
Richmond, BC, V6Y 2C1

Attention: Eric Fiss, Planner

Cc. Izabela Kijak – Patrick Cotter Architects

Dear Mr. Fiss:

Re: 7720, 7740 and 7760 Bridge Street
Tree Protection Report
City of Richmond Project # RZ05-296361

*Please find enclosed our revised **Tree Protection Report**, which reflects both discussions with and written comments from Nancy Stairs (Tree Preservation Coordinator for the City of Richmond). We are also attaching as appendices to the Report, a revised **Tree Inventory** and **Tree Protection Plan** drawing for reference purposes.*

TREE PRESERVATION SUMMARY

49 Onsite Trees (of which, 9 are Boundary Trees) (3 Trees to be Retained) (46 Trees to be Removed)
12 Offsite Trees (11 to be removed)

TREE PROTECTION REPORT

The purpose of this report to document the extent and condition of the tree resource, as well as any measures that will preserve the on and off-site trees that may be affected by the proposed townhome development. We have been provided with a tree survey of the subject properties and a site layout that will create a townhome development and its associated internal roadways. Our staff have visited the site and assessed all trees greater than 5 cms in stem diameter (measured 1.4m above grade). All trees have been tagged, inventoried and evaluated for health and structure.



Figure 1: Aerial photo of subject properties - from the City of Richmond's online mapping and GIS website – <http://www.richmond.ca/discover/maps.htm>

Site Conditions:

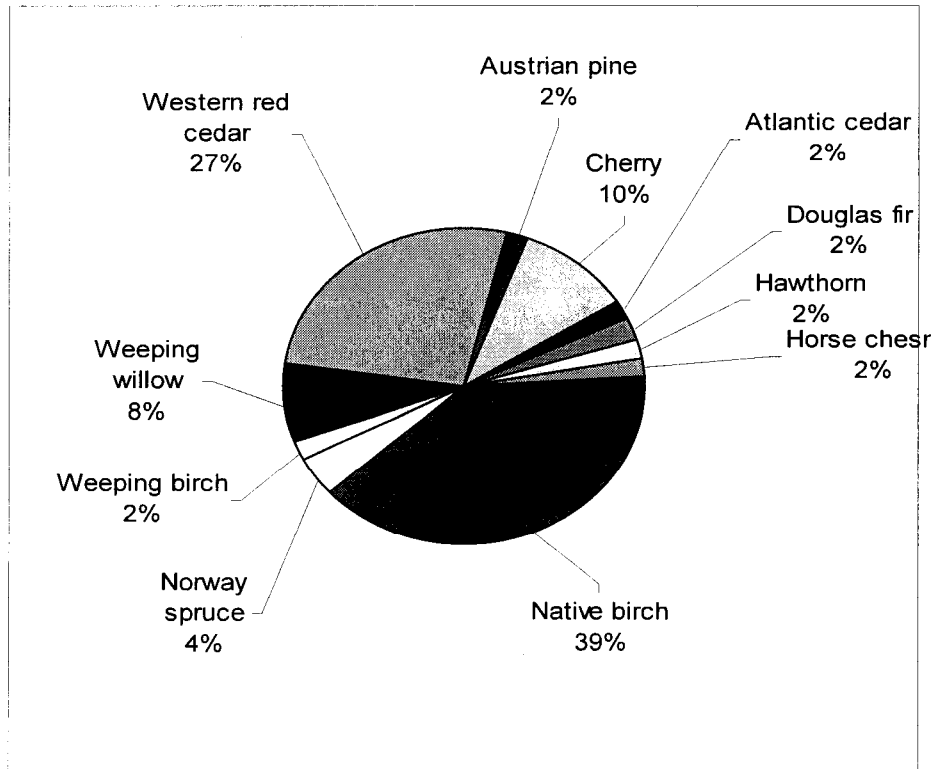
The site is comprised of three large, flat, moderately treed residential lots (7720, 7740 and 7760 Bridge Street). As Figure 1 illustrates, the three lots currently have houses and outbuildings surrounded by landscaped yard. All houses and outbuildings are scheduled for removal. Ground cover is primarily grass, with some areas overgrown with Himalayan blackberry.

On-site Tree Resource

There are a variety of tree species growing on the site, with the majority being Paper birch (44-percent) and Western red cedar (20-percent). The remaining species include a mix of native and non-native deciduous and coniferous species.

Forty-nine trees were inventoried on the subject properties. The chart and table below shows the species composition and abundance of the subject properties' tree resource.

Species	Number
Horse chesnut	1
Native birch	19
Norway spruce	2
Weeping birch	1
Weeping willow	4
Western red cedar	13
Austrian pine	1
Cherry	5
Atlantic cedar	1
Douglas fir	1
Hawthorn	1
Total	49



Details of this tree inventory are provided in the table attached as Appendix—1.

The condition of the trees is variable, with more trees in fair or poor biological and structural condition than in good condition. There are two dead trees (numbers 728 and 729). Most of the poor and fair structural ratings are a result of poor tree maintenance (e.g. 'topping') in the past. Several trees are over-mature (with associated decay processes). Decay processes are also to be seen associated with old topping wounds.

Tree Removals

A total of *forty-six* on-site and boundary trees are recommended for removal, based upon the following criteria:

- 1) Conflicts with proposed building envelopes: 29 trees (includes 2 with poor structure).
- 2) Conflicts with proposed internal roadways or driveways: 7 trees (includes 5 with poor structure).
- 3) Poor health or structural condition: 1 tree.
- 4) Part of a contiguous hedge in which all the other trees are proposed for removal: 1 tree.
- 5) *Removals recommended in consultation with the City Arborist. (8)*

For more detailed information, please see the attached Tree Inventory Table (**Appendix-1**) and the Tree Protection Plan drawing (**Appendix-2**).

Tree Retention

There are three on-site trees proposed for retention (2 of which are technically “boundary” trees): Tree #s 714, 715 and 759. These trees exhibit strong biological and structural condition and are mainly located on the perimeter of the proposed development. Richmond’s Tree Preservation Officer initially suggested that a fourth tree—# 743 (a large birch)—also be retained, but after discussion with the Project Arborist (Gye and Associates Ltd) it was decided to remove the tree. The tree is infected with Bronze Birch Borer and the development will encroach deeply into its critical root zone.

Please refer to the **Tree Protection Plan** drawing (**Appendix—2**) for the site layout and location of all on-site trees.

Off-site Trees

There are twelve trees on the neighboring properties that have canopies and root systems which encroach, to varying degrees, into the subject properties. Although shown on the drawings and in the tree inventory table, these off-site trees were not included in any of the statistical calculations.

Eleven of these trees are likely to be critically impacted during the excavation and construction; ten are affected by sidewalk construction along Bridge Street and one is affected by an internal parking area. Six of the affected trees are in poor biological and/or structural condition; particularly, the city trees along the west property line bordering Bridge Street (numbers 730-733 and 750). We recommend that permission be sought from the City to remove the 11 trees in question. As per discussions with the City of Richmond (Planner, Eric Fiss), compensation is not required for these trees due to their poor health and/or structure.

The Richmond Tree Preservation Officer concurs with our recommendation to retain offsite tree # 762—an Austrian Pine in good condition.

Off-site trees are identified in the drawings by a hatch pattern inside their canopy circle.

Replacement Trees

Please see the Landscape Plan provided by the landscape architect for a detailed Replacement Tree Plan showing species, locations and sizes of all proposed replacement trees.

Drawings

One drawing is included in this report.

1. A **Tree Protection Plan** drawing, which plots all on and off-site trees in relation to the proposed development layout is attached as **Appendix—2**.

Tree Protection Fencing:

Robust Tree Protection Fencing is required to protect all on-site retained trees and any off-site trees where they encroach onto the subject properties. Locations of fencing can be seen in **Appendix-2, Tree Protection Plan**. *Fencing alignments have been modified to conform with the drip-line of the protected trees, as per the Richmond Tree Bylaw.*

Details of the protective fencing are outlined in **Appendix—3, Tree Protection Fencing**.

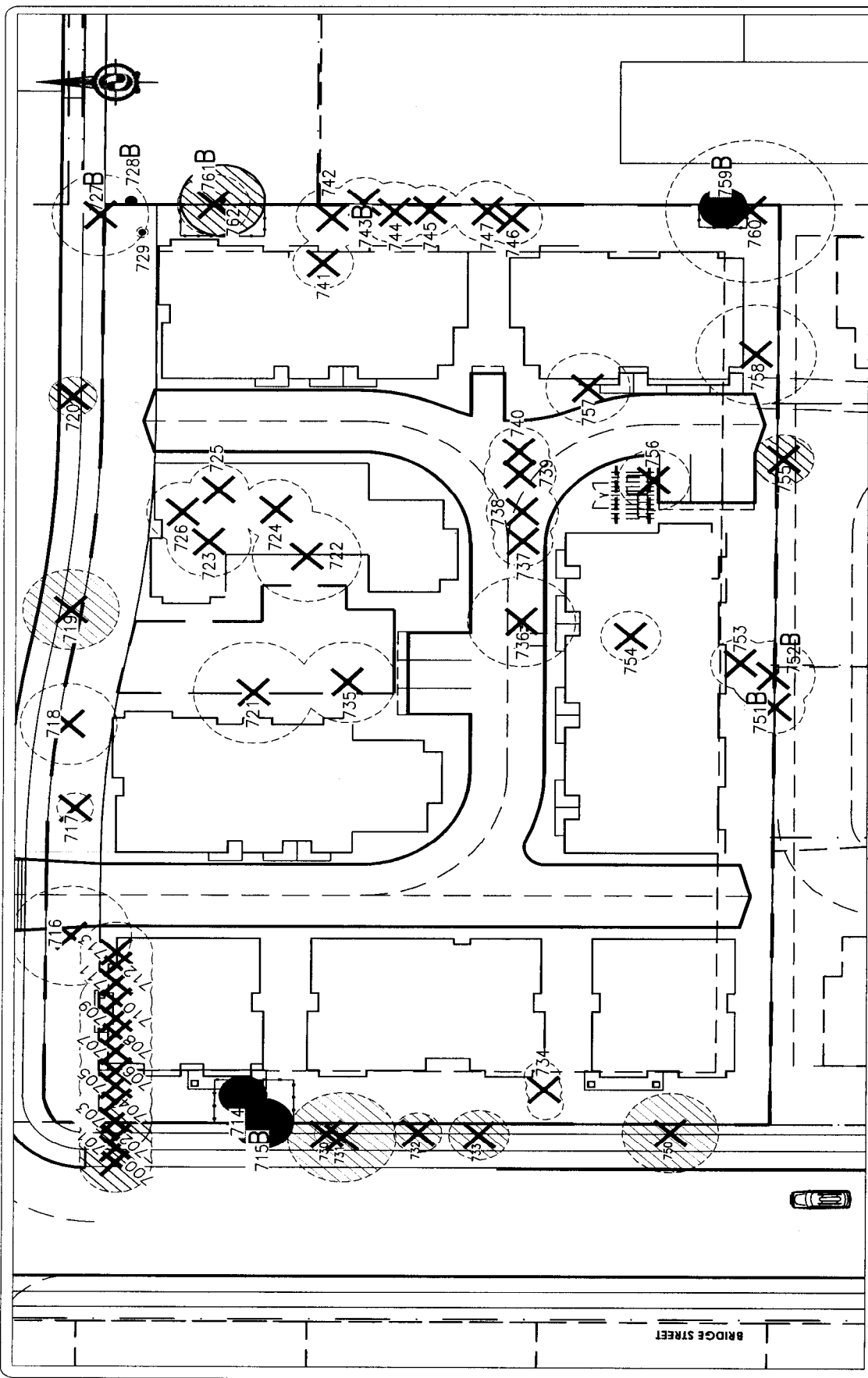
End Report.

CERTIFICATION:

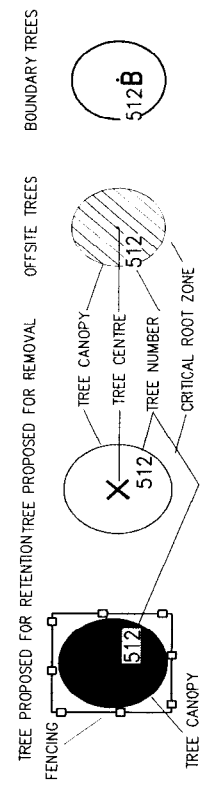
This report and the opinions expressed within it have been prepared in good faith and to accepted arboricultural standards within the scope afforded by its terms of reference and the resources made available to the consultant.

A handwritten signature in black ink, appearing to read 'Jeremy Gye', written in a cursive style.

Jeremy Gye - Consulting Arborist
I.S.A. Certification # PN-0144



LEGEND



- NOTES:
1. SITE LAYOUT INFORMATION PER PATRICK COTTER ARCHITECT INC.; AUGUST 21, 2006.
 2. TREE SURVEY DATA PER J.C. TAM AND ASSOCIATES; MAY 17, 2005.
 3. REFER TO ATTACHED TREE PROTECTION REPORT FOR INFORMATION CONCERNING TREE SPECIES, STEM DIAMETER, HEIGHT, CANOPY SPREAD AND CONDITION.
 4. THIS DRAWING REFLECTS CHANGES REQUESTED MARCH 5 BY RICHMOND TREE OFFICER.

PATRICK COTTER ARCHITECT INC. 1000 WEST 10TH STREET RICHMOND, BC V6X 1A7 TEL: 604-272-9411 FAX: 604-272-9412 E-MAIL: info@patrickcarter.com	GYE & ASSOCIATES CONSULTANTS IN FORESTRY AND ARBORICULTURE 1000 WEST 10TH STREET RICHMOND, BC V6X 1A7 TEL: 604-272-9411 FAX: 604-272-9412 E-MAIL: info@patrickcarter.com	DWG: 05-033-16 PROJECT: URBAN PLANNING PROJECT: URBAN PLANNING DRAWING: URBAN PLANNING DATE: MARCH 19, 2007
	7720, 7740 & 7760 BRIDGE STREET, VANCOUVER MODIFIED TREE PROTECTION PLAN Showing All On and Off-site Trees in Relation to the Proposed Townhouse Layout.	



W

City of Richmond
Planning and Development Department

Development Permit

No. DP 06-349392

To the Holder: PATRICK COTTER ARCHITECT INC.
Property Address: 7700, 7720, 7740, 7760 BRIDGE STREET
Address: 235 - 11300 NO. 5 ROAD
 RICHMOND, BC V7A 5J7

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning and Development Bylaw No. 5300" is hereby varied to:
 - a) Increase the maximum lot coverage to 43%;
 - b) Reduce the minimum public road setback from Bridge Street from 5 m to 4.3 m for two-storey bay projections;
 - c) Reduce the minimum property lines at a public road setback from Keefer Avenue from 4.57 m to 4 m for two-storey bay projections; and
 - d) Reduce the minimum south side yard setback from 3 m to 2.5 m for two-storey bay projections.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #15 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$123,928 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 06-349392

To the Holder: PATRICK COTTER ARCHITECT INC.
Property Address: 7700, 7720, 7740, 7760 BRIDGE STREET
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8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO. ISSUED BY THE COUNCIL THE
DAY OF , .

DELIVERED THIS DAY OF , .

MAYOR



NOTES

Plan #2
DP 06349392

LEGEND

3-12 STOREY

3 STOREY

JUN 13 2007

PARKING REQUIREMENTS

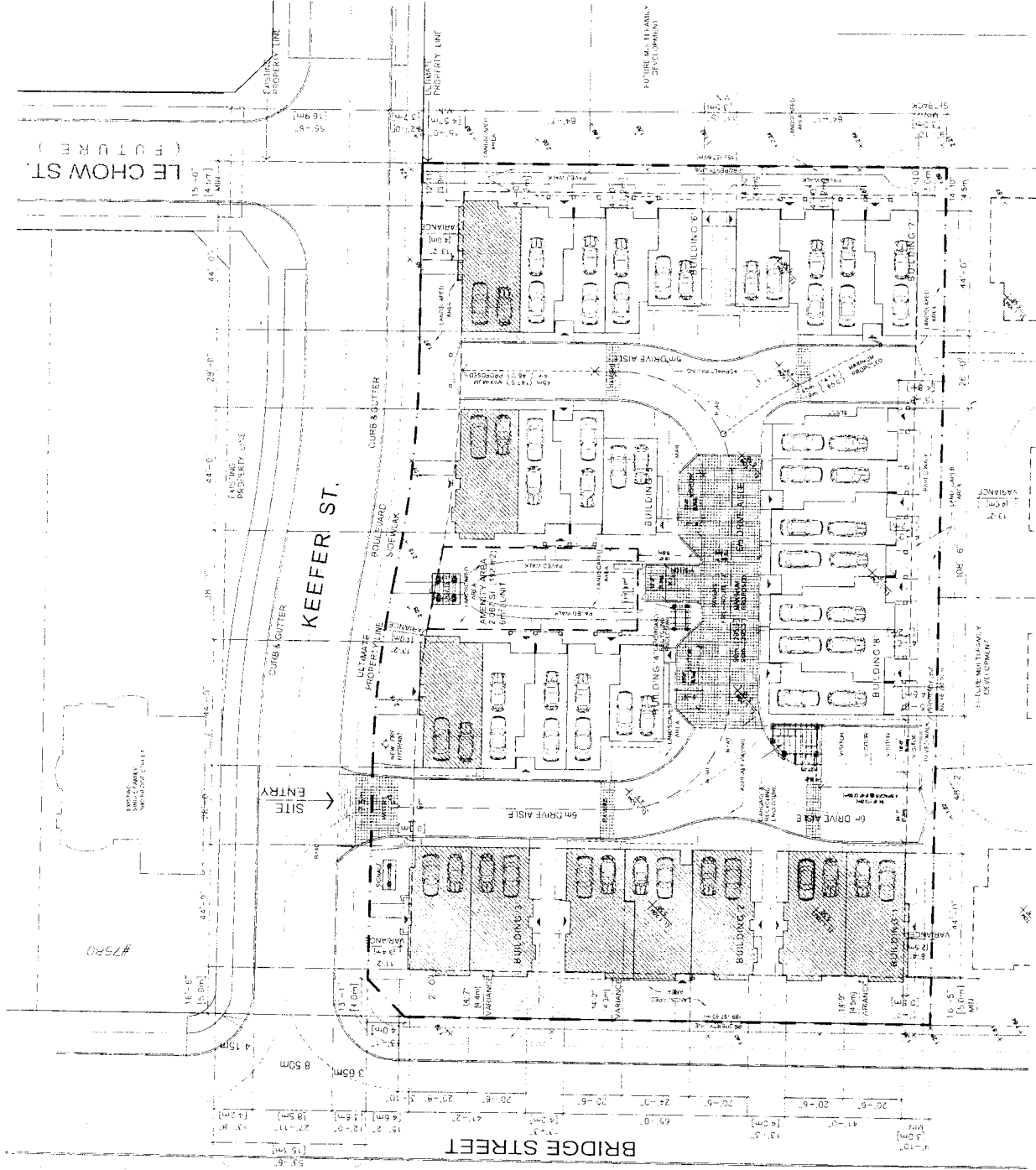
REGIMEN	3 UNIT	4 UNIT	5 UNIT	6 UNIT	7 UNIT	8 UNIT	9 UNIT	10 UNIT	11 UNIT	12 UNIT
RESIDENT	1	1	1	1	1	1	1	1	1	1
OFFICE	1	1	1	1	1	1	1	1	1	1
RETAIL	1	1	1	1	1	1	1	1	1	1
TOTAL	3	3	3	3	3	3	3	3	3	3

DP 06349392

BRIDGE STREET

KEEPER ST.

