



**City of Richmond**  
Urban Development Division

## Report to Development Permit Panel

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**To:** Development Permit Panel  
**From:** Joe Erceg  
Manager, Development Applications  
**Date:** March 18, 2003  
**File:** DP 02-220699  
**Re:** **Application by Onni Development Capital Corporation for a Development Permit at 12333 English Avenue**

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### Manager's Recommendation

- 1) That a Development Permit be issued for 12333 English Avenue on a site zoned Comprehensive Development District (CD/101), which would allow the development of 45 townhouse units containing a total floor area of 6,521.100 m<sup>2</sup> (70,194.83 ft<sup>2</sup>); and
- 2) Vary the provisions of Zoning and Development Bylaw 5300 to permit the following:
  - a) Increase maximum building height from 12 m (39.370 ft.) to 13.106 m (43.0 ft) for twelve (12) cupolas;
  - b) Reduce the minimum private outdoor amenity space from 37 m<sup>2</sup> (398.278 ft<sup>2</sup>) to a minimum of 22.559m<sup>2</sup> (242.83 ft<sup>2</sup>) including space less than 3m (9.843 ft.) by 3m (9.843 ft.) for forty-five (45) units; and
  - c) Allow tandem parking for 23 units.



Joe Erceg  
Manager, Development Applications

BFG:blg  
Att. 3

## Staff Report

### Origin

Onni Development Capital Corporation has applied to the City of Richmond for permission to develop 45 townhouse units at 12333 English Avenue referred to as 'Lot 46' on a site zoned Comprehensive Development District (CD/101).

A copy of the development application filed with the Urban Development Division is appended to this report.

### Development Information

Site Area:	9,332.179 m <sup>2</sup> (100,454.03 ft <sup>2</sup> )
Building Area:	6,521.100 m <sup>2</sup> (70,194.83 ft <sup>2</sup> )
Density:	20 du per ac. 48 du per ha
Site Coverage:	50 % Allowed 31 % Proposed
F.A.R.:	0.7 or 6,532.26 m <sup>2</sup> (70,317.87 ft <sup>2</sup> ) Allowed 0.699 or 6,521.100 m <sup>2</sup> (70,194.83 ft <sup>2</sup> ) Proposed
Height:	12 m (39.370 ft.) Allowed 11.6 m (38.058 ft.) Proposed with a requested height variance to 13.106 m (43.0 ft) for 12 cupolas
Parking:	77 parking spaces required (68 unit and 9 visitor) 106 parking spaces proposed including 90 unit spaces (i.e. tandem or side by side), 16 garage apron spaces and 10 visitor spaces

Development surrounding the subject site is as follows:

- To the north, is vacant land previously rezoned to School and Public Use District (SPU) intended for future community use that has not been determined;
- To the east, across English Avenue is vacant land previously rezoned as Comprehensive Development District (CD/102) to accommodate two-storey single-family dwellings on small lots plus another vacant lot previously rezoned as Comprehensive Development District (CD/101) to accommodate townhouse units that are the subject of a separate but concurrent Development Permit application (i.e. DP 02-220758 at 4231 Bayview Street);
- To the south, across Bayview Street is vacant land previously rezoned as Comprehensive Development Districts (CD/104) and (CD/105) also referred to as the Maritime Mixed-Use (MMU) area between the Fraser River and Bayview Street. This zoning district is primarily intended to support and enhance the commercial fishing industry; and

- To the west, across Easthope Road is vacant land, previously rezoned as Comprehensive Development District CD/100 intended to accommodate townhouses and apartments.

## Findings of Fact

Criteria and policies for the issuance of Development Permits appear in Schedule 1 and 2 of Bylaw No. 7100, the Official Community Plan. Each guideline is followed by the applicant's response in *bold italics*.

### Schedule 1 of Bylaw No. 7100 (Official Community Plan)

#### 9.3 General Multiple-Family Development Permit Guidelines

##### 9.3.1 Fire Access

- .1 Fire hydrant within 90 m (295 ft.) of the front door of each dwelling and a paved area of width 7.3 m (24 ft.) for fire truck set up within 45 m (150 ft.) of all dwellings. **Complies.**

##### 9.3.2 Scale and Form

- .1 Minimum of 75% of dwellings and their private open spaces receive direct sunlight every day of the year. **Complies.**

##### 9.3.2.A Neighbourhood Organization

- .1 Townhouses should be designed in clusters of 25 units or less and defined by publicly accessible open spaces and roadways. **Complies.**
- .2 Maximum number of townhouses in a row is 6 units, increased to 8 if broader open areas separate adjacent rows. **Complies.**

##### 9.3.2.B Scale and Form

- .1 Where multiple family units adjoin single-family homes, design units with greater setbacks above the ground floor, special landscape measures and/or orientating living areas away from neighbours. **Not applicable.**
- .2 Townhouses to be compatible in scale and form with surrounding area. **Complies.**
- .3 Provide a transition between townhouse units and single-family homes by building duplexes along property lines with a minimum spacing of 3 m (9.8 ft.) between each duplex. **Not applicable.**
- .4 Maximum transition height gradient of 26 degrees between townhouse development and property lines. **Complies.**
- .5 End units to be one-storey in height where adjoining single family homes. **Not applicable.**
- .6 Articulate building façade with projections, recesses, solids and voids, chimneys and multi-paned windows. **Complies.**
- .7 Reduce the apparent height of buildings with treatment that avoids sheer blank walls and promotes recognition of individual storeys (e.g. use of trim, secondary roof elements, building recesses). **Complies.**

##### 9.3.3 Streetscapes

- .1 Vehicle and pedestrian access should be specifically marked or separated from each other and appropriately located. **Complies.**
- .2 Individual front doors to grade level units along public streets. **Complies.**

##### 9.3.3.A Pedestrian Pathways

- .1 Pathways should be treated with decorative surfaces and landscaped. **Complies.**
- .2 Orientate windows, entries and balconies on adjacent buildings towards paths to maximize visibility. **Complies.**

**9.3.5.B Entrances**

- .1 New developments should promote the provision of individual grade-level entries to units wherever possible. **Complies.**
- .2 Porches and covered stairs for weather protection at the entry should be at least 2.5 m (8.2 ft.) deep and should be designed into the façade, rather than appear 'tacked-on'. **Complies.**
- .3 Townhouses fronting residential streets should have their main pedestrian entrances on the street side. **Complies.**
- .4 Incorporate human-scale elements (windows, doors, roof elements, trellises etc) into the building façade visible from the street. **Complies.**
- .5 Main entrances to units should not be adjacent to, or on the same façade as garage doors. **Complies.**

**9.3.5.C Garages**

- .1 Garage doors to occupy no more than 60% of the building width as seen from the internal road. **Does not comply since many units are narrow.**
- .2 Garage doors to be a maximum width of 4.9 m and maximum height of 2.1 m. **Complies.**
- .3 Incorporate decorative architectural treatments that are complimentary to unit finishes, such as windows, on and above garage doors. **Complies.**

**9.3.8.D Private Open Space**

- .1 Townhouse units require a minimum private outdoor space of 37 m<sup>2</sup> (398.3 ft<sup>2</sup>) in area and 9 m (29.5 ft.) in depth, which may be reduced to 5.3 m (17.2 ft.) where adequate privacy screening is provided. **Does not comply and a variance is requested for 41 units.**

**9.3.9.A Indoor Amenity Space**

- .1 Provided at a minimum rate of 2 m<sup>2</sup> (6.6 ft<sup>2</sup>) per bedroom and 70 m<sup>2</sup> per development and shall include a multi-purpose facility. **Complies.**
- .2 Should be located on the south face of buildings and linked directly to outdoor amenities and public walkways. **Complies.**

**9.3.9.B Outdoor Amenity Space**

- .1 Provided at a minimum rate of 4 m<sup>2</sup> per bedroom, in addition to indoor amenity space, consolidated in one compact area and located to take advantage of sunlight and natural shelter. **Complies.**
- .2 Provide barrier-free access to the space and surveillance from adjacent units, and do not locate the space near parking areas or garbage/recycling storage areas. **Complies.**
- .3 For developments over 20 units in size, provide a minimum of 2.5 m<sup>2</sup> per bedroom (excluding master bedroom) for children's play area, paved with a durable material. **Complies.**

**9.3.10 Parking**

- .1 Resident parking should be in small, defensible open parking lots or should be located in locked, defensible garages screened from view from the road. Visitor parking should be in public view and easily accessible near the main entry. Parking lots should have landscaping to separate every fourth parking space. **Complies.**

**9.3.12 Services**

- .1 Provision should be made for emergency vehicles, moving vans, and service vehicles. **Complies.**
- .2 Erect a gated and covered structure to contain residents' garbage and recycling materials, with landscaping to screen it. The enclosure should be in a central location, but away from communal amenity space and designed to complement the unit design. **Complies.**

**9.3.13 Security**

- .1 Developments should provide for both internal unit privacy and passive surveillance of internal roadways and communal amenity areas to enhance safety and security for residents. **Complies.**

**9.3.14 Acoustics**

- .1 Traffic noise to be screened from residential units in order to maintain a maximum ambient sound level of 35 dBA for indoor spaces and 55 dBA for outdoor private spaces. Where

private outdoor space is adjacent to arterial roads, building should be setback 12 m (39.37 ft.) in order to allow space for landscaping, fencing and berming. **Complies.**

### 9.3.15 Equitable Access

- .1 Units should be designed to be universally accessible in all multiple family developments, or be adaptable for conversion. **Complies.**

## Schedule 2 of Bylaw 7100 (Official Community Plan)

### 2.4 Steveston Area Plan

#### 8.2 Development Permit Guidelines

##### 8.2.1 Settlement Patterns

- .1 Cohesive Environment: Integrate private and public road/pathways. Avoid “insular neighbourhoods” and respect site context. Provide public waterfront views and access. **Complies.**
- .2 Pedestrian Oriented Development: Establish small blocks easy to walk, a cohesive public trail network, built form at a human scale plus improved access to local services and amenities. **Complies.**
- .3 Neighbourhood Identity: Enhance features such as edges, focal points, and nodes that make neighbourhoods distinct and improve linkages. Build on local character attributes and define links between neighbourhoods. **Complies.**
- .4 Views: Provide views to the Fraser River and Sturgeon Banks. Incorporate views of Steveston Village from the river and contribute to attractive public streets and public spaces. **Complies.**
- .5 Natural, Built, and Human Heritage: Retain, respect, reuse, and enhance public enjoyment of historic structures, sites and their contexts. Protect and enhance significant landscape features. Provide complementary amenities such as trails. Celebrate the heritage of Steveston through Public Art and other means. **Partial compliance through provision of trails and Public Art provided within the nearby traffic-calming circle.**

##### 8.2.2 Massing and Height

- .1 Cohesive Character Areas: Respect adjacent existing development. **Complies.**
- .2 Shifts in Scale: Ensure gradual transition between larger riverfront structures and existing low-rise residential buildings. Use changes in scale to reinforce significant areas. **Complies.**

##### 8.2.3 Architectural Elements

- .1 Animated streetscapes provide visual diversity, human scale, and pedestrian orientation. Use architectural elements and special treatments to enhance special areas and distinguish public to private transitions. **Complies.**
  - .1 Retail shops should:
    - .1 Front streets not parking lots and utilize shop windows for displays. **Not applicable.**
    - .2 Provide an average frontage of 4.6 m with a maximum frontage of 15.2 m. **Not applicable.**
    - .3 Where appropriate, provide outdoor displays and restaurant seating up to 37 m<sup>2</sup> in size. If enclosed, fencing should not exceed 0.9 m in height. **Not applicable.**
  - .2 Residential neighbourhoods should:
    - .1 Provide grade-oriented units with individual front doors adjacent to public roads or along internal streets. **Complies.**
    - .2 Promote public accessibility, off-street routes should extend no further than 76 m before being intercepted by a publicly accessible street and no further than 36 m before being intercepted by an alternative pedestrian route (i.e. trail, lane, or driveway). **Complies.**
  - .3 Industrial development should:
    - .1 Provide windows and doors onto streets in high pedestrian areas. **Not applicable.**
    - .2 Incorporate fenced service and storage yards for security and safety but maintain significant views and enhance properties with vegetation, street furniture, Public Art, etc. **Not applicable.**
    - .3 Parking to be kept away from public view. **Not applicable.**
    - .4 Visually interesting buildings that complement adjacent development. **Not applicable.**
- .4 Marinas should:

- .1 Allow views of the water. **Not applicable.**
  - .2 Include shelter from sun, wind and rain. **Not applicable.**
  - .3 Provide architectural features or Public Art to create distinctive landmarks. **Not applicable.**
  - .4 Incorporate interpretative material to enhance public appreciation of the area. **Not applicable.**
- .2 Roofscapes
    - .1 Roofing forms and materials should be consistent with the traditional character of Steveston. **Complies since the mansard roof has been eliminated from the design.**
    - .2 Mechanical equipment must be concealed from view. **Complies.**
    - .3 Vents must be positioned to avoid negative impact on adjacent residential uses. **Complies.**
  - .3 Exterior Walls and Finishes
    - .1 Front facades should incorporate projecting and/or recessed features. **Complies.**
    - .2 Use high quality building materials that are natural, durable and preferably wood or non-patterned stucco. **Complies.**
    - .3 Trim should be simple and designed to enrich the architectural character of the structure. **Complies.**
    - .4 Building colours should be compatible with the traditional character of Steveston. **Complies.**
    - .5 Exposed end or party walls should be finished consistent with the front façade of the building. **Complies.**
  - .4 Weather Protection
    - .1 Weather protection shall be provided for retail areas at grade, shared residential building entries, transit stops, buildings set far back from sidewalks, places of public gathering and anywhere a gap of existing weather protection can be filled. **Not applicable.**

#### 8.2.4 Landscape Elements

- .1 Public Open Spaces
  - .1 Facilitate the physical and visual continuity of the open space network in Steveston. **Complies.**
  - .2 Provide open space along the riverfront in the form of boardwalks and natural areas. **Complies.**
  - .3 Enhance the openness of public spaces onto roads. **Complies.**
  - .4 Incorporate privately owned publicly accessible open spaces where they enhance the relationship of the development with neighbouring uses. **Complies.**
  - .5 Open onto parks and trails creating pedestrian friendly edge treatments designed to enhance safety, surveillance, accessibility, etc. **Complies.**
  - .6 Complement the intended activities of any adjacent open space. **Complies.**
- .2 Street Edges
  - .1 Provide high quality, co-ordinated street improvements. **Complies.**
  - .2 Restrict driveway entries along sidewalks and provide safe, pedestrian friendly crossings. **Complies.**
  - .3 Conceal utility wires and related equipment. **Complies.**
  - .4 Create “display gardens” and provide Public Art. **Partial compliance through provision of public art within the nearby traffic circle plus the provision of heritage artefacts on private property adjacent to the City boulevard.**
- .3 Private Open Spaces
  - .1 Deck and patio design should be a natural extension of indoor spaces. **Complies.**
  - .2 Designed with a maximum of a half-storey difference between usable outdoor space and the primary indoor area. **Complies.**
  - .3 Usable front yards that maintain some view of the street with no high fences, provide privacy for residents, create layers of transition between the street and the building. **Complies.**
  - .4 Main living level should be no greater than 1.2 m difference in elevation from the sidewalk. Where the grade is greater the yard should be raised to an elevation equal to half the total

difference in grade. Total grade change should be no steeper than 1 in 3. **Does not comply since the flood plain and driveway access determine the finished floor elevation.**

- .5 Consider clustering shared open space. **Complies.**
- .4 Trees and Vegetation
  - .1 Maintain and incorporate existing trees and mature vegetation. **Not applicable.**
  - .2 Site and select trees to enhance the existing neighbourhood features. **Complies.**
  - .3 Avoid consistent planting of street trees in even rows. **Complies.**
  - .4 Plant native species rather than ornamental vegetation. **Complies.**
  - .5 Incorporate planters, window boxes and container garden for interest and colour. **Complies.**

### 8.2.5 Parking

- .1 Lanes
  - .1 Access lanes from secondary streets. **Complies.**
  - .2 Minimize driveway crossings of pedestrian routes. **Complies.**
  - .3 Consolidate parking and service entrances. **Complies.**
- .2 Minimize the visual impact of parking by:
  - .1 Concealment of parking structures. **Complies.**
  - .2 Surface parking lots located at the rear of buildings should be limited in size to 0.13 ha. **Not applicable.**
  - .3 Landscape or fence the perimeter with trees and ensure that 70% of any parking lot is shaded. **Not applicable.**
  - .4 Ensure parking surface materials complement the treatment of adjacent pedestrian areas. **Complies.**
- 3 Residential Areas
  - .1 Garage entries should not be located in the front facades. **Complies.**
  - .2 Garage entries should receive special architectural and landscape treatments. **Complies.**
  - .3 Driveways are not to be gated and kept as narrow as possible. **Complies.**
  - .4 Where the garage door of a unit is not adjacent to its front door then a back door should be provided to gain access to the unit interior. **Complies.**

### 8.3.2 Additional Development Permit Guidelines: Character Area Guidelines Area B: BC Packers Residential Neighbourhood

#### 8.3.2.1 Settlement Patterns

- .1 Conform to a grid pattern with north-south streets designed as green pedestrian routes. **Complies.**
- .2 East-west streets should link the Packers Neighbourhood with the Village and the waterfront. **Complies.**
- .3 Residential frontages devoted to individual grade oriented dwelling units and non-residential frontages should contain windows, public entries and features that animate the street. **Complies.**
- .4 All parking should be accessed through rear lanes. Minimize the visual impact and disruption of garage entrances on pedestrian activity. **Complies.**
- .5 Provide special opportunities for innovative dwelling types. **Complies.**
- .6 Small buildings set close to each other along continuous "build to" lines. **Complies.**
- .7 Set back buildings 6 m from the property line along Moncton Street. **Not applicable.**
- .8 East of Phoenix Pond provide the following setbacks:
  - .1 Minimum building setback of 6 m onto Westwater Drive. **Not applicable.**
  - .2 Minimum building setback of 9 m onto the riverfront trail. **Not applicable.**
  - .3 Minimum building setback of 18 m between buildings where the public trail intervenes. **Not applicable.**
  - .4 Everywhere else provide a minimum 4.3 m building setback. **Complies.**

#### 8.3.2.2 Massing and Height

- .1 North and west of Phoenix Pond increase building heights from 2 ½ storeys and 9 m on the east to 4-5 storeys and 15 m on the west. **Complies.**
- .2 Along Moncton Street buildings should be 2-3 storeys or 9 m high with taller buildings up to 5 storeys or 15 m high set a minimum of 10 m south of Moncton Street. **Not applicable.**

- .3 Within 30 m of lower density residential areas east of the BC Packers Neighbourhood building height shall not exceed 2½ storeys or 9 m high. Within 60 m of this area buildings shall be no higher than 3 ½ storeys or 12 m. **Not applicable.**
- .4 Typically lower buildings can be set closer to publicly accessible streets and trails while taller buildings or portions should setback further except where taller structures provide a visual landmark. **Complies all townhouses are sited 0.61m (2 ft.) inside the required minimum setbacks.**
- .5 East of Phoenix Pond buildings heights can extend to 4 storeys over 1 storey of parking. **Not applicable.**
- .6 Situate the majority of the parking storey below the crest of the dyke and blend or conceal it with non-parking uses. **Complies.**
- .7 Lower building elements along Westwater Drive and the riverfront trail should not exceed 9 m in height as measured from the crest of the road and the elevation of the trail. **Not applicable.**
- .8 Limit length of building frontages to 20 m and provide breaks in the façade where building frontages exceed 12 m. **Complies.**
- .9 Mass development to allow direct sunlight access, especially near trails and courtyards. **Complies.**

#### 8.3.2.3 Architectural Elements

- .1 The principle roof should have a steep slope, secondary roofs should be gently sloped, flat roofs should be designed as habitable decks and the number of special roof features should be limited. Roof cladding should be wood or sheet metal. **Complies.**
- .2 Residential streetscapes should be characterized by features such as usable entry porches with a minimum 2.4 m depth; balconies and decks used to enhance views; window boxes, bay windows and front doors oriented to entry areas with garages designed to the same level of quality as the principle buildings. **Complies.**
- .3 Non-residential streetscapes should be the same as residential streetscapes with the addition of features common to Steveston Village. See the Richmond Official Community Plan Schedule 2 of Bylaw 7100 Section 2.4 Steveston Area Plan - Area A: Steveston Village, General Guidelines. **Not applicable.**
- .4 Design buildings with high quality materials and craftsmanship to fit with the Village. Avoid materials having an artificial heritage appearance, and personalize buildings with special architectural features. **Complies.**

#### 8.3.2.4 Landscape Elements

- .1 North and west of Phoenix Pond
  - .1 The width of street rights-of-way should be minimal with narrow sidewalks. **Complies.**
  - .2 Provide special paving and landscape treatments in the roadway, sidewalk and driveway surfaces. **Complies.**
  - .3 Incorporate small garden landscapes with trees, shrubs and low open fences (maximum 1 m high), fronting on streets except along Moncton Street where no fences, large lawns and foundation plantings are appropriate. **Complies.**
  - .4 Provide furnishings and appointments along major public routes according to the Steveston Village standard. **Complies.**
- .2 East of Phoenix Road
  - .1 Expand on the existing natural character of the area adjacent to the Pond, through the use of berms and planting to conceal parking structures. **Not applicable.**
  - .2 Enhance residential privacy and mitigate visibility of residential buildings as experienced along the waterfront trail. **Not applicable.**
- .3 Support development of recreational trails, greenways and similar open spaces such as:
  - .1 A greenway along the south side of Moncton Street. **Not applicable.**
  - .2 A north south trail between Moncton Street and the west end of Westwater Drive. **Not applicable.**
  - .3 A continuous riverfront trail east of Phoenix Pond. **Not applicable.**
  - .4 A trail link between Westwater Drive and the riverfront trail. **Not applicable.**
- .4 Wherever possible, incorporate industrial equipment and features and use large-scale features where possible. **Complies.**



### 8.3.2.5 Parking

- .1 Parking structures should be fully concealed and landscaped along all publicly accessible streets and open spaces. **Complies.**
- .2 Accommodate parking in individual, attached or shared garages and open areas accessed via rear lanes. **Complies.**
- .3 Ensure that on-site parking does not impair provision of usable open space or livability. **Complies.**

### Staff Comments

Each staff comment is followed by the applicant's response in **bold italics**.

