



City of Richmond
Urban Development Division

Report to Development Permit Panel

To: Development Permit Panel

Date: April 29, 2005

From: Raul Allueva
Director of Development

File: DP 05-297562

Re: **Application by Sanford Design Group for a Development Permit at
5660 Parkwood Way**

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of a 2,174 m² (23,402 ft²) car dealership building at 5660 Parkwood Way on a site zoned Automotive Park District (AUP); and
2. Vary the provisions of the Zoning and Development Bylaw No. 5300 to reduce the minimum public road setback of parking from 3 m to 0.9 m; and side and rear yard setbacks of parking from 1.5 m to 0.9 m to the north and 0 m to the east and south.

for
Raul Allueva
Director of Development

SB:blg
Att.

Staff Report

Origin

Sanford Design Group has applied to the City of Richmond for permission to develop a 2,174 m² (23,402 ft²) car dealership building at 5660 Parkwood Way on a vacant site zoned Automotive Park District (AUP) in the Richmond Auto Mall.

Development Information

Please refer to attached Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

The subject East Cambie Area site is located in the Richmond Auto Mall surrounded by businesses and industrial buildings to the north. The Richmond Auto Mall is accessed from Jacombs Road between Highway 91, Westminster Highway and Knight Street.

Staff Comments

The proposed scheme attached to this report satisfactorily addresses the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the Automotive Park District (AUP) except for the zoning variances noted below.

Zoning Compliance/Variations (staff comments in **bold**)

The applicant requests to vary the provisions of the Zoning and Development Bylaw No. 5300 to reduce the minimum public road setback of parking from 3 m to 0.9 m; and side and rear yard setbacks of parking from 1.5 m to 0.9 m to the north and 0 m to the east and south.

(Staff supports the proposed variance. Two of the reasons for the parking setbacks are to ensure sufficient landscaping to offer a separation between different uses and to help conceal surface parking lots. Located inside the Richmond Auto Mall, the property is surrounded by the same use. In this specialized land use, surface parking lots are retail display area and the applicant wishes to maximize the visibility of the retail cars. Setback reductions are consistent with neighbouring developments inside the auto mall.

In compliance with Richmond Auto Mall requirements, a 2 m frontage landscape boulevard is to be provided in addition to the landscaping proposed in the public road setback. The surface parking in the public road setback is broken up with some landscaping elements including planting, trees, special pavement and pylon signage. There is an existing parking lot tight against the east property line. There is an existing access driveway along the north edge which will be landscaped. There is a statutory Right-of-Way along the south property line which precludes the opportunity to plant trees. However, there is existing landscaping to the south of the Right-of-Way on the adjacent car dealership site to the south. In addition, the Richmond Auto Mall Association has submitted a letter in support of the proposal).

Advisory Design Panel Comments

The proposed development was not presented to Advisory Design Panel. The subject site for the proposed car dealership project is located in the Richmond Auto Mall, surrounded by like businesses and industrial buildings. For these reasons, review by the Advisory Design Panel was not deemed to be necessary.

Analysis

Conditions of Adjacency

- The site is surrounded by like businesses and industrial buildings.

Urban Design and Site Planning

- Vehicle access is provided by two driveways to Parkwood Way;
- One hundred and five (105) parking spaces are provided. Forty-eight (48) of those are in excess of the bylaw requirements, including twenty-five (25) tandem parking spaces in the vehicle storage area to the rear of the site; and
- Screen walls are provided throughout the Richmond Auto Mall and on this site to separate the front retail area from the rear vehicle storage area. Perimeter fencing is also provided around the vehicle storage area to enhance security after hours in accordance with CPTED (1.8 m chainlink to match existing neighbouring fences).

Architectural Form and Character

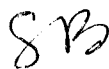
- The building form is articulated;
- The proposed building materials (curtain wall, metal panels, cultured stone, and painted tilt up concrete) are generally consistent with the Official Community Plan (OCP) Guidelines; and
- Signage has not been considered under this Development Permit application. A separate Permit application is required for signage and is subject to the Sign Regulation Bylaw.

Landscape Design and Open Space Design

- The landscape design includes the removal of six (6) existing trees, which will be replaced with 19 new trees; and
- The landscape design also includes special paving treatment with patterning and colour, as well as perimeter planting across the frontage and along the access driveway to the north.

Conclusions

The applicant has satisfactorily addressed conditions of adjacency, site planning and urban design, architectural form and character, and landscape design. The applicant has presented a development that fits into the existing context. Therefore, staff recommend support of this Development Permit application.



Sara Badyal, M.Arch.
Planner 1

The following conditions are required to be met prior to forwarding this application to Council for approval:

- Receipt of a Letter-of-Credit for landscaping in the amount of \$46,804.