LE CHOW ST. (FUTURE)



1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.

2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.

4. ALL DIMENSIONS ARE TO PROPERTY LINE UNLESS OTHERWISE SPECIFIED.

5. ALL DIMENSIONS ARE TO CURB UNLESS OTHERWISE SPECIFIED.

6. ALL DIMENSIONS ARE TO CENTERLINE OF ROAD UNLESS OTHERWISE SPECIFIED.

7. ALL DIMENSIONS ARE TO CENTERLINE OF RAILROAD UNLESS OTHERWISE SPECIFIED.

8. ALL DIMENSIONS ARE TO CENTERLINE OF CANAL UNLESS OTHERWISE SPECIFIED.

9. ALL DIMENSIONS ARE TO CENTERLINE OF AIRWAY UNLESS OTHERWISE SPECIFIED.

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33. ALL DIMENSIONS ARE TO CENTERLINE OF THEATRE UNLESS OTHERWISE SPECIFIED.

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35. ALL DIMENSIONS ARE TO CENTERLINE OF GYMNASIUM UNLESS OTHERWISE SPECIFIED.

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100. ALL DIMENSIONS ARE TO CENTERLINE OF CONCERT HALL UNLESS OTHERWISE SPECIFIED.



PROPOSED MULTI-FAMILY
RESIDENTIAL DEVELOPMENT
100-770-740-760 BRIDGE ST
VANCOUVER, BRITISH COLUMBIA
V7E-1T6
PH: 604-880-2228
FAX: 604-277-3030
WWW.PALMERCOLLES.COM

PARKING PLAN

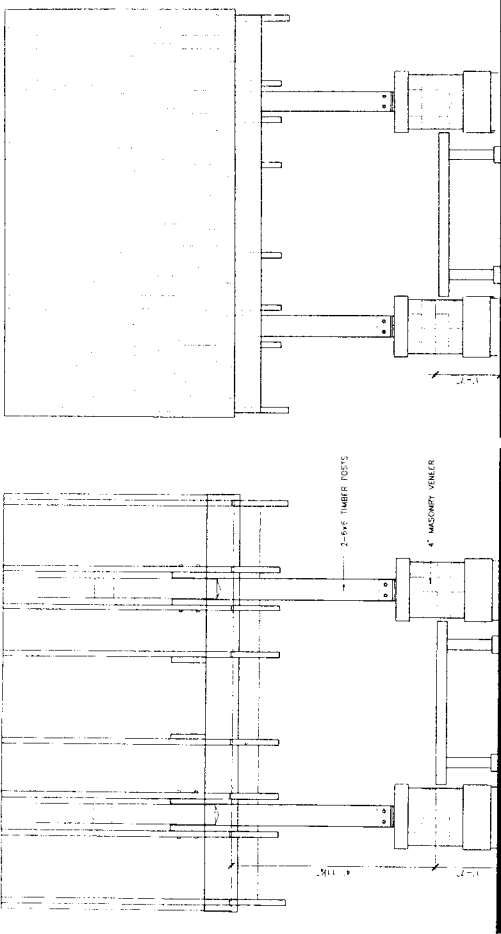
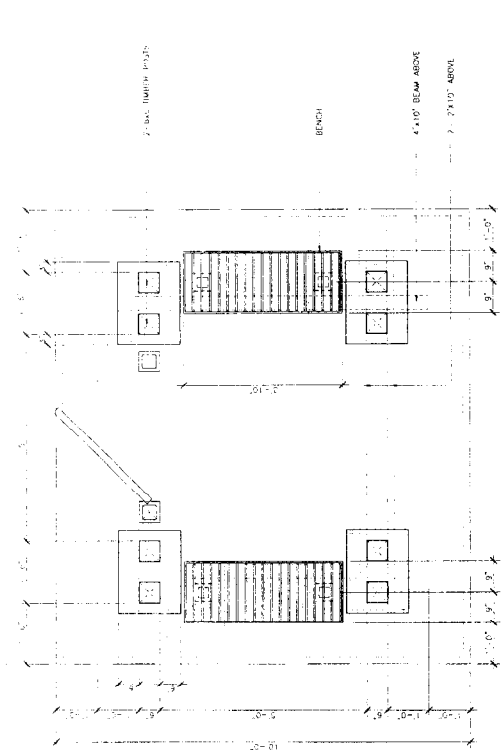
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NOTES

REFERENCE PLAN

JUN 13 2007

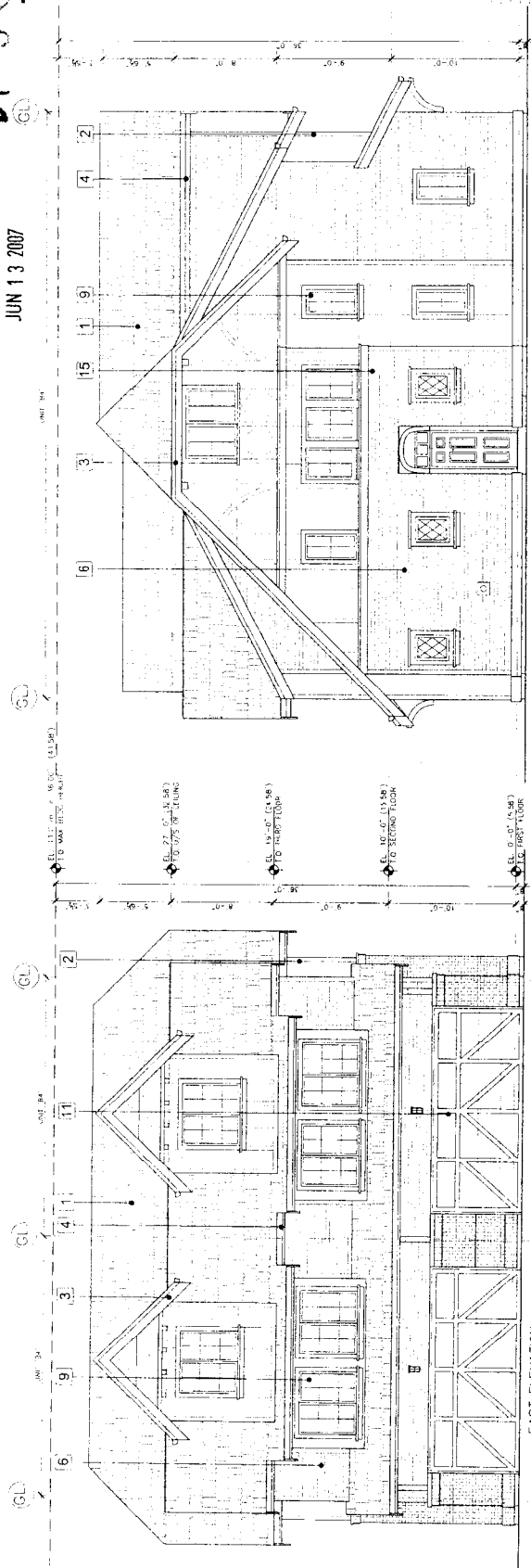


DP 06349392

JUN 13 2007

PLAN #4
DP 06-349392

- EXTERIOR FINISHED SCHEDULE
- 1 ASPHALT SHINGLE ROOF
 - 2 PAINTED 1/2" CORRUGATED IRON
 - 3 PAINTED 1/4" TRIM ON PAINTED 1/2" GATE
 - 4 PRE-FINISHED ALUMINUM SUTHELOON
 - 5 PAINTED 2" FASOR BOARD
 - 6 PAINTED 2" TRIM ON 1/2" GATE
 - 7 PAINTED 2" TRIM ON 1/2" GATE
 - 8 VINYL SIDING
 - 9 PAINTED BOARD AND BATT FROM 1/2" GATE
 - 10 PAINTED BOARD AND BATT FROM 1/2" GATE
 - 11 PAINTED BOARD AND BATT FROM 1/2" GATE
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 - 98 PAINTED BOARD AND BATT FROM 1/2" GATE
 - 99 PAINTED BOARD AND BATT FROM 1/2" GATE
 - 100 PAINTED BOARD AND BATT FROM 1/2" GATE



SOUTH ELEVATION
BUILDING 1
 1/4" = 1'-0"

EAST ELEVATION
BUILDING 1
 1/4" = 1'-0"

NORTH ELEVATION
BUILDING 1
 1/4" = 1'-0"



PROPOSED MULTI-FAMILY
 7730 BRIDGE STREET
 RICHMOND, BRITISH COLUMBIA
 V7E 1T6
 PH. 604 880 2228

PROPOSED MULTI-FAMILY
 7730 BRIDGE STREET
 RICHMOND, BRITISH COLUMBIA
 V7E 1T6
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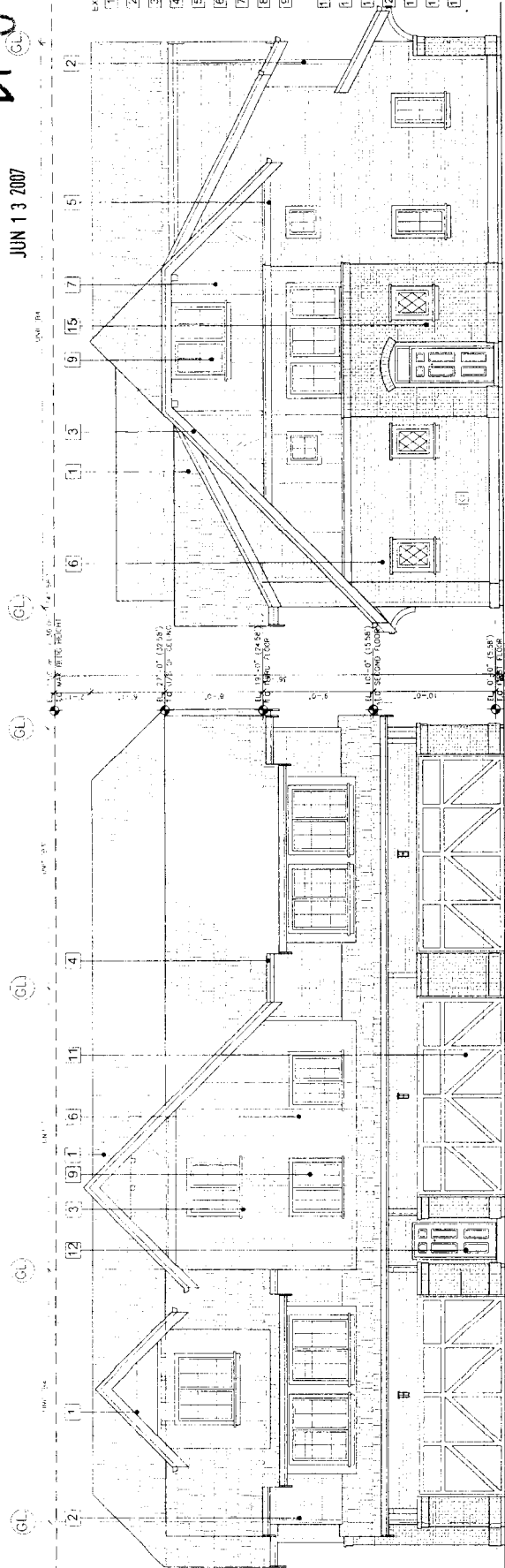
DP 06349392

JUN 13 2007

PLAN #5
DP 06-349392

EXTENDED FINISHED SCHEDULE

- 1. EXTERIOR FINISHES
- 2. PAINTS
- 3. PAINTS
- 4. PAINTS
- 5. PAINTS
- 6. PAINTS
- 7. PAINTS
- 8. PAINTS
- 9. PAINTS
- 10. PAINTS
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- 12. PAINTS
- 13. PAINTS
- 14. PAINTS
- 15. PAINTS
- 16. PAINTS
- 17. PAINTS
- 18. PAINTS
- 19. PAINTS



SOUTH ELEVATION
BUILDING 2
 1/4" = 1'-0"

EAST ELEVATION
BUILDING 2
 1/4" = 1'-0"

NORTH ELEVATION
BUILDING 2
 1/4" = 1'-0"

Planned Collier

PROPOSED MULTI-FAMILY
 RESIDENTIAL DEVELOPMENT
 7700-7720-7740-7760 BRIDGE ST
 Richmond, British Columbia
 ELEGANT DEVELOPMENTS Inc
 #200-12235 No. 1 Road
 V7E-1T9C British Columbia
 Ph. 604.880.2228
 Fax. 604.277.3033

**BUILDING 2
 ELEVATIONS**

A-302

B

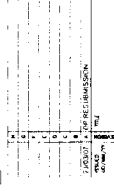
DP 06349392

JUN 13 2007

PLAN #6
DP 06-349392

EXTERIOR FINISHES SCHEDULE

1. NORMAL VINYL Siding
2. PAINTED KICKER BOARD
3. PAINTED 1/2" BRICK
4. PAINTED 1/2" BRICK
5. PAINTED 1/2" BRICK
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14. PAINTED 1/2" BRICK
15. PAINTED 1/2" BRICK