### General Staff Comments

1. Update the Context Plan on drawing A100 entitled 'Title Page & Site Statistics', dated December 24, 2002.
  - a) Reference the following recently approved Development Permits on the Context Plan:
    - DP 01-198029 at 4500 and 4600 Westwater Drive;
    - DP 01-198039 at 4311 Bayview Street;
    - DP 01-198040 at 4388 Moncton Street; and
    - DP 01-198041 at 4388 Bayview Street.
  - b) Update the 'Steveston Academy' site planning information.
  - c) Include the preliminary design intent (i.e. anticipated building footprints and massing) for Lots 27, 28, 29 and 30 to the west.
  - d) Ensure that the Context Plan clearly differentiates between, recently approved, currently proposed and future development sites within the overall Imperial Landing development. ***The applicant has provided the above information with the final submission. See the revised Context Plan.***
2. DP 02-220699 at 12333 English Avenue complies with all but two (2) main Development Permit guidelines, specifically:
  - a) Provide a minimum 37 m<sup>2</sup> (398.278 ft<sup>2</sup>) private outdoor space for each unit. The applicant proposes to reduce the private outdoor open space for 45 units within the development. Provide a rationale and a detailed schedule of proposed private outdoor space for each unit. ***A relaxation from the minimum 37 m<sup>2</sup> (398.278 ft<sup>2</sup>) of private outdoor space is requested for 45 units. In addition to the grade level patio areas additional balconies (off kitchen/eating areas), individual front porches and roof top patios (10 units only) which have a dimension of less than 3.048m (10 ft.) have been provided. This serves to reduce the need to impede open space and circulation at grade level. The internal spatial separation of the development is unique and to accommodate this, the townhouse clusters are orientated on the site to front the adjacent streets. The net result produces an internal landscaped "island" with continuous vehicle access. This design is a result of the size and configuration of the lot, which permits an unconventional site layout with a wide, central open space for common use. The proposed site layout creates an expanded internal green space and landscaped island that will promote a greater sense of openness, scale, privacy, and light penetration. The reduction in outdoor private area is mainly at the street level as a result of having internal driveways and garage access. The applicant believes that the advantages of an increased internal spatial separation between building clusters, enlarged open space, the trees in front of the garages, the wide central open space,***

*and the children's play area will provide the greatest use and benefits to the residents of the development.*

**Private Outdoor Space Summary: Lot 46 – 12333 English Avenue**

	<i>Outdoor private area greater than or equal to 10 ft.</i>	<i>Number of units</i>	<i>Total area of units</i>
<i>A Units</i>	<i>14.77 m<sup>2</sup> (158.94 ft<sup>2</sup>)</i>	<i>19</i>	<i>280.63 m<sup>2</sup> (3020.78 ft<sup>2</sup>)</i>
<i>B Units</i>	<i>15.71 m<sup>2</sup> (169.11 ft<sup>2</sup>)</i>	<i>4</i>	<i>62.84 m<sup>2</sup> (676.43 ft<sup>2</sup>)</i>
<i>C Units</i>	<i>26.36 m<sup>2</sup> (283.76 ft<sup>2</sup>)</i>	<i>22</i>	<i>579.92 m<sup>2</sup> (6242.41 ft<sup>2</sup>)</i>
<i>Total</i>	<i>56.84 m<sup>2</sup> (611.84 ft<sup>2</sup>)</i>	<i>45</i>	<i>923.39 m<sup>2</sup> (9939.61 ft<sup>2</sup>)</i>

**Total private outdoor area required = 1,665.001 m<sup>2</sup> or (17,922.51 ft<sup>2</sup>)**

	<i>Outdoor private area less than 10 ft.</i>	<i>Number of units</i>	<i>Total area of units</i>
<i>A Units</i>	<i>7.80 m<sup>2</sup> (83.89 ft<sup>2</sup>)</i>	<i>19</i>	<i>148.20 m<sup>2</sup> (1595.26 ft<sup>2</sup>)</i>
<i>B Units</i>	<i>8.75 m<sup>2</sup> (94.19 ft<sup>2</sup>)</i>	<i>4</i>	<i>35.00 m<sup>2</sup> (376.75 ft<sup>2</sup>)</i>
<i>C Units</i>	<i>12.87 m<sup>2</sup> (138.50ft<sup>2</sup>)</i>	<i>12</i>	<i>154.44 m<sup>2</sup> (1662.43 ft<sup>2</sup>)</i>
<i>C Unit (alternate dens)</i>	<i>30.41 m<sup>2</sup> (327.34 ft<sup>2</sup>)</i>	<i>10</i>	<i>304.10 m<sup>2</sup> (3273.40 ft<sup>2</sup>)</i>
<i>Total</i>	<i>33.88 m<sup>2</sup> (364.69 ft<sup>2</sup>)</i>	<i>45</i>	<i>565.09 m<sup>2</sup> (6082.31 ft<sup>2</sup>)</i>

b) Ensure that the main living area is no more than 1.2 m (3.937 ft.) above the fronting sidewalk. The guideline also states that where the difference is greater, then the front yard should be raised to an elevation equal to half the total difference in grade and these proposals comply with this aspect of the guideline. However, the applicant should consider lowering the elevation of private outdoor patios along public roads closer to the grade of adjacent streets wherever possible and ensure adequate separation, screening and buffering between the public and private realms along fronting streets. **The applicant proposes a maximum grade change between the boulevard and the front patios of 0.989 m (3.24 ft.) however the main living areas above Bayview Street are 6.75 and 6.84 ft above the street.**

3. Compare the currently proposed number of residential units for the current and remaining development sites with the estimated number of residential units at the rezoning stage. Confirm that the total number of proposed residential units for the entire Imperial Landing development will not exceed 750. **The applicant has provided a comparison table of the**

*proposed number of units at the rezoning stage versus the currently proposed number of units.*

**Comparison of Proposed Units (Rezoning versus Development Permit)**

	<i>Zoning Estimate</i>	<i>Actual</i>
<i>Lot 22</i>	<i>11</i>	<i>10</i>
<i>Lot 23</i>	<i>14</i>	<i>13</i>
<i>Lot 24</i>	<i>7</i>	<i>6</i>
<i>Lot 26</i>	<i>8</i>	<i>7</i>
<i>Lot 28 – Building A</i>	<i>60</i>	<i>66</i>
<i>Lot 29 – Building B</i>	<i>102</i>	<i>74</i>
<i>Lot 30 – Building C</i>	<i>103</i>	<i>46</i>
<i>Lot 30 – Building D</i>		<i>47</i>
<i>Lot 27 – Building E</i>		<i>39</i>
<i>12333 English Avenue</i>	<i>50</i>	<i>45</i>
<i>4231 Bayview Street</i>	<i>13</i>	<i>8</i>
<i>Total</i>	<i>368</i>	<i>361</i>

*\*Lot 27 - Commercial Suites: 7*

- Identify any remaining infrastructure improvements including any road works, lanes, park and/or foreshore improvements yet to be completed for the overall Imperial Landing development and provide a schedule for the completion of outstanding Servicing Agreement requirements.

*The majority of infrastructure improvements have been completed however minor revisions to the Servicing Agreement may be appropriate along Easthope Avenue and will be considered.*

- It is assumed that the two current developments will occur simultaneously. If not, please provide an indication of the anticipated construction phasing. It would be appreciated if the owner could indicate when the Development Permit applications will be made for the remaining undeveloped parcels within the overall Imperial Landing development.

*The applicant proposes the following schedule.*

<i>Lot 22 - 26</i>	<i>D.P. application- April 2003, Construction – Oct. 2003</i>
<i>Lot 27 - 30</i>	<i>D.P. application- March 8/03, Construction – August 2003</i>
<i>12333 English Ave.</i>	<i>Construction – June 2003</i>
<i>4231 Bayview St.</i>	<i>Construction – June 2003</i>

- No special heritage provisions were made for the individual development parcels through the rezoning of the overall site. However, there is an opportunity, when designing the built form for each development parcel to reference the heavy timber frame construction of the former cannery structures. On each individual development parcel, consider the inclusion of salvaged artefacts or Public Art that relates to the fishing history of Steveston and the former BC Packer’s site. Please indicate how these projects respect, reflect or reference the architectural heritage of the former BC Packers site. *The applicant proposes to reference the marine industrial character of the former cannery buildings through the use of a large roof form with heritage appointments and detailing appropriate cladding materials and in the landscape through the use of a heavy timber furnishings as well as periodically locating heritage artefacts on private property, adjacent to the public boulevards between the various building clusters.*

**Specific Staff Comments**

**Development Coordinator Comments**

It is understood that the applicant proposes to create one (1) legal lot for this proposed 45-unit townhouse development. The lot consolidation should be completed prior to Development Permit approval. **Acknowledged by the applicant.**

1. The specific wording of any requested variance regarding the minimum total area of private outdoor space should not reference the resulting average amount of private outdoor space. **Acknowledged by the applicant.**
2. The private outdoor amenity spaces along public roads (i.e. patios) should be lowered in elevation, wherever possible and closer to the grade of adjacent streets. **The applicant has complied.**
3. The total number of resident parking spaces provided must be identified (i.e. both inside and outside units). In addition, please confirm how many are units are proposed with tandem parking.

**Parking space count for Lot #46 (i.e. DP 02-220699 located at 12333 English Avenue):**

	<i>Tandem Parking</i>	<i>Driveway Parking</i>	<i>Side-by-side Parking</i>
<i>Cluster #1</i>	<i>4</i>	<i>2</i>	<i>4</i>
<i>Cluster #2</i>	<i>4</i>	<i>2</i>	<i>4</i>
<i>Cluster #3</i>	<i>4</i>	<i>0</i>	<i>4</i>
<i>Cluster #4</i>	<i>6</i>	<i>3</i>	<i>4</i>
<i>Cluster #5</i>	<i>6</i>	<i>3</i>	<i>4</i>
<i>Cluster #6</i>	<i>4</i>	<i>0</i>	<i>4</i>
<i>Cluster #7</i>	<i>0</i>	<i>0</i>	<i>4</i>
<i>Cluster #8</i>	<i>4</i>	<i>0</i>	<i>4</i>
<i>Cluster #9</i>	<i>6</i>	<i>3</i>	<i>4</i>
<i>Cluster #10</i>	<i>6</i>	<i>3</i>	<i>4</i>
<i>Cluster #11</i>	<i>2</i>	<i>5</i>	<i>4</i>
<b>Total</b>	<b>46</b>	<b>16</b>	<b>44</b>

4. Ensure that the car wash area, as well as the refuse and recycling area is not visible from Bayview Street or Easthope and English Avenues. **The applicant has complied by increasing the landscape screening and buffering.**
5. Provide at least one (1) pedestrian walkway connection to the future community use site to the north that is separated from the roadway. **The applicant has complied and provided two (2) walkway connections.**
6. Building cluster 7 appears awkward and alienated from other proposed built form on this site. **Building cluster 7 has been re-designed and is now more consistent with the architectural character of the other proposed built form on site.**
7. The south-west corner of the site is an opportunity to provide an expanded semi-public open space that relates to the existing Public Art in the traffic circle. **The applicant has increased the amount of public amenity space in this location and provided benches with an overhead trellis structure adjacent to the City boulevard.**

8. Identify any impacts from this development on the waterfront lot or on the south side of Bayview Street. ***Clusters 1 and 2 that front Bayview Street meet the zoning bylaws except for the variances requested regarding the height of the architectural roof cupola, the reduction in the private outdoor space and the use of tandem parking. In addition, this proposal complies with the spirit of the Development Permit guidelines with only minor deviations. These variances do not impact the City waterfront lot and there are no known impacts on the tram line along the south side of Bayview Street.***

### **Rezoning Comments**

1. The application appears to meet most of the criteria established in the Comprehensive Development District (CD/101) zoning and the Steveston Area Plan. However, it is noted, that in the original rezoning report to Planning Committee, this area was intended for three-storey, not four-storey buildings. Although the zoning does not regulate the number of floors, this issue should be identified. ***The 4<sup>th</sup> floor consists of approximately 15% of the total unit floor area and utilizes otherwise empty attic space created as a result of endeavouring to provide roof slopes that reflect the traditional character of Steveston (Official Community Plan: 6.2.3.B.). The massing of the 4<sup>th</sup> floor is inherent and integral to the roof form. The addition of the 4<sup>th</sup> floor dens and openings add visual interest to the roof and emulates craftsman style design character. The height of the 4<sup>th</sup> floor dens and roof meet the zoning requirements. Incorporating 4<sup>th</sup> floor dens has resulted in a more compact building footprint that allows for additional parking, a larger central open space, more shared amenities, a greater surface area for rain water percolation, additional landscape planting throughout the development, enhanced unit privacy plus increased natural light and air movement.***

### **Building and Zoning Comments**

1. Ensure that this project complies with all Building Code requirements including hydrant locations, fire fighting access, etc. ***The applicant has met with representatives of the Richmond Fire Department and complied with emergency fire access requirements.***
2. Provide a detailed code analysis for review by City of Richmond staff. ***The applicant has presented the preliminary code analysis and reviewed the contemplated building code equivalencies and Richmond support the approach of the code consultant in principle.***
3. The buildings are four-storeys in height and should be designed under Part 3 of the BC Building Code. The finished floor elevation along the rear or garage entry sides of these buildings are not supported as a localized depressions and therefore do not conform to Part 9 of the BC Building Code. If it is intended to submit these buildings under Part 9 of the BC Building Code, please explain in detail the proposed equivalencies. Explain the emergency fire access/rescue from the 4<sup>th</sup> levels. ***The applicant has designed the building under Part 3 of the BC Building Code and provided an equivalency report to address the fire access and exiting requirements. The applicant has presented the preliminary code analysis and reviewed the contemplated building code equivalencies and Richmond support the approach of the code consultant in principle.***
4. The finished floor elevation of the main level for all units should comply with the Provincial floodplain elevation of 2.6 m geodetic for this site. ***The applicant has complied. The finished floor elevation for all units is 2.6 m (8.53 ft.) or greater.***

5. The crawl space area should be minimal in height to discourage future conversion to habitable space. ***The applicant has agreed to reduce the height of all crawl spaces to a maximum height of 1 m ( $\pm 3$  ft.).***
6. City of Richmond staff have completed a zoning check of DP 02-220758 at 12333 English Avenue. This application will require the following variances and certain issues require further clarification.
  - a) Increase maximum building height from 12 m (39.370 ft.) to 13.106m (43.0 ft.) for twelve (12) cupolas;
  - b) Reduce the minimum private outdoor amenity space from 37 m<sup>2</sup> (398.278 ft<sup>2</sup>) to a minimum of 22.559m<sup>2</sup> (242.83 ft<sup>2</sup>) including space less than 3m (9.843 ft.) by 3m (9.843 ft.) for forty-five (45) units;
  - c) Allow tandem parking for 23 units.

***The applicant has requested three (3) variances as noted above, has provided area calculations for the covered areas, which do not exceed 10% of the principal building area.***

#### **Fire Comments**

1. Explain how emergency fire access is proposed for this townhouse complex including building cluster 7 and the amenity building. Clearly indicate how emergency fire access is proposed for the 4<sup>th</sup> floor den areas. ***The applicant has presented the preliminary code analysis and reviewed the contemplated building code equivalencies and Richmond support the approach of the code consultant in principle. The travel distance from the proposed 4<sup>th</sup> floor dens will meet the requirements of the proposed equivalencies. The proposed equivalency is based on a recently approved City of Vancouver Building Code revision to address minor habitable, attic roof spaces within a three-storey home or townhouse. In addition, smoke alarms will be hard-wired, an enhanced sprinkler system will be employed with direct connection to the Fire Department plus strobe lights will be located on the exterior of each unit, which will be linked to and activated by the sprinkler system. In addition, an enunciator panel will be located in close proximity to the water source for the site.***

#### **Public Works and Engineering Comments**

1. There are no servicing concerns as proposed off-site improvements are defined by existing and previously negotiated Servicing Agreements. ***Acknowledged by the applicant.***

#### **Built Form and Urban Design Comments**

1. There is concern that the built form of these four-storey townhouses is too massive in close proximity to single-family residential dwellings on small lots. The 4<sup>th</sup> floor dens that have significant visibility from surrounding streets are particularly problematic. In addition, these 4<sup>th</sup> floor dens may require rising the grade level around the perimeter of buildings, which compounds the grade transition between the public and private realms along adjacent streets. The conclusion of City of Richmond staff is to request the elimination of 4<sup>th</sup> floor dens. In order to maximize the allowable floor area, the applicant still has the option to redesign the units, reassigning the 4<sup>th</sup> floor space onto the 2<sup>nd</sup> and 3<sup>rd</sup> floors. Alternatively, if the 4<sup>th</sup> floor dens were reduced in size to 10% of the respective lower floor areas, they could be considered as mezzanines rather than 4<sup>th</sup> floors. ***The massing of the 4<sup>th</sup> floor is inherent and integral to the roof form. The roof form would remain the same with or without the attic spaces. The applicant does not view the openings in the roof (i.e. dormers and decks) as***

***problematic. The applicant contends that the roofscape requires openings, decks and dormers to add interest and scale to the design. The 4<sup>th</sup> floor dens add openings and visual interest to the roof and emulates craftsman style design character. The surrounding grade does not need to be raised in order to meet the Building Code. In addition, the patio grades have been lowered wherever possible to ease the transition between the public and private realms along adjacent streets. The height of the 4th floor dens and roofs meet the zoning requirements. The current development proposal is below the allowable site coverage. Incorporating 4<sup>th</sup> floor dens has resulted in a more compact building footprint that allows for additional parking, increased amenity and open green space, more surface area for rain water absorption, additional landscape in the interior open space, privacy between units plus increased natural light and air movement. The applicant has expressed a strong preference to retain the 4<sup>th</sup> floor dens and the current code only considers the classification of a mezzanine as being 10% of the floor area where it is directly open to the floor below.***

2. Provide the centre-line elevations for the adjacent streets as well as the finished floor elevations of the 1<sup>st</sup> and 2<sup>nd</sup> floor levels for all buildings/units on the site plan. While the finished floor elevation of the first habitable floor for all units must comply with the minimum Provincial floodplain elevation of 2.6 m (8.530 ft.) geodetic, City of Richmond staff do not support main living areas for ground oriented townhouses at a higher finished floor elevation than is required. Please justify any proposal for the finish floor elevation of the first habitable floor that is higher than 2.6 m (8.530 ft.) geodetic. ***The applicant indicates that if the first habitable floor level is set at 2.6 m (8.53 ft.) geodetic, then the garage floor level would be set at -0.143 m (-0.47 ft.) geodetic. This is not an acceptable solution since it would require storm water pumping of the entire site. The habitable floor levels have been set to enable gravity storm drainage of the site and to ensure the roofs are within the allowable height according to the zoning bylaw. The applicant has provided a series of cross-sections through the front yards to illustrate the proposed transition of grades from the public to private realms and also provided a detailed spot elevations on the landscape plan.***
3. The partial flat roof of building cluster 7 is not supported and the applicant is requested to consider a higher, simple shed or pitched roof form with a variety of dormers. ***The design of building cluster 7 and the flat roof has been eliminated. The more compact footprint has allowed the incorporation of two separate walkway connections to the north.***
4. The mansard roof form of building clusters 2, 3, 6 and 8 appears foreign. Consider referencing the typical roof design of the former cannery structures with large shed roofs. The proposed flat roof is not supported. The applicant is requested to consider a simplified, large shed or pitched roof form with a variety of dormers (i.e. maintain the roof height but reduce the roof pitch) rather than a mansard roof. The large gable ends of a pitched roof will also create an opportunity to add further interest to the building façades. The metal roof material is supported however; staff prefers a standing-seam versus ribbed or folded metal roof. ***The mansard roof forms have been eliminated from all proposed building designs. All flat roofs have been replaced with large shed roof forms. A high profile ribbed metal roof material is to be used. Please refer to the revised drawings.***

5. Indicate the specific grade of asphalt shingle roof material proposed for building clusters 1, 4, 5, 7, 9, 10 and 11. Indicate the warranty period for this particular grade of asphalt roofing. Staff prefers the highest profile available with an extended warranty. ***The asphalt roofing shingles will be "Iko", 25 year, Group "M", CSA A123.1 rating or better. This shingle is a high profile design and will create distinct shadow lines.***
6. Consider exaggerating the under-eave rafters, bracing, planking and bracket detailing. Submit more detailed architectural drawings of the under-eave detailing. ***All under-eave rafters, planking and bracket detailing have been exaggerated.***
7. Demonstrate how various units can be adapted to accommodate universal accessibility. Consider backing plates in the appropriate locations, straight-run stairways and enlarging bathrooms to accommodate persons with disabilities. Consider incorporating pocket doors to further permit accessibility in designated units. Designate which units have been designed for conversion to accessible units on the site plan and indicate what additional modifications would be necessary. ***Four 'A' units located in clusters 3, 6, 8 and 10 on lot 46 (i.e. DP 02-220699 at 12333 English Avenue) will be designated and structurally framed to enable conversion for a wheelchair lift that could extend from the garage level to the 3<sup>rd</sup> level.***
8. Vinyl siding appears in the 'Finish Schedules' but has not been specified on any building elevations, please clarify if vinyl siding is proposed. Vinyl siding is not supported for this project. ***No vinyl siding is to be used; a 'Hardi-Plank' or 'Hardi-Shingle cladding material is to be used.***
9. Please specify the proposed patio doors. Solid core, 'french-doors' are preferred to glass sliders. ***The applicant prefers to specify glass sliders in areas prone to wind driven rain. Due to the limited area of the proposed balconies 'french-doors' tend to reduce the useable patio area because of the door swing, therefore we believe that sliding type doors for this development are best suited.***
10. The proposed amenity building is attractive, appropriately appointed and well detailed. It creates an interesting focal point in the central open space of the project and the design as proposed is supported. ***Acknowledged by the applicant.***

#### **Site Planning and Landscape Comments**

1. Provide site cross-sections extending across both Easthope and Ewen Avenues indicating the proposed the single-family dwellings on small lots to the east and the proposed four-storey apartments to the west. Provide detailed cross-sections through the units to the centre-line of the fronting street(s) with spot elevations indicating all proposed grade changes and transitions. ***The applicant has supplied detailed cross-sections from the building face across the municipal boulevard to the centre-line of the fronting streets and a general cross-section extending across English and Easthope Avenues.***
2. The transition between the private outdoor areas of the subject site and the surrounding roads is abrupt with insufficient separation, screening and buffering between the public and private realms. This condition is more problematic in several locations:



- The northern half of the site, since both English and Easthope Avenues slope down to the north and the adjacent private outdoor amenity spaces have been set at a constant elevation. This results in a grade change of  $\pm 1.2$  m (4 ft.) between the private outdoor patios and the boulevard elevation at the north end of the site. The applicant proposes retaining walls along and in close proximity to the boulevards in order to address this grade change. City of Richmond staff assesses this proposed grade transition as abrupt and unnecessary with negative impacts on the public realm.
- The western side of the site, since the sidewalk along the east side of Easthope Avenue is located adjacent to the property line creating a more abrupt transition between the private and public realms.
- The side yard conditions of several building clusters have significant exposure to the public realm and the proposed retaining walls will have negative visual impacts. These side yard conditions of concern include, the east side of cluster 1, the west side of cluster 2, the south side of cluster 3, the north side of cluster 6, the north side of cluster 8 and south side of cluster 11.