City of Richmond

6911 No. 3 Road
 Richmond, BC V6Y 2C1
 (604) 276-4000

**Development Application
 Data Sheet**
 Development Applications Department

DP 05-297562

Attachment 1

Address: 5660 Parkwood Way

Applicant: Sanford Design Group Owner: Sun Life Assurance Co. of Canada

Planning Area(s): East Cambie Area

Floor Area Gross: 2,174 m² Floor Area Net: 2,174 m²

	Existing	Proposed
Site Area:	6,899 m ²	No change
Land Uses:	Vacant	Car dealership
OCP Designation:	Commercial	No change
Zoning:	Automotive Park District (AUP)	No change

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.5	0.32	none permitted
Lot Coverage:	Max. 50%	29.3%	None
Setback – Public Road:	Min. 6 m	Min. 19.8 m	None
Setback – Side Yard:	Min. 3 m	Min. 13.7 m	None
Setback – Rear Yard:	Min. 3 m	Min. 23 m	None
Height (m):	Max. 12 m	9 m	None
Parking Setback – Public Road:	Min. 3 m	0.9 m	2.1 m reduction
Parking Setback – Side & Rear Yards:	Min. 1.5 m	0 m & 0.9 m	1.5 m to 0.6 m reduction
Off-street Parking Spaces:	87	105	None
Off-street Parking Spaces – Accessible:	2	2	None
Total off-street Spaces:	87	105	None



No. DP 05-297562

To the Holder: SANFORD DESIGN GROUP
Property Address: 5660 PARKWOOD WAY
Address: C/O DAVE SANFORD
 #205 – 3751 JACOMBS ROAD
 RICHMOND, BC V6V 2R4

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning and Development Bylaw No. 5300" is hereby varied to reduce the minimum public road setback of parking from 3 m to 0.9 m; and side and rear yard setbacks of parking from 1.5 m to 0.9 m to the north and 0 m to the east and south.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #4 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$46,804. to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 05-297562

To the Holder: SANFORD DESIGN GROUP
Property Address: 5660 PARKWOOD WAY
Address: C/O DAVE SANFORD
#205 – 3751 JACOMBS ROAD
RICHMOND, BC V6V 2R4

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO. _____
DAY OF _____, _____.