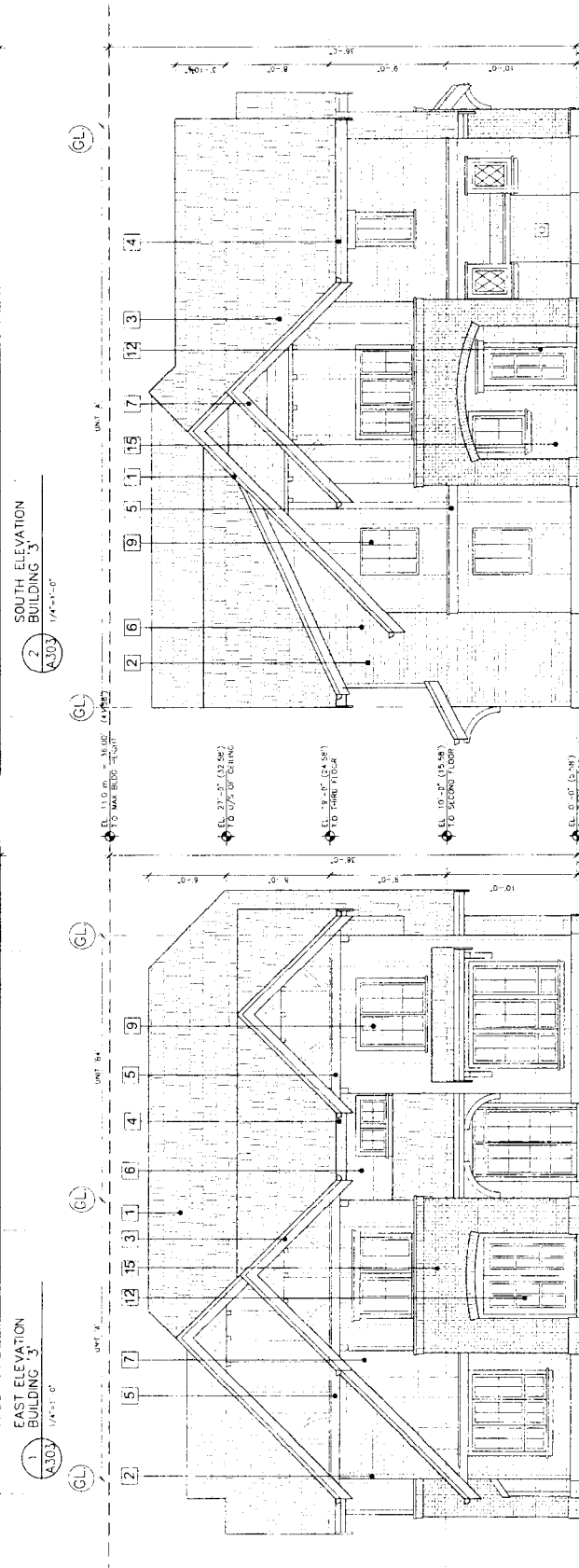
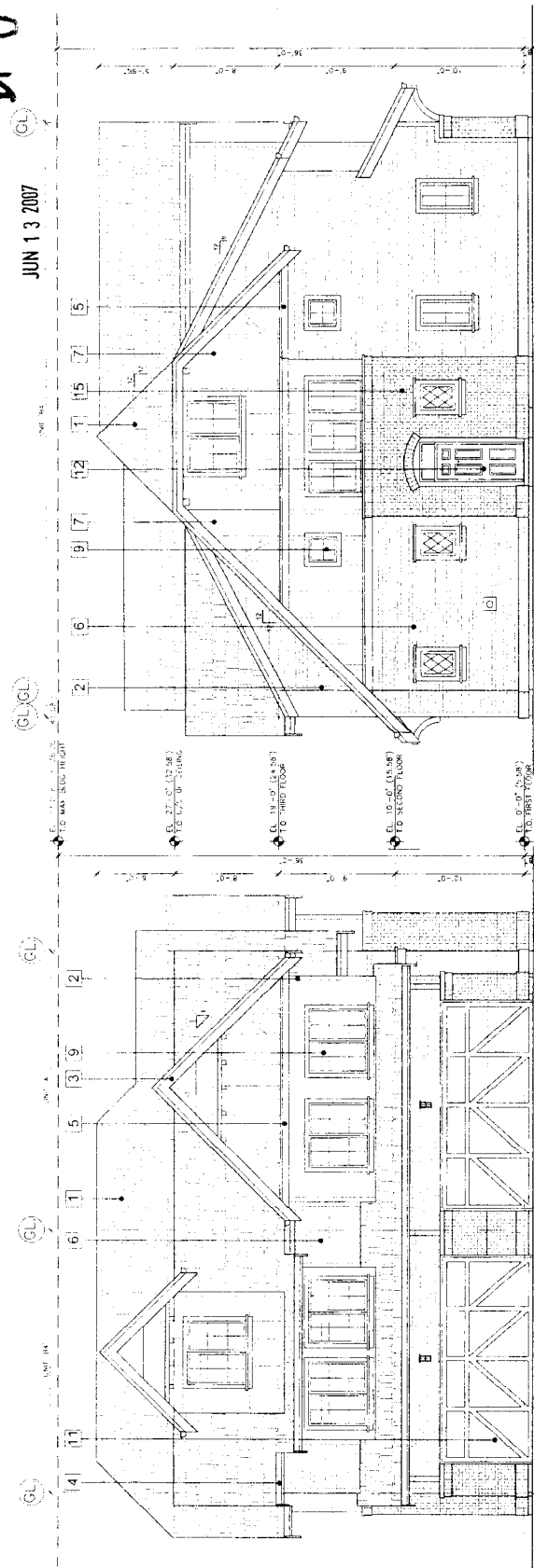


PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT
7700, 7720, 7740, 7760 BRIDGE ST.
Richmond, British Columbia
ELEGANT DEVELOPMENTS INC.
Richmond, British Columbia
TEL: 604 880 2228
FAX: 604 277 3033

DATE	SCALE

BUILDING 3rd ELEVATIONS

A-303 **B**



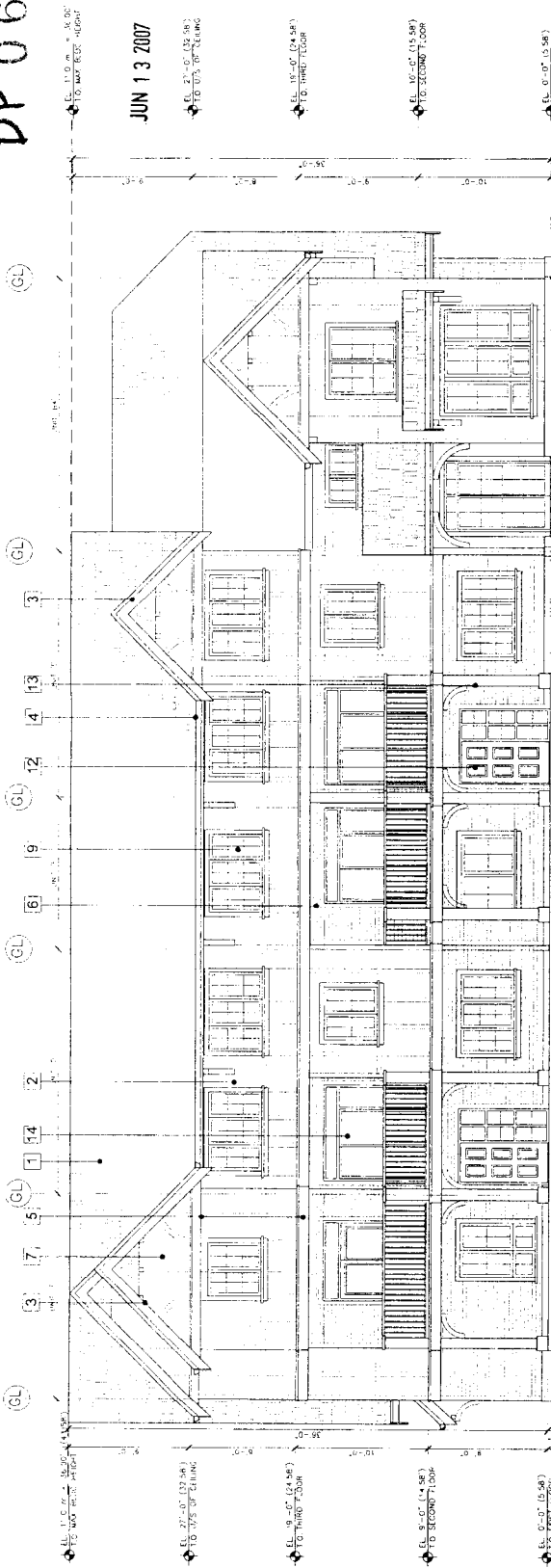
DP 06349392

NOTES
PLAN #7
DP 06-349392

EXTERIOR FINISHED SCHEDULE

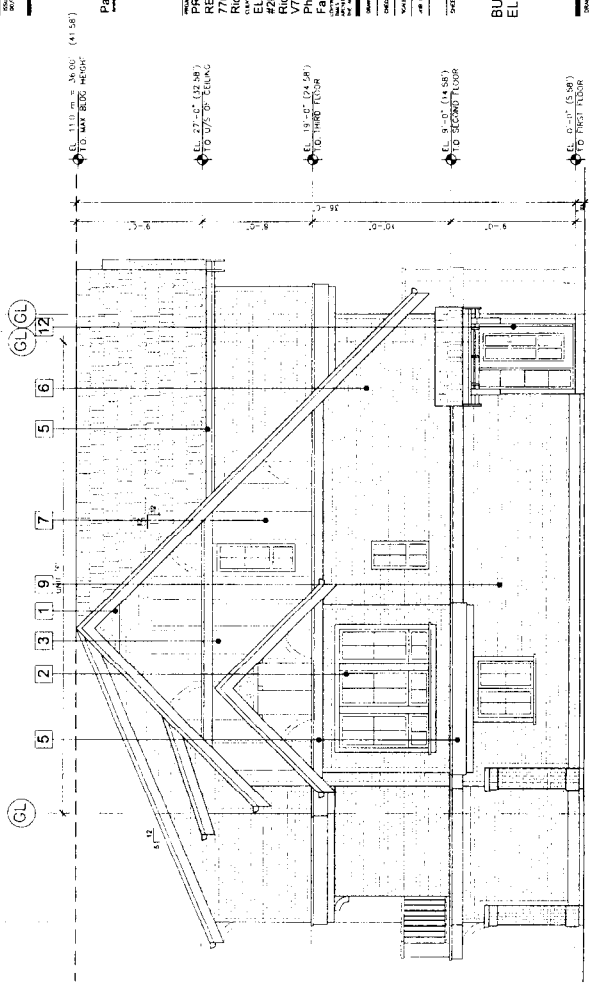
- 1 ASPHALT SHINGLE ROOF
- 2 PAINTED 4" TYPING BOARD
- 3 PAINTED 1/4" TRIM ON PAINTED 2x6 DECK
- 4 PAINTED 1/2" TRIM ON PAINTED 2x6 DECK
- 5 PAINTED 1/2" TRIM ON 2x6 HORIZONTAL TRIM BOARD ON FLASHING OVER
- 6 VINYL SIDING
- 7 PAINTED BOARD AND BATTLE FIRM 7" HARD PLANK AND 1x6 BRATTIES
- 8 DOUBLE GLAZED WINDOWS IN VINYL FRAME AND PAINTED WOOD TRIM OVER
- 9 VINYL SHUTTER/SCREEN VENTS
- 10 PAINTED METAL ON GARAGE DOOR
- 11 PAINTED SOLID CORE DOOR
- 12 PAINTED SOLID CORE DOOR
- 13 BUILT UP COLUMN WITH HARD BOARD FLASHING AND WINDOW
- 14 DOUBLE GLAZED WINDOWS IN VINYL FRAME AND PAINTED WOOD TRIM OVER
- 15 BRICK VENEER

JUN 13 2007



EAST ELEVATION
 BUILDING '4'
 1/4"=1'-0"

1
 A.304



SOUTH ELEVATION
 BUILDING '4'
 1/4"=1'-0"

2
 A.304

REVISIONS

NO.	DATE	DESCRIPTION
1	06/13/07	FOR SUBMISSION
2	06/13/07	FOR SUBMISSION



Patrick Collier
 ARCHITECT
 1000 W. 10TH ST. SUITE 100
 RICHMOND, BRITISH COLUMBIA
 V6V 1C7
 TEL: (604) 277-4444
 FAX: (604) 277-4444
 WWW.PATRICKCOLLIERARCHITECT.COM

PROPOSED MULTIFAMILY RESIDENTIAL DEVELOPMENT
 7700, 7720, 7740, 7760 BRIDGE ST.
 Richmond, British Columbia

ELEGANT DEVELOPMENTS Inc
 200-12235 No. 1 Road
 Richmond, British Columbia
 V7E-1T6
 Ph: 604 890 9298
 Fax: 604 890 7300
 www.elegantdevelopments.com

DATE: 06/13/07
 DRAWN BY: J. W. WILSON
 CHECKED BY: J. W. WILSON
 SCALE: AS SHOWN

PROJECT NO.: 06-349392
 SHEET NO.: 2 OF 2

DATE: 06/13/07
 DRAWN BY: J. W. WILSON
 CHECKED BY: J. W. WILSON
 SCALE: AS SHOWN

PROJECT NO.: 06-349392
 SHEET NO.: 2 OF 2

DATE: 06/13/07
 DRAWN BY: J. W. WILSON
 CHECKED BY: J. W. WILSON
 SCALE: AS SHOWN

PROJECT NO.: 06-349392
 SHEET NO.: 2 OF 2

DATE: 06/13/07
 DRAWN BY: J. W. WILSON
 CHECKED BY: J. W. WILSON
 SCALE: AS SHOWN

PROJECT NO.: 06-349392
 SHEET NO.: 2 OF 2

DATE: 06/13/07
 DRAWN BY: J. W. WILSON
 CHECKED BY: J. W. WILSON
 SCALE: AS SHOWN

PROJECT NO.: 06-349392
 SHEET NO.: 2 OF 2

DATE: 06/13/07
 DRAWN BY: J. W. WILSON
 CHECKED BY: J. W. WILSON
 SCALE: AS SHOWN

PROJECT NO.: 06-349392
 SHEET NO.: 2 OF 2

DATE: 06/13/07
 DRAWN BY: J. W. WILSON
 CHECKED BY: J. W. WILSON
 SCALE: AS SHOWN

PROJECT NO.: 06-349392
 SHEET NO.: 2 OF 2

DATE: 06/13/07
 DRAWN BY: J. W. WILSON
 CHECKED BY: J. W. WILSON
 SCALE: AS SHOWN

BUILDING '4'
 ELEVATIONS

A-304

B

DP 06349392

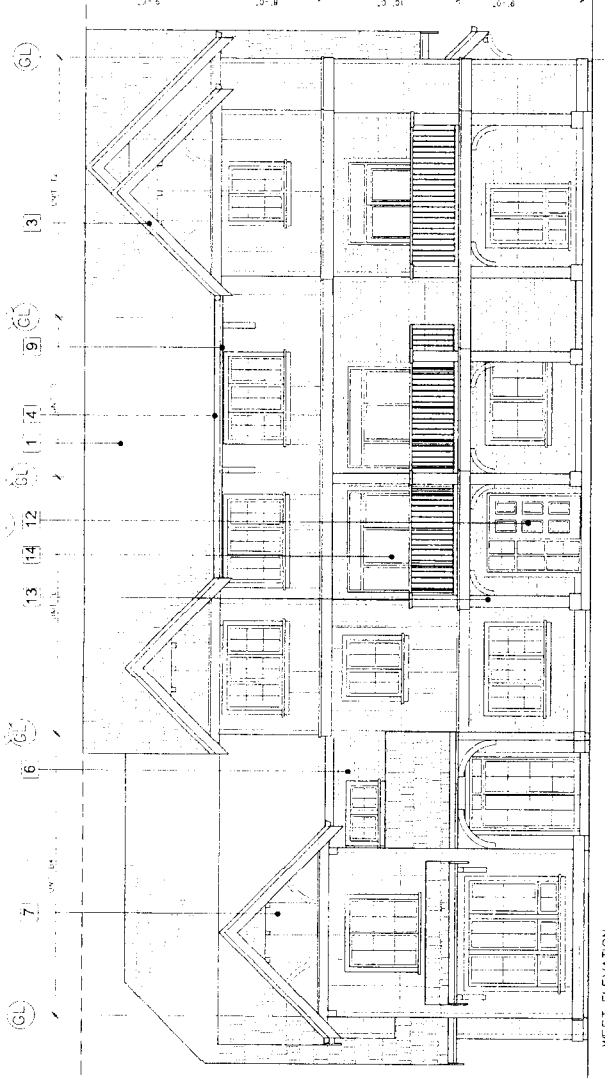
JUN 13 2007

PLAN #10

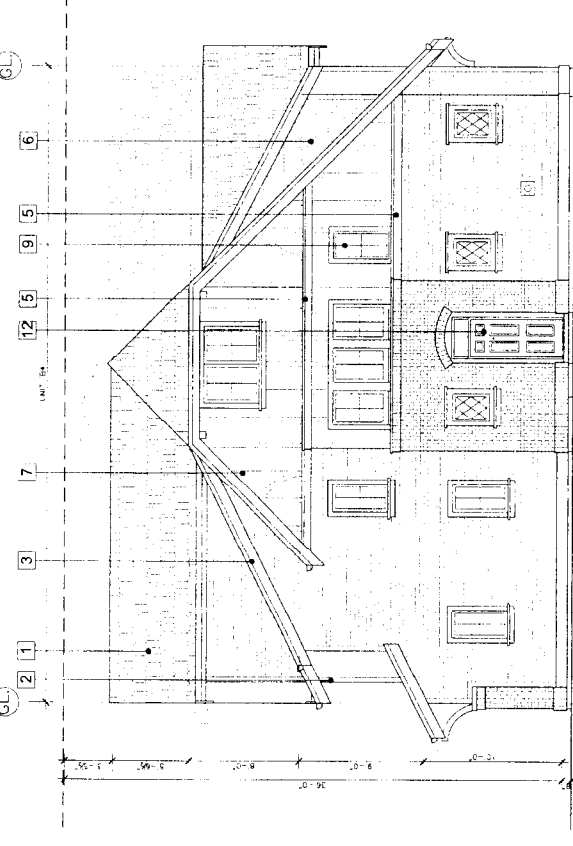
DP 06-349392

EXTERIOR FINISHED SCHEDULE

- 1 ASPHALT SHINGLE ROOF
- 2 PAINTED 1/2" GYPSUM BOARD
- 3 PAINTED 1/4" TRIM ON PAINTED 1/2" SLAKE
- 4 PAINTED 1/2" TRIM ON PAINTED 1/2" SLAKE
- 5 PAINTED 1/2" TRIM ON 1/2" INDEPENDENT TRIM BOARD ON FLOORING OVER
- 6 VINYL SIDING
- 7 PAINTED BOARD AND BATTEN FROM 1/2" HARDY PLY AND 1/2" BUTTINS
- 8 DOUBLE GLAZED WINDOWS IN WHITE 1/2" TRIM FOR 1/2" TRIM ON FLASHING OVER
- 9 VINYL SHUTTERS/LANGLE WHITE
- 10 PAINTED METAL ON GANGE DOOR
- 11 PAINTED SOLID CORE DOOR
- 12 PAINTED SOLID CORE DOOR ON OIL
- 13 GLAZED WINDOW
- 14 BUILT UP OIL LAM W/ HARD-BEARD FINISH
- 15 DOUBLE GLAZED WINDOW ON WHITE WOOD FRAME AND PAINTED WOOD TRIM
- 16 BRICK VENEER



WEST ELEVATION
BUILDING 5



NORTH ELEVATION
BUILDING 5



Patrick Cotter
 1000 11th Street, Suite 200
 Richmond, BC V6X 1A7
 Tel: (604) 277-1177
 Fax: (604) 277-1177
 www.patrickcotter.com