Regarding the above assessment, the applicant is requested to consider the following revisions:

- a) Ensure that the elevation of the first habitable floor for all units is no higher than 2.6 m (8.530 ft.) geodetic (i.e. depress the elevation of the internal ring road if appropriate). ***The applicant indicates that if the first habitable floor level is set at 2.6 m (8.53 ft.) geodetic, then the garage floor level would be set at -0.143 m (-0.47 ft.) geodetic. This is not an acceptable solution since we would require storm water pumping for the entire site. The habitable floor levels have been set to enable gravity storm water drainage of the site and to enable the roofs to be within the allowable height according to the zoning bylaw. The applicant has provided a series of cross-section through the site to illustrate the proposed transitions from public to private realms, as well as detailed spot elevations on the landscape plan.***
- b) Step the elevation of the private outdoor amenity spaces to terrace down toward the north in order to more closely follow the slope of the street. ***The proposed site grading has been revised to lower the patio levels to terrace down towards the north following the slope of the street. The applicant has lowered the elevation of private outdoor patio areas in the front yards to a maximum height of 0.99 m (3.24 ft.) above the adjacent boulevards. The landscape screening and buffer strip along Bayview Street, English and Easthope Avenues has been increased from 0.61 m (2 ft.) to 1.829 m (6 ft.). See drawing A501 for detailed information on front yard patios and setbacks.***
- c) Increase the setback of buildings by shifting the 1<sup>st</sup> floor footprints to a constant offset of  $\pm 1.2$  m (4 ft.) from the internal roadway. This will eliminate some informal parking that is not required but will significantly contribute to improving the interface between the public and private realms along the surrounding streets. ***The landscape screening and buffer strip along Bayview Street, English and Easthope Avenues has been increased from 0.61 m (2 ft.) to 1.829 m (6 ft.)***
- d) Eliminate all exposed retaining walls around the perimeter of the site and slope the grade at a maximum gradient of 3:1. ***The applicant has resolved the need for emergency fire access without the need to provide raised emergency fire access platforms around the perimeter of the buildings. The applicant has eliminated or lowered all retaining walls around the perimeter of the development and proposes a maximum grade of 3:1 for landscape areas that are sloped.***

- e) Reduce the separation between building clusters 1 and 2 thereby increasing the road setbacks to English and Easthope Avenues. ***The separation between building clusters 1 and 2 have been reduced by 2.438m (8 ft.) and will result in additional public green area at the adjoining street corners.***
  - f) Design a narrower unit plan for building cluster 7 that is based on tandem parking and a three-storey floor plan. ***A narrower, three-storeys unit plan with tandem parking has replaced building cluster 7. See the revised architectural drawings.***
3. Provide detailed site grading and drainage plan(s) for the subject site that include the following:
- a) Existing and proposed site grades as well as grading information for the surrounding streets;
  - b) Proposed roadway grading on the subject site;
  - c) Finished floor elevations of the 1<sup>st</sup> and 2<sup>nd</sup> levels for all proposed buildings;
  - d) Proposed grades for the ground areas around the perimeter of all proposed buildings;
  - e) All proposed grade changes and transitions in grade from the buildings to surrounding streets;
  - f) Identify any proposed retaining walls with top and bottom spot elevations;
  - g) Spot elevations at the top and bottom of all slopes and ramps with proposed slope gradients;
  - h) All proposed stairs annotated with the correct number and height of risers; and
  - i) All proposed surface and sub-surface drainage features.  
***The applicant has detailed spot elevations on the landscape plan.***
4. Consider reducing the number of visitor parking stalls from 12 to 9 and increase the size of the central, landscape open space. ***The applicant has reduced the visitor parking from 12 to 10 spaces and increased the area of the central open space.***
5. Provide pedestrian walkways separated from the internal roadways to the future community use site to the north and from the central open space to English and Ewen Avenues. ***Two (2) separate walkway connections have been introduced along the east and west sides of building cluster 7. To the south the walkway crosses the internal road in the form of a raised driveway area with scored concrete, decorative paving.***
6. Consider increasing the amount of decorative paving on the internal roadway, the substitution of higher quality decorative paving than textured or stamped asphalt and the provision of overhead pedestrian lighting for the internal central open space. ***Five (5) new raised, decorative paving strips will be provided, which will slow traffic and shall be constructed of scored concrete.***
7. Create semi-public spaces with benches and an overhead trellis on the east side of building cluster 1 and the west side of building cluster 2. Reduce the size of the private outdoor areas and increase the size of the semi-public realm in these locations. ***The applicant has complied.***
8. Consider reflecting the heavy timber character of the former cannery buildings in the design of all landscape furnishing and appointments including benches, arbours, fences, entry gate structures, trash receptacles, bike racks, bollards, pedestrian lights, decking, stairs, railing, etc. ***The applicant has complied.***
9. Include the location, height and detailed design of all railings, fences, trellis structures, entry signs, kiosks, refuse/recycling enclosures, etc. ***The applicant has complied.***

10. Increase the size of proposed on site tree planting. ***The applicant has not complied.***
11. Regarding the proposed landscape design, staff encourages the applicant to consider the provision of greater buffering between the elevated private outdoor spaces and sidewalks along street boulevards. In this regard, consider the following:
  - a) Incorporate small tree and broad-leafed evergreen shrub planting in combination with low fencing and entry gate/trellis structures to create adequate separation and buffering between the public and private realms. ***The applicant has complied.***
  - b) Increase the size of screening plant material at the time of planting. ***The applicant has increased the amount of screening plant material but not the size of proposed trees.***
  - c) Consider modifications to the Service Agreement in order to increase the distance between the property line and the sidewalk on the east side of Easthope Avenue. ***The applicant has increased the building setbacks along all road frontages and increased the width of the landscape screening and buffer strip from 0.61m (2 ft.) to 1.829m (6 ft.) There would be service conflicts if the sidewalk was relocated therefore the sidewalk will remain as designed in the Servicing Agreement.***
  - d) Specify all paving materials and proposed decorative treatments. ***The applicant has complied.***

### **Transportation Comments**

1. The applicant should align the entry to this site with Lane B to the north of Lot 47 (i.e. DP 02-220758 at 4231 Bayview Street). ***The applicant has complied.***
2. Ensure that all visitor-parking stalls are marked as 'visitor' stalls. ***Acknowledged by the applicant.***
3. There should be no loading areas on public roads. ***Acknowledged by the applicant.***

### **Refuse and Recycling Comments**

1. This multi-family residential project qualifies for the City Recycling Program however since this complex is larger than 20 units, an application must be made to obtain City refuse collection and the proposal must comply with all City servicing requirements. ***Acknowledged by the applicant.***
2. Service vehicle are not permitted to reverse onto public roads. Demonstrate that there is sufficient turning radius for the appropriate service vehicles. Please refer to the City of Richmond, Waste Management Guidelines for detailed regarding service vehicle type, and manoeuvring requirements posted on the City website at the following internet address '<http://www.city.richmond.bc.ca/recycle>' as recently updated. ***The applicant indicates that the turning radius along the private road within the development complies with the minimum Richmond standard turning radius for service vehicles.***

### **Public Art Comments**

1. It is recommended that applicant contribute \$35,000 to a Public Art project (i.e. \$0.50 x proposed total floor area). The Public Art project would be undertaken in consultation with the developer on a publicly accessible site adjacent to the subject site (e.g. additional art to mark the pedestrian route along Bayview Street or an alternative location yet to be determined). It is suggested that applicant contact Mr. Kari Huhtala, the Public Art Coordinator for the City of Richmond at (604) 276-4188 to discuss this request further. ***The applicant has agreed to provide heritage artefacts on private property along the boulevards of all fronting streets.***

## Design Panel Comments

This proposal was presented to the Richmond Advisory Design Panel on January 22, 2003. The following minutes of that meeting are relevant to the subject Development Permit.

### Item 3

#### Onni Group of Companies

#### Killick Metz Bowen Rose Architects Planners Inc.

- DP 02-220699 at 12333 English Avenue as referred to as 'Lot 46'; and
- DP 01-220758 at 4231 Bayview Street as referred to as 'Lot 47'.

(formal presentation)

The comments of the Panel were as follows:

- The treatment of the central open space was appreciated. Benefits were evident by utilizing the 18 m wide internal roadway. Incorporating three (3) different architectural styles did not improve the project. Clusters 1 and 11 were successful in picking up the Maritime theme and had appropriate exterior detailing but the end elevations were weak. Clusters 2, 3, 6 and 8 contained Victorian Heritage style units of a more unusual character, which creates an agglomeration of heritage elements that was not as successful. More could be done with the end unit to make the roof design more interesting. The proportion of windows to wall appears massive. The mansard roof was not supported in this area. The roof material of the dormer should not be rolled roofing. The use of high grade asphalt shingles as opposed to cedar shakes was supported. ***The applicant has eliminated the mansard roof.***
- An informative and well-done presentation. The constraints of the site were evident however the internal spine appeared somewhat as a residual open space. It was questioned whether the amenity building would be better placed at one end of the centre open space or whether less building and more open green space would be preferred. More separation between the amenity building and the roadway would be beneficial. The internal open space and pedestrian connections could be highlighted with larger trees. The bench area could be simplified by combining the walkway around the perimeter. Another row of different sized trees could be added to the private patios in the front yard. Moving the sidewalk away from the buildings to allow for more landscaping would provide a better transition to the front yards from the public boulevard. ***The applicant has complied with the majority of the Design Panel comments.***
- Reinforced planting of larger scale trees along the interior perimeter would make a big difference. The landscape plan and the plant list were well balanced. The visitor parking in the centre area was redundant. ***The applicant has complied with the majority of the Design Panel comments.***
- The look of the project was good. The differences were appreciated as were the proposed exterior finishes. It was suggested that a lot of space had already been contributed by this development to the community therefore the suggested reduction in visitor parking was not supported. The fourth floor areas of the units should be maintained as they contribute to the character of the project. ***Acknowledged by the applicant.***
- The open space was interesting, however, no paving would be preferred. ***Acknowledged by the applicant.***

- The central open space could be improved. The amount of open space versus paved parking area was an issue and it was preferred to have more site area available for individual owners. The visitor parking could be relocated which would allow for an expanded children's play area. The north end of the site required more visitors parking and up to four (4) spaces could be moved to this location. Raised pavers as a traffic calming measure was suggested. A concern was expressed that the green strips between the units were narrow and contributed to a feeling of crowding. The form and character of the amenity building was complimented and it was suggested that this architectural style should be more prominently incorporated into the architecture of this project. The project's design vocabulary (architectural elements) pushed in too many directions, especially Blocks 2, 3, 6 and 8 on Lot 46 and Block 13 on Lot 47. The proposed materials are acceptable (but too much variety) but dilute the strength of the architectural design, so it was suggested that the variety of architectural styles be reviewed and consideration be given to incorporating the character of the amenity building more broadly throughout this project. *Acknowledged by the applicant.*

Constable Powroznik provided written comments, which are attached as Schedule 2 and form a part of these minutes.

The vote was six to two that the project moves forward subject to the above noted comments.

Mr. Decotiis and Mr. McNeill of the Onni Group of Companies briefly reviewed the overall master plan of the Imperial Landing site and Mr. Clark spoke of the considerable neighbourhood concern relating to the lack of adequate parking.

## **Analysis**

### **Conditions of Adjacency Assessment**

The applicant has addressed the City of Richmond staff concerns regarding the conditions of adjacency as follows:

- To the south along Bayview Street, the landscape screening and buffer strip between the boulevard and the private outdoor patios has been increased from 0.61 m (2 ft.) to 1.829 m (6 ft.). In order to accommodate this change, the buildings have been setback an additional 0.61 m (2 ft.) from the road setback.
- To the east along English Avenue and to the west along Easthope Avenue, the buildings have been setback an additional 0.61 m (2 ft.) and public amenity spaces in the form of benches with an overhead trellis structures have been added. In order to accomplish this, the private outdoor patios at the south-east and south-west corner of the site have been reduced. The transition in scale from four-storey townhouses on the west side of English Avenue to two-storey single-family residential dwellings on the east side of English Avenue remains abrupt but is permitted in the current zoning. Since the small lot single-family residential dwellings remain to be constructed across English Avenue, it should be evident to any prospective purchaser of a single-family lot in this vicinity that there will be a change in scale of built form across the street.
- To the north along the walkway that separates the subject site from the future community use site, the applicant increased the number of pedestrian connections to the north and provided a walkway along the north property line connecting English and Easthope Avenues.

City of Richmond staff is satisfied with the proposed conditions of adjacency and support this aspect of the proposal.

### **Assessment of Site Planning and Urban Design**

The applicant has been responsive to suggestions regarding the site planning and has made a series of site planning adjustments in response to concerns raised by City of Richmond staff including:

- Increasing the building setbacks along Bayview Street, English and Easthope Avenues;
- Increasing the width of the landscape screening and buffer strip between the Bayview Street, English and Easthope Avenue boulevards and the private outdoor patios along the front yards;
- The provision of heritage artefacts on private property adjacent to the Bayview Street, English and Easthope Avenue boulevards;
- Narrowing the gap between building clusters 1 and 2 plus increasing the landscape screening to ensure that the service area to the north is not visible from Bayview Street; and
- Reducing the size of private outdoor patios in the side yards of building clusters 1 and 2 along English and Ewen Avenues in favour of providing two (2) public amenity spaces adjacent to the boulevards that include benches with an overhead trellis structure.

City of Richmond staff is satisfied with the proposed site planning and support this aspect of the proposal.

### **Assessment of Architectural Form and Character**

The applicant has been responsive to City of Richmond staff suggestions to revise the architectural design of the building clusters with the mansard roofs. Through Building Code equivalencies, the applicant has been successful in meeting the provisions of the BC Building Code as well as the requirement for emergency fire access without the need to create raised fire rescue platforms adjacent to the 4<sup>th</sup> floor den areas. The built form proposed by the architect responds to the scale and character of the former industrial buildings along the Steveston waterfront. The large roof forms echo the roofscape of former cannery buildings with large shed roofs and the detailing further adds to the marine character of the project. The proposed cladding materials reflect natural building materials. City of Richmond staff recommend support of the architectural design.

### **Assessment of Landscape Design and Details**

The applicant has worked cooperatively to ease the transition from private to public realms by increased the building setback along the fronting streets with a corresponding increase in the width of the landscape screening and buffering strips between the private patios in the front yards and sidewalks along the adjacent roadway boulevards. The landscape architect has increased the amount and size of proposed screening plant materials between the private and public realms along road frontages around the perimeter. In addition, the landscape architect has incorporated heritage artefacts on private property along the adjacent municipal boulevards and the character of proposed landscape furnishings and appointments reflect the marine industrial heritage of the site. City of Richmond staff recommend support of the landscape design.

### Assessment of Requested Variances

The applicant has requested the following three (3) variances:

- a) Increase maximum building height from 12 m (39.370 ft.) to 13.106 m (43.0 ft) for twelve (12) cupolas;
- b) Reduce the minimum private outdoor amenity space from 37 m<sup>2</sup> (398.278 ft<sup>2</sup>) to a minimum of 22.559m<sup>2</sup> (242.83 ft<sup>2</sup>) including space less than 3m (9.843 ft.) by 3m (9.843 ft.) for forty-five (45) units; and
- c) Allow tandem parking for 23 units.

The height variance is requested to permit cupolas on the roof ridge, which add character to the project. While the requested reduction in the amount of private outdoor space is not ideal, it is assessed to be a lesser impact than providing larger private outdoor patios with reduced screening and buffering to the adjacent public realm. While the applicant has requested a variance to reduce the width of the internal private road, this variance is not required. The request to reduce the width of the on-site private roadway still permits adequate emergency vehicle access, vehicle manoeuvring in and out of garages and also allows for a larger, central open space for shared use by the residents. There are numerous recent and relevant precedents to support the variance request for tandem parking. City of Richmond staff assesses all three (3) requested variances to be a minor and recommend support.

### Conclusions

City of Richmond staff support this Development Permit application and recommend approval.



Brian Guzzi, Landscape Architect  
Planner 1 - Urban Design  
(4393)

BFG:blg

Prior to final approval of the Development Permit, the applicant is required to provide the following:

1. An Irrevocable Letter of Credit for landscape construction in the amount of \$140,390.00 ( $\pm 70,195 \text{ ft}^2 \times \$40.00/\text{ft}^2 \times 5\%$ ).



**City of Richmond**  
6911 No. 3 Road  
Richmond, BC V6Y 2C1

**Development Permit Application**  
**Development Applications Department**

(604) 276-4000 Fax (604) 276-4052

Please submit this completed form to the Zoning counter located at City Hall. All materials submitted to the City for a *Development Permit Application* become public property, and therefore, available for public inquiry.

Please refer to the attached forms for details on application attachments and non-refundable application fees.

*(12333 English Avenue)*

**Property Address(es):** 4020 Moncton Street, Richmond B.C. (actual address pending)

**Legal Description(s):** Lots 31 & 32 of Development Parcel F1 & F2 (Land Title registration pending)

**Applicant:** Onni Development Capital Corporation

Correspondence/Calls to be directed to:

**Name:** Killick Metz Bowen Rose Architects Planners Inc.

**Address:** 1788 West 8th Ave., Vancouver, B.C.

V6J 1V6  
Postal Code

<b>Te. No.:</b> <u>604.732.3361</u>	Business	Residence
<u>amartin@kibr.com</u>	E-mail	<u>604.732.1828</u>
		Fax

**Property Owner(s) Signature(s):** \_\_\_\_\_

or

Please print name

**Authorized Agent's Signature:** *Alvin Martin*

Attach Letter of Authorization

Alvin Martin

Please print name

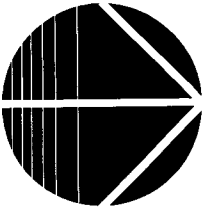
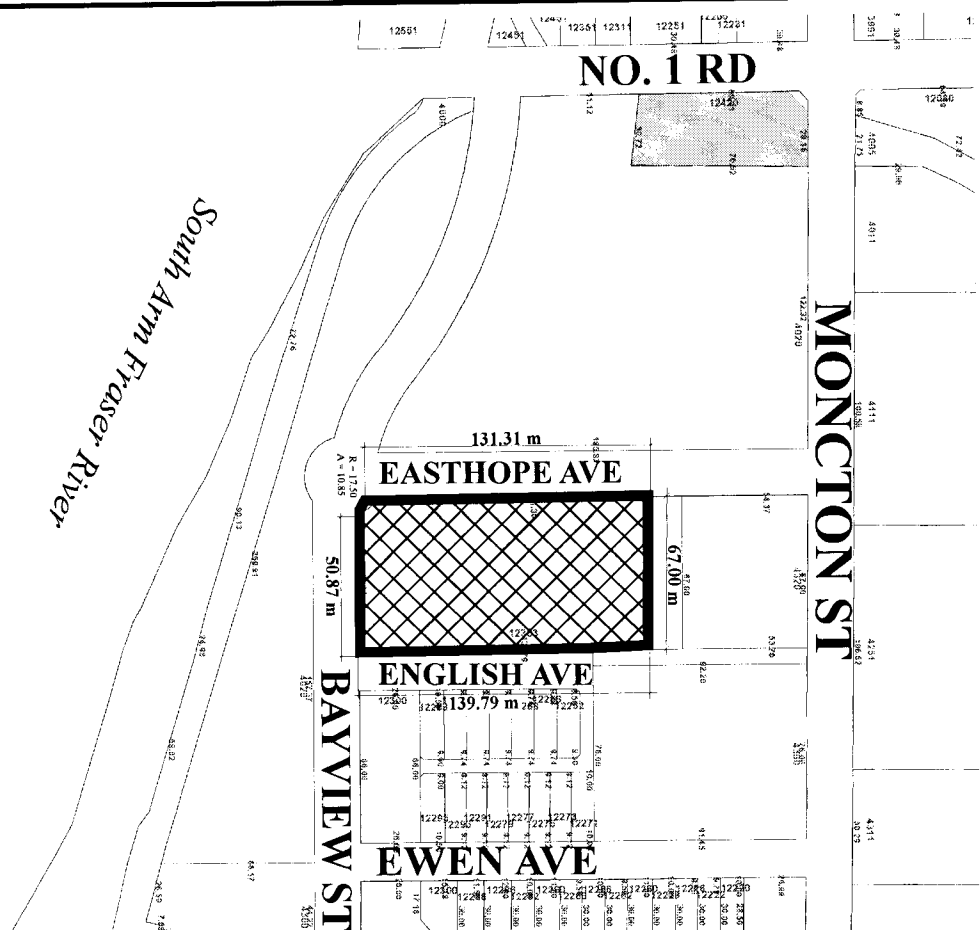
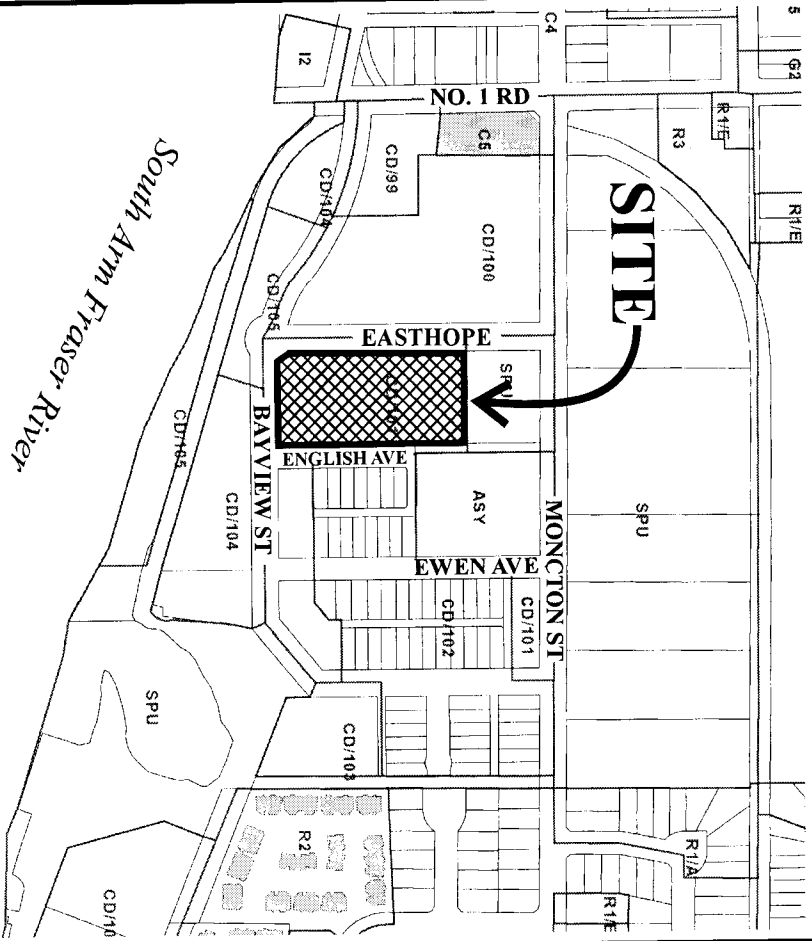
<b>For Office Use</b>	
Date Received: <u>Nov 14/02</u>	Application Fee: <u>8955.00</u>
File No.: <u>02-220699</u>	Receipt No.: <u>71.63 to come</u>
Only assign if application is complete	<u>* 17-0002404</u>







# City of Richmond



DP 02-220699  
 SCHEDULE "A"

Original Date: 11/28/02  
 Revision Date: 03/27/03  
 Note: Dimensions are in METRES



**No. DP 02-220699**

---

To the Holder:                    ONNI DEVELOPMENT CAPITAL CORPORATION

Property Address:                12333 ENGLISH AVENUE

Address:                            C/O KILLICK METZ BOWEN ROSE  
   ARCHITECTS PLANNERS INC.  
   1788 WEST 8<sup>TH</sup> AVENUE  
   VANCOUVER, BC V6J 1V6

---

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning and Development Bylaw No. 5300" is hereby varied or supplemented as follows:
  - a) The dimension and siting of buildings and structures on the land shall be generally in accordance with Plan #1 attached hereto.
  - b) The siting and design of off-street parking and loading facilities shall be generally in accordance with Plans #1 and # 2 attached hereto.
  - c) Landscaping and screening shall be provided around the different uses generally in accordance with the standards shown on Plan #2 attached hereto.
  - d) Roads and parking areas shall be paved in accordance with the standards shown on Plans #1 and # 2 attached hereto.
  - e) Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
  - f) Subject to Section 692 of the Local Government Act, R.S.B.C., the building shall be constructed generally in accordance with Plans #1 to #5 attached hereto.
4. As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder, or should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.

To the Holder: ONNI DEVELOPMENT CAPITAL CORPORATION

Property Address: 12333 ENGLISH AVENUE

Address: C/O KILLICK METZ BOWEN ROSE  
ARCHITECTS PLANNERS INC.  
1788 WEST 8<sup>TH</sup> AVENUE  
VANCOUVER, BC V6J 1V6

---

There is filed accordingly:

An Irrevocable Letter of Credit in the amount of \$140,390.00.

- 5. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit, which shall form a part hereof.
- 6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO. \_\_\_\_\_  
DAY OF \_\_\_\_\_, \_\_\_\_\_.

ISSUED BY THE COUNCIL THE

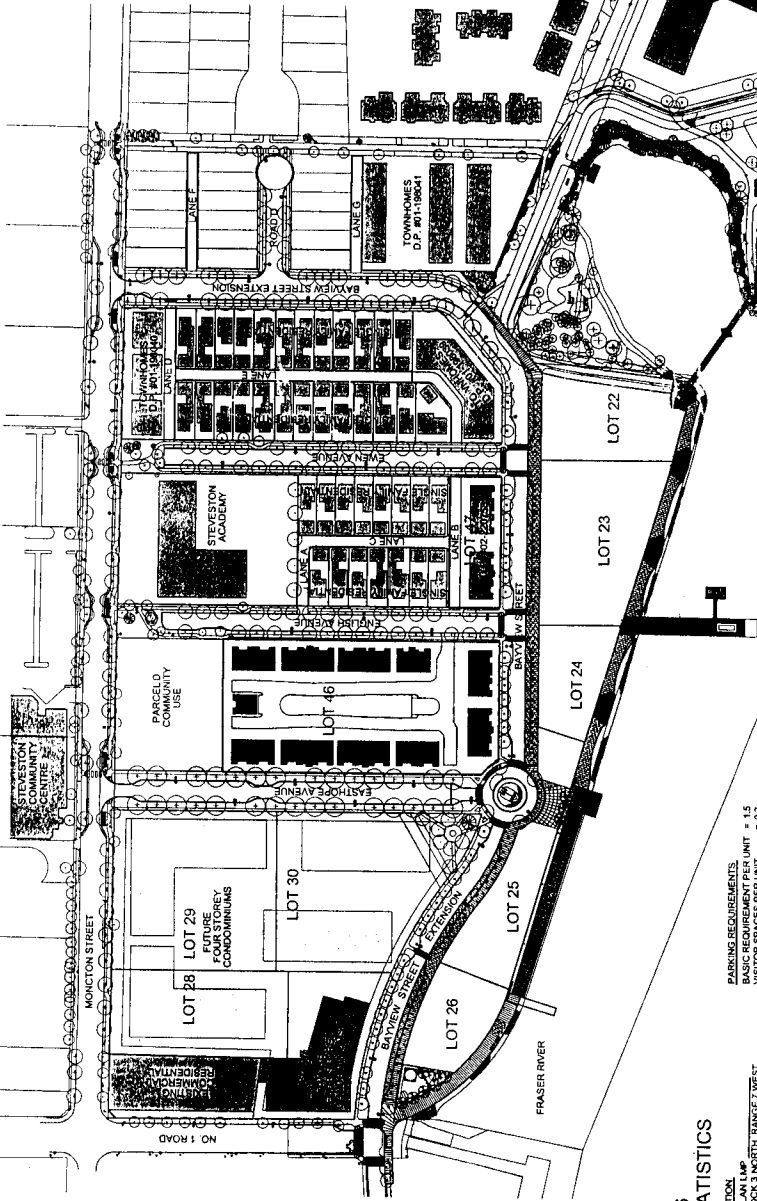
DELIVERED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_\_.