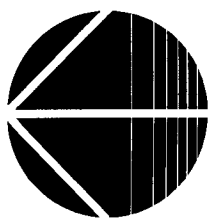
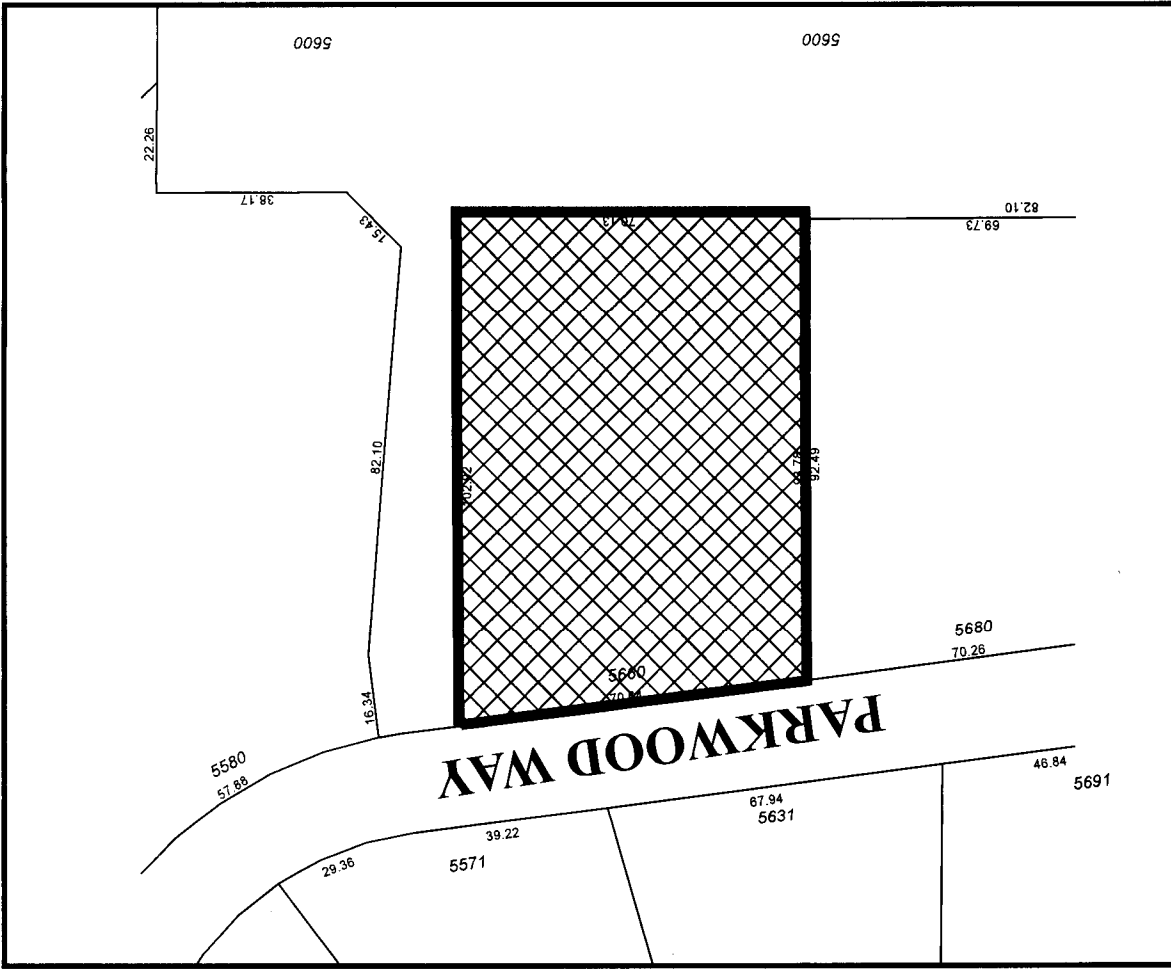
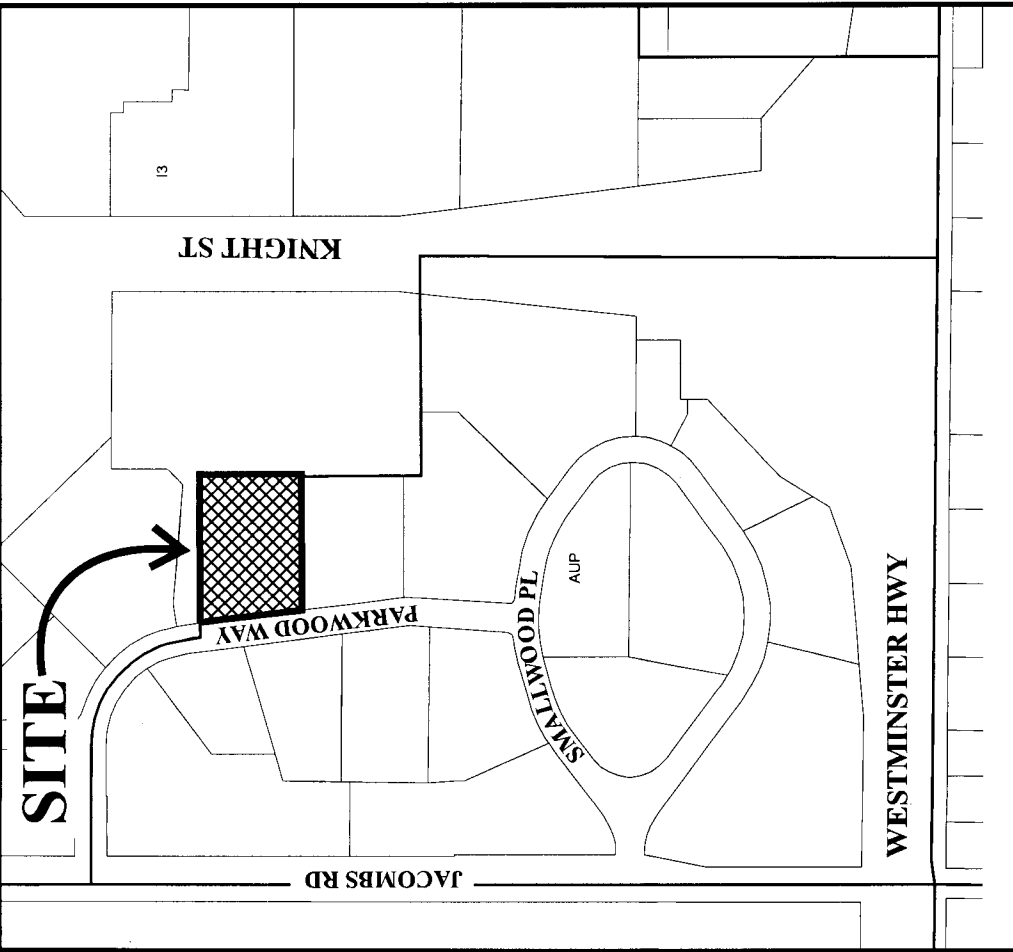
ISSUED BY THE COUNCIL THE

DELIVERED THIS _____ DAY OF _____, _____.