**PROPOSED MULTI-FAMILY
 RESIDENTIAL DEVELOPMENT**
 7700, 7720, 7740, 7760 BRIDGE ST.
 Richmond, British Columbia
ELEGANT DEVELOPMENTS Inc.
 #200-2235 No. 1 Road
 Richmond, British Columbia
 BC V6V 1K6
 Tel: (604) 800-2238
 Fax: (604) 277-3033

DATE:	11/11/06
SCALE:	1/4" = 1'-0"
PROJECT:	DP 06-349392
BY:	PKC
CHECKED BY:	PKC

**BUILDING 5'
 ELEVATIONS**

DATE: 11/11/06
A-305A
 REV: **B**

DP 06349392

NOTES

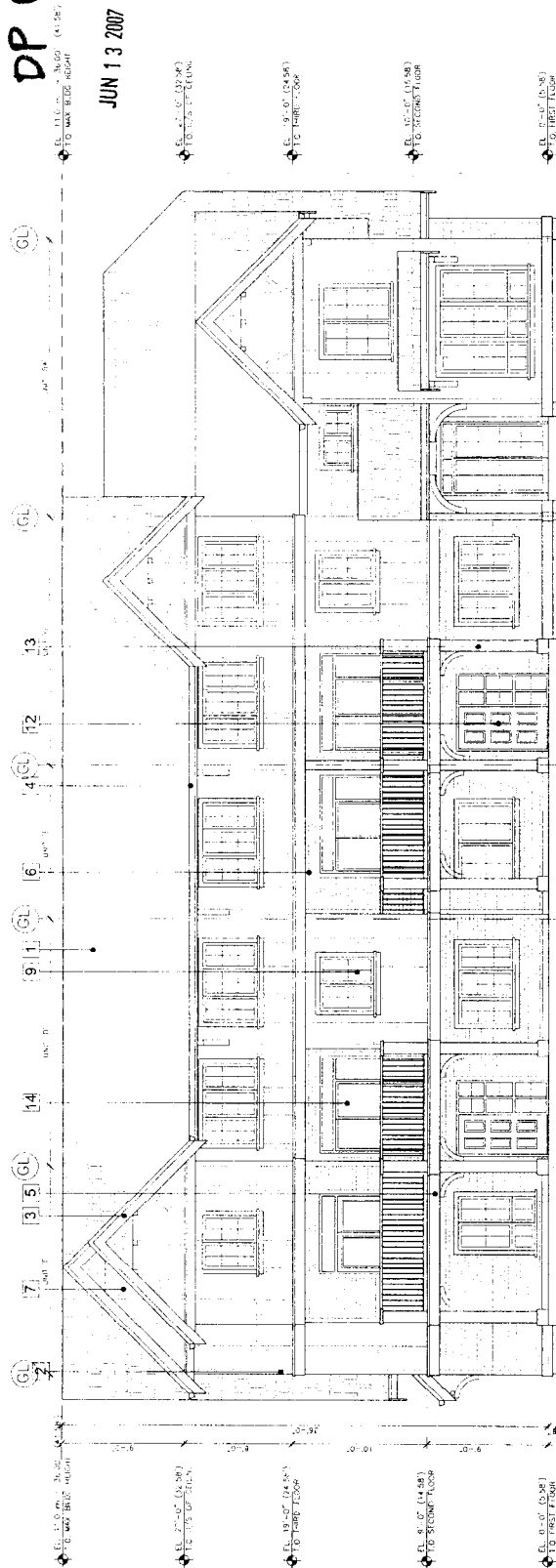
PLAN #11

DP 06-349392

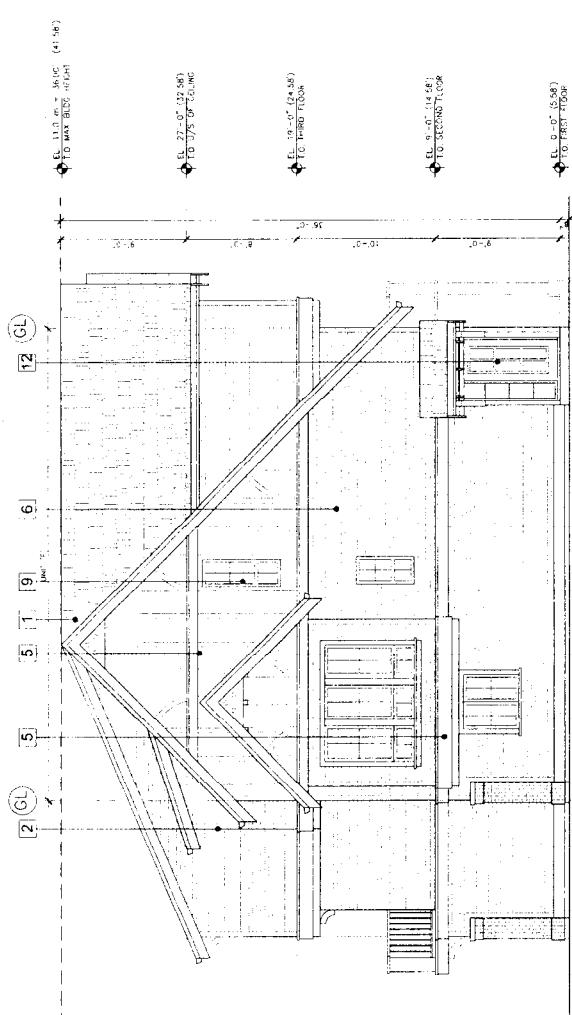
EXTERIOR FINISHED SCHEDULE

- 1 PAINT SINGLE ROOF
- 2 PAINTED CORNER BOARD
- 3 PAINTED 1/4" INCH PAPERED 2x4 GABLE
- 4 PRE-FINISHED ALUMINUM GUTTER ON PAINTED 2x4 FASER BOARD. FINISH TO MATCH TRIM BOARD ON FLANKING OVER.
- 5 VINYL SIDING
- 6 FINISH BRICKWORK WITH FINISH 1/2" HARD PLANK AND 1/4" SLANTING
- 7 DOUBLE GLAZED WINDOWS IN VENTS FRAMES ON 2x4 SILL (FORM 1/2") ON 2x4 SIDE & TOP WITH LOW LAGGING ON 2x4
- 8 VINYL SHUTTERABLE VENTS
- 9 PAINTED METAL ON GARAGE DOOR
- 10 PAINTED SOLID CORE DOOR
- 11 PAINTED SOLID CORE DOOR ON ONE LOCKED WINDOW
- 12 PAINTED SOLID CORE DOOR ON ONE LOCKED WINDOW
- 13 BUILT UP COLUMN WITH HARD BOARD FACING
- 14 DOUBLE GLAZED SLIDING DOOR WITH WHITE TRIM FRAME AND PAINTED WOOD TRIM
- 15 BRICK VENTERS

JUN 13 2007



**EAST ELEVATION
BUILDING 6**



**SOUTH ELEVATION
BUILDING 6**



**PROPOSED MULTI-FAMILY
RESIDENTIAL DEVELOPMENT**
 7700, 7720, 7740, 7760 BRIDGE ST.
 VANCOUVER, BRITISH COLUMBIA
ELEGANT DEVELOPMENTS INC.
 1100 BROADWAY, SUITE 1100
 VANCOUVER, BRITISH COLUMBIA
 V7E-1T6
 Ph: 604.880.2228
 Fax: 604.277.3033

DATE:	2007.06.13
DESIGNED:	
DRAWN:	
CHECKED:	
SCALE:	
APP.:	
SHEET NO.:	11

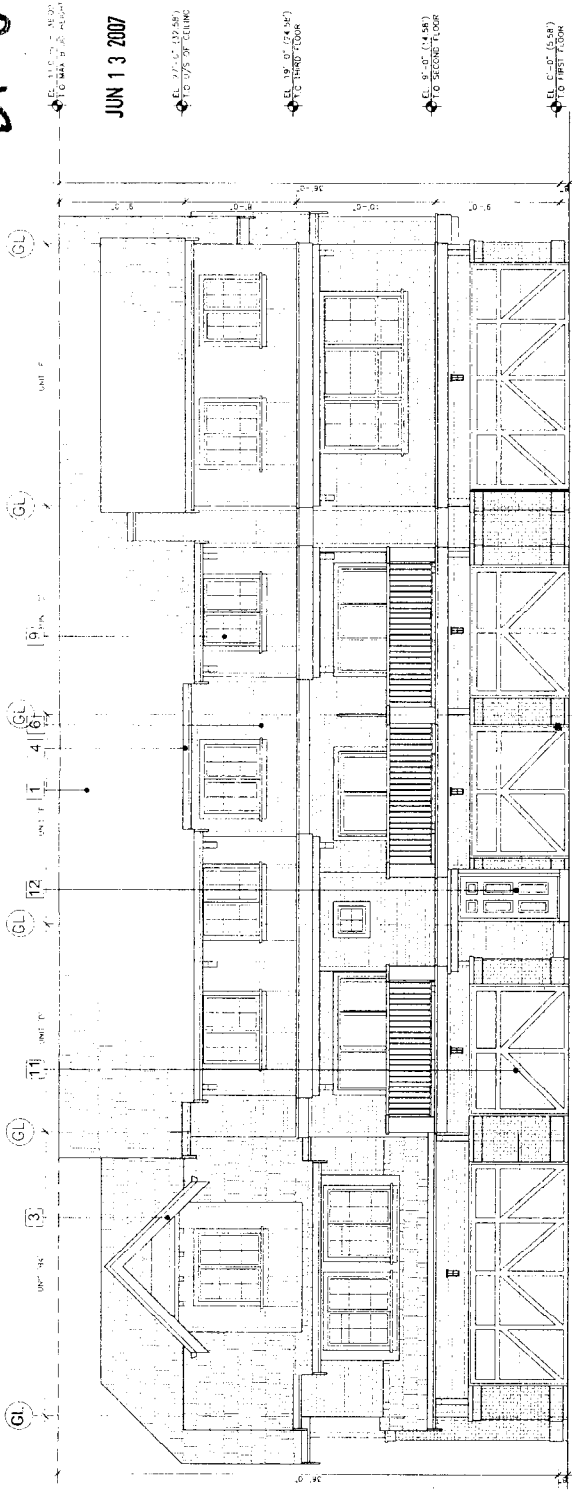
**BUILDING 6
ELEVATIONS**

A-306 B

DP 06349392

PLAN #12
DP 06-349392

JUN 13 2007



1 WEST ELEVATION
BUILDING 6
1/4" = 1'-0"

NOTES

EXTERIOR FINISHED SCHEDULE

- 1 ASPHALT SHINGLE ROOF
- 2 FINISH 4" GYPSUM BOARD
- 3 PAINTED 1/2" INS. ON PAINTED 1/2" GYPSUM BOARD
- 4 PAINTED 1/2" INS. ON PAINTED 1/2" GYPSUM BOARD
- 5 PAINTED 1/2" INS. ON PAINTED 1/2" GYPSUM BOARD
- 6 PAINTED 1/2" INS. ON PAINTED 1/2" GYPSUM BOARD
- 7 PAINTED 1/2" INS. ON PAINTED 1/2" GYPSUM BOARD
- 8 PAINTED 1/2" INS. ON PAINTED 1/2" GYPSUM BOARD
- 9 PAINTED 1/2" INS. ON PAINTED 1/2" GYPSUM BOARD
- 10 PAINTED 1/2" INS. ON PAINTED 1/2" GYPSUM BOARD
- 11 PAINTED 1/2" INS. ON PAINTED 1/2" GYPSUM BOARD
- 12 PAINTED 1/2" INS. ON PAINTED 1/2" GYPSUM BOARD
- 13 PAINTED 1/2" INS. ON PAINTED 1/2" GYPSUM BOARD
- 14 PAINTED 1/2" INS. ON PAINTED 1/2" GYPSUM BOARD
- 15 PAINTED 1/2" INS. ON PAINTED 1/2" GYPSUM BOARD

EL. 11'-0" (5.98)
TO 1ST FLOOR

EL. 9'-0" (4.58)
TO 2ND FLOOR

EL. 6'-0" (3.05)
TO 3RD FLOOR

EL. 3'-0" (1.52)
TO 4TH FLOOR

EL. 0'-0" (0.00)
TO 5TH FLOOR

EL. -3'-0" (-1.52)
TO 6TH FLOOR

EL. -6'-0" (-3.05)
TO 7TH FLOOR

EL. -9'-0" (-4.58)
TO 8TH FLOOR

EL. -12'-0" (-6.10)
TO 9TH FLOOR



PACIFIC COLORTech
10000 15th Ave SW
Burien, WA 98148
Tel: 206.835.2222
Fax: 206.835.2222
Web: www.colortech.com

PROPOSED MULTI-FAMILY
RESIDENTIAL DEVELOPMENT
7000 7720 7740 7660 BRIDGE ST
Burien, WA 98148

ELEGANT DEVELOPMENTS Inc
2000-2225 N. 1st Road
Vancouver, British Columbia
V7E-1T6
Ph: 604.860.2228
Fax: 604.277.3033

DATE	DESCRIPTION

PROJECT NO. 06-349392
SHEET NO. 12 OF 12

EL. 11'-0" (5.98)
TO MAX. INTD. HEIGHT

EL. 9'-0" (4.58)
TO 1ST FLOOR

EL. 6'-0" (3.05)
TO 2ND FLOOR

EL. 3'-0" (1.52)
TO 3RD FLOOR

EL. 0'-0" (0.00)
TO 4TH FLOOR

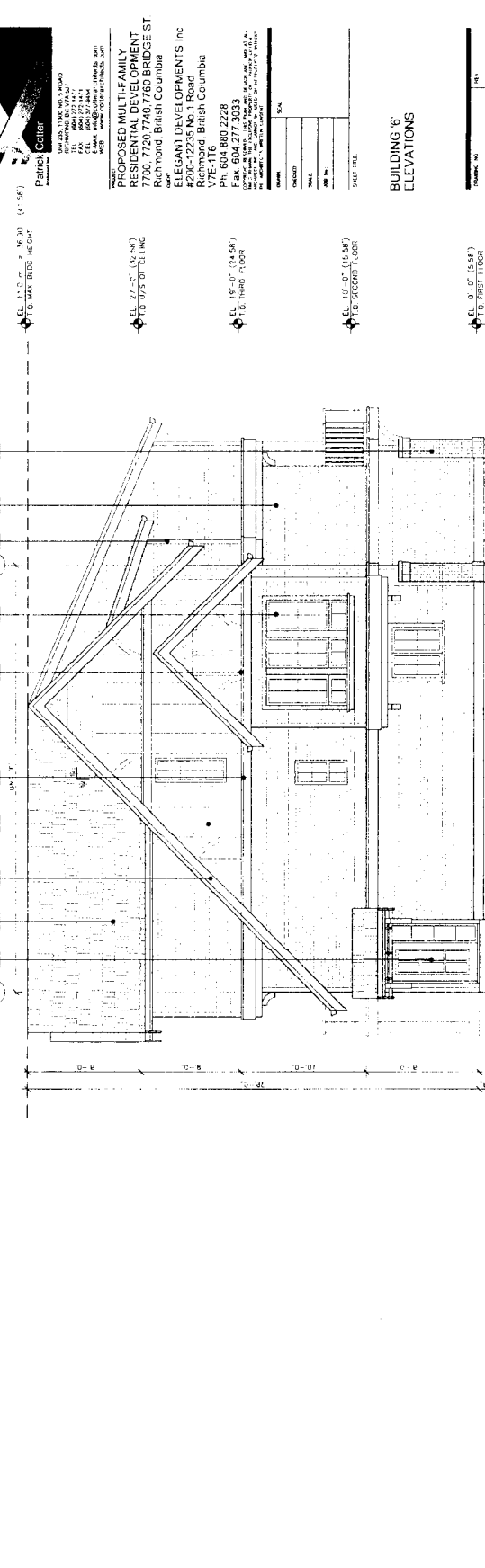
EL. -3'-0" (-1.52)
TO 5TH FLOOR

EL. -6'-0" (-3.05)
TO 6TH FLOOR

EL. -9'-0" (-4.58)
TO 7TH FLOOR

EL. -12'-0" (-6.10)
TO 8TH FLOOR

EL. -15'-0" (-7.62)
TO 9TH FLOOR



2 NORTH ELEVATION
BUILDING 6
1/4" = 1'-0"

EL. 11'-0" (5.98)
TO 1ST FLOOR

EL. 9'-0" (4.58)
TO 2ND FLOOR

EL. 6'-0" (3.05)
TO 3RD FLOOR

EL. 3'-0" (1.52)
TO 4TH FLOOR

EL. 0'-0" (0.00)
TO 5TH FLOOR

EL. -3'-0" (-1.52)
TO 6TH FLOOR

EL. -6'-0" (-3.05)
TO 7TH FLOOR

EL. -9'-0" (-4.58)
TO 8TH FLOOR

EL. -12'-0" (-6.10)
TO 9TH FLOOR

EL. -15'-0" (-7.62)
TO 10TH FLOOR

PROJECT NO. 06-349392
SHEET NO. 12 OF 12

BUILDING 6
ELEVATIONS

A-306A B

DP 06349392

JUN 13 2007

NOTES
PLAN #13A
DP 06-349392

EXTERIOR FINISH SCHEDULE

- 1 ASPHALT SINGLE ROOF
- 2 PAINTED TYPICAL BRICK
- 3 PAINTED 1/4" THICK PAINTED STEEL
- 4 PAINTED 1/4" THICK PAINTED STEEL ON PAINTED 1/4" THICK PAINTED STEEL
- 5 PAINTED 1/4" THICK PAINTED STEEL ON PAINTED 1/4" THICK PAINTED STEEL
- 6 VINYL SIDING
- 7 PAINTED BRICK AND BATTEN
- 8 1/2" HARD PLANK AND 1/4" BATTEN
- 9 DOUBLE GLAZED WINDOW IN VENT, 1/4" HARD PLANK AND 1/4" BATTEN, 1/4" HARD PLANK AND 1/4" BATTEN, 1/4" HARD PLANK AND 1/4" BATTEN
- 10 VINYL SHUTT HINGED VENTS
- 11 PAINTED METAL ON HINGED DOOR
- 12 PAINTED SOLID CORE DOOR
- 13 PAINTED SOLID CORE DOOR ON BRICK
- 14 PAINTED SOLID CORE DOOR ON BRICK
- 15 BUILT UP COLUMN WITH HAND-RAILING
- 16 DOUBLE GLAZED WINDOW IN VENT, 1/4" HARD PLANK AND 1/4" BATTEN, 1/4" HARD PLANK AND 1/4" BATTEN, 1/4" HARD PLANK AND 1/4" BATTEN
- 17 BRICK VENER

PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT
 7700-7720 7740 7760 BRIDGE ST.
 RICHMOND, BRITISH COLUMBIA
 ELEGANT DEVELOPMENTS INC.
 4200-12235 No. 1 Road
 Richmond, British Columbia
 Ph: 604-888-2299
 Fax: 604-877-2039
 www.elegantdevelopments.com



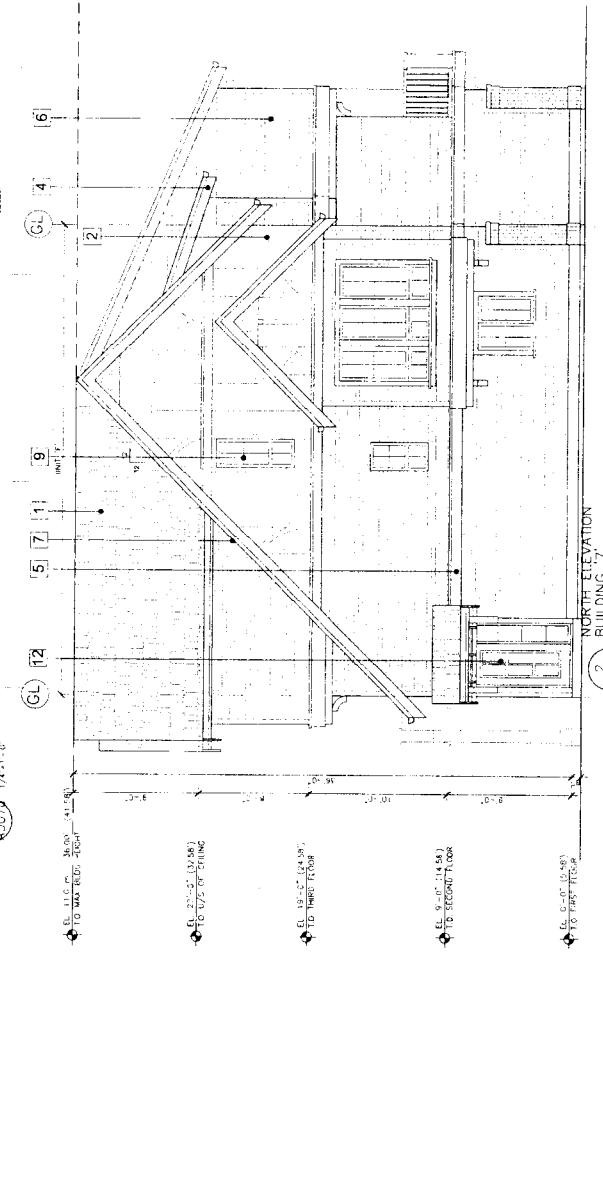
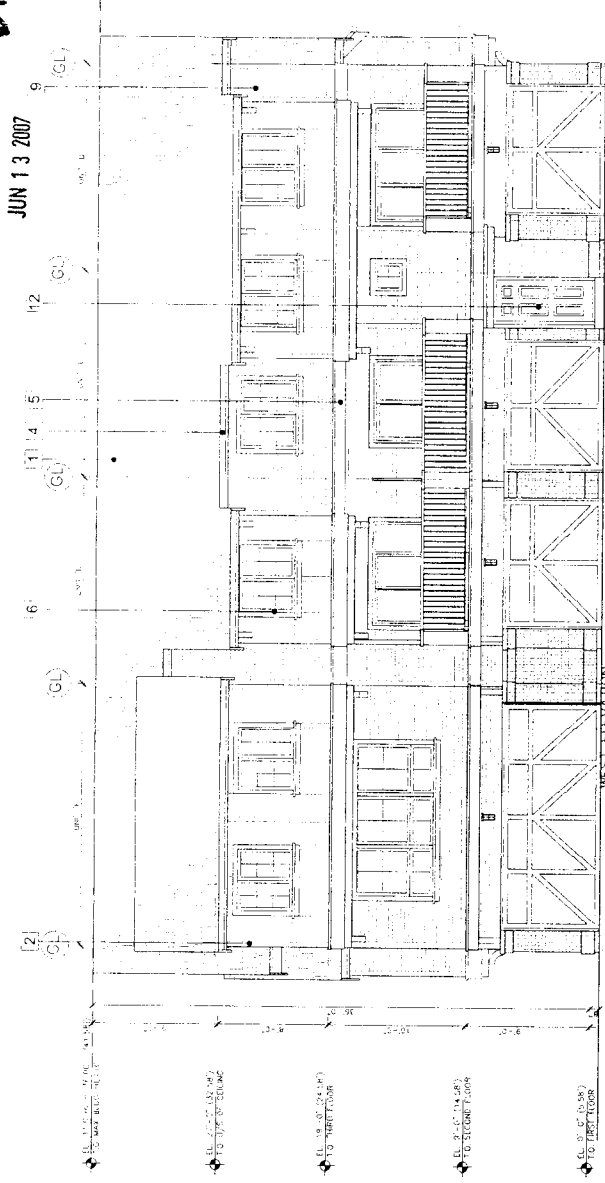
PAINTED COLLIER
 255-1188 W. 4th Ave.
 Vancouver, BC V6C 2K7
 Tel: 604-271-1188
 Fax: 604-271-1189
 www.collierpaint.com

PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT
 7700-7720 7740 7760 BRIDGE ST.
 RICHMOND, BRITISH COLUMBIA
 ELEGANT DEVELOPMENTS INC.
 4200-12235 No. 1 Road
 Richmond, British Columbia
 Ph: 604-888-2299
 Fax: 604-877-2039
 www.elegantdevelopments.com

DATE	1/04
ISSUED	
REV	
BY	
CHK	
APP	
SHEET NO.	

**BUILDING 7
 ELEVATIONS**

DATE: 06/13/07
A-307A
B



06349392

JUN 13 2007

NOTES
PLAN #14
 DP 06-349392

- EXTERIOR FINISHED SCHEDULE
- 1 ASPHALT SHINGLE ROOF
 - 2 PAINTED 4" CORNER BOARD
 - 3 PAINTED 1/4" TYP ON PAINTED 2x12 GATE
 - 4 PRE-FINISHED ALUMINUM GUTTER ON PAINTED 2x4 FASCIA BOARD
 - 5 PAINTED 1/4" TYP ON PAINTED 2x4 GUTTER COVER
 - 6 VINYL SIDING
 - 7 PAINTED BOARD AND Batten FROM 1" WOOD FLOOR AND UP
 - 8 VINYL SIDING
 - 9 1/2" WOOD SHIMMING
 - 10 1/2" WOOD SHIMMING
 - 11 PAINTED METAL DR. DANCE DOOR
 - 12 PAINTED SOLID CORE DOOR
 - 13 PAINTED SOLID CORE DOOR ON 2x4 GLAZED WINDOW
 - 14 DOUBLE GLAZED SLIDING DOOR IN WHITE WITH FRAME AND PAINTED W/SPD 1/2" W/SPD 1/2" W/SPD 1/2"
 - 15 BRICK VENEER

NO.	DESCRIPTION	DATE
1	ISSUED FOR FINAL SUBMISSION	6/13/07
2	REVISED	
3	REVISED	
4	REVISED	
5	REVISED	
6	REVISED	
7	REVISED	
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100	REVISED	



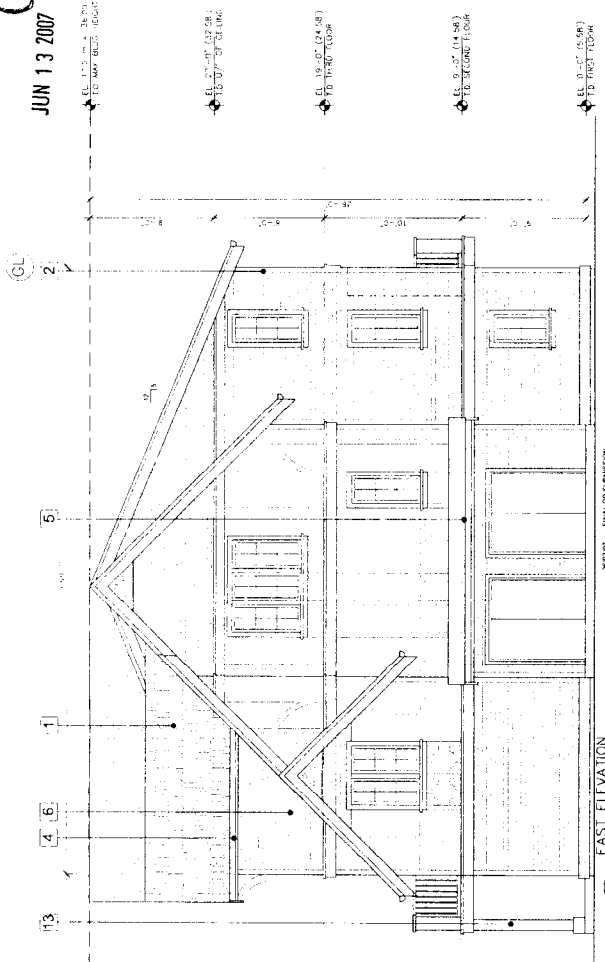
PROPOSED MULTI-FAMILY
 RESIDENTIAL DEVELOPMENT
 7700 7720 7740 7760 BRIDGE ST.
 RICHMOND, BRITISH COLUMBIA
 ELEGANT DEVELOPMENTS INC.
 #200-12235 No. 1 Road
 Vancouver, British Columbia
 Ph: 604.880.2228
 Fax: 604.277.3033

DATE:	11/11/06
PROJECT:	RESIDENTIAL DEVELOPMENT
SCALE:	1/4" = 1'-0"
BY:	ARCHITECT
CHECKED:	ARCHITECT
DATE:	11/11/06
SCALE:	1/4" = 1'-0"
BY:	ARCHITECT
CHECKED:	ARCHITECT
DATE:	11/11/06

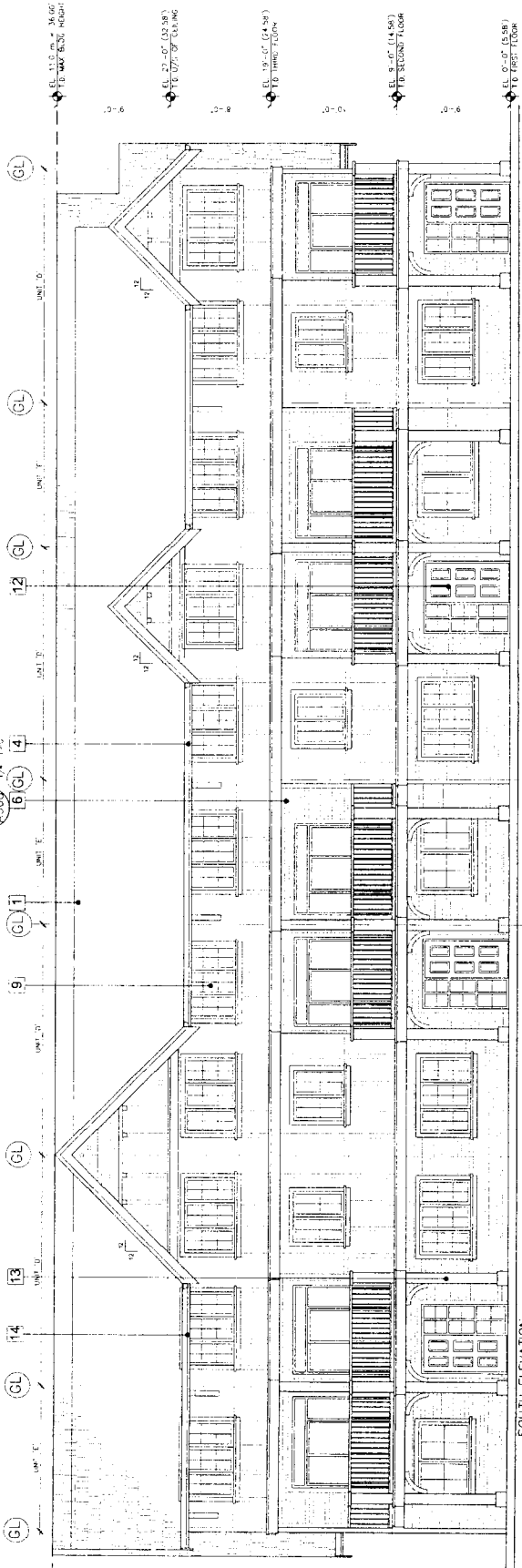
BUILDING 8
 ELEVATIONS

DATE: 11/11/06
 PROJECT: RESIDENTIAL DEVELOPMENT
 SCALE: 1/4" = 1'-0"
 BY: ARCHITECT
 CHECKED: ARCHITECT
 DATE: 11/11/06
 SCALE: 1/4" = 1'-0"
 BY: ARCHITECT
 CHECKED: ARCHITECT
 DATE: 11/11/06

DATE: 11/11/06
 PROJECT: RESIDENTIAL DEVELOPMENT
 SCALE: 1/4" = 1'-0"
 BY: ARCHITECT
 CHECKED: ARCHITECT
 DATE: 11/11/06
 SCALE: 1/4" = 1'-0"
 BY: ARCHITECT
 CHECKED: ARCHITECT
 DATE: 11/11/06



EAST ELEVATION
 BUILDING 8
 1/4" = 1'-0"



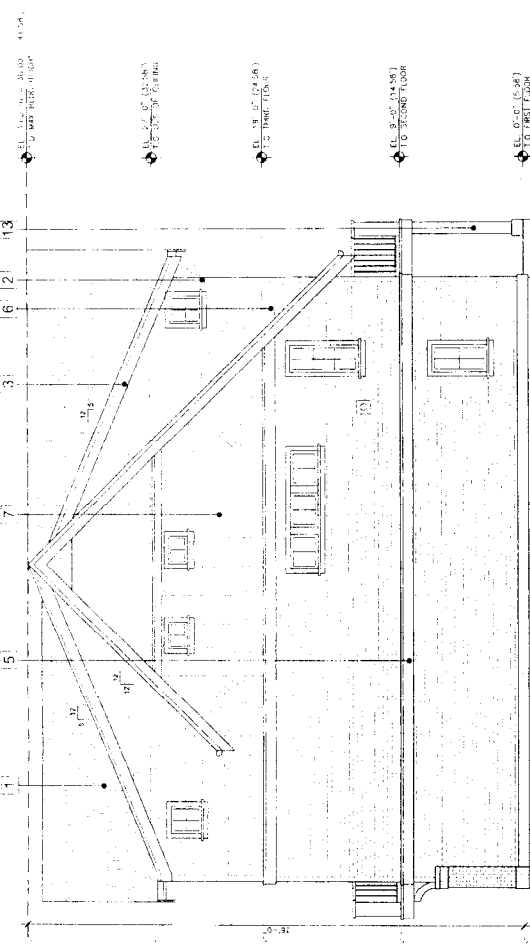
SOUTH ELEVATION
 BUILDING 8
 1/4" = 1'-0"

2 3.309 1/4" = 1'-0"

DATE: 11/11/06
 PROJECT: RESIDENTIAL DEVELOPMENT
 SCALE: 1/4" = 1'-0"
 BY: ARCHITECT
 CHECKED: ARCHITECT
 DATE: 11/11/06
 SCALE: 1/4" = 1'-0"
 BY: ARCHITECT
 CHECKED: ARCHITECT
 DATE: 11/11/06

JUN 13 2007

DP 06349392



1 WEST ELEVATION
BUILDING 8
A-308A 1/4"=1'-0"

NOTES

PLAN #15
DP 06-349392

- EXTERIOR FINISHED SCHEDULE
ASPHALT CHIMNEY ROOF
- 1 ASPHALT CHIMNEY ROOF
 - 2 PAINTED 4" CROWN MOULD
 - 3 PAINTED 1/4" TRIM ON DAMPED 2 1/2" LANS
 - 4 PRE-FINISHED ALUMINUM QUOTE 1/4"
 - 5 PAINTED 1/4" TRIM ON DAMPED 2 1/2" LANS
 - 6 VINYL SIDING
 - 7 PAINTED 1/4" TRIM ON DAMPED 2 1/2" LANS
 - 8 DOUBLE GLAZED WINDOWS IN VINYL FRAMES ON 2 1/2" LANS IN 1/4" TRIM OVER 1/4" TRIM ON DAMPED 2 1/2" LANS
 - 9 VINYL SHUTTER/CABLE NETS
 - 10 PAINTED METAL ON GARAGE DOOR
 - 11 PAINTED SOLID OAK DOOR
 - 12 PAINTED POLYURETHANE DOOR ON TIE
 - 13 BUILT UP COLUMN W/ HAND-BOARDS FACING
 - 14 DOUBLE GLAZED SLIDING DOOR IN WHITE FRAMES ON 2 1/2" LANS IN 1/4" TRIM OVER 1/4" TRIM ON DAMPED 2 1/2" LANS
 - 15 BRICK VENEER