\_\_\_\_\_  
MAYOR

# IMPERIAL LANDING at STEVESTON, B.C.

## LOT # 46 - 12333 ENGLISH AVENUE

- DRAWING LIST**
- A100 CONTEXT PLAN & STATISTICS
  - A101 SITE PLAN
  - A102 ROOF PLAN
  - A201 1/8"=1'-0" FLOOR PLANS - CLUSTERS #1, 2
  - A202 1/8"=1'-0" FLOOR PLANS - CLUSTERS #3, 6, 8
  - A203 1/8"=1'-0" FLOOR PLANS - CLUSTERS #4, 5, 9, 10
  - A204 1/8"=1'-0" FLOOR PLANS - CLUSTER #7
  - A205 1/4"=1'-0" FLOOR PLANS - CLUSTER #11
  - A206 1/4"=1'-0" FLOOR PLANS - UNIT 'A'
  - A207 1/4"=1'-0" FLOOR PLANS - UNIT 'C'
  - A400 STREET ELEVATIONS & TYPICAL MATERIAL LEGEND
  - A401 STREET ELEVATIONS
  - A402 1/8"=1'-0" ELEVATIONS - CLUSTER #1
  - A403 1/8"=1'-0" ELEVATIONS - CLUSTERS #2, 3, 6, 8, 11
  - A404 1/8"=1'-0" ELEVATIONS - CLUSTERS #4, 5, 7, 9, 10
  - A500 AMENITY, REFUSE & HYDRO BUILDING PLANS & ELEVATIONS
  - A501 STREET & SIDEWALK CROSS-SECTIONS



MAR 25 2003  
2 2 0 6 9 9



**KILLICK METZ BOWEN BOSSIE**  
ARCHITECTS INC.  
1748 WEST 7th Ave. Suite 100  
Vancouver, BC V6J 1K6  
Tel: (604) 278-1000  
Fax: (604) 278-1001  
Project Title: IMPERIAL LANDING AT STEVESTON, B.C.  
Project Location: STEVESTON, B.C.  
Client: CAPITAL CORPORATION  
Drawing No.: A100  
Sheet No.: 01  
Scale: 1/8"=1'-0"  
Date: MAR 25 2003

**VARIANCES REQUIRED**

- 1) PRIVATE OUTDOOR SPACE  
VARIANCE REQ'D TO REDUCE PRIVATE OUTDOOR SPACE TO LAWN AND INTERNAL SITE GREEN AREA AMENITY SPACE & BUILDING AND TANDER PARKING AREAS SUPPORTING BETWEEN PRIVATE AREAS AND PUBLIC SIDEWALK
- 2) TANDER PARKING  
VARIANCE REQ'D TO ENABLE TANDER PARKING FOR 24 UNITS PER UNIT.
- 3) DRIVE ANGLES  
VARIANCE REQ'D TO REDUCE WIDTH OF DRIVE ANGLES FROM 70 TO 75 DEGREES TO ACCOMMODATE TANDER PARKING.
- 4) BUILDING HEIGHT  
VARIANCE REQ'D TO INCREASE THE MAXIMUM BUILDING HEIGHT FROM 40 FT TO 45 FT TO ACCOMMODATE TANDER PARKING AND TO PROVIDE A FULLY FEATURED MAIN-ROOF HEIGHT OF 45 FT.

**LOT # 46 SITE STATISTICS**

**LEGAL DESCRIPTION**  
SECTION 11, BLOCK 3 NORTH, RANGE 7 WEST, NEW WESTMINSTER DISTRICT, GROUP 1  
STREET ADDRESS: 12333 ENGLISH AVENUE

**ZONING**  
COMPREHENSIVE DEVELOPMENT DISTRICT - CD101

**SITE AREA**  
9322.18 sqm (100654.03 sq ft) = 0.7 x COMBINED SITE AREA  
PERMITTED DENSITY (FAR) = 6532.53 sqm (70317.87 sq ft)

**PROPOSED FLOOR AREA**  
UNIT 'A' = 118.00 sqm x 19 units = 2242.00 sqm  
UNIT 'B' = 124.86 sqm x 4 units = 499.44 sqm  
UNIT 'C' = 172.38 sqm x 12 units = 2068.56 sqm  
(Minimum Unit)

**TOTAL PROPOSED FLOOR AREA** = 9321.10 sqm (10104.83 sq ft)

**ALLOWABLE LOT COVERAGES** = 50%  
9322.18 sqm (100654.03 sq ft) x 0.50 = 4661.09 sqm (5027.015 sq ft)

**PROPOSED LOT COVERAGES** = 267.37 sqm (2873.75 sq ft)

**PARKING REQUIREMENTS**  
BASIC REQUIREMENT PER UNIT = 1.5  
TOTAL REQUIRED SPACES = 157.5  
TOTAL RESIDENTIAL SPACES PROVIDED = 15, 45 UNITS  
(TANDER SPACES = 46)  
(DOUBLE SPACES = 44)  
TOTAL VISITOR SPACES PROVIDED = 30

**TOTAL VISITOR SPACES REQUIRED** = 0.2 x 45 UNITS = 9 SPACES  
TOTAL VISITOR SPACES PROVIDED = 30 SPACES  
ALLOWABLE BUILDING HEIGHT = 12.7m (41.87 ft)  
ACCESSORY BUILDINGS = 5m (16.40 ft)

**PROPOSED BUILDING HEIGHT** = 13.11 m (43.00 ft)  
**MINIMUM BUILDING SETBACKS** = 4.3 m (14.107 ft)  
SETBACKS PROVIDED = 44.28 m (145.09 ft)

**PERMITTED AMENITY SPACE** = 0.11 SITE AREA  
9322.18 sqm (100654.03 sq ft) x 0.10 = 932.22 sqm (10045.03 sq ft)

**PROPOSED AMENITY SPACE** = 87.10 sqm (934.28 sq ft)

**PRIVATE OUTDOOR SPACE REQUIRED PER UNIT** = 37 sqm (396.28 sq ft)

**PRIVATE OUTDOOR SPACE PROVIDED**  
UNIT 'A' = 14.77 sqm (158.94 sq ft)  
UNIT 'B' = 15.71 sqm (169.11 sq ft)  
UNIT 'C' = 28.28 sqm (305.75 sq ft)



NORTH

A100

ALL INFORMATION CONTAINED  
 HEREIN IS UNCLASSIFIED  
 DATE 11/19/01 BY 60322 UCBAW/STP  
 EXCEPT WHERE SHOWN  
 OTHERWISE. THIS DOCUMENT IS  
 THE PROPERTY OF THE ARCHITECTS  
 AND IS TO BE KEPT IN THE ARCHITECT'S  
 OFFICE AT ALL TIMES.

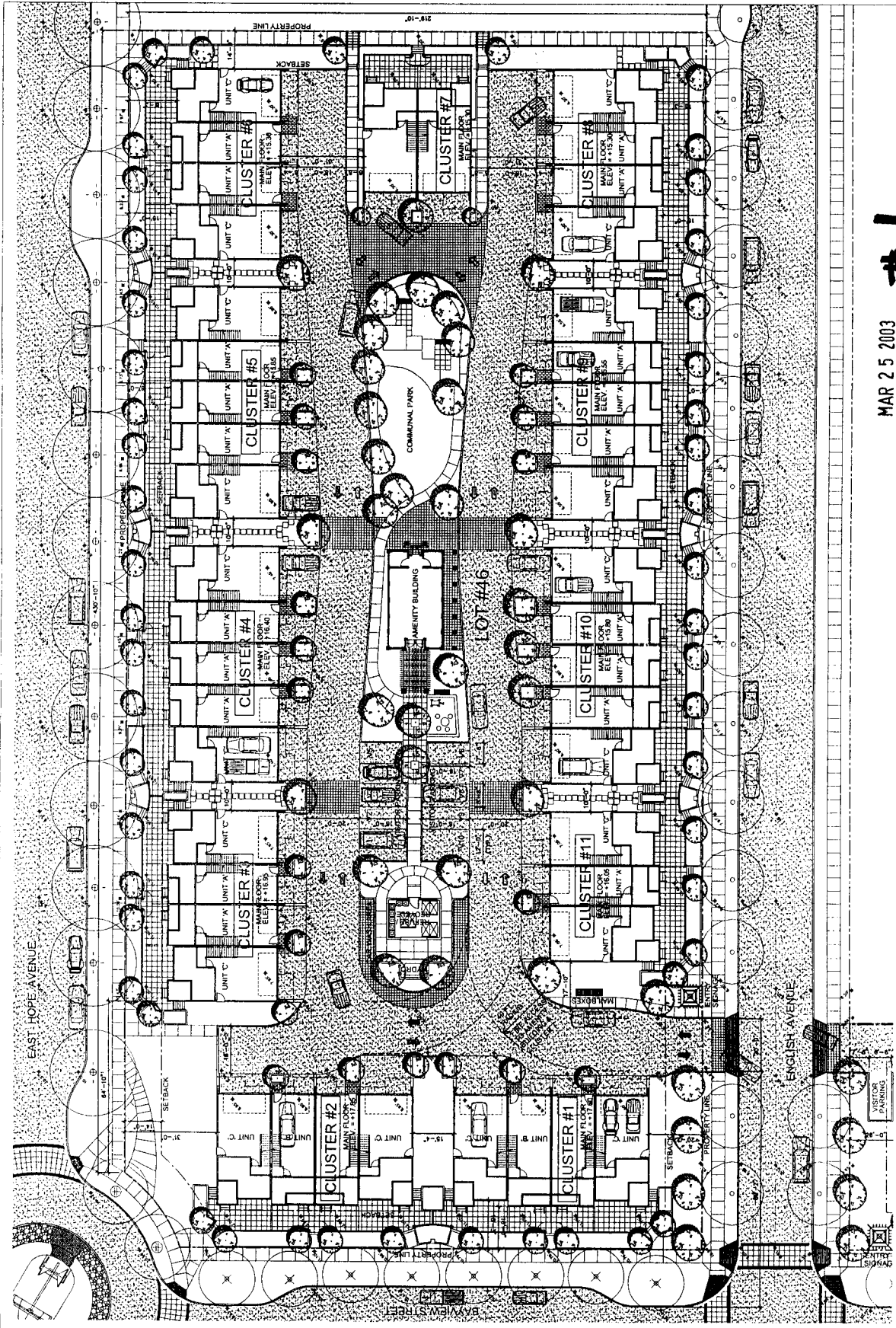
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 PREPARED BY: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 1) D.P. SUBMITTAL  
 2) D.P. CONTRACTS  
 3) DATE: 2/4

**KILICK  
 MUEZ  
 BOSE**  
 ARCHITECTS PLANNERS INC.  
 1435 AVENUE B, SUITE 100  
 P.O. BOX 233331  
 MIAMI, FL 33123

FEDERAL LANDS  
 SURVEY, E.C.  
 FOR  
 CANAL DEVELOPMENT  
 CAPITAL CORPORATION  
 500 N.W. 11TH ST.  
 MIAMI, FL 33136

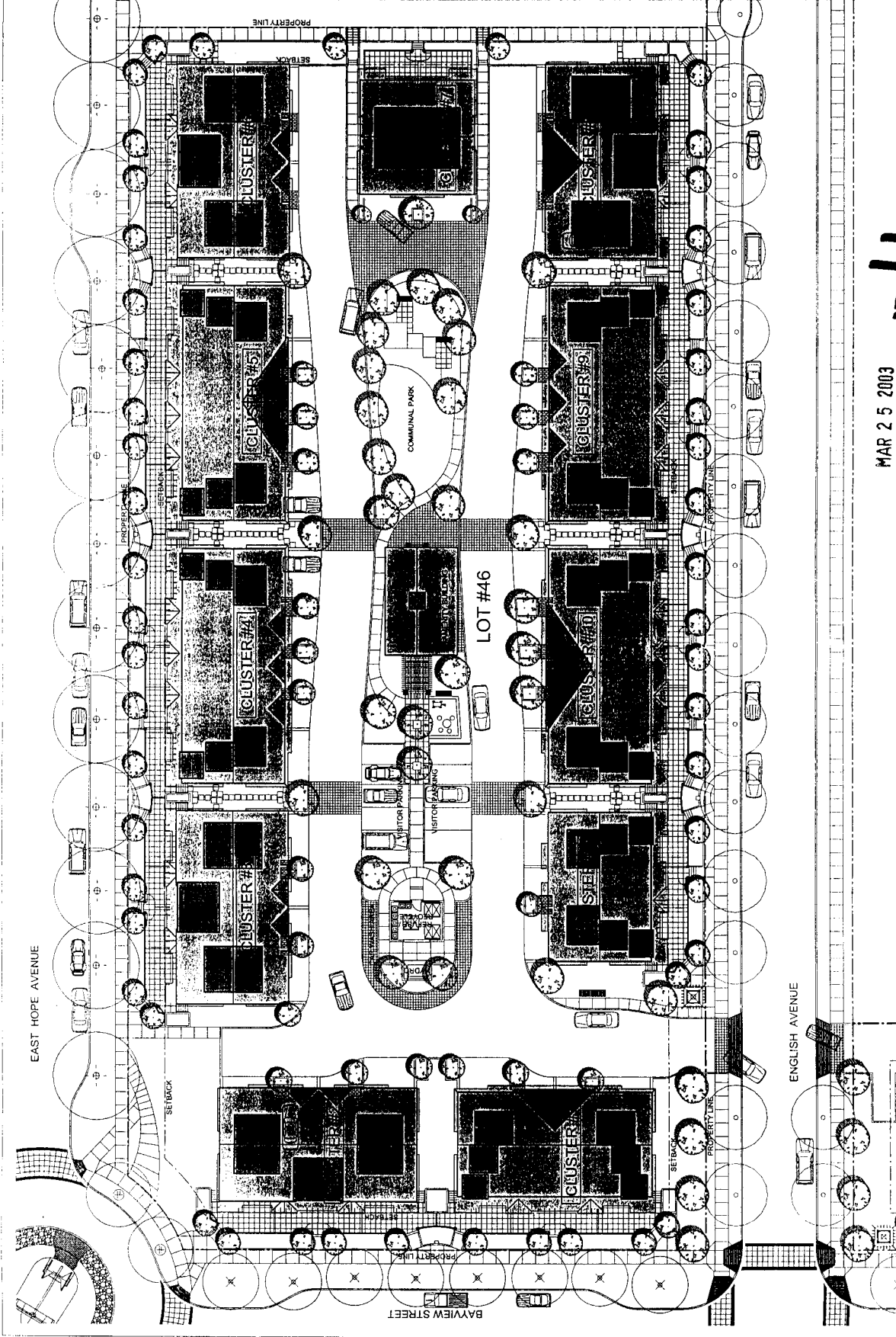
PROJECT NUMBER: 02-220699  
 PROJECT TITLE: SITE PLAN LOT #46

SCALE: 1/8" = 1'-0"  
 DRAWING NUMBER: A101



#1a  
 MAR 25 2003  
 DP 02-220699





CONTRACT: RESIDUAL  
 PROJECT: LOT #46, THE  
 DEVELOPMENT OF A 100  
 UNIT APARTMENT COMPLEX  
 IN THE CITY OF CHICAGO  
 PREPARED BY: KILLICK  
 METZ BOWEN ROSE  
 ARCHITECTS, P.C.  
 100 WEST BROADWAY, SUITE  
 1000, CHICAGO, ILLINOIS 60601  
 TEL: (312) 467-1000  
 FAX: (312) 467-1001  
 WWW: KMBR.COM

DATE: \_\_\_\_\_  
 REVISIONS: \_\_\_\_\_  
 1) D.P. Submission  
 Nov. 15  
 2) D.P. Revisions  
 Dec. 24  
 3) Final Submission  
 March 17

**KILLICK  
 METZ  
 BOWEN  
 ROSE**  
 ARCHITECTS, P.C.  
 100 WEST BROADWAY, SUITE  
 1000, CHICAGO, ILLINOIS 60601  
 TEL: (312) 467-1000  
 FAX: (312) 467-1001  
 WWW: KMBR.COM

PROJECT: RESIDUAL LANDS  
 DEVELOPMENT, LLC  
 FOR  
 OWN DEVELOPMENT  
 CAPITAL CORPORATION  
 DRAWING: TRAFFIC PLAN  
 LOT #46  
 PROJECT NUMBER: \_\_\_\_\_  
 SHEET: \_\_\_\_\_  
 SCALE: 1/8" = 1'-0"  
 DRAWING NUMBER: \_\_\_\_\_  
**A102**



#16.

MAR 25 2003

DF 22-220699

**REVISIONS**

NO.	DESCRIPTION	DATE
1	REVISIONS TO PERMITTING	03/25/03
2	REVISIONS TO PERMITTING	03/25/03
3	REVISIONS TO PERMITTING	03/25/03
4	REVISIONS TO PERMITTING	03/25/03
5	REVISIONS TO PERMITTING	03/25/03
6	REVISIONS TO PERMITTING	03/25/03
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39	REVISIONS TO PERMITTING	03/25/03
40	REVISIONS TO PERMITTING	03/25/03

**LANDSCAPE STANDARDS**

1. ALL TREES TO BE PLANTED SHALL BE AT LEAST 18 INCHES IN DBH AT THE TIME OF PLANTING.

2. TREES SHALL BE PLANTED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

PLANTING DATE	PLANTING METHOD	PLANTING TIME
1. PRELIMINARY	PLANTING	PLANTING
2. PRELIMINARY	PLANTING	PLANTING
3. PRELIMINARY	PLANTING	PLANTING
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39. PRELIMINARY	PLANTING	PLANTING
40. PRELIMINARY	PLANTING	PLANTING

**CONTRACTOR NOTES:**

1. ALL TREES TO BE PLANTED SHALL BE AT LEAST 18 INCHES IN DBH AT THE TIME OF PLANTING.

2. TREES SHALL BE PLANTED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

3. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

**LANDSCAPE PLAN**

**DATE:** MAR 25 2003

**PROJECT:** #20

**CLIENT:** [REDACTED]

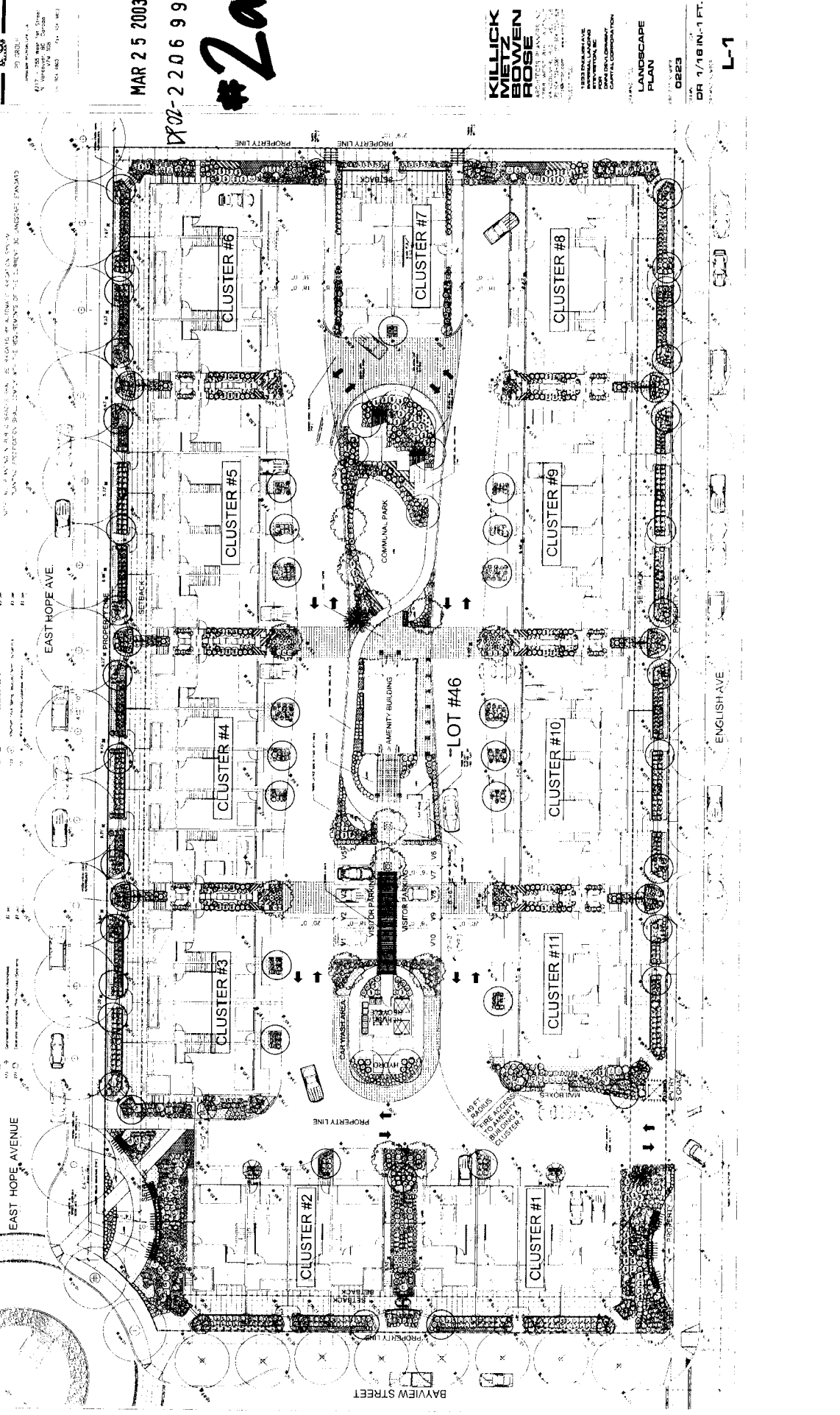
**SCALE:** [REDACTED]

**DRAWN BY:** [REDACTED]

**CHECKED BY:** [REDACTED]

**DESIGNED BY:** [REDACTED]

**PROJECT LOCATION:** [REDACTED]



**KILLICK  
MIETZ  
BOWEN  
ROSE**

1000 PINE HILL AVENUE  
SUITE 100  
ROSELAND, CA 94768  
TEL: (925) 371-1111  
FAX: (925) 371-1112  
WWW.KILLICKMIETZBOWENROSE.COM

**LANDSCAPE PLAN**

DATE: MAR 25 2003

SCALE: 1/8"=1'-0"

PROJECT: #20

CLIENT: [REDACTED]

PROJECT LOCATION: [REDACTED]

KILLICK METZ BOWEN ROSE  
 ARCHITECTS  
 1000 PINE STREET, SUITE 1000  
 PHOENIX, ARIZONA 85001  
 TEL: 602.254.1000  
 FAX: 602.254.1001  
 WWW.KILLICKMETZBOWENROSE.COM

PROJECT NO. 0823  
 DATE: 03/05/03  
 DRAWING NO. 0823-01

PREPARED BY: J. B. ROSE  
 CHECKED BY: J. B. ROSE  
 DATE: 03/05/03

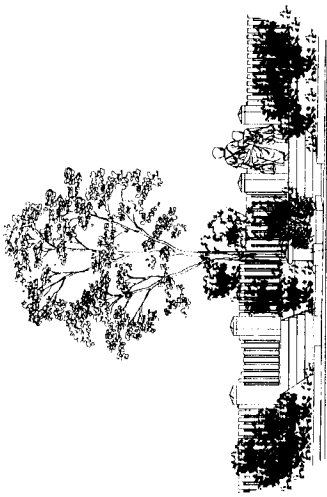
KILLICK METZ BOWEN ROSE  
 ARCHITECTS  
 1000 PINE STREET, SUITE 1000  
 PHOENIX, ARIZONA 85001  
 TEL: 602.254.1000  
 FAX: 602.254.1001  
 WWW.KILLICKMETZBOWENROSE.COM

MAR 25 2003  
 DP 02-220699  
 #26.