MAYOR



City of Richmond

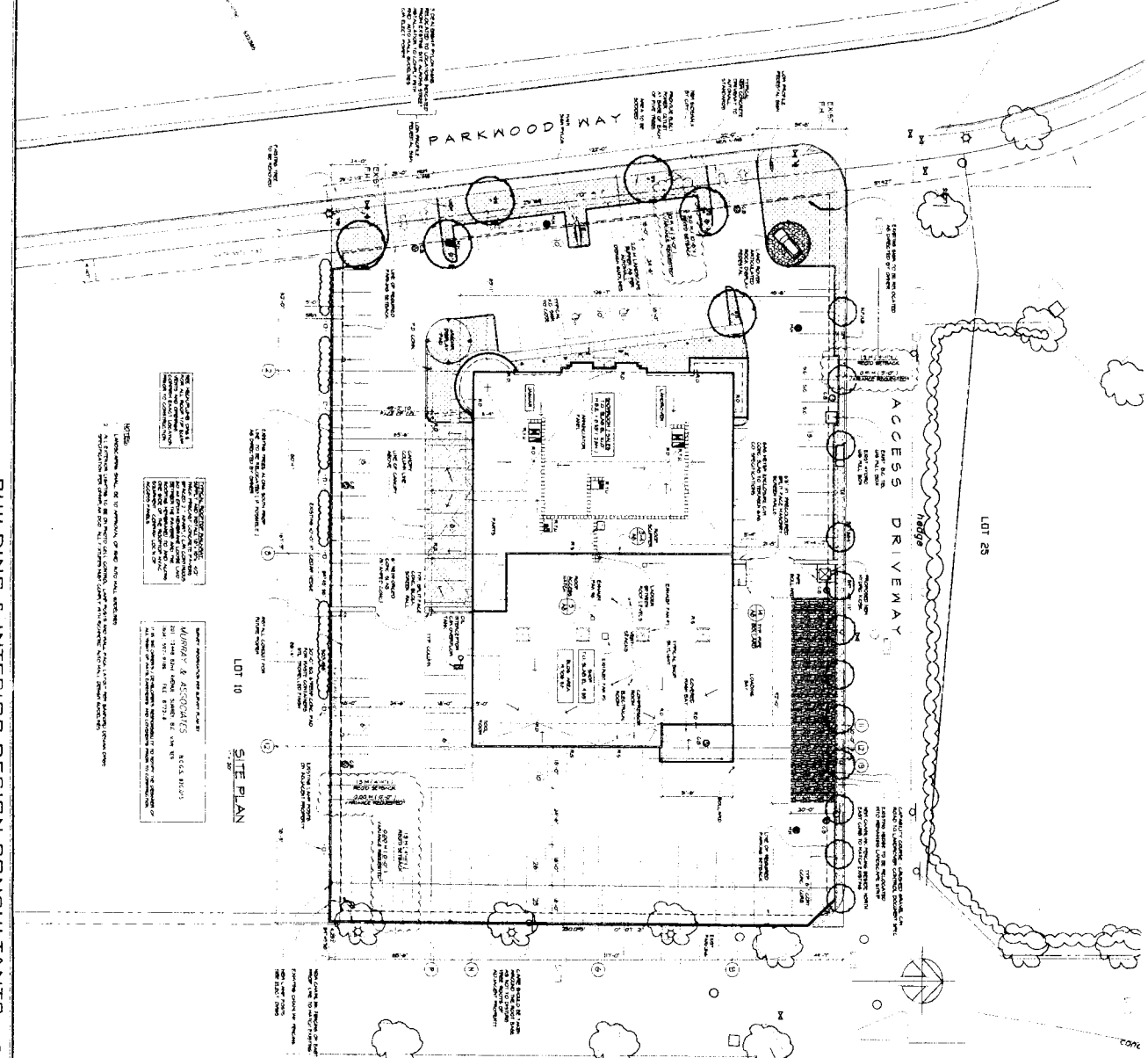


DP 05-297562 SCHEDULE "A"

Original Date: 04/28/05

Revision Date:

Note: Dimensions are in METRES



RESUME:

LEGAL DESCRIPTION

PART OF A SECTION 5, BLOCK 4 NORTH, RANGE 5 WEST
 NMD PLAN BOP 19483

CIVIC ADDRESS

5660 PARKWOOD AVE. RICHMOND BC

ZONING:

254 AUTOMOTIVE BUSINESS PARK (AUP)
 DEVELOPMENTAL PERMIT REQUIRED

OCCUPANCY CLASSIFICATION:

GROUP 1-2 AND E

SITE AREA:

0.64 ha = 1705 ACRES = 74,268 SF ±

BUILDING AREA:

PROPOSED BLDG ENVELOPE 14,708 SF ± = 1,830.8 M SQ
 PROPOSED CANOPIES 2,015 SF ± = 187.3 M SQ
 21,723 SF ± = 2,018.1 M SQ

SITE COVERAGE:

PROPOSED 21,723 SF / 74,268 SF = 29.2%
 ALLOWABLE 50 %

FLOOR AREAS:

PROPOSED
 MAIN FLOOR 9,108 SF
 ENCLOSED MEZZINE 1,342 SF
 SECOND FLOOR 2,352 SF
 TOTAL 23,402 SF

FLOOR AREA RATIO:

23,402 SF / 74,268 SF = 0.32
 MAX ALLOWABLE = 0.50

BLDG SETBACKS: REQUIRED

FRONT YARD (WEST) 9.17 MIN (6M) FACES STREET PROPOSED 65'-0" (19.83 M)
 REAR YARD (EAST) 9.84 MIN (3M) PROPOSED 70'-5" (21.4 M)
 SIDE YARD (NORTH) 9.84 MIN (3M) PROPOSED 45'-0" (13.72 M)
 SIDE YARD (SOUTH) 9.84 MIN (3M) PROPOSED 63'-5" (19.35 M)

HEIGHT:

MAXIMUM ALLOWABLE: 36'-11" (11.20 M)
 PROPOSED HEIGHT: 39'-11" (12.02 M) ±

PARKING:

REGULAR STALL 8'-6" X 18'-0"
 SMALL CARS 7'-0" X 16'-5"
 HIC STALL 12'-2" X 18'-0"
 LOADING 10'-0" X 30'-0"

REQUIRED:

23,402 SF x 4 / 1076.43 SF = 87 STALLS

PROVIDED:

REGULAR STALLS 100 STALLS
 SMALL CAR STALLS 3 STALLS
 HIC STALLS 2 STALLS
 COMPETING STALLS PROVIDED 05 STALLS
 ADDITIONAL STACKED STALLS PROVIDED 135 TOTAL

LOADING BAYS:

1 BAY REQUIRED
 1 BAY PROVIDED

*** VARIANCES REQUESTED:**

PARKING SETBACK	REQUIRED	PROPOSED
FRONT YARD (WEST)	3 M MIN	0.91 M
REAR YARD (EAST)	3 M MIN	0.02 M
SIDE YARD (NORTH)	15 M MIN	0.91 M
SIDE YARD (SOUTH)	15 M MIN	0.00 M

DESIGNED BY: MICHAEL D. BARILEY ARCHITECT
 ARCHITECT
 1100 WEST 10TH AVENUE
 VANCOUVER BC V6H 2G6 CANADA
 TEL: 604-275-1100 FAX: 604-275-1101
 WWW.MDBA.COM

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PLAN # 1 MAY 25 2005
 DP05 297562

BUILDING & INTERIOR DESIGN CONSULTANTS • SANFORD DESIGN GROUP

04-032-01

BUILDING & INTERIOR DESIGN CONSULTANTS • SANFORD DESIGN GROUP

2005 750 JACOBSON ROAD, ROSELAND, NJ 07068 TEL: 908-366-0000 FAX: 908-366-0001 WWW.SANFORDDESIGN.COM

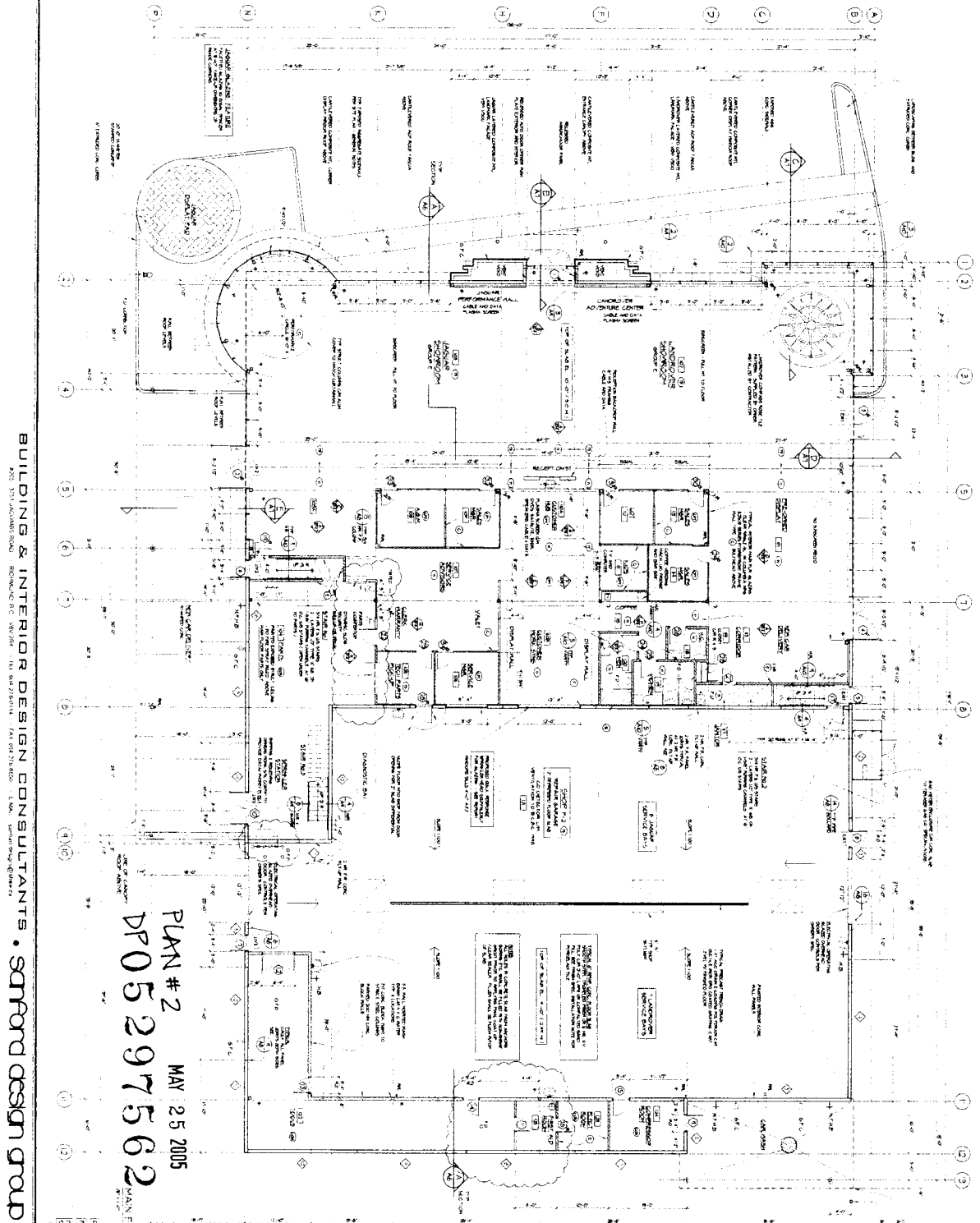
PROPOSED FOR ANNA'S LANDSCAPE ARCHITECTURE AND SUN LIFE FINANCE

DATE: 04-03-05

DESIGNED BY: MICHAEL D. BARLEY, ARCHITECT