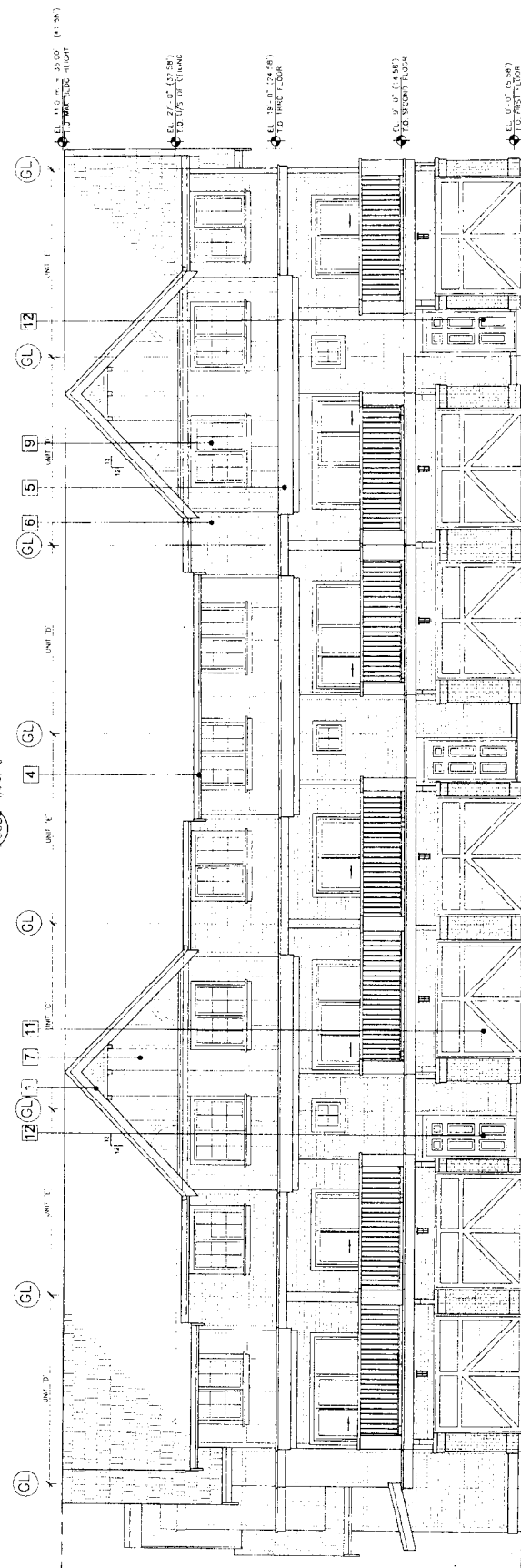
Patrick Collier
1000 W. 10th St. Suite 100
Richmond, BC V6V 1A7
TEL: (604) 271-3533
FAX: (604) 271-3533
EMAIL: info@patrickcollier.com
WWW: www.patrickcollier.com

PROPOSED MULTI-FAMILY
RESIDENTIAL DEVELOPMENT
1000 W. 10th St.
Richmond, British Columbia
ELEGANT DEVELOPMENTS Inc.
Richmond, British Columbia
V7E-1T6
Ph: 604.880.2238
Fax: 604.271.3533
www.elegantdevelopments.com

DATE:	1/11/07
SCALE:	1/4"=1'-0"
BY:	JK
CHECKED BY:	JK
DATE:	1/11/07
PROJECT:	1000 W. 10th St.
SHEET TITLE:	PLAN #15

BUILDING 8'
ELEVATIONS

A-308A
B



2 NORTH ELEVATION
BUILDING 8
A-308A 1/4"=1'-0"

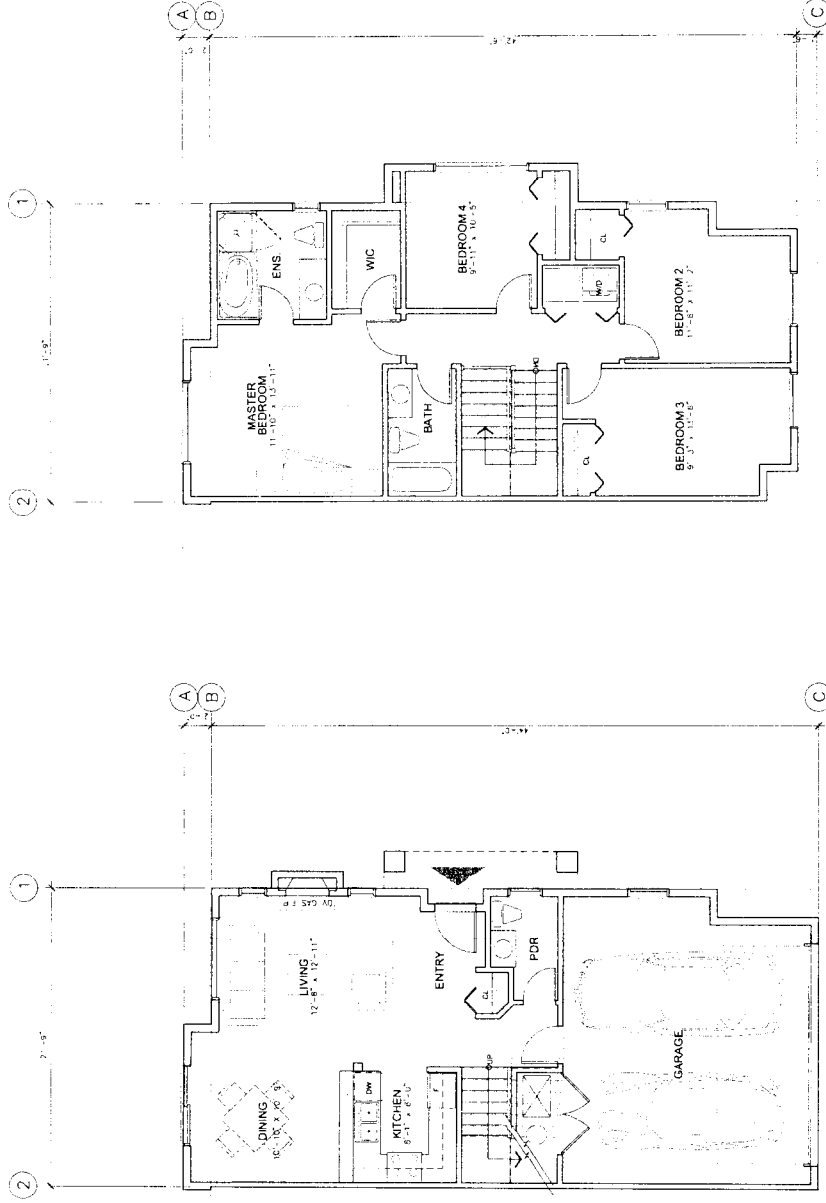
DP 06349392

NOTES

TYPICAL 'A' UNIT
TOTAL SF: 1443.06

JUN 13 2007

REFERENCE PLAN



1 UNIT TYPE 'A'
FIRST FLOOR PLAN
14'-0" x 14'-0"

2 UNIT TYPE 'A'
SECOND FLOOR PLAN
14'-0" x 14'-0"

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	06/13/07
2	ISSUED FOR PERMITS	06/13/07
3	ISSUED FOR PERMITS	06/13/07
4	ISSUED FOR PERMITS	06/13/07
5	ISSUED FOR PERMITS	06/13/07
6	ISSUED FOR PERMITS	06/13/07
7	ISSUED FOR PERMITS	06/13/07
8	ISSUED FOR PERMITS	06/13/07
9	ISSUED FOR PERMITS	06/13/07
10	ISSUED FOR PERMITS	06/13/07



PROPOSED MULTI-FAMILY
RESIDENTIAL DEVELOPMENT
7700, 7720, 7740, 7760 BRIDGE ST.
Richmond, British Columbia
#200-12235 No. 1 Road
Richmond, British Columbia
P.O. Box 880 2228
V6X 6A4, 604.277.3033
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ELEGANT DEVELOPMENTS Inc.
Richmond, British Columbia
P.O. Box 880 2228
V6X 6A4, 604.277.3033
www.elegantdevelopments.com

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	06/13/07
2	ISSUED FOR PERMITS	06/13/07
3	ISSUED FOR PERMITS	06/13/07
4	ISSUED FOR PERMITS	06/13/07
5	ISSUED FOR PERMITS	06/13/07
6	ISSUED FOR PERMITS	06/13/07
7	ISSUED FOR PERMITS	06/13/07
8	ISSUED FOR PERMITS	06/13/07
9	ISSUED FOR PERMITS	06/13/07
10	ISSUED FOR PERMITS	06/13/07

UNIT TYPE 'A'
FLOOR PLANS

NO.	DESCRIPTION
A-251	B

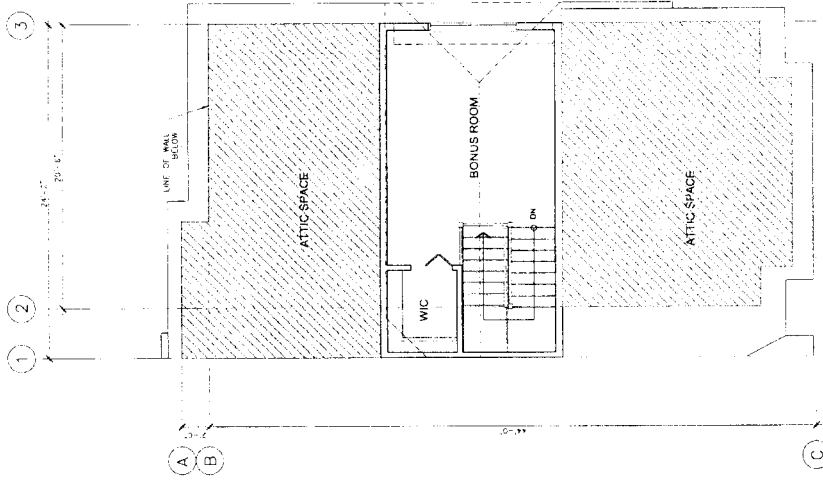
DP 06349392

NOTES

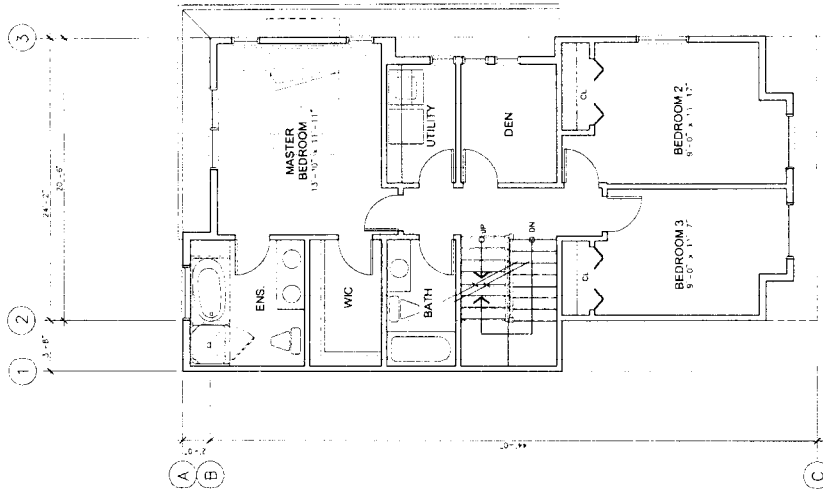
TYPICAL 'B3' UNIT
TOTAL SF: 1715.66

JUN 13 2007

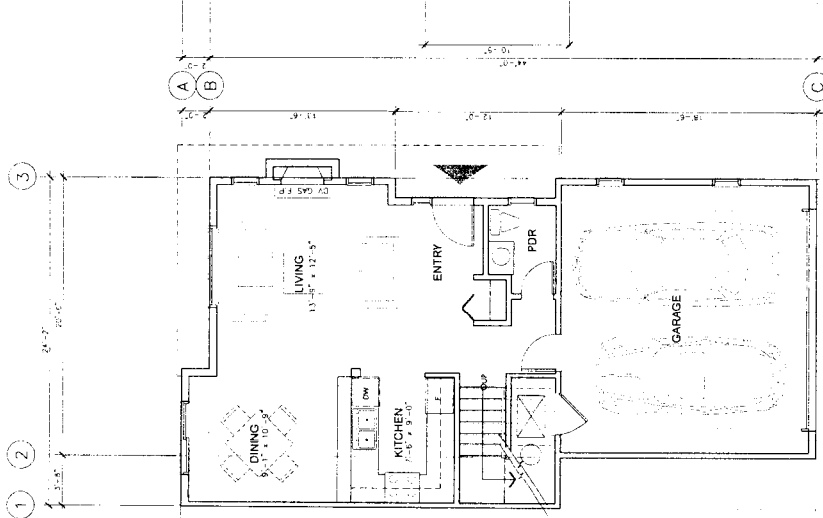
REFERENCE PLAN



UNIT TYPE 'B3'
THIRD FLOOR PLAN
A252 1/8"=1'-0"



UNIT TYPE 'B3'
SECOND FLOOR PLAN
A252 1/8"=1'-0"



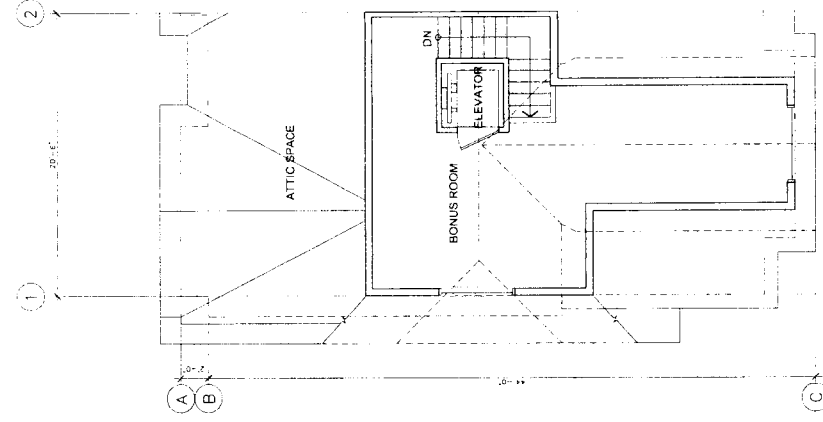
UNIT TYPE 'B3'
FIRST FLOOR PLAN
A252 1/8"=1'-0"

PROJECT	PLANS FOR SUBMISSION
DATE	06/13/07
SCALE	AS SHOWN
DESIGNED BY	ARCHITECT
DRAWN BY	ARCHITECT
CHECKED BY	ARCHITECT
DATE	06/13/07
PROJECT	PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT 7700, 7720, 7407, 760 BRIDGE ST. RICHMOND, BRITISH COLUMBIA
DESIGNED BY	ELEGANT DEVELOPMENTS INC. 2006-1235 No. 1 Road Richmond, British Columbia V7E-1T6 Ph: 604.880.2228 Fax: 604.277.3033
DRAWN BY	PAIRACK ARCHITECTURE 100-10111 160 Ave. S.W. Edmonton, Alberta T6E 4E1 Tel: (780) 773-1177 Fax: (780) 773-1177 E-Mail: info@pairack.com Web: www.pairack.com
CHECKED BY	PAIRACK ARCHITECTURE 100-10111 160 Ave. S.W. Edmonton, Alberta T6E 4E1 Tel: (780) 773-1177 Fax: (780) 773-1177 E-Mail: info@pairack.com Web: www.pairack.com
DATE	06/13/07
PROJECT	PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT 7700, 7720, 7407, 760 BRIDGE ST. RICHMOND, BRITISH COLUMBIA
DESIGNED BY	ELEGANT DEVELOPMENTS INC. 2006-1235 No. 1 Road Richmond, British Columbia V7E-1T6 Ph: 604.880.2228 Fax: 604.277.3033
DRAWN BY	PAIRACK ARCHITECTURE 100-10111 160 Ave. S.W. Edmonton, Alberta T6E 4E1 Tel: (780) 773-1177 Fax: (780) 773-1177 E-Mail: info@pairack.com Web: www.pairack.com
CHECKED BY	PAIRACK ARCHITECTURE 100-10111 160 Ave. S.W. Edmonton, Alberta T6E 4E1 Tel: (780) 773-1177 Fax: (780) 773-1177 E-Mail: info@pairack.com Web: www.pairack.com
DATE	06/13/07