KILLICK METZ BOWEN ROSE  
 ARCHITECTS  
 1000 PINE STREET, SUITE 1000  
 PHOENIX, ARIZONA 85001  
 TEL: 602.254.1000  
 FAX: 602.254.1001  
 WWW.KILLICKMETZBOWENROSE.COM

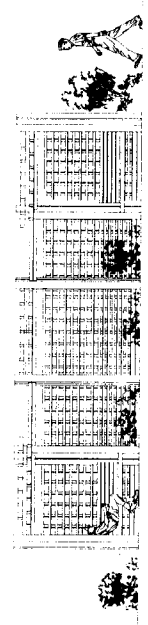
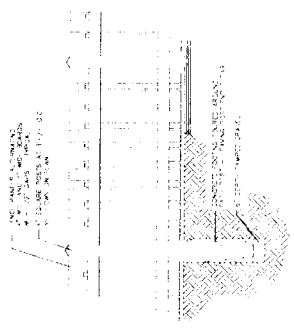
KILLICK METZ BOWEN ROSE  
 ARCHITECTS  
 1000 PINE STREET, SUITE 1000  
 PHOENIX, ARIZONA 85001  
 TEL: 602.254.1000  
 FAX: 602.254.1001  
 WWW.KILLICKMETZBOWENROSE.COM

DR AS SHOWN  
 L-2

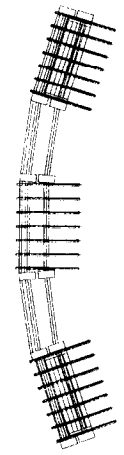


MARK UP HERFOLD ARCHITECT  
 ON CONCRETE PLAN - BETWEEN  
 EN BRCS

SKETCH ELEVATION OF  
 SOUTH FACILITY WITH  
 HERFOLD ARCHITECT (1/4"=1'-0")  
 SEE # 1/4"=1'-0"

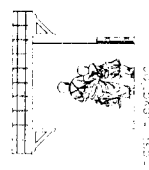


Elevation

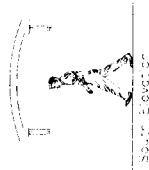


Plan

SKETCH DRAWING OF  
 UPPER RAILS WITH  
 RAILS (1/4"=1'-0")  
 Scale: 1/4"=1'-0"



South Elevation



South Elevation



South Elevation

SKETCH DRAWING OF  
 UPPER RAILS WITH  
 RAILS (1/4"=1'-0")  
 Scale: 1/4"=1'-0"



DATE	DESCRIPTION
12.15.03	1. D.P. SUBMITTAL
1.15.04	2. D.P. REVISIONS
2.15.04	3. D.P. REVISIONS
3.15.04	4. D.P. REVISIONS
4.15.04	5. D.P. REVISIONS
5.15.04	6. D.P. REVISIONS
6.15.04	7. D.P. REVISIONS
7.15.04	8. D.P. REVISIONS
8.15.04	9. D.P. REVISIONS
9.15.04	10. D.P. REVISIONS
10.15.04	11. D.P. REVISIONS
11.15.04	12. D.P. REVISIONS
12.15.04	13. D.P. REVISIONS
1.15.05	14. D.P. REVISIONS
2.15.05	15. D.P. REVISIONS
3.15.05	16. D.P. REVISIONS
4.15.05	17. D.P. REVISIONS

MAR 25 2003  
220699

#31.

**KILICK METZ BOWEN ROSE**  
ARCHITECTS PLANNERS INC.  
1000 AVENUE OF THE STARS  
SUITE 1000  
FARMINGTON HILLS, MI 48334  
PHONE: 248.853.1234  
FAX: 248.853.1235  
WWW.KMR.COM

PROJECT TITLE: **STEVENS/MLC FOR OWN DEVELOPMENT CAPITAL CORPORATION**

FLOOR PLANS: **CLUSTERS 1 & 2**

PROJECT NUMBER: **02828**

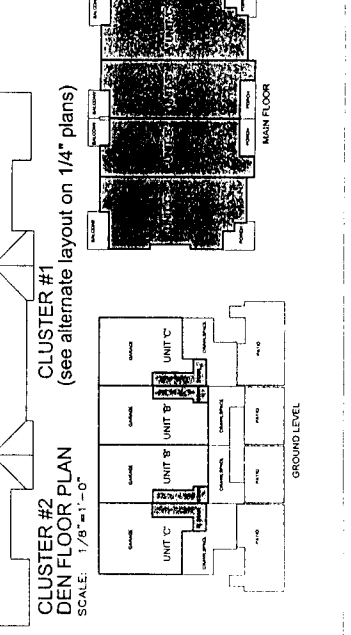
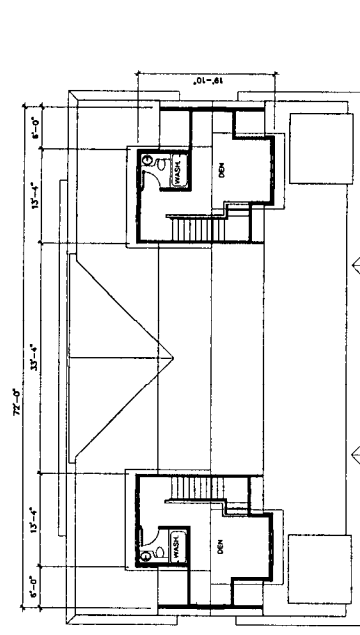
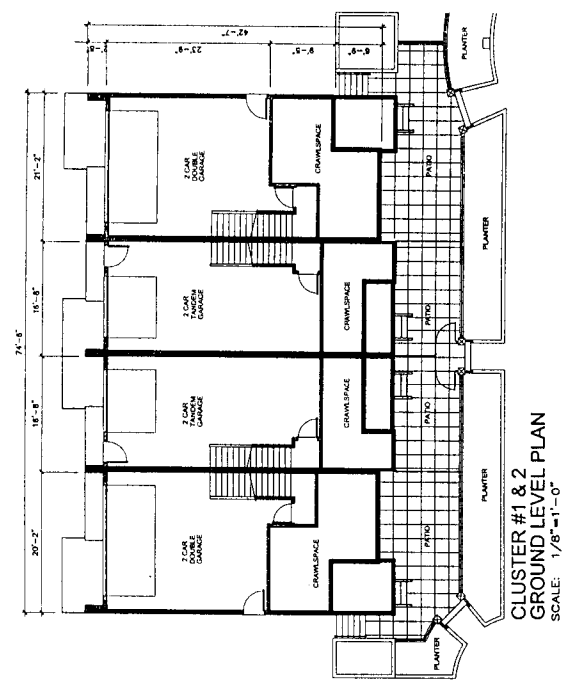
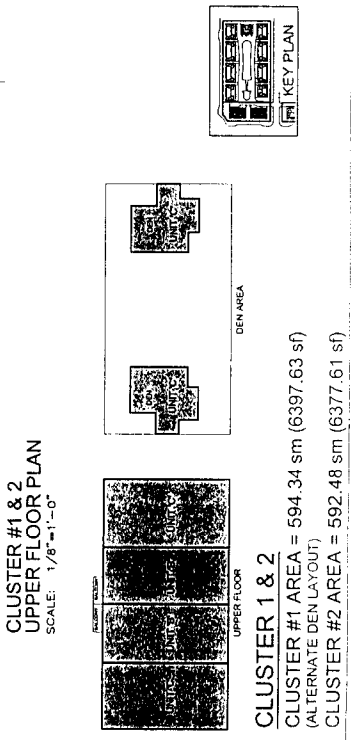
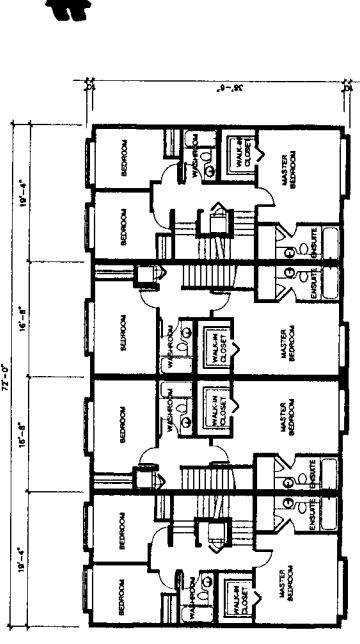
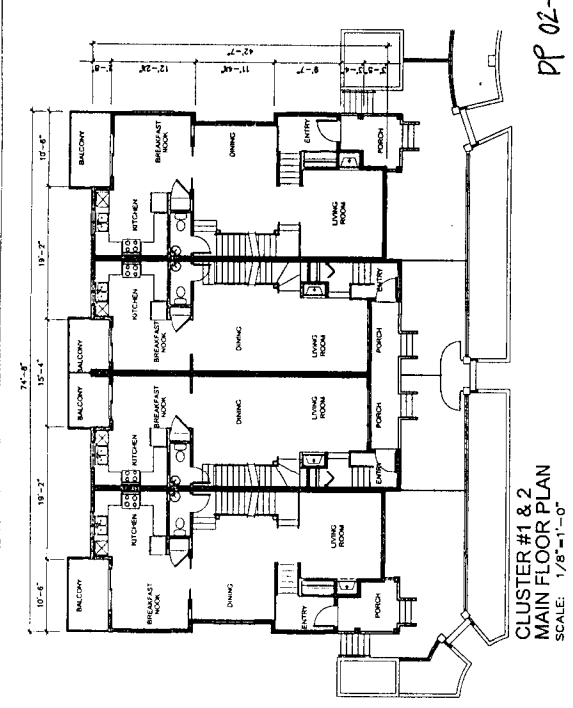
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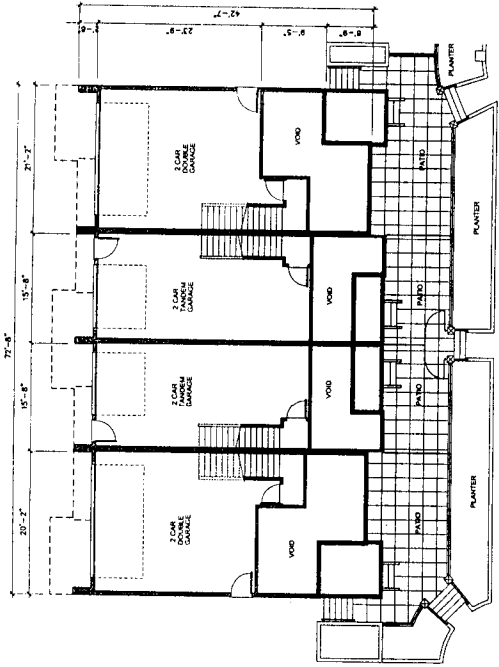
DRAWN BY: **DRB**

CHECKED BY: **DRB**

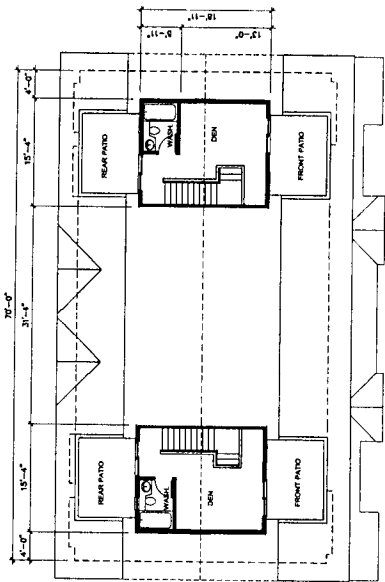
DATE: **3/15/03**

**A200**

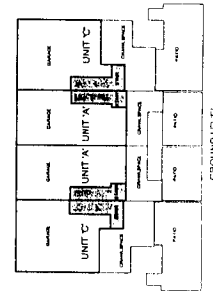




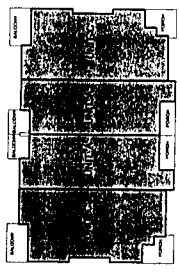
**CLUSTER #3, 6 & 8  
GROUND LEVEL PLAN**  
SCALE: 1/8"=1'-0"



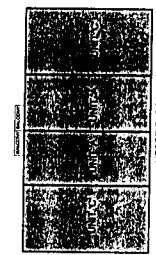
**CLUSTER #3, 6 & 8  
DEN FLOOR PLAN**  
SCALE: 1/8"=1'-0"



GROUND LEVEL

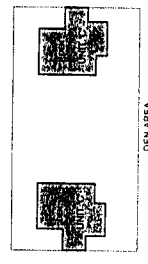


MAIN FLOOR

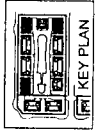


UPPER FLOOR

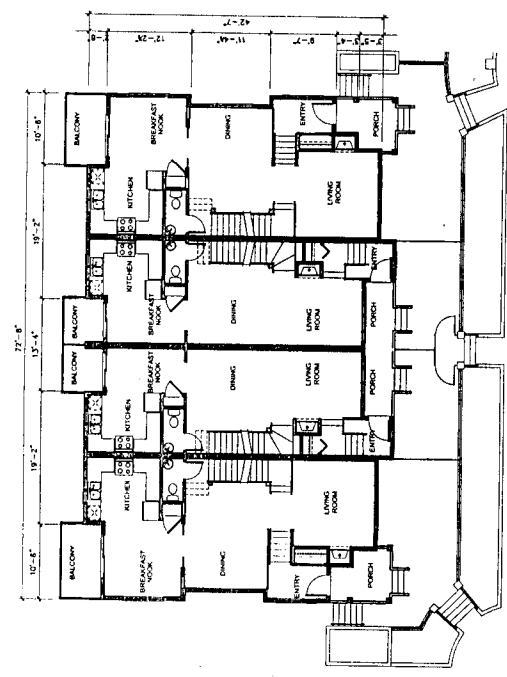
**CLUSTER 3, 6 & 8**  
AREA per CLUSTER = 578.76 sm (6229.93 sf)



DEN AREA

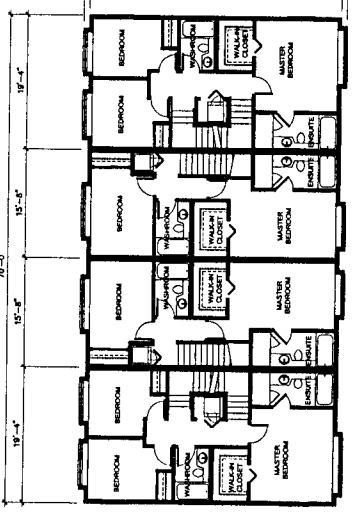


KEY PLAN



**CLUSTER #3, 6 & 8  
MAIN FLOOR PLAN**  
SCALE: 1/8"=1'-0"

DP 02 -



**CLUSTER #3, 6 & 8  
UPPER FLOOR PLAN**  
SCALE: 1/8"=1'-0"

REVISIONS / COMMENTS	DESCRIPTION
1) D.E. SUBMITTAL	
2) D.P. REVISIONS	
3) D.P. REVISIONS	
4) D.P. REVISIONS	
5) D.P. REVISIONS	
6) D.P. REVISIONS	
7) D.P. REVISIONS	
8) D.P. REVISIONS	
9) D.P. REVISIONS	
10) D.P. REVISIONS	
11) D.P. REVISIONS	
12) D.P. REVISIONS	
13) D.P. REVISIONS	
14) D.P. REVISIONS	
15) D.P. REVISIONS	
16) D.P. REVISIONS	
17) D.P. REVISIONS	

MAR 25 2003  
2 2 0 6 9 9

36.

**KILICK METZ BOWEN ROSE**  
ARCHITECTS PLANNERS INC.  
1000 WEST 11TH AVENUE, SUITE 1100  
VANCOUVER, B.C. V6H 1T6  
TEL: 604-278-8888  
WWW.KMRARCHITECTS.COM

PROJECT TITLE: [REDACTED]  
PROJECT LOCATION: [REDACTED]  
CLIENT: [REDACTED]  
DATE: [REDACTED]

FOR [REDACTED]  
OWNERS/DEVELOPER: [REDACTED]  
CAPITAL CORPORATION  
DRAWING TITLE: [REDACTED]  
DRAWING NO.: [REDACTED]  
PROJECT NUMBER: [REDACTED]  
DATE: [REDACTED]  
SCALE: 1/8" = 1'-0"

**A201**

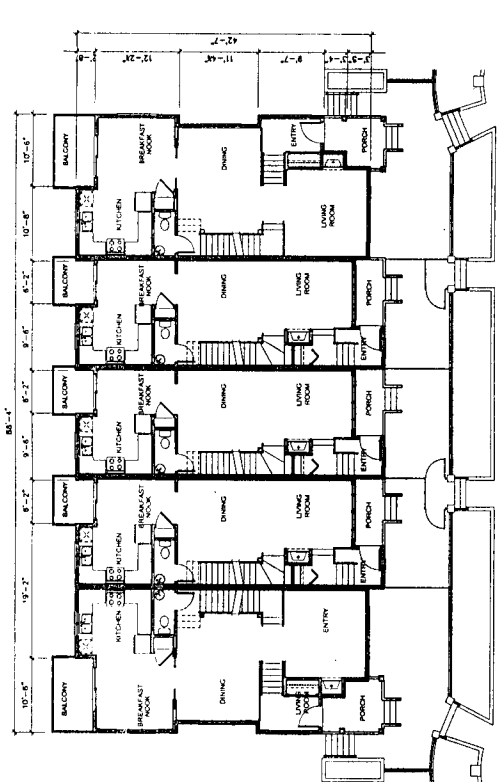
DATE:	3/2/03
BY:	J.P.P.
REVISION:	1. D.P. - 3/2/03
DESCRIPTION:	3. D.P. - 3/2/03
	2. D.P. - 3/2/03
	3. D.P. - 3/2/03
	4. D.P. - 3/2/03
	5. D.P. - 3/2/03
	6. D.P. - 3/2/03
	7. D.P. - 3/2/03
	8. D.P. - 3/2/03
	9. D.P. - 3/2/03
	10. D.P. - 3/2/03
	11. D.P. - 3/2/03
	12. D.P. - 3/2/03
	13. D.P. - 3/2/03
	14. D.P. - 3/2/03
	15. D.P. - 3/2/03
	16. D.P. - 3/2/03
	17. D.P. - 3/2/03

MAR 2 5 2003  
220699

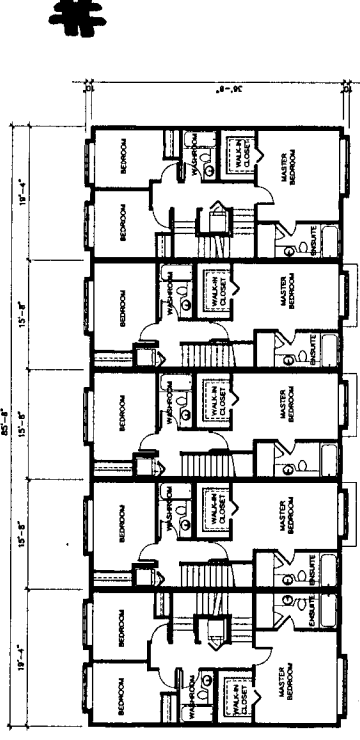
#36

**KILICK MEYER BROWN**  
ARCHITECTS PLANNERS INC.  
1785 WEST 8TH AVENUE  
DENVER, CO 80202  
TEL: 303.733.1100  
FAX: 303.733.1101  
WWW.KMB.COM

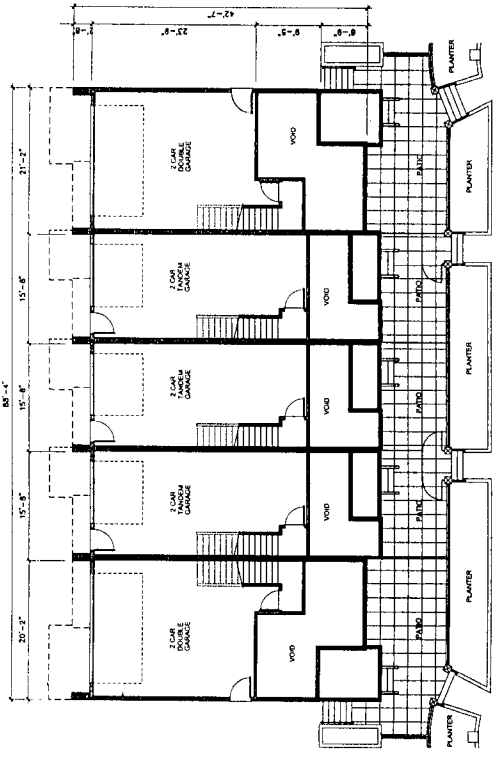
PROJECT TITLE: [REDACTED]  
GENERAL LANDSCAPE ARCHITECT: [REDACTED]  
DESIGNER: [REDACTED]  
OWNER: [REDACTED]  
DATE: [REDACTED]  
SCALE: 1/8" = 1'-0"  
DRAWING NUMBER: A202



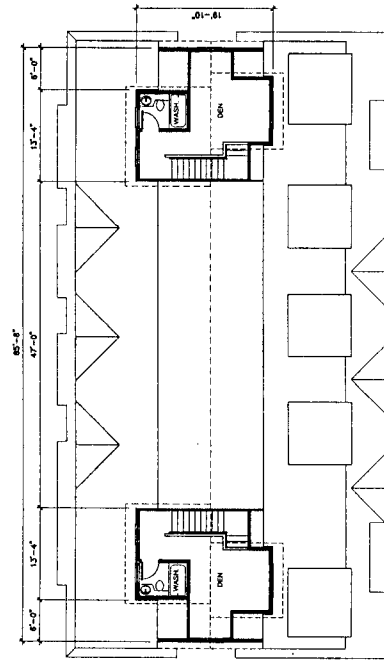
CLUSTER #4, 5, 9 & 10  
MAIN FLOOR PLAN  
SCALE: 1/8" = 1'-0"



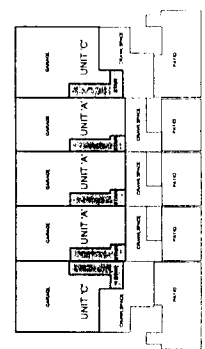
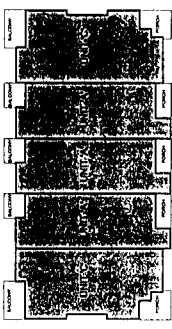
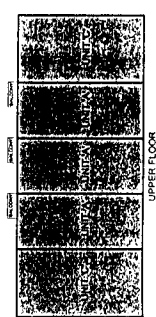
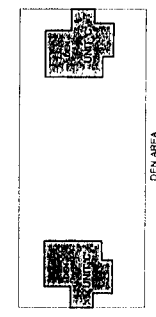
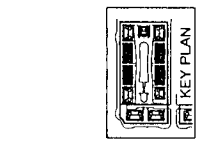
CLUSTER #4, 5, 9 & 10  
UPPER FLOOR PLAN  
SCALE: 1/8" = 1'-0"



CLUSTER #4, 5, 9 & 10  
GROUND LEVEL PLAN  
SCALE: 1/8" = 1'-0"



CLUSTER #4, 5, 9 & 10  
DEN FLOOR PLAN  
SCALE: 1/8" = 1'-0"



CLUSTER 4, 5, 9 & 10  
AREA per CLUSTER = 698.62 sm (7520.13 sf)  
(ALTERNATE DEN LAYOUT)

CONSTRUCTION NOTES:  
 1) ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL ORDINANCES.  
 2) ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL ORDINANCES.  
 3) ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL ORDINANCES.

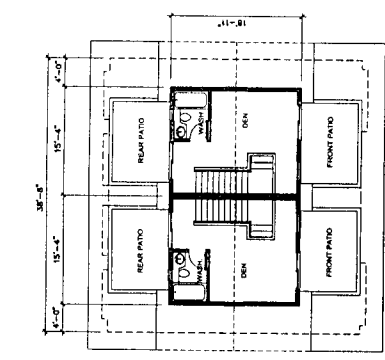
REVISIONS REQUIRED  
 DATE DESCRIPTION  
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 2) 03/15/03 REVISIONS  
 3) 03/15/03 REVISIONS  
 4) 03/15/03 REVISIONS  
 5) 03/15/03 REVISIONS

MAR 25 2003

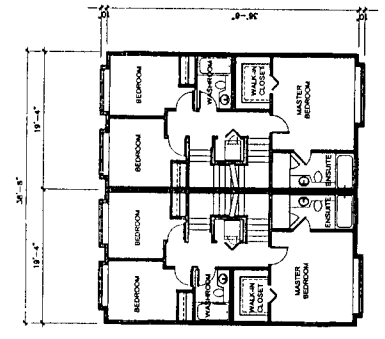
220699

#31.