PROJECT NO: 04-03-05

PLAN #2
MAY 25 2005
DP05297562
MAIN FLOOR PLAN



- NOTES**
1. ALL DIMENSIONS ARE IN FEET AND INCHES.
 2. ALL WALLS ARE 1/2" THICK UNLESS NOTED OTHERWISE.
 3. ALL DOORS ARE 36" WIDE UNLESS NOTED OTHERWISE.
 4. ALL WINDOWS ARE 60" WIDE UNLESS NOTED OTHERWISE.
 5. ALL FLOORS ARE 4" CONCRETE ON 8" GRAVEL UNLESS NOTED OTHERWISE.
 6. ALL CEILING ARE 8' HIGH UNLESS NOTED OTHERWISE.
 7. ALL ROOF ARE 12/12 PITCH UNLESS NOTED OTHERWISE.
 8. ALL EXTERIOR WALLS ARE 16" THICK UNLESS NOTED OTHERWISE.
 9. ALL EXTERIOR FLOORS ARE 4" CONCRETE ON 8" GRAVEL UNLESS NOTED OTHERWISE.
 10. ALL EXTERIOR ROOF ARE 12/12 PITCH UNLESS NOTED OTHERWISE.

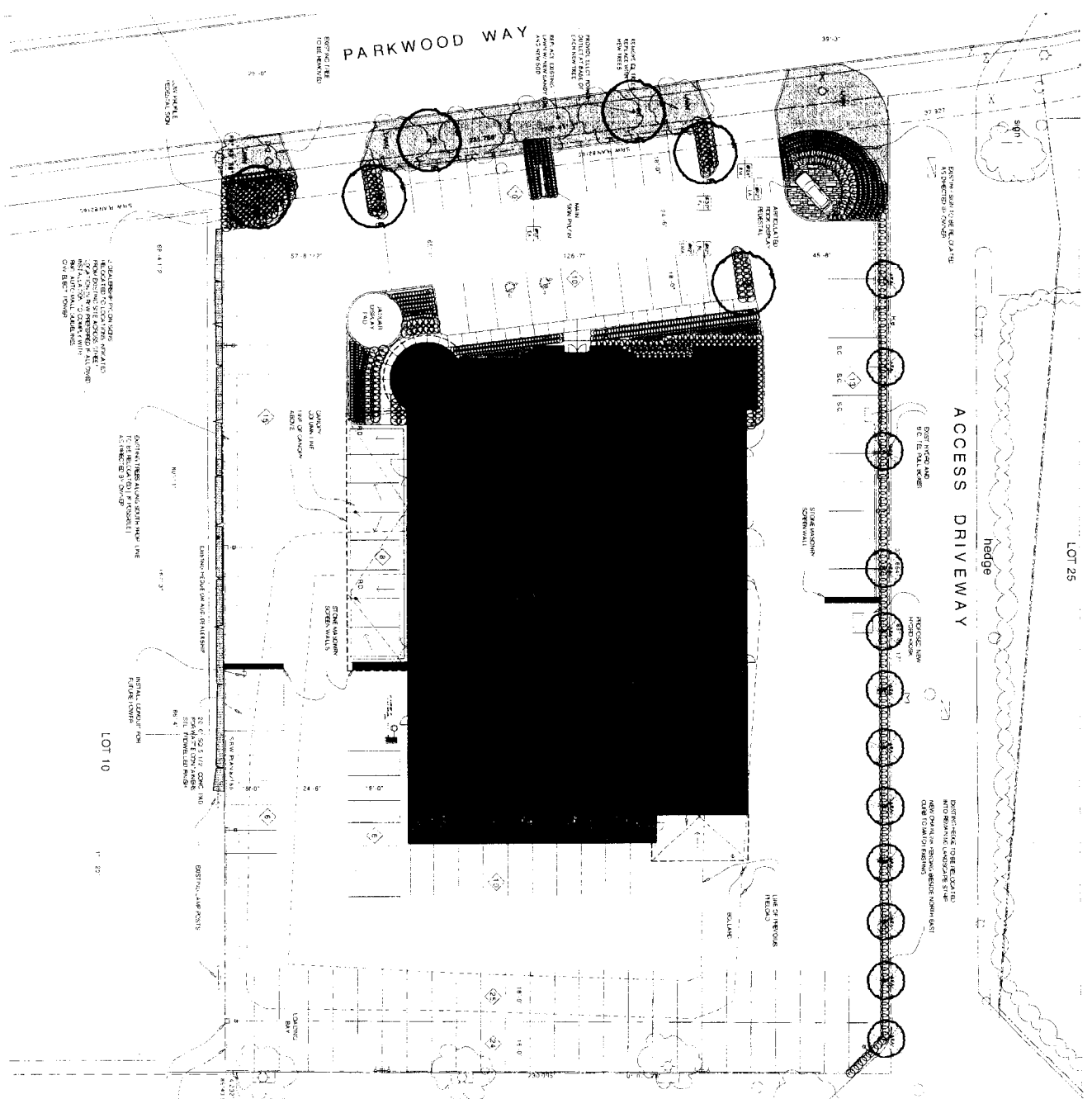
- MATERIAL TYPES - INTERIOR**
- 1. WALLS: 1/2" GYPSUM BOARD ON STUDS
 - 2. FLOORS: 4" CONCRETE ON 8" GRAVEL
 - 3. CEILING: 8' HIGH UNLESS NOTED OTHERWISE
 - 4. ROOF: 12/12 PITCH UNLESS NOTED OTHERWISE
 - 5. EXTERIOR WALLS: 16" THICK UNLESS NOTED OTHERWISE
 - 6. EXTERIOR FLOORS: 4" CONCRETE ON 8" GRAVEL UNLESS NOTED OTHERWISE
 - 7. EXTERIOR ROOF: 12/12 PITCH UNLESS NOTED OTHERWISE