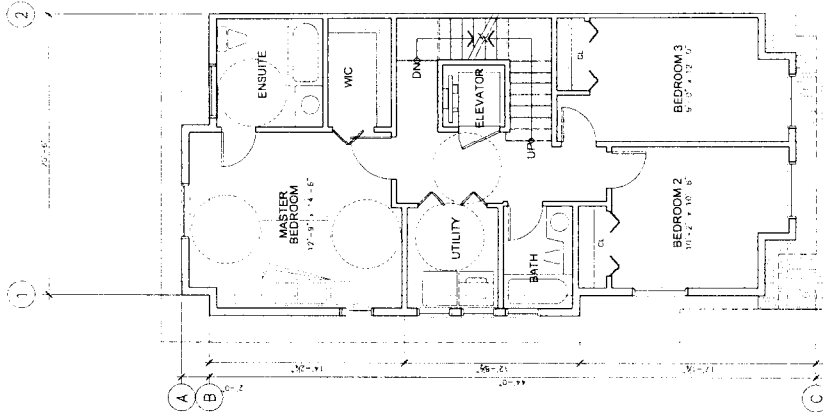
NOTES

JUN 13 2007

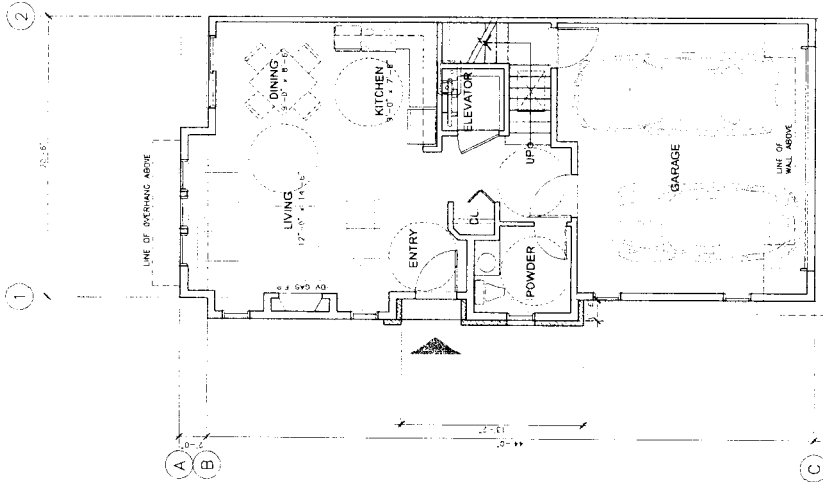
REFERENCE PLAN



UNIT TYPE 'B4-ALT'
THIRD FLOOR PLAN
A260 1/4" = 1'-0"



UNIT TYPE 'B4-ALT'
SECOND FLOOR PLAN
A260 1/4" = 1'-0"



UNIT TYPE 'B4-ALT'
FIRST FLOOR PLAN
A260 1/4" = 1'-0"

PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT
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Richmond, British Columbia
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Richmond, British Columbia
Ph: 604.880.2228
Fax: 604.277.3033
www.elegantdevelopments.com

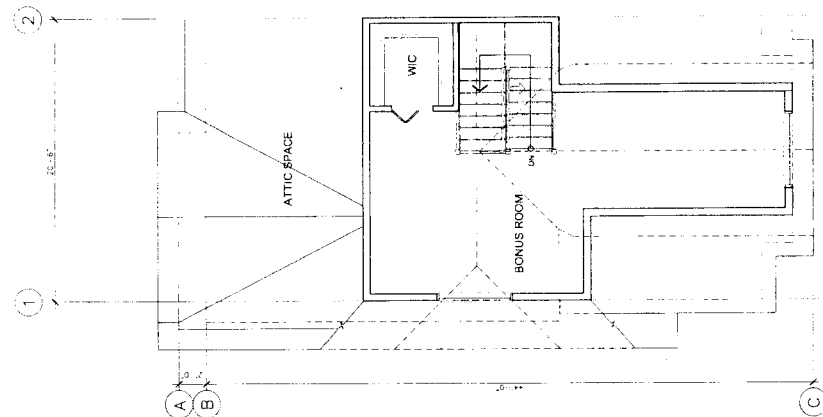
PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT
7700, 7720, 7740, 7760 BRIDGE ST
Richmond, British Columbia
#200-12235 No. 1 Road
Richmond, British Columbia
Ph: 604.880.2228
Fax: 604.277.3033
www.elegantdevelopments.com

DP 06349392

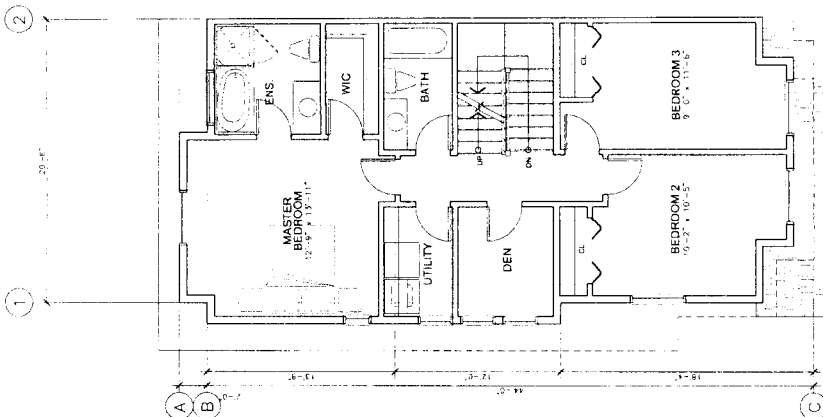
NOTES
 TYPICAL 'B4' UNIT
 TOTAL SF: 1733.86

REFERENCE PLAN

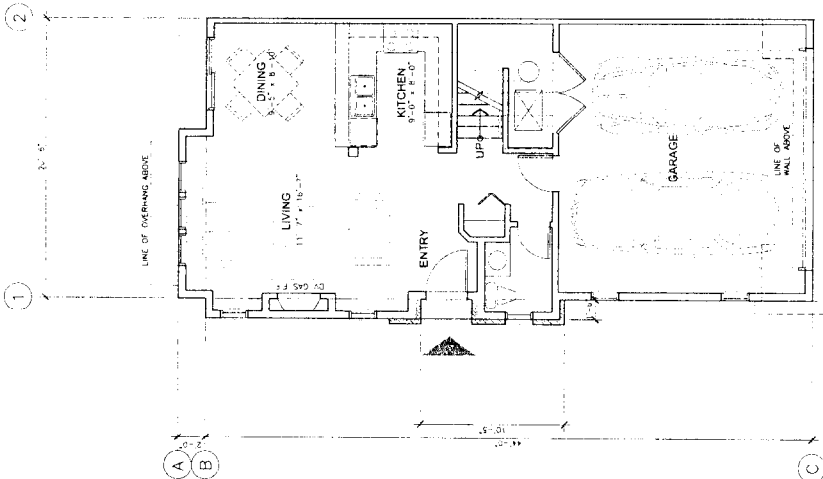
JUN 13 2007



UNIT TYPE 'B4'
 THIRD FLOOR PLAN
 A253 104'x110'



UNIT TYPE 'B4'
 SECOND FLOOR PLAN
 A253 104'x110'



UNIT TYPE 'B4'
 FIRST FLOOR PLAN
 A253 104'x110'

NO.	DATE	DESCRIPTION
1	06/13/07	FINAL LIP SUBMISSION
2	06/13/07	REVISED LIP SUBMISSION
3	06/13/07	REVISED LIP SUBMISSION
4	06/13/07	REVISED LIP SUBMISSION
5	06/13/07	REVISED LIP SUBMISSION
6	06/13/07	REVISED LIP SUBMISSION
7	06/13/07	REVISED LIP SUBMISSION
8	06/13/07	REVISED LIP SUBMISSION
9	06/13/07	REVISED LIP SUBMISSION
10	06/13/07	REVISED LIP SUBMISSION



PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT
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ELEGANT DEVELOPMENTS Inc.
 #200-12255 No. 1 Road
 V1E 1T6
 Ph: 604.880.2228
 Fax: 604.277.3033
 www.elegantdevelopments.com

DATE	06/13/07
SCALE	1/4" = 1'-0"
PROJECT NO.	06349392
UNIT NO.	
DATE	06/13/07
SCALE	1/4" = 1'-0"
PROJECT NO.	06349392
UNIT NO.	
DATE	06/13/07
SCALE	1/4" = 1'-0"
PROJECT NO.	06349392
UNIT NO.	

UNIT TYPE 'B4'
 FLOOR PLANS

DATE: 06/13/07
 SHEET NO.: A-253
 OF: B

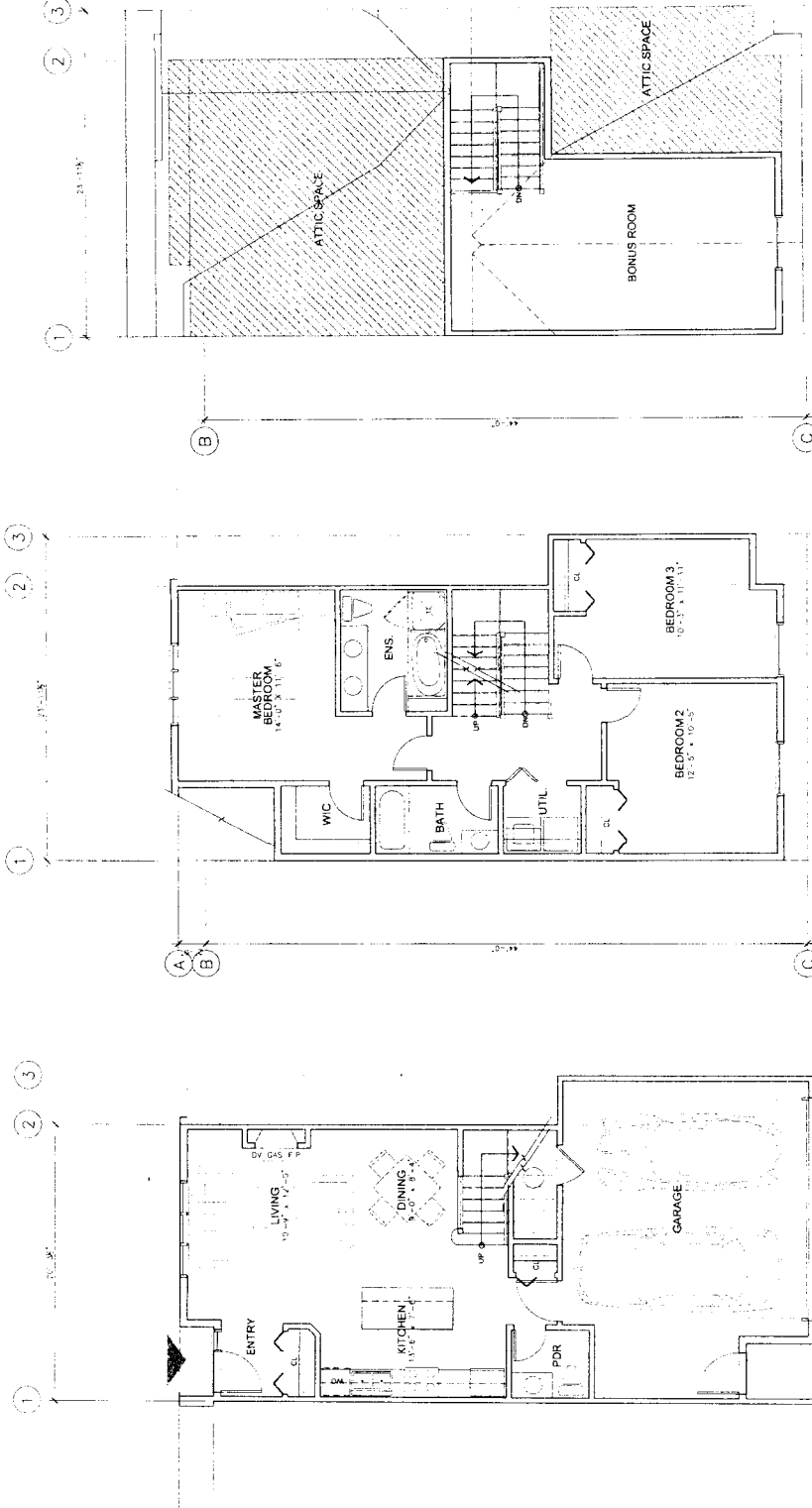
DP 06349392

NOTES

TYPICAL 'C' UNIT
TOTAL SF: 1693.76

REFERENCE PLAN

JUN 13 2007



NO.	REVISION
1	FINAL UP SUBMISSION
2	REVISION
3	REVISION
4	REVISION
5	REVISION
6	REVISION
7	REVISION
8	REVISION
9	REVISION
10	REVISION



PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT
 7700, 7720, 7740, 7760 BRIDGE ST.
 Richmond, British Columbia

ELEGANT DEVELOPMENTS Inc.
 #200-12255 No. 1 Road
 Richmond, British Columbia
 V7E-1T8
 Ph: 604-880-2228
 Fax: 604-277-3033
 www.elegantdevelopments.com

DATE	NO.	DESCRIPTION

UNIT TYPE 'C'
FIRST FLOOR PLAN
A254

UNIT TYPE 'C'
SECOND FLOOR PLAN
A254

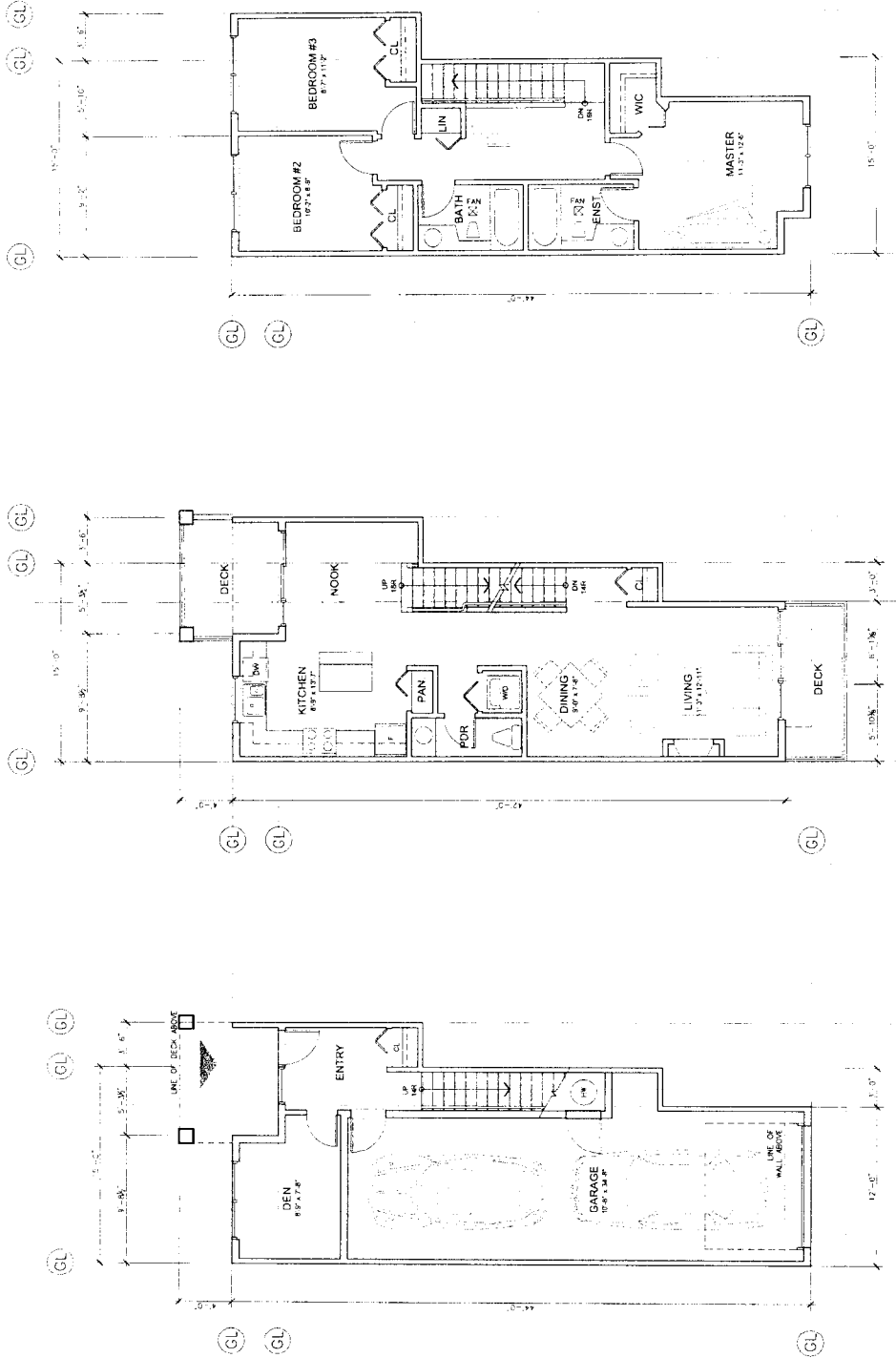
UNIT TYPE 'C'
THIRD FLOOR PLAN
A254

DP 06349392

NOTES
 TYPICAL 'D' UNIT
 TOTAL SF: 1369.56

REFERENCE PLAN

JUN 13 2007



DATE	DESCRIPTION



**PROPOSED MULTIFAMILY
 RESIDENTIAL DEVELOPMENT**
 7700, 7720, 7740, 7760 BRIDGE ST.
 Richmond, British Columbia

ELEGANT DEVELOPMENTS INC.
 #200-12235 No. 1 Road
 Vancouver, British Columbia
 Ph. 604.880.2228
 Fax. 604.277.3033

DATE	DESCRIPTION

UNIT TYPE 'D'
 THIRD FLOOR PLAN
 A255 10'-11" x 15'-0"

UNIT TYPE 'D'
 SECOND FLOOR PLAN
 A255 10'-11" x 15'-0"

UNIT TYPE 'D'
 FIRST FLOOR PLAN
 A255 10'-11" x 17'-0"