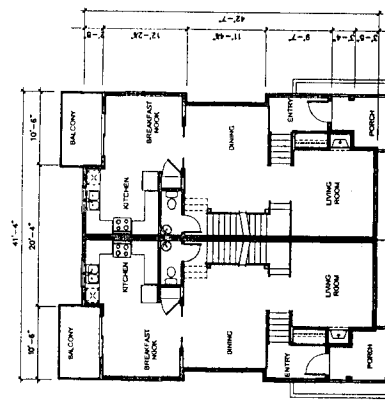
**KILLICK  
 MIETZ  
 BOWEN  
 ROSE**  
 ARCHITECTS PLANNERS INC.  
 1000 W. WASHINGTON ST. SUITE 100  
 WASHINGTON, D.C. 20004  
 PROJECT TITLE: 1000 W. WASHINGTON ST.  
 FOR: CHRYSLER DEVELOPMENT  
 CAPITAL CORPORATION  
 DRAWING TITLE: FLOOR PLANS - UNIT A  
 BUILDING SECTIONS  
 PROJECT NUMBER: 020828A  
 DATE: 03/15/03  
 DRAWING NUMBER: A203



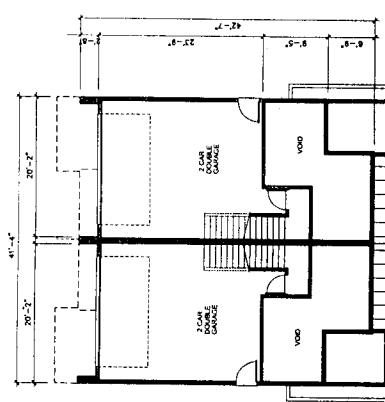
CLUSTER #7  
 DEN FLOOR PLAN  
 SCALE: 1/8"=1'-0"



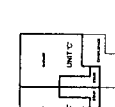
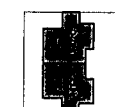
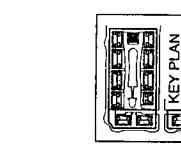
CLUSTER #7  
 UPPER FLOOR PLAN  
 SCALE: 1/8"=1'-0"



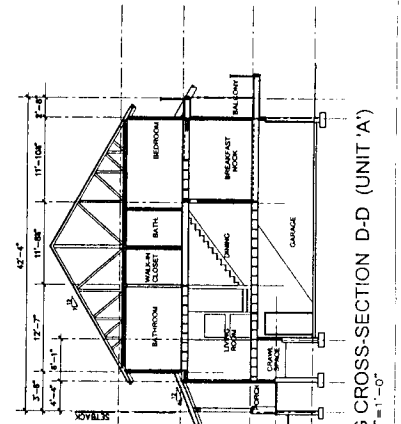
CLUSTER #7  
 MAIN FLOOR PLAN  
 SCALE: 1/8"=1'-0"



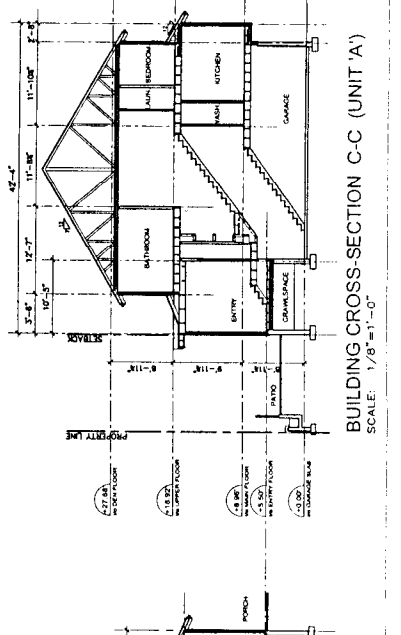
CLUSTER #7  
 GROUND LEVEL PLAN  
 SCALE: 1/8"=1'-0"



CLUSTER #7  
 AREA per CLUSTER = 342.76 sm (3689.56 sf)



BUILDING CROSS-SECTION D-D (UNIT 'A')  
 SCALE: 1/8"=1'-0"



BUILDING CROSS-SECTION C-C (UNIT 'A')  
 SCALE: 1/8"=1'-0"

30.

MAR 25 2003  
2 2 0 6 9 9

**KILLICK  
METZ  
ROSE**  
ARCHITECTS PLANNERS INC.  
1000 W. WASHINGTON ST., SUITE 100  
ANN ARBOR, MI 48106  
TEL: 734.769.1100  
FAX: 734.769.1101  
WWW.KMRARCHITECTS.COM

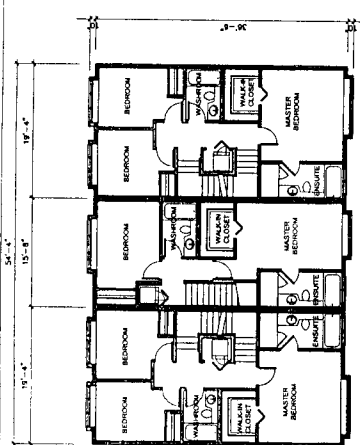
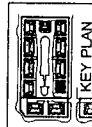
FOR  
KIPREVATION, LLC  
1000 W. WASHINGTON ST., SUITE 100  
ANN ARBOR, MI 48106  
TEL: 734.769.1100  
FAX: 734.769.1101  
WWW.KMRARCHITECTS.COM

FOR  
DEVELOPMENT  
CAPITAL DEVELOPMENT  
1000 W. WASHINGTON ST., SUITE 100  
ANN ARBOR, MI 48106  
TEL: 734.769.1100  
FAX: 734.769.1101  
WWW.KMRARCHITECTS.COM

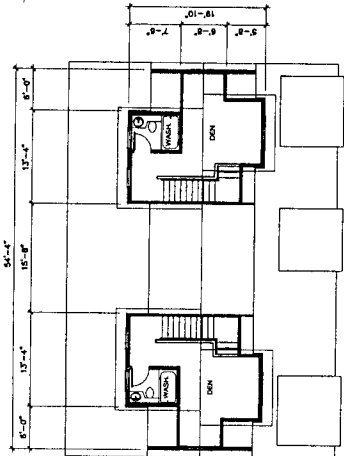
PROJECT NAME: CLUSTER #11  
PROJECT NUMBER: A204  
SCALE: 1/8"=1'-0"

- REVISIONS:
- DATE: 02-15-03 DESCRIPTION: 1) D.P. REVISIONS
  - DATE: 02-15-03 DESCRIPTION: 2) D.P. REVISIONS
  - DATE: 02-15-03 DESCRIPTION: 3) D.P. REVISIONS

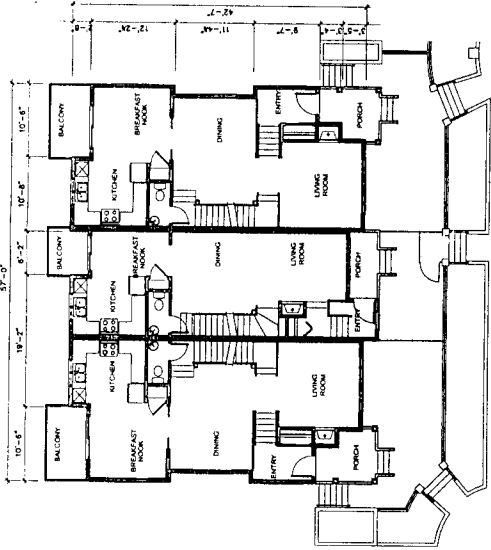
DP 02 - #



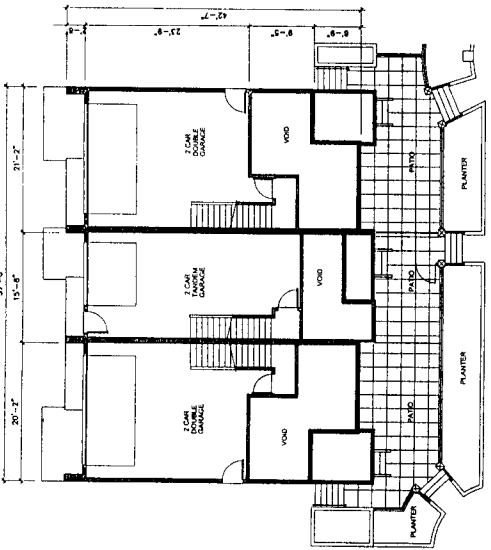
**CLUSTER #11  
UPPER FLOOR PLAN**  
SCALE: 1/8"=1'-0"



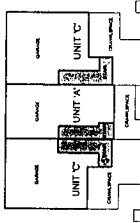
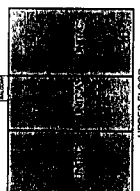
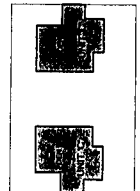
**CLUSTER #11  
DEN FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**CLUSTER #11  
MAIN FLOOR PLAN**  
SCALE: 1/8"=1'-0"

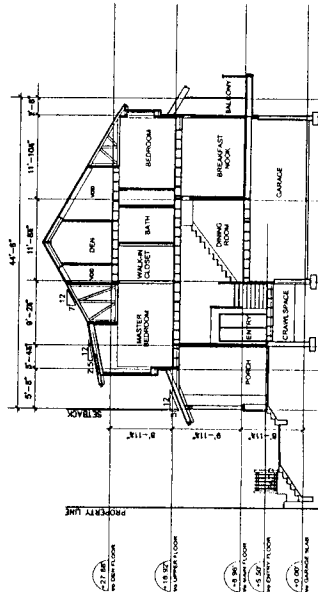


**CLUSTER #11  
GROUND LEVEL PLAN**  
SCALE: 1/8"=1'-0"

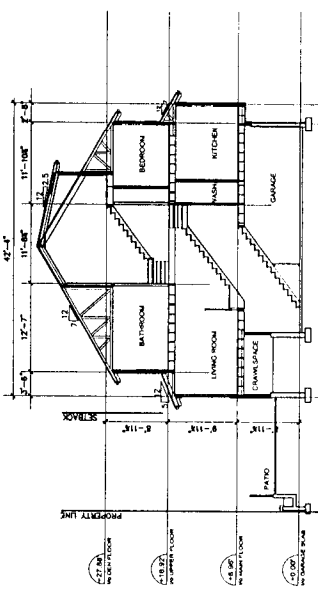


**CLUSTER 11**

AREA per CLUSTER = 482.62 sm (4979.76 sf)



**BUILDING CROSS-SECTION B-B (UNIT 'C')**  
SCALE: 1/8"=1'-0"



**BUILDING CROSS-SECTION A-A (UNIT 'C')**  
SCALE: 1/8"=1'-0"

THIS DOCUMENT IS UNCLASSIFIED  
DATE 03-25-2003 BY 60322 UCBAW/STP/STP

DATE: 03-25-2003  
BY: 60322 UCBAW/STP/STP

REV. NO. DESCRIPTION  
1) D.P. SUBMITTAL Nov. 15  
2) D.P. REVISIONS  
3) D.P. REVISIONS  
4) D.P. REVISIONS  
5) D.P. REVISIONS  
6) D.P. REVISIONS  
7) D.P. REVISIONS  
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12) D.P. REVISIONS  
13) D.P. REVISIONS  
14) D.P. REVISIONS  
15) D.P. REVISIONS  
16) D.P. REVISIONS  
17) D.P. REVISIONS

MAR 25 2003  
2 2 0 6 9 9  
3f.

**KILLICK  
MIETZ  
BOWEN  
ROSE**

ARCHITECTS  
1728 WEST BROADWAY  
SUITE 100  
DALLAS, TEXAS 75201  
PHONE: 214-751-1111  
FAX: 214-751-1112  
WWW.KILLICKMIETZBOWENROSE.COM

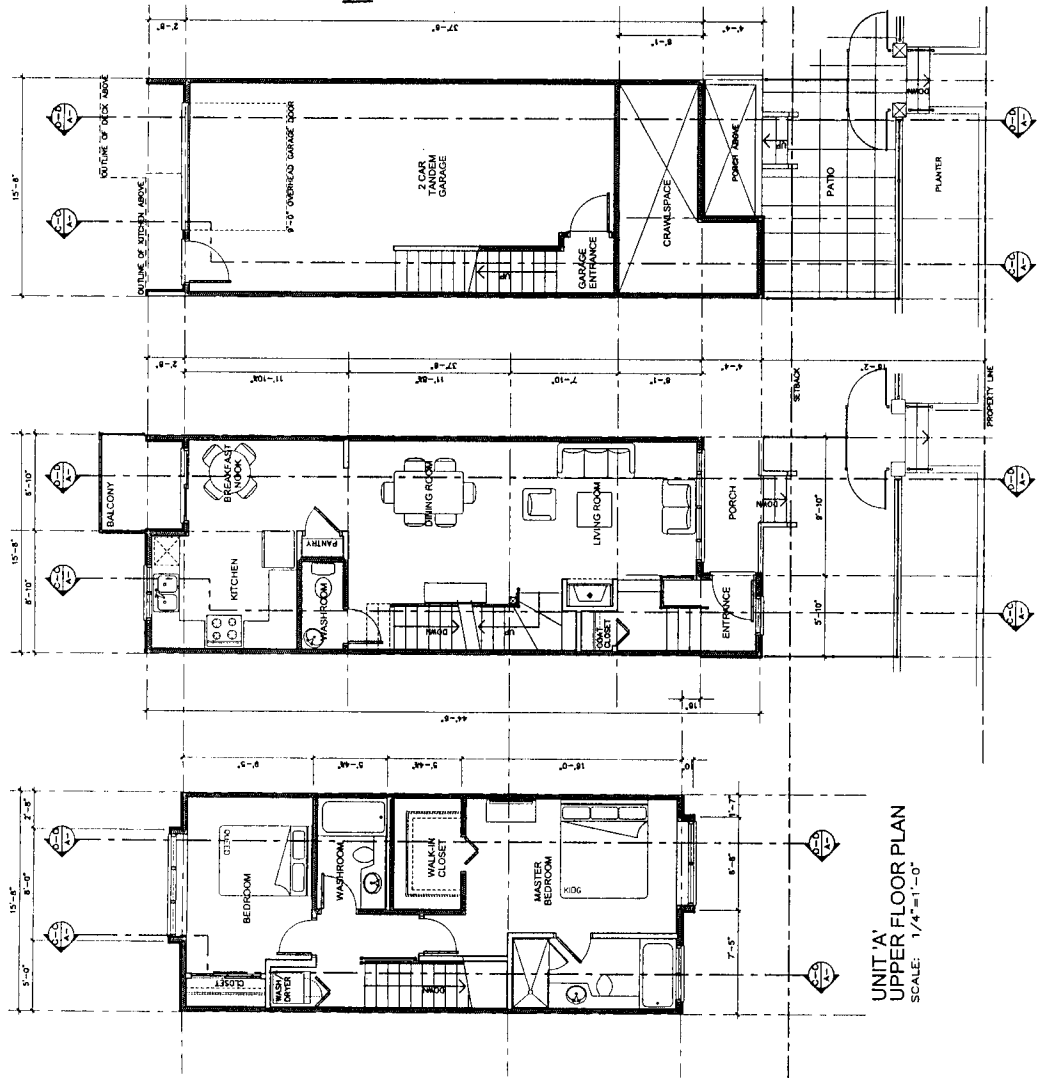
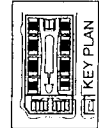
PREPARED FOR:  
STEVENS, S.C.  
FOR:  
CARRINGTON MORTGAGE  
CAPITAL CORPORATION

PROJECT NAME: UNIT 'A'  
PROJECT NUMBER: LOT #18  
SHEET NUMBER: 1/18  
DATE: 11/15/02

SCALE: 1/4" = 1'-0"

**A205**

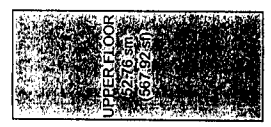
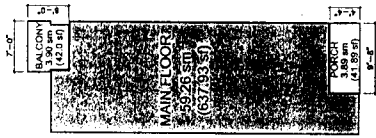
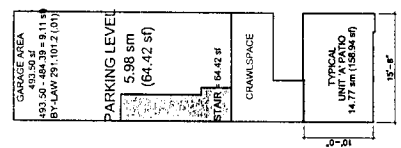
DP 02-  
#



UNIT 'A'  
GROUND LEVEL PLAN  
SCALE: 1/4" = 1'-0"

UNIT 'A'  
MAIN FLOOR PLAN  
SCALE: 1/4" = 1'-0"

UNIT 'A'  
UPPER FLOOR PLAN  
SCALE: 1/4" = 1'-0"



UNIT 'A'  
TOTAL AREA  
= 118.00 sm (1270.27 sf)  
PRIVATE OUTDOOR SPACE PROVIDED  
(ALL DIMENSIONS GREATER THAN 10')  
= 14.77 sm (158.94sf)

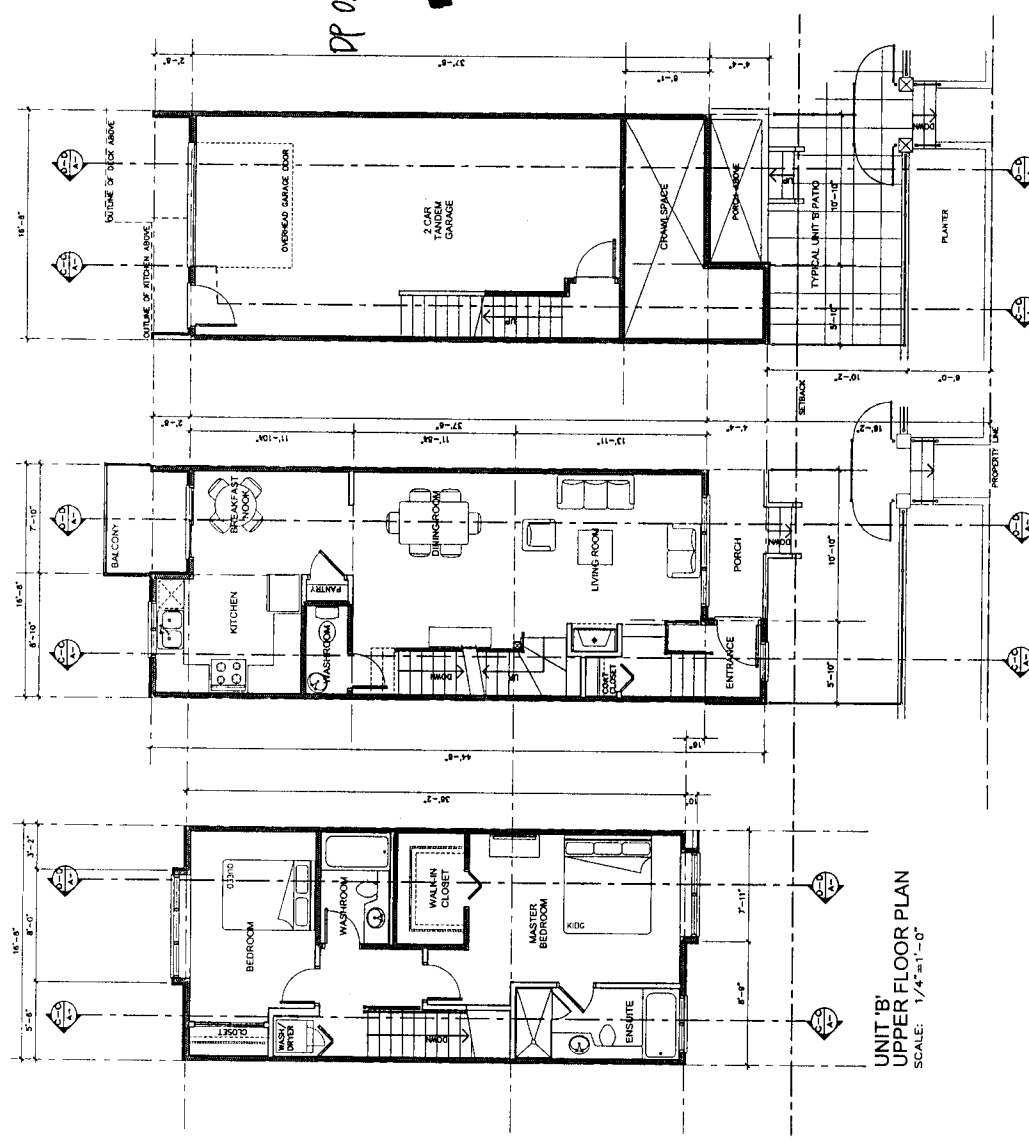
DATE: 1) D.P. SUBMITTAL 2) D.P. REVISIONS 3) D.P. REVISIONS 4) D.P. REVISIONS 5) D.P. REVISIONS 6) D.P. REVISIONS 7) D.P. REVISIONS 8) D.P. REVISIONS 9) D.P. REVISIONS 10) D.P. REVISIONS 11) D.P. REVISIONS 12) D.P. REVISIONS 13) D.P. REVISIONS 14) D.P. REVISIONS 15) D.P. REVISIONS 16) D.P. REVISIONS 17) D.P. REVISIONS 18) D.P. REVISIONS 19) D.P. REVISIONS 20) D.P. REVISIONS 21) D.P. REVISIONS 22) D.P. REVISIONS 23) D.P. REVISIONS 24) D.P. REVISIONS 25) D.P. REVISIONS 26) D.P. REVISIONS 27) D.P. REVISIONS 28) D.P. REVISIONS 29) D.P. REVISIONS 30) D.P. REVISIONS 31) D.P. REVISIONS 32) D.P. REVISIONS 33) D.P. REVISIONS 34) D.P. REVISIONS 35) D.P. REVISIONS 36) D.P. REVISIONS 37) D.P. REVISIONS 38) D.P. REVISIONS 39) D.P. REVISIONS 40) D.P. REVISIONS 41) D.P. REVISIONS 42) D.P. REVISIONS 43) D.P. REVISIONS 44) D.P. REVISIONS 45) D.P. REVISIONS 46) D.P. REVISIONS 47) D.P. REVISIONS 48) D.P. REVISIONS 49) D.P. REVISIONS 50) D.P. REVISIONS 51) D.P. REVISIONS 52) D.P. REVISIONS 53) D.P. REVISIONS 54) D.P. REVISIONS 55) D.P. REVISIONS 56) D.P. REVISIONS 57) D.P. REVISIONS 58) D.P. REVISIONS 59) D.P. REVISIONS 60) D.P. REVISIONS 61) D.P. REVISIONS 62) D.P. REVISIONS 63) D.P. REVISIONS 64) D.P. REVISIONS 65) D.P. REVISIONS 66) D.P. REVISIONS 67) D.P. REVISIONS 68) D.P. REVISIONS 69) D.P. REVISIONS 70) D.P. REVISIONS 71) D.P. REVISIONS 72) D.P. REVISIONS 73) D.P. REVISIONS 74) D.P. REVISIONS 75) D.P. REVISIONS 76) D.P. REVISIONS 77) D.P. REVISIONS 78) D.P. REVISIONS 79) D.P. REVISIONS 80) D.P. REVISIONS 81) D.P. REVISIONS 82) D.P. REVISIONS 83) D.P. REVISIONS 84) D.P. REVISIONS 85) D.P. REVISIONS 86) D.P. REVISIONS 87) D.P. REVISIONS 88) D.P. REVISIONS 89) D.P. REVISIONS 90) D.P. REVISIONS 91) D.P. REVISIONS 92) D.P. REVISIONS 93) D.P. REVISIONS 94) D.P. REVISIONS 95) D.P. REVISIONS 96) D.P. REVISIONS 97) D.P. REVISIONS 98) D.P. REVISIONS 99) D.P. REVISIONS 100) D.P. REVISIONS

MAR 25 2003  
220699

#39

**KILLICK  
METZ  
BOWEN  
ROSE**  
ARCHITECTS  
1700 WEST PARKWAY, SUITE 100  
ATLANTA, GEORGIA 30339  
404.525.1100  
www.killickmetz.com

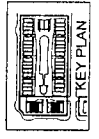
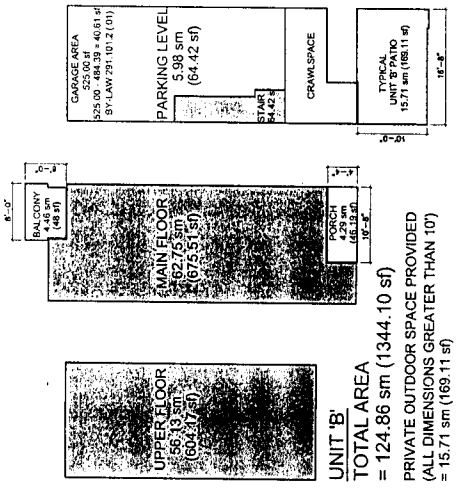
FOR  
STEVENSSON, L.L.C.  
FOR  
DINA DEVELOPMENT  
CAPITAL CORPORATION  
SERIES  
FLOOR PLANS  
UNIT 'B'  
LOT #48  
PROJECT NAME  
ADDRESS  
SCALE: 1/4" = 1'-0"  
DRAWING NUMBER  
**A206**