- MATERIAL TYPES - EXTERIOR**
- 1. WALLS: 16" THICK UNLESS NOTED OTHERWISE
 - 2. FLOORS: 4" CONCRETE ON 8" GRAVEL UNLESS NOTED OTHERWISE
 - 3. CEILING: 8' HIGH UNLESS NOTED OTHERWISE
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 - 6. EXTERIOR FLOORS: 4" CONCRETE ON 8" GRAVEL UNLESS NOTED OTHERWISE
 - 7. EXTERIOR ROOF: 12/12 PITCH UNLESS NOTED OTHERWISE

- LEGEND - GENERAL**
- 1. WALL
 - 2. FLOOR
 - 3. CEILING
 - 4. ROOF
 - 5. EXTERIOR WALL
 - 6. EXTERIOR FLOOR
 - 7. EXTERIOR ROOF
 - 8. DOOR
 - 9. WINDOW
 - 10. STAIR
 - 11. ELEVATOR
 - 12. MECHANICAL
 - 13. ELECTRICAL
 - 14. PLUMBING
 - 15. TELEPHONE
 - 16. FIRE
 - 17. SECURITY
 - 18. SIGNAGE
 - 19. FURNITURE
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 - 21. VENTILATION
 - 22. LIGHTING
 - 23. SOUND
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 - 25. COOLING
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 - 30. SNOW
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 - 33. HUMIDITY
 - 34. AIR QUALITY
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 - 37. SHADING
 - 38. REFLECTION
 - 39. GLARE
 - 40. CONTRAST
 - 41. COLOR
 - 42. TEXTURE
 - 43. PATTERN
 - 44. SCALE
 - 45. PROPORTION
 - 46. BALANCE
 - 47. HARMONY
 - 48. RHYTHM
 - 49. UNITY
 - 50. COHESION

REVISIONS

NO.	DATE	DESCRIPTION
1	04-03-05	ISSUED FOR PERMIT
2	04-03-05	ISSUED FOR CONSTRUCTION
3	04-03-05	ISSUED FOR RECORD



PLANT LIST

KEY	SYMBOL	SYMBOL NAME	COMMON NAME	SIZE
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NOTES:
 1. ALL PLANTS ARE TO BE PLANTED BY THE LANDSCAPER.
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ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AUTOMATIC IRRIGATION SYSTEM
 SUBMIT IRRIGATION LAYOUT TO LANDSCAPE ARCHITECT FOR REVIEW AND COMMENTS