DATE: 06/13/07
 PROJECT: 06349392
 DRAWING: A-255
 SHEET: B

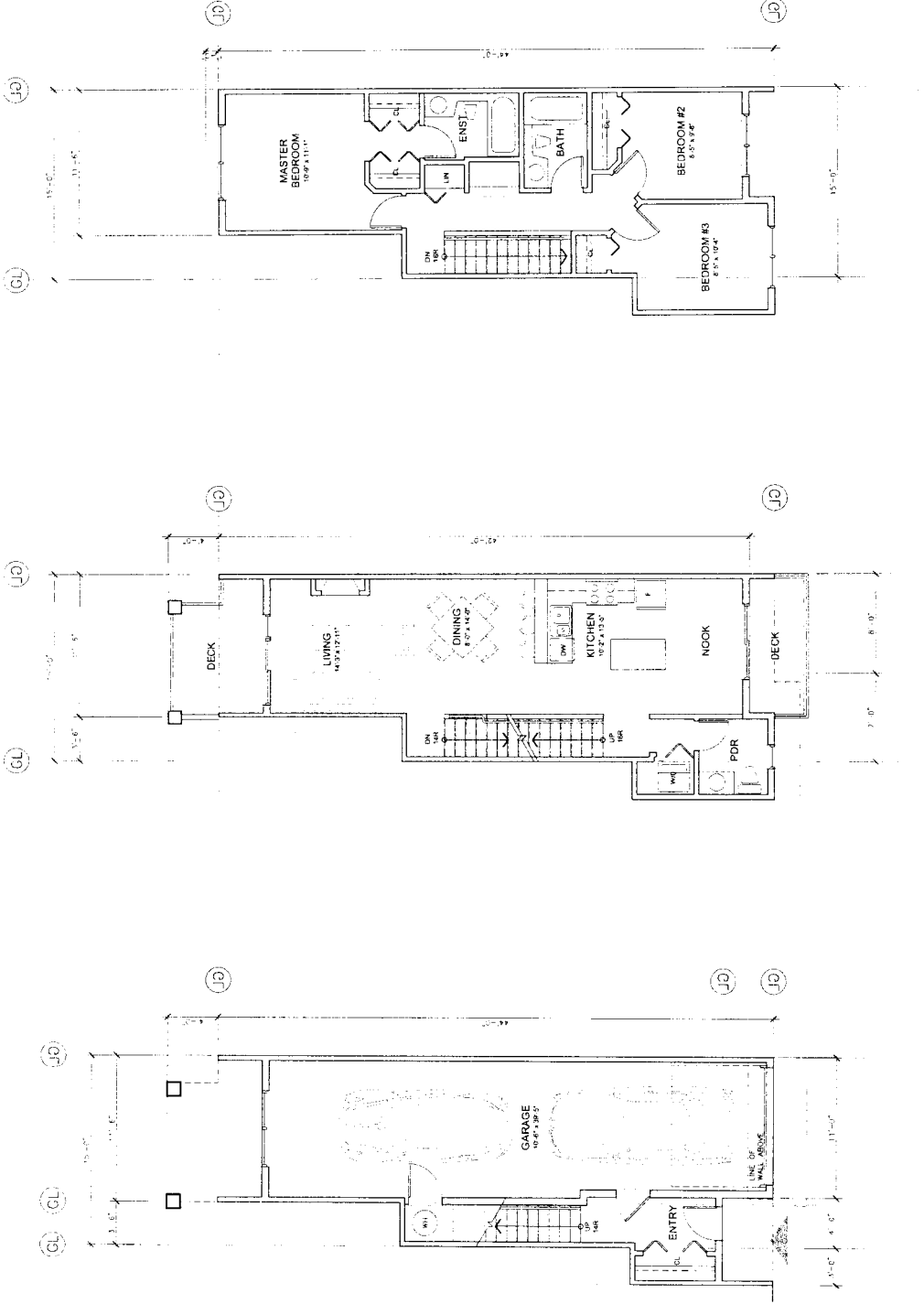
DP 06349392

NOTES

TYPICAL 'E' UNIT
TOTAL SF: 1193.76

REFERENCE PLAN

JUN 13 2007



GENERAL NOTES	
1.	REFER TO ALL APPLICABLE SPECIFICATIONS.
2.	ALL DIMENSIONS UNLESS OTHERWISE NOTED.
3.	ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
4.	ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND IRC.
5.	ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND IRC.
6.	ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND IRC.
7.	ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND IRC.
8.	ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND IRC.
9.	ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND IRC.
10.	ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND IRC.



PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT
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Arlington, Virginia
ELEGANT DEVELOPMENTS, Inc.
12000 Lee Highway, Suite 200
Falls Church, Virginia 22044
Ph: 604.880.2228
Fax: 604.277.3033
www.elegantdevelopments.com

REVISIONS	
NO.	DESCRIPTION

UNIT TYPE 'E' FIRST FLOOR PLAN
A256 18'x11'0"

UNIT TYPE 'E' SECOND FLOOR PLAN
A256 18'x11'0"

UNIT TYPE 'E' THIRD FLOOR PLAN
A256 18'x11'0"

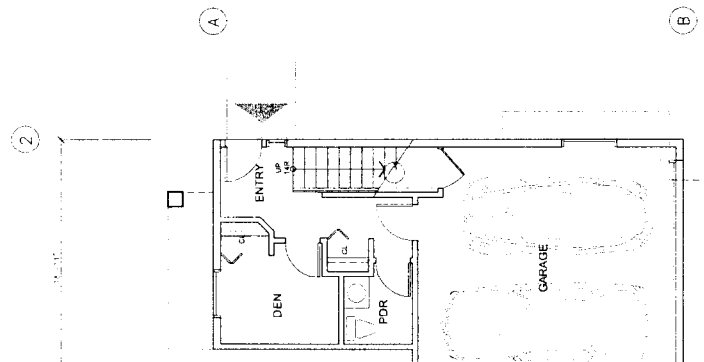
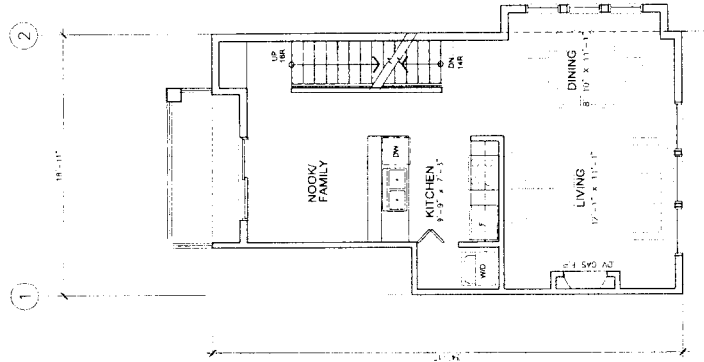
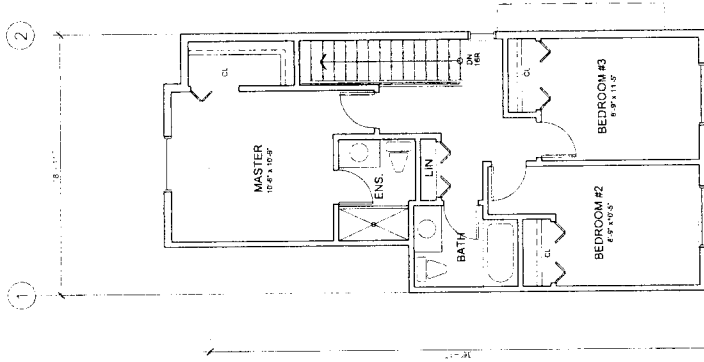
DP 06349392

NOTES

TYPICAL 'F' UNIT
TOTAL SF: 1357.66

REFERENCE PLAN

JUN 13 2007



PROPOSED MULTI-FAMILY
RESIDENTIAL DEVELOPMENT
7700, 7720, 7740, 7760 BRIDGE ST
Richmond, British Columbia



Painck
INCORPORATED
100-1000 16th Ave S.W.
Vancouver, BC V6A 4J7
Tel: (604) 277-1411
Fax: (604) 277-1411
E-Mail: info@painckinc.com
Web: www.painckinc.com

**PROPOSED MULTI-FAMILY
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7700, 7720, 7740, 7760 BRIDGE ST
Richmond, British Columbia

ELEGANT DEVELOPMENTS INC.
2000-1225 No 1 Road
Vancouver, British Columbia
V7E-1T6
Ph: 604.880.2228
Fb: 604.277.3033

DATE:	15/06/07
BY:	AK
APP. NO.:	
SCALE:	1/4" = 1'-0"

SHEET TITLE

UNIT TYPE 'F'
THIRD FLOOR PLAN
A-257 1/4" = 1'-0"

UNIT TYPE 'F'
SECOND FLOOR PLAN
A-257 1/4" = 1'-0"

UNIT TYPE 'F'
FIRST FLOOR PLAN
A-257 1/4" = 1'-0"

NO. OF SHEETS: 2
SHEET NO.: **A-257**
REV: **B**

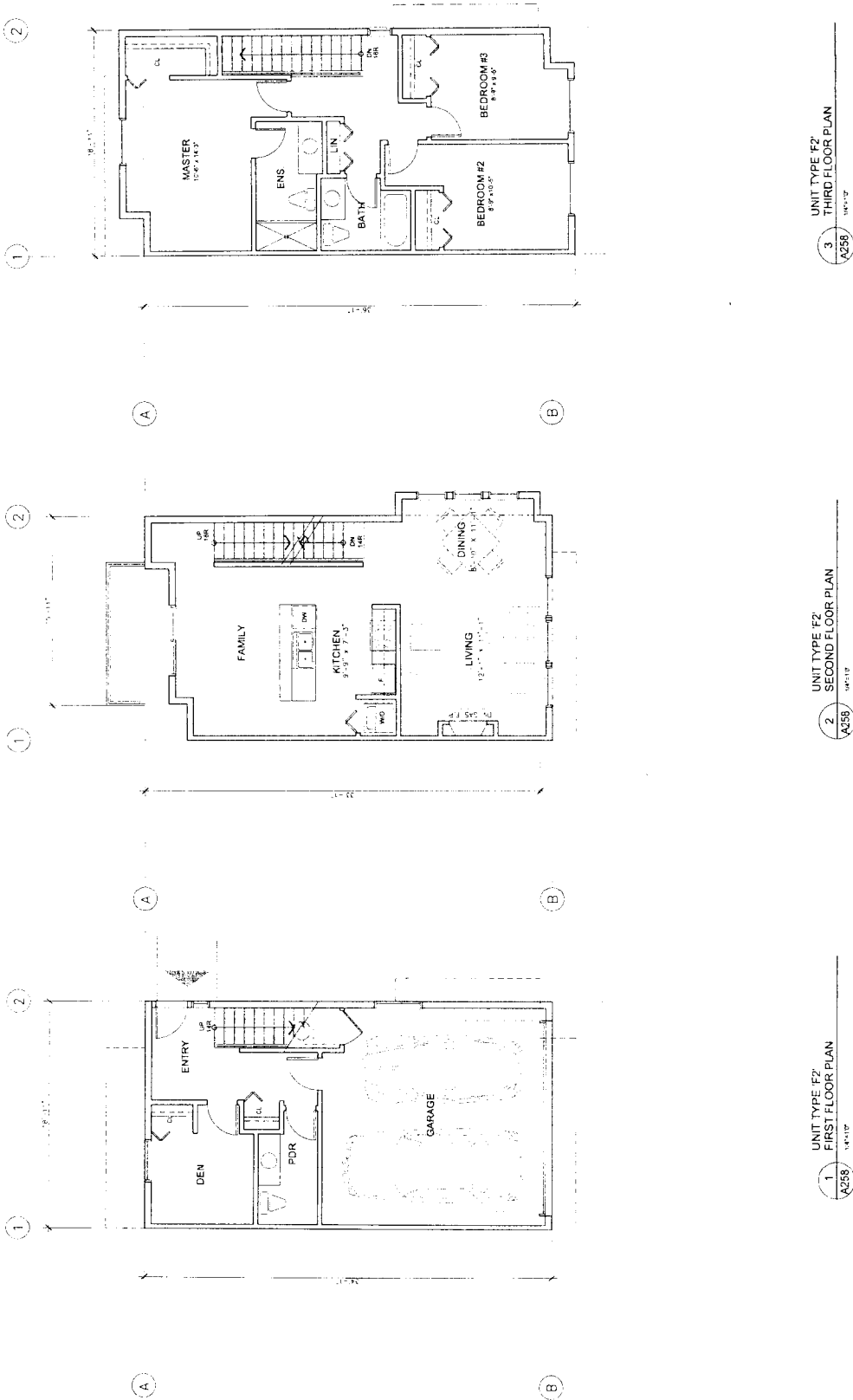
DP 06349392

NOTES

TYPICAL 'F2' UNIT
TOTAL SF: 1479.66

REFERENCE PLAN

JUN 13 2007



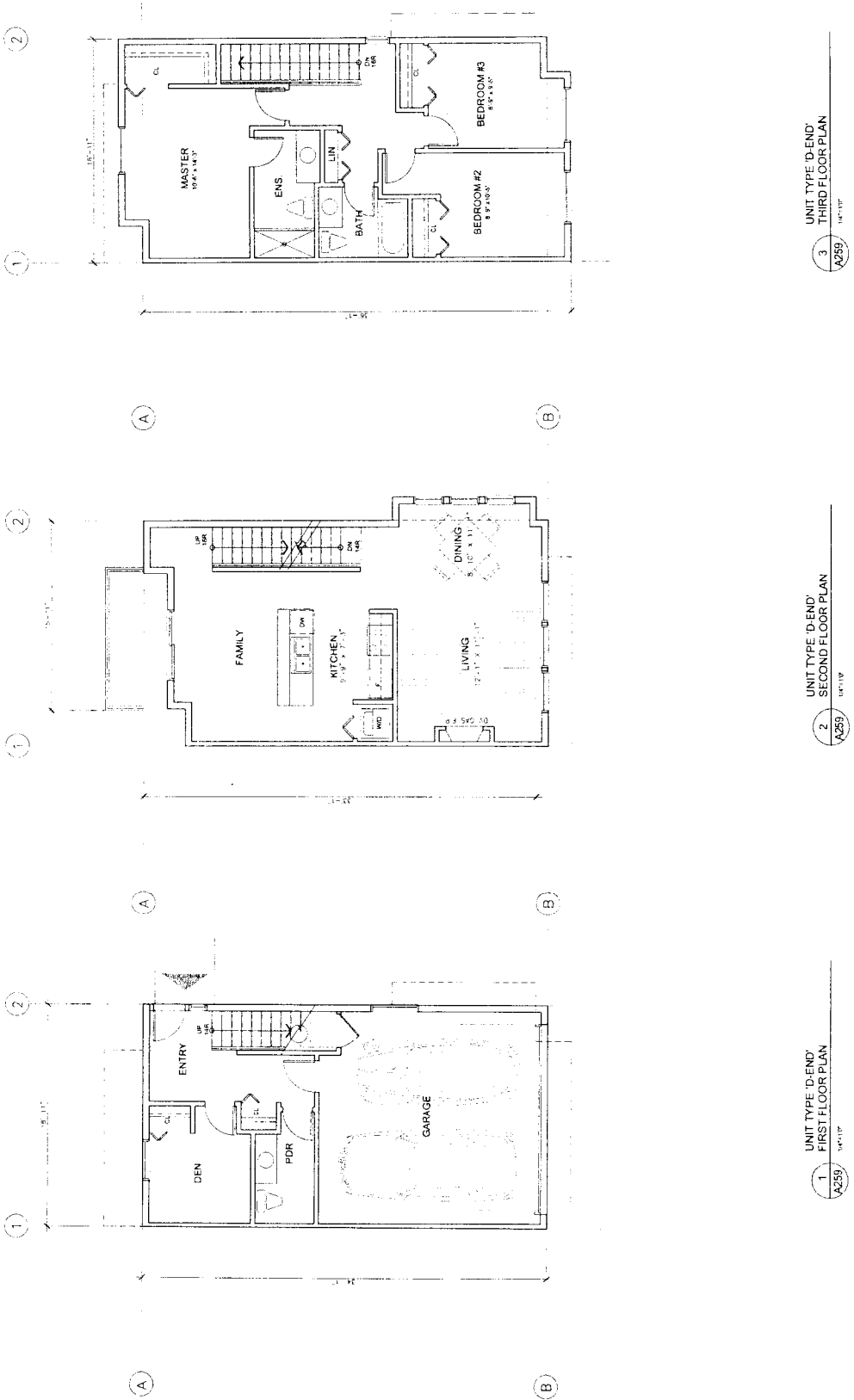
DP 06349392

NOTES

TYPICAL 'D-END' UNIT
TOTAL SF: 1412.36

REFERENCE PLAN

JUN 13 2007



NO.	DESCRIPTION	DATE
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2	ISSUED FOR PERMIT	06/13/07
3	ISSUED FOR PERMIT	06/13/07
4	ISSUED FOR PERMIT	06/13/07
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99	ISSUED FOR PERMIT	06/13/07
100	ISSUED FOR PERMIT	06/13/07



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Ph. 604.860.2228
Fax. 604.277.3033

UNIT 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000

UNIT TYPE 'D-END'
THIRD FLOOR PLAN
14,011 SF

UNIT TYPE 'D-END'
SECOND FLOOR PLAN
14,011 SF

UNIT TYPE 'D-END'
FIRST FLOOR PLAN
14,011 SF

DATE: 06/13/07
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: AS SHOWN

A-259 B