UNIT 'B'  
GROUND LEVEL PLAN  
SCALE: 1/4" = 1'-0"

UNIT 'B'  
MAIN FLOOR PLAN  
SCALE: 1/4" = 1'-0"

UNIT 'B'  
UPPER FLOOR PLAN  
SCALE: 1/4" = 1'-0"

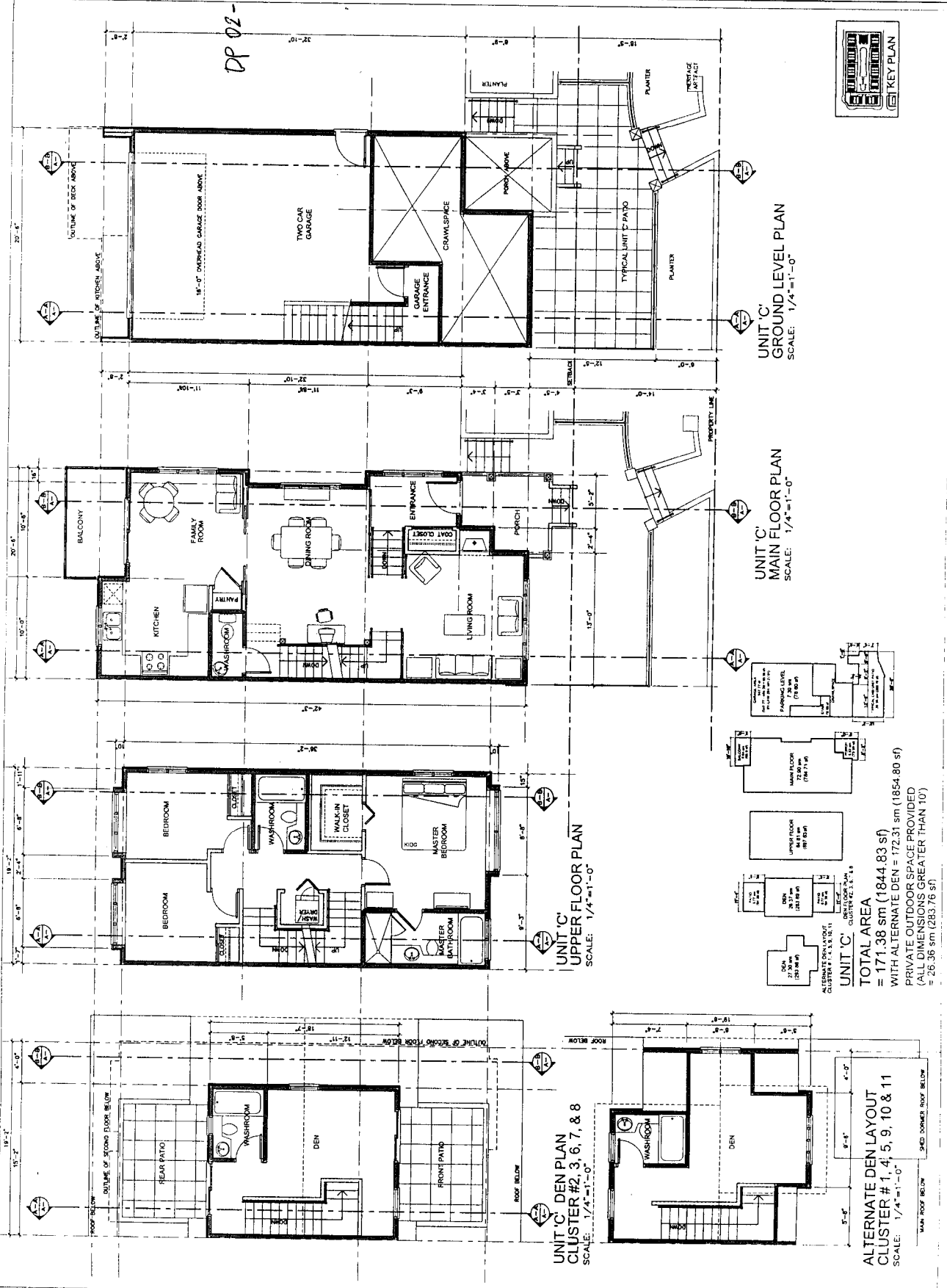


DATE: 1) D.P. SUBMISSION  
 2) D.P. REVISIONS  
 3) D.P. REVISIONS  
 DATE: 24  
 DATE: 17

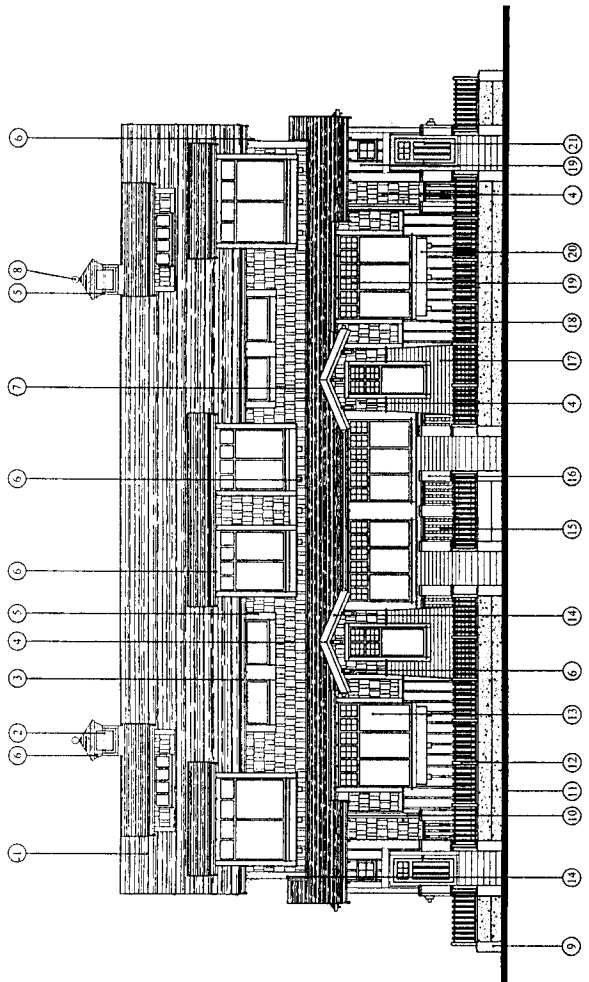
MAR 25 2003  
 220699

#3h.

**KILLICK  
 MIETZ  
 BOWEN  
 ROSE**  
 ARCHITECTS PLANNERS INC.  
 4000 W. WASHINGTON, S.W.  
 WASHINGTON, D.C. 20007  
 (202) 331-1100  
 PROJECT TITLE: KILLICK PLANNING  
 ARCHITECT: STEVENSON, LLC  
 OWNER: STEVENSON, LLC  
 OWNER DEVELOPMENT  
 CAPITAL CORPORATION  
 DRAWING TITLE: FLOOR PLANS  
 FLOOR: UNIT 'C'  
 LOT: 400  
 PROJECT NUMBER: 02878  
 DRAWN BY: [blank]  
 SCALE: 1/4" = 1'-0"  
 DRAWING NUMBER: A207







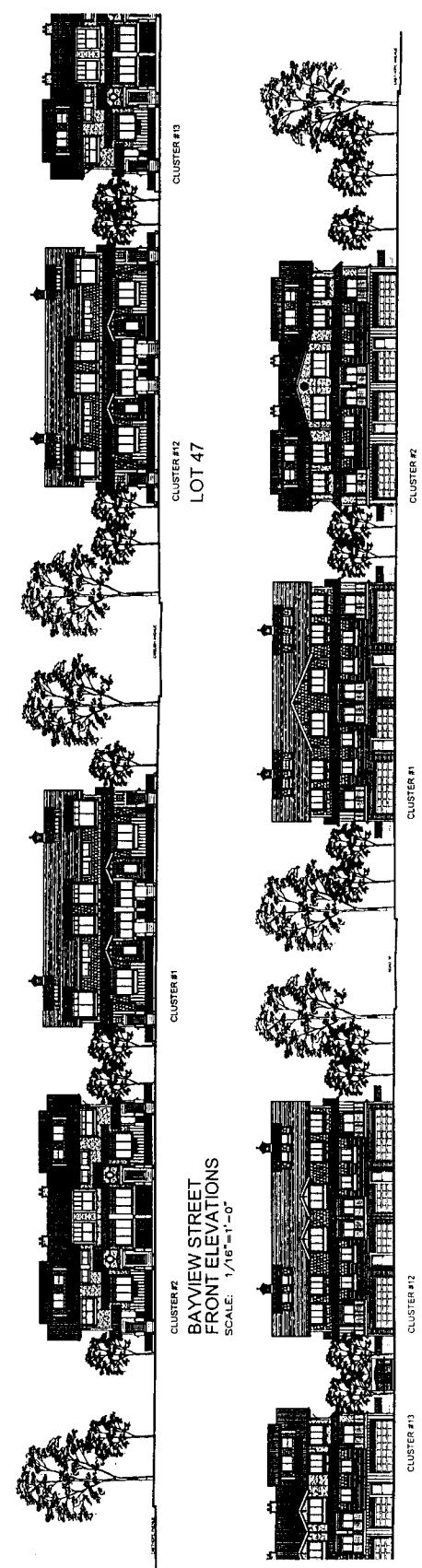
CLUSTER #1  
FRONT ELEVATION  
SCALE: 3/16"=1'-0"

FINISH SCHEDULE		A	B	C
MATERIALS		COLOR SCHEME	COLOR SCHEME	COLOR SCHEME
1. WALL, EXTERIOR				
2. BRICKWORK, ARCHITECTURAL				
3. CLADDING, EXTERIOR				
4. FLOOR, WOOD SHIP LUG				
5. WOOD TRIM, WOOD				
6. BRICK, 2 1/2" WOOD SHIP LUGS				
7. BRICK, 2 1/2" WOOD SHIP LUGS				
8. BRICK, 2 1/2" WOOD SHIP LUGS				
9. BRICK, 2 1/2" WOOD SHIP LUGS				
10. BRICK, 2 1/2" WOOD SHIP LUGS				
11. BRICK, 2 1/2" WOOD SHIP LUGS				
12. BRICK, 2 1/2" WOOD SHIP LUGS				
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14. BRICK, 2 1/2" WOOD SHIP LUGS				
15. BRICK, 2 1/2" WOOD SHIP LUGS				
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18. BRICK, 2 1/2" WOOD SHIP LUGS				
19. BRICK, 2 1/2" WOOD SHIP LUGS				
20. BRICK, 2 1/2" WOOD SHIP LUGS				
21. BRICK, 2 1/2" WOOD SHIP LUGS				

DP 02-  
#4a.

MAR 25 2003  
220699

DATE: 03/25/03  
 1) D.P. SUBMITTAL  
 2) D.P. PERMITS  
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 99) D.P. PERMITS  
 100) D.P. PERMITS



CLUSTER #2  
BAYVIEW STREET  
FRONT ELEVATIONS  
SCALE: 1/16"=1'-0"

CLUSTER #3  
LOT 47

CLUSTER #1  
BAYVIEW STREET  
REAR ELEVATIONS  
SCALE: 1/16"=1'-0"

CLUSTER #47

CLUSTER #73

KILLICK  
MLETZ  
BOWEN  
ROSE  
ARCHITECTS PLANNERS INC.  
ARCHITECTS PLANNERS INC.  
VIRGINIA, B.C. AND THIS  
OFFICE IS NOT A LICENSED  
PROFESSIONAL ARCHITECT  
IN ANY STATE  
INTERNATIONAL, B.C.  
FOR  
OWN DEVELOPMENT  
CAPITAL CORPORATION  
SERVING TITLE  
MATERIALS LISTED  
IN PERMITS  
PROJECT NUMBER  
DATE  
SCALE  
DRAWING NUMBER

A400

CONTRACT NUMBER  
 PROJECT NAME  
 DATE  
 DRAWING NUMBER  
 SHEET NUMBER

1) D.P. - REVISION  
 2) D.P. - REVISION  
 3) D.P. - REVISION

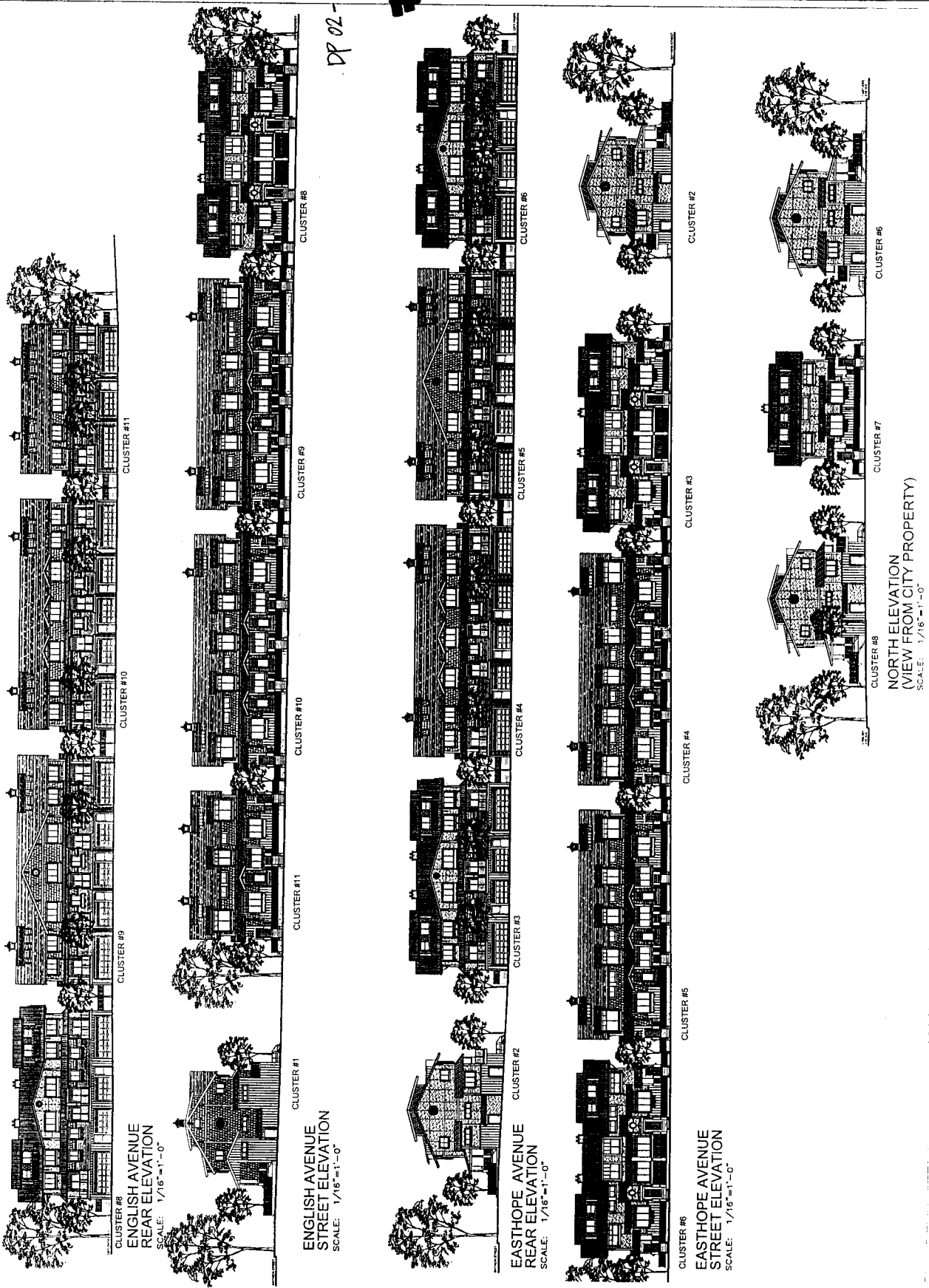
MAR 25 2003  
 220699

**#4b.**

**KILLICK  
 METZ  
 BOWEN  
 ROSE**  
 ARCHITECTS PLANNERS INC.  
 1000 UNIVERSITY BLVD. SUITE 100  
 WASHINGTON, D.C. 20004  
 PHONE: 202-391-1000  
 FAX: 202-391-1001  
 WWW: KMR.COM

**GENERAL LANDING**  
 FOR  
 OWNER DEVELOPMENT  
 CAPITAL CORPORATION  
 1000 UNIVERSITY BLVD. SUITE 100  
 WASHINGTON, D.C. 20004  
 PHONE: 202-391-1000  
 FAX: 202-391-1001  
 WWW: KMR.COM

PROJECT NUMBER: 220699  
 DRAWING NUMBER: A401  
 SHEET NUMBER: 1 OF 1



CLUSTER #8  
 ENGLISH AVENUE  
 REAR ELEVATION  
 SCALE: 1/16"=1'-0"

CLUSTER #11  
 ENGLISH AVENUE  
 STREET ELEVATION  
 SCALE: 1/16"=1'-0"

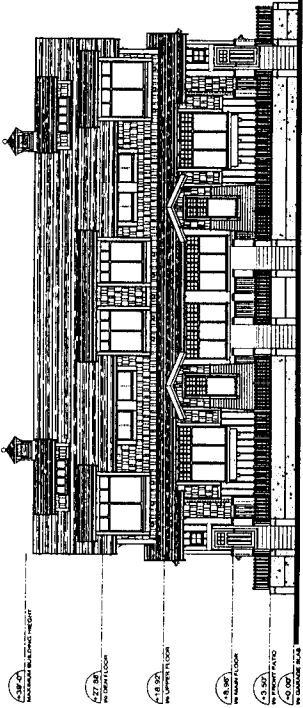
CLUSTER #2  
 EASTHOPE AVENUE  
 REAR ELEVATION  
 SCALE: 1/16"=1'-0"

CLUSTER #5  
 EASTHOPE AVENUE  
 STREET ELEVATION  
 SCALE: 1/16"=1'-0"

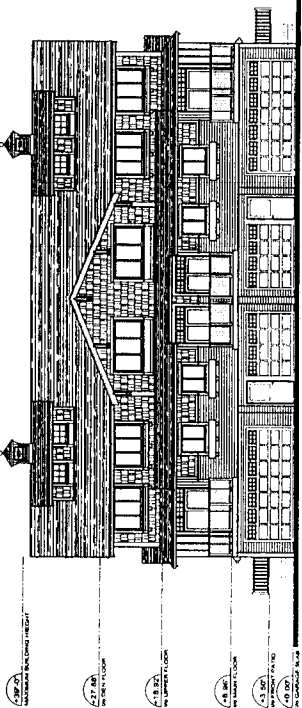
CLUSTER #8  
 NORTH ELEVATION  
 (VIEW FROM CITY PROPERTY)  
 SCALE: 1/16"=1'-0"

FINISH SCHEDULE		A	B	C
MATERIALS		COLOR SCHEME	COLOR SCHEME	COLOR SCHEME
1. BRICK	2. BRICK			
3. BRICK	4. BRICK			
5. ALUMINUM	6. ALUMINUM			
7. ALUMINUM	8. ALUMINUM			
9. ALUMINUM	10. ALUMINUM			
11. ALUMINUM	12. ALUMINUM			
13. ALUMINUM	14. ALUMINUM			
15. ALUMINUM	16. ALUMINUM			
17. ALUMINUM	18. ALUMINUM			
19. ALUMINUM	20. ALUMINUM			
21. ALUMINUM	22. ALUMINUM			
23. ALUMINUM	24. ALUMINUM			
25. ALUMINUM	26. ALUMINUM			
27. ALUMINUM	28. ALUMINUM			
29. ALUMINUM	30. ALUMINUM			
31. ALUMINUM	32. ALUMINUM			
33. ALUMINUM	34. ALUMINUM			
35. ALUMINUM	36. ALUMINUM			
37. ALUMINUM	38. ALUMINUM			
39. ALUMINUM	40. ALUMINUM			
41. ALUMINUM	42. ALUMINUM			
43. ALUMINUM	44. ALUMINUM			
45. ALUMINUM	46. ALUMINUM			
47. ALUMINUM	48. ALUMINUM			
49. ALUMINUM	50. ALUMINUM			
51. ALUMINUM	52. ALUMINUM			
53. ALUMINUM	54. ALUMINUM			
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73. ALUMINUM	74. ALUMINUM			
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83. ALUMINUM	84. ALUMINUM			
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93. ALUMINUM	94. ALUMINUM			
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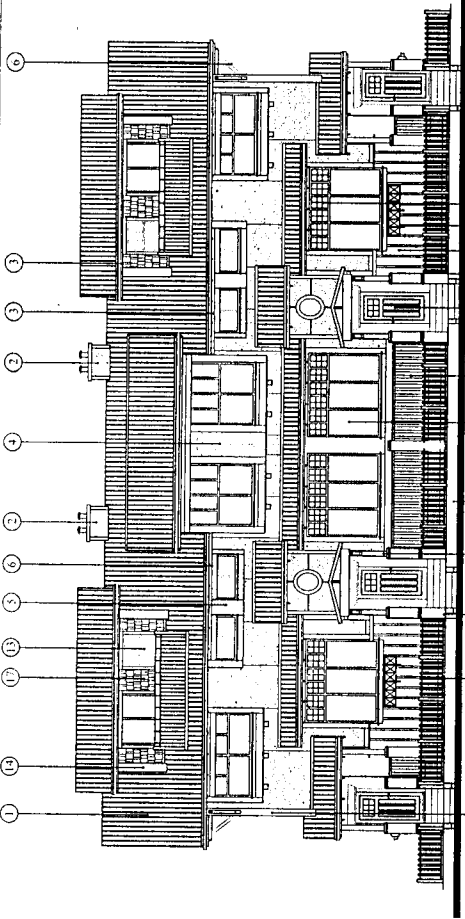
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MATERIAL LEGEND



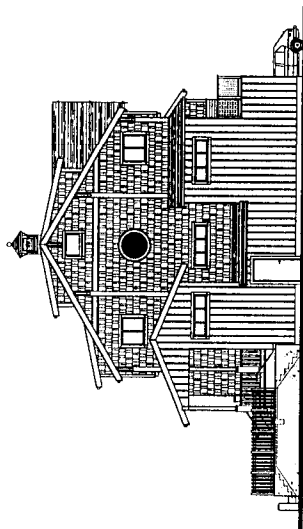
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FRONT ELEVATION  
SCALE: 1/8"=1'-0"



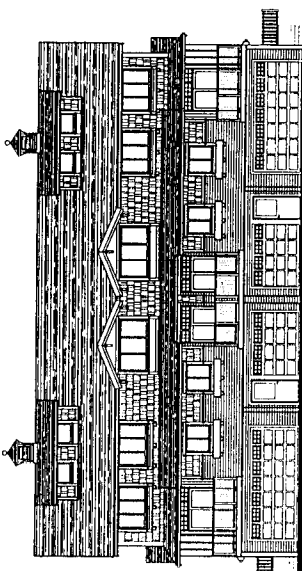
CLUSTER #1  
REAR ELEVATION (TYPE 'A')  
SCALE: 1/8"=1'-0"



CLUSTER #2  
MATERIAL LEGEND



CLUSTER #1  
TYP. SIDE ELEVATION  
SCALE: 1/8"=1'-0"



CLUSTER #1  
REAR ELEVATION (TYPE 'B')  
SCALE: 1/8"=1'-0"

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REVISIONS

NO.	DATE	DESCRIPTION
1	03.15	03.15
2	03.15	03.15
3	03.15	03.15
4	03.17	03.17

DATE: 03.15.2003

PROJECT: 220699

PROJECT NAME: #46.

MAR 25 2003

DP 02-220699

#46.