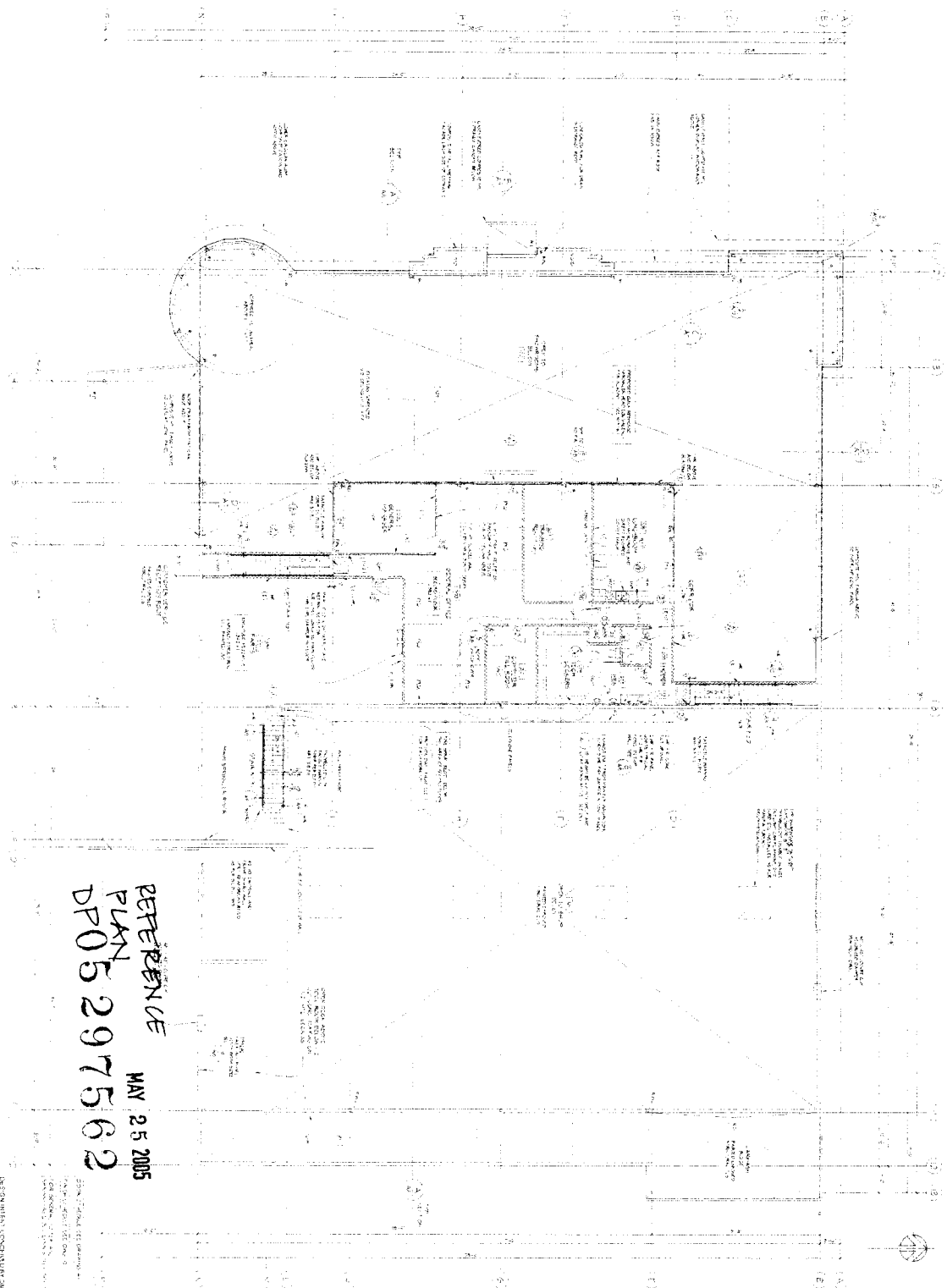
PLAN # 3 MAY 25 2005
 DP 05297562

APPROVED 2005

Client	...
Project	...
Date	...
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Sheet	...
Drawn	...
Checked	...
Approved	...

LANDSCAPE PLAN
 PARKWOOD WAY
 (SUN LIFE)
 DELTA, B.C.

JTO
 & ASSOCIATES
 Landscape Architects
 2180 and Street
 Richmond B.C. V6V 2A4
 Phone: 604.273.5333
 Email: info@jto.ca



REFERENCE
 PLAN
 DP05 297562
 MAY 25 2005

DESIGNER: MICHAEL D. BARLEY
 ARCHITECT
 PROJECT NO. 05-297562
 DATE: MAY 25, 2005

REVISIONS

NO.	DATE	DESCRIPTION
1	05/25/05	ISSUED FOR PERMIT
2	05/25/05	ISSUED FOR PERMIT
3	05/25/05	ISSUED FOR PERMIT

PROJECT: 05-297562
 SHEET: 05-297562-01
 DATE: 05/25/05

NOTES

1. ALL DIMENSIONS ARE IN FEET AND INCHES.
2. FINISHES ARE AS SHOWN ON THE FINISH SCHEDULE.
3. REFER TO THE MECHANICAL AND ELECTRICAL SCHEDULES FOR DETAILS.
4. REFER TO THE PLUMBING SCHEDULE FOR DETAILS.
5. REFER TO THE STRUCTURAL SCHEDULE FOR DETAILS.
6. REFER TO THE EXTERIOR FINISH SCHEDULE FOR DETAILS.
7. REFER TO THE INTERIOR FINISH SCHEDULE FOR DETAILS.
8. REFER TO THE FLOOR FINISH SCHEDULE FOR DETAILS.
9. REFER TO THE CEILING FINISH SCHEDULE FOR DETAILS.
10. REFER TO THE WALL FINISH SCHEDULE FOR DETAILS.
11. REFER TO THE DOOR AND WINDOW SCHEDULES FOR DETAILS.
12. REFER TO THE STAIR SCHEDULE FOR DETAILS.
13. REFER TO THE ELEVATION SCHEDULE FOR DETAILS.
14. REFER TO THE SECTION SCHEDULE FOR DETAILS.
15. REFER TO THE ANNOTATED GENERAL NOTES FOR DETAILS.

MECHANICAL ROOM

ELECTRICAL ROOM

PLUMBING

MECHANICAL ROOM

ELECTRICAL ROOM

PLUMBING

MECHANICAL ROOM

ELECTRICAL ROOM

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