KILLICK  
METZ  
BOWEN  
ROSE  
ARCHITECTS  
100 WEST BROADWAY  
SUITE 200  
NEW YORK, NY 10038  
PHONE: 212.512.1000  
FAX: 212.512.1001  
WWW.KILLICKMETZBOWENROSE.COM

FOR  
CAPITAL CORPORATION  
CLUSTER #1  
ELEVATION  
LOT #4B  
PROJECT NUMBER  
0220699

DATE: 03.15.2003  
SCALE: 1/8"=1'-0"

PROJECT NAME: A402



CLUSTER #1  
KEY PLAN

CONTRACT AGREEMENT  
 THIS PLAN AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND SHALL BE KEPT IN CONFIDENCE AND NOT REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

REVISIONS / NOTES

NO.	D.P. MODIFICATION	DATE
1)	D.P. MODIFICATION	NOV. 15
2)	D.P. REVISIONS	DEC. 28
3)	D.P. REVISIONS	MARCH 17

MAR 25 2003  
 220699

**#4d.**

**KILLICK  
 METZ  
 BOWEN  
 ROSE**

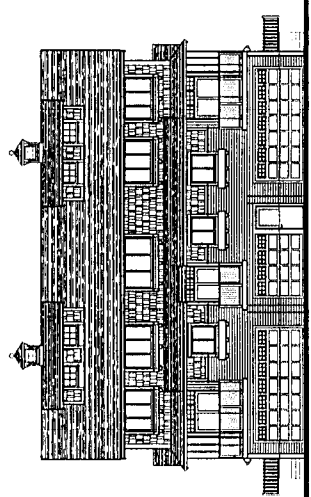
ARCHITECTS PLANNERS INC.  
 1000 W. WASHINGTON ST. SUITE 100  
 WASHINGTON, D.C. 20004  
 TEL: (202) 638-1100 FAX: (202) 638-1101  
 PROJECT TELEPHONE: (202) 638-1101

WASHINGTON, D.C.  
 FOR  
 DINA DEVELOPMENT  
 CAPITAL CORPORATION  
 2000 W. WASHINGTON ST. SUITE 100  
 WASHINGTON, D.C. 20004  
 TEL: (202) 638-1101

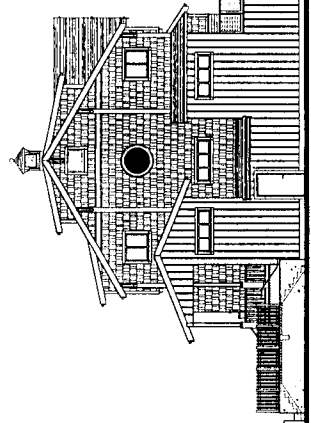
CLUSTER #11  
 LOT #11  
 LOT #12

SCALE: 1/8" = 1'-0"

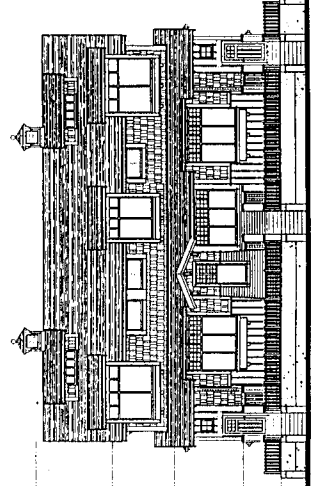
DRAWING NUMBER: **A403**



CLUSTER #11  
 FRONT ELEVATION  
 SCALE: 1/8"=1'-0"



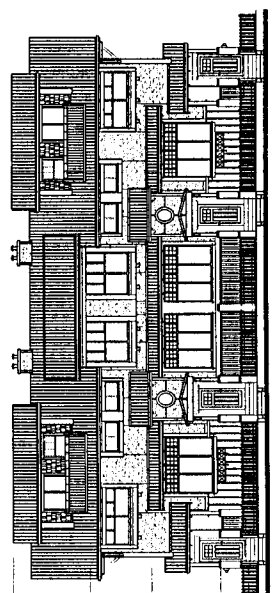
CLUSTER #11  
 SIDE ELEVATION  
 SCALE: 1/8"=1'-0"



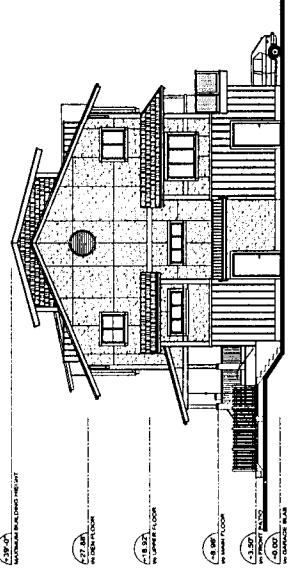
CLUSTER #11  
 REAR ELEVATION  
 SCALE: 1/8"=1'-0"



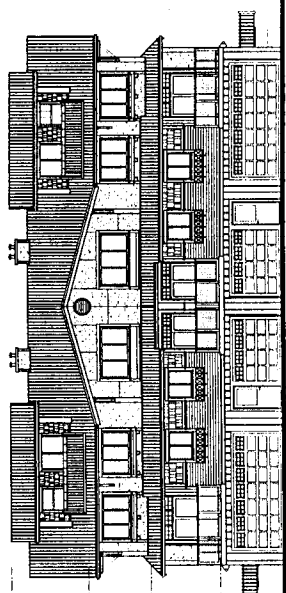
CLUSTER #11



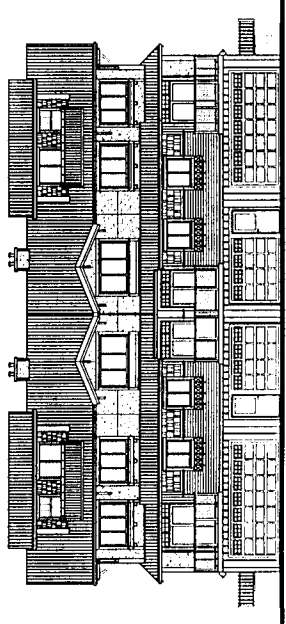
CLUSTER #2, 3, 6, & 8  
 FRONT ELEVATION  
 SCALE: 1/8"=1'-0"



CLUSTER #2, 3, 6, & 8  
 TYP. SIDE ELEVATION  
 SCALE: 1/8"=1'-0"



CLUSTER #3 & 8  
 REAR ELEVATION (TYPE 'A')  
 SCALE: 1/8"=1'-0"



CLUSTER #2 & 6  
 REAR ELEVATION (TYPE 'B')  
 SCALE: 1/8"=1'-0"



CLUSTER #2, 3, 6, & 8

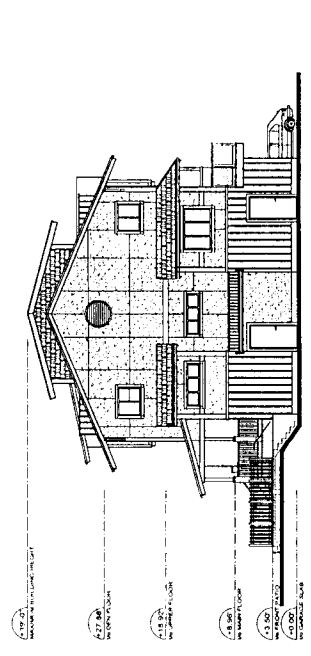
DATE	REVISION / DESCRIPTION
NOV. 13	1) D.P. SUBMITTED
DEC. 24	2) D.P. REVISIONS
DEC. 24	3) D.P. REVISIONS
MARCH 11	4) D.P. REVISIONS

MAR 2 5 2003  
 220699

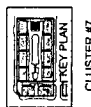
4e.

**KILLICK  
 METZ  
 BOWEN  
 ROSE**  
 ARCHITECTS PLANNERS INC.  
 1000 W. BROADWAY, SUITE 1100  
 WASHINGTON, D.C. 20004  
 TEL: 202.638.1100 FAX: 202.638.1101  
 WWW.KMRARCHITECTS.COM

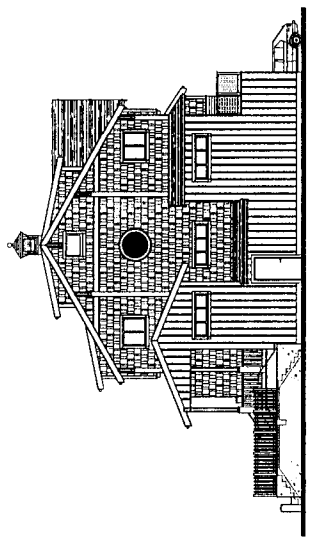
PROJECT TITLE: **THE KILLAMORING**  
 FOR: **STEVINSON, LLC**  
 OWN DEVELOPMENT  
 CAPITAL CORPORATION  
 DRAWING TITLE: **EXTERIOR**  
 SUBDIVISION: **LOT #4-8**  
 PROJECT NAME: **CLUSTER #4, 5, 9, 10**  
 DRAWN: **1/8" = 1'-0"**  
 DRAWING NUMBER: **A404**



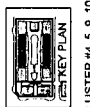
CLUSTER #7  
 TYP. END ELEVATION  
 SCALE: 1/8"=1'-0"



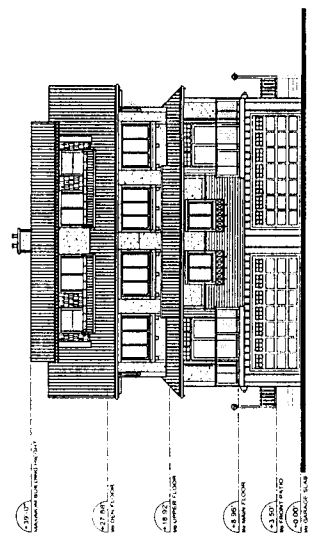
CLUSTER #7



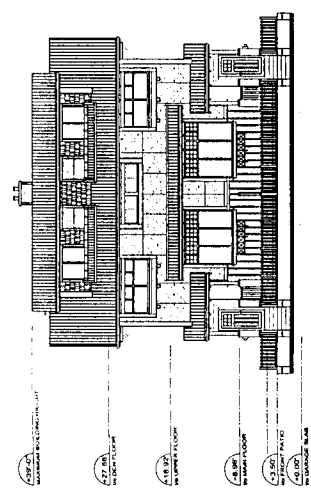
CLUSTER #4, 5, 9 & 10  
 TYP. SIDE ELEVATION  
 SCALE: 1/8"=1'-0"



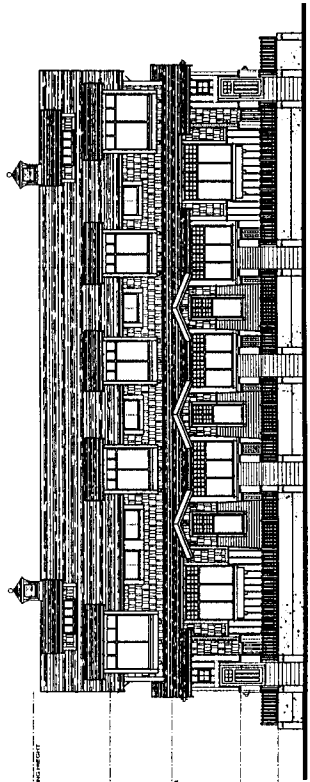
CLUSTER #4, 5, 9, 10



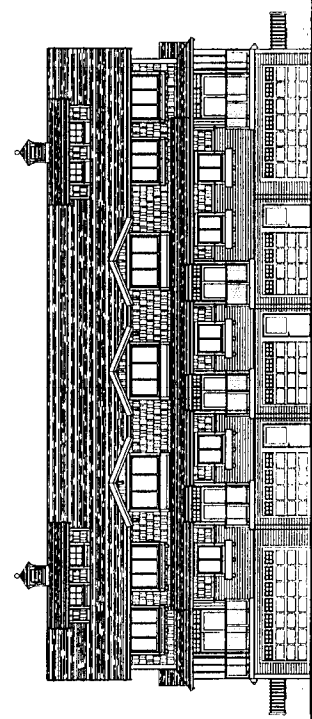
CLUSTER #7  
 NORTH ELEVATION  
 SCALE: 1/8"=1'-0"



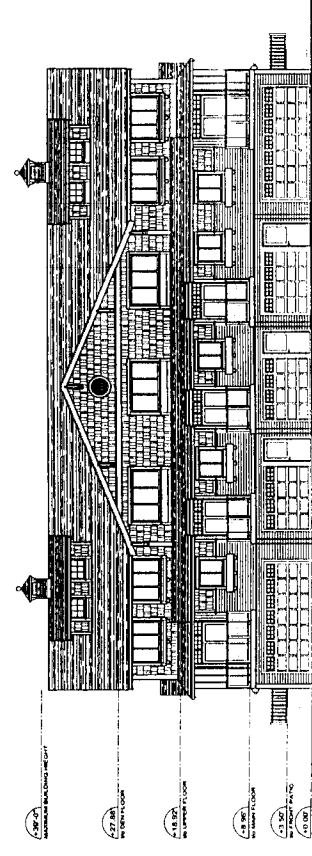
CLUSTER #7  
 SOUTH ELEVATION  
 SCALE: 1/8"=1'-0"



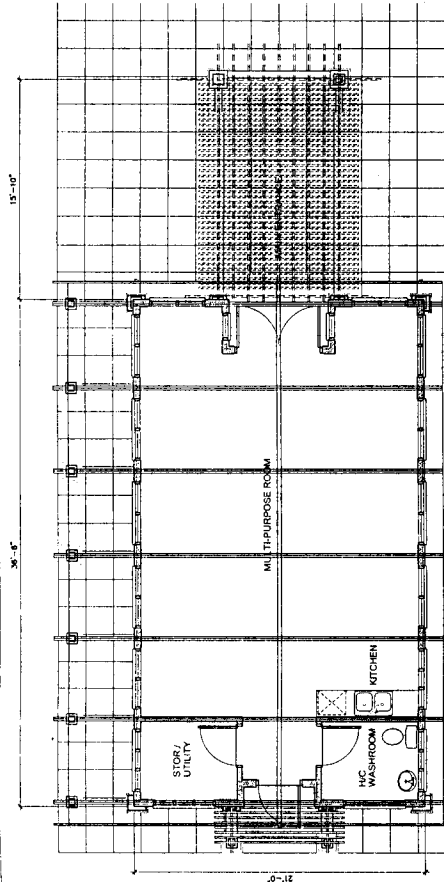
CLUSTER #4, 5, 9 & 10  
 FRONT ELEVATION  
 SCALE: 1/8"=1'-0"



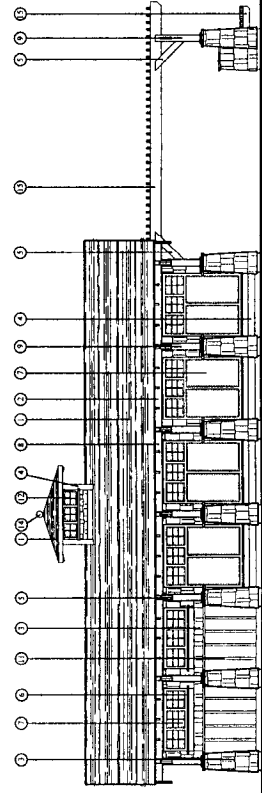
CLUSTER #4, 5, 9 & 10  
 REAR ELEVATION (TYPE 'B')  
 SCALE: 1/8"=1'-0"



CLUSTER #4, 5, 9 & 10  
 REAR ELEVATION (TYPE 'A')  
 SCALE: 1/8"=1'-0"



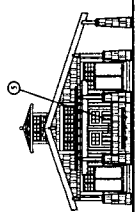
AMENITY BUILDING  
FLOOR PLAN  
SCALE: 1/4"=1'-0"



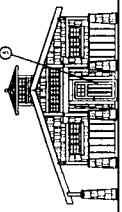
AMENITY BUILDING  
WEST ELEVATION  
SCALE: 1/4"=1'-0"



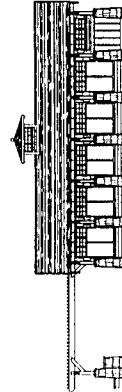
AMENITY BUILDING  
AREA CALCULATION



AMENITY BUILDING  
SOUTH ELEVATION  
SCALE: 1/8"=1'-0"

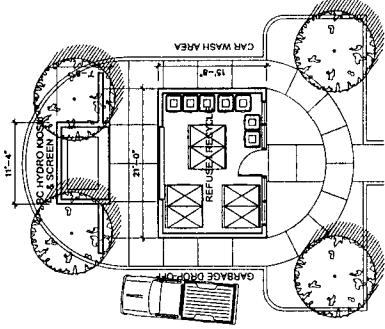


AMENITY BUILDING  
NORTH ELEVATION  
SCALE: 1/8"=1'-0"

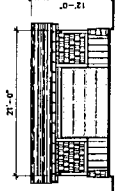


AMENITY BUILDING  
EAST ELEVATION  
SCALE: 1/8"=1'-0"

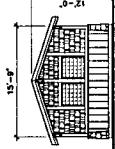
FINISH SCHEDULE	COLOR SCHEME
1. ROOF: ASPHALT SHINGLES	
2. ALUMINUM GUTTERS	
3. HARDY BOARD SHINGLE	
4. WOOD TRIM BOARD	
5. DECORATIVE WOOD BRACKETS UNLESS NOTED AS STRUCTURAL	
6. ALUMINUM FLASHING	
7. DOUBLE GLAZED WINDOWS VINYL FRAME	
8. WOOD FASCIA AND TRIM	
9. BUILT-UP WOOD POST	
10. VINYL SIDING	
11. HARDY BOARD AND BATTEN	
12. PLASTIC MILLION INSERT	
13. SOLID CORE WOOD ENTRY DOOR	
14. SOLID WOOD BALL	
15. WOOD TRELLIS	



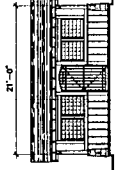
REFUSE/RECYCLE BUILDING  
FLOOR PLAN - LOT 46  
SCALE: 1/8"=1'-0"



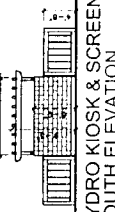
REFUSE BUILDING  
SOUTH ELEVATION  
SCALE: 1/8"=1'-0"



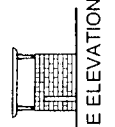
SIDE ELEVATION



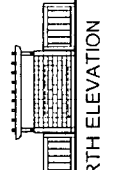
NORTH ELEVATION



HYDRO KIOSK & SCREEN  
SOUTH ELEVATION  
SCALE: 1/8"=1'-0"



SIDE ELEVATION



NORTH ELEVATION

REVISIONS:

NO.	DATE	DESCRIPTION
1	NOV. 15	D.P. SUBMITTAL
2	DEC. 24	D.P. REVISIONS
3	JAN. 17	D.P. REVISIONS

MAR 25 2003  
220699

5

**KILLICK  
METZ  
BOWEN  
ROSE**  
ARCHITECTS PLANNERS INC.  
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TEL: 734-2200 FAX: 734-2201  
WWW.KILLICKMETZBOWENROSE.COM

PROJECT TITLE: INDUSTRIAL LANDSCAPE DEVELOPMENT FOR INVESTMENT, S.C.  
PROJECT NUMBER: 02-000000  
SCALE: AS SHOWN  
DRAWING NUMBER: A500

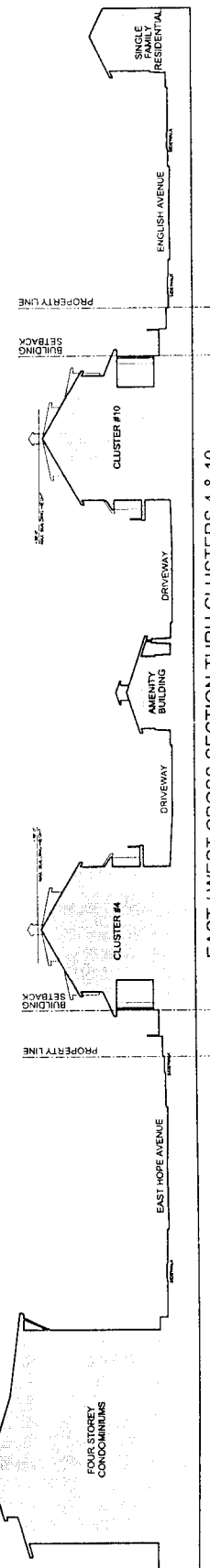
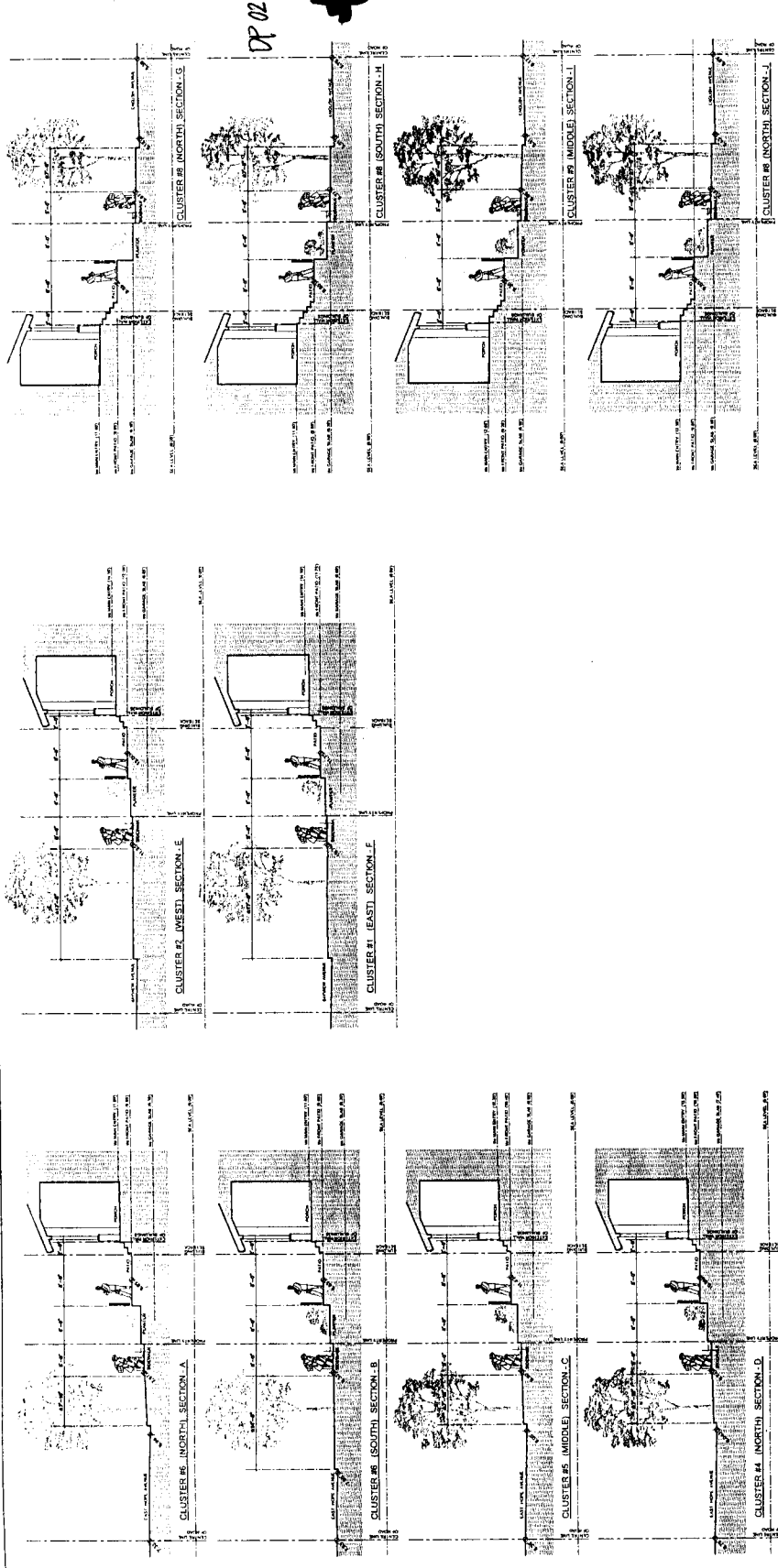
DATE: 11/15/03  
 1) D.P. submission  
 2) D.P. revisions  
 3) D.P. SUBMITTAL

MAR 25 2003  
 2206 99

*DP 02-16*

**KILICK  
 MIETZ  
 BOWEN  
 ROSE**  
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 WASHINGTON, D.C. 20004  
 TEL: 202-462-1100  
 FAX: 202-462-1101  
 WWW.KILICKMIETZBOWENROSE.COM

PROJECT: LANDSCAPE ARCHITECTURE  
 CLIENT: DEVELOPER  
 PROJECT NUMBER: 2206 99  
 SCALE: 1/4" = 1'-0"  
 SHEET NUMBER: A501



EAST / WEST CROSS-SECTION THRU CLUSTERS 4 & 10