



City of Richmond
Urban Development Division

Report to Development Permit Panel

To: Development Permit Panel
From: Joe Erceg
Manager, Development Applications
Date: March 26, 2003
File: DP 02-218226
Re: **Application by Jema Properties Consulting Ltd. for a Development Permit at
7531 Moffatt Road**

Manager's Recommendation

That a Development Permit be issued for a property at 7531 Moffatt Road that would allow the construction of six (6) townhouse units on a site zoned Comprehensive Development District (CD/127); and that would:

1. Reduce the number of visitor parking spaces from two (2) to one (1); and
2. Reduce the public road setback from 6 m (19.85 ft.) to 0.3 m (0.98 ft.) for a stair and entry trellis.

A handwritten signature in black ink, appearing to read "Joe Erceg".

Joe Erceg
Manager, Development Applications

AJ:blg
Att.

Staff Report

Origin

Fougere Architecture Inc. has applied on behalf of Jema Properties Consulting Ltd. for a Development Permit on an infill site on Moffatt Road. During the rezoning process, the applicants agreed to a cross-access agreement with the remaining parcel to the north. This will allow that small property to re-develop with a minimum of pavement for the driveway.

The project is scheduled for final reading of the rezoning on April 14, 2003.

A copy of the development application filed with the Urban Development Division is appended to this report.

Development Information

Site Area:	995 m ² (10,715 ft ²)
Building Area:	770.977 m ² (8,299 ft ²)
Site Coverage:	40% Allowed 40% Proposed
F.A.R.:	0.78 Allowed 0.78 Proposed
Parking:	9 Spaces Required, plus 2 for visitors 11 Spaces Proposed, plus 1 visitor

Findings of Fact

Criteria and policies for the issuance of Development Permits appear in Schedule 2.10 of Bylaw 7100, the *City Centre Area Plan*, part of the *Official Community Plan*.

Development surrounding the subject site is ; a single family house to the north, and on all 3 of the other sides are three and four storey apartments.

Staff Comments

The following are staff comments, with the applicant's response in ***bold italics***.

Urban Development - Design

This infill project attempts to take into account the conditions on the adjacent properties and has retained all of the better existing trees on the site. We note that several mature trees are to be removed. Although these trees have some problems (co-dominant leaders, etc.), they still fall within our tree-replacement policy, and therefore we recommend that the landscape plans be amended to include a minimum of four (4) trees of 10 cm calliper. Before a Building Permit is issued, the existing trees to be retained should be fenced, and we require evidence that you have retained a professional to monitor the trees during construction.

We note that you have one (1) visitor parking space, whereas the bylaw requires two (2). Even though this is a small project, we should point out that some Councillors have been opposing any reductions in visitor parking. I also note that your resident parking exceeds the bylaw requirement, but it is all in garages and not very useful for visitors.

Prior to forwarding this application to Council, a Letter of Credit will be required for landscaping.

Urban Development - Utilities

No concerns with the Development Permit; even Development Applications Department comments via RZ 02-218208 were minimal.

Urban Development - Transportation

See also comments made at RZ application. Throat width must be minimum 6 m clear pavement width to driveway letdown.

Building Approvals

Detailed Building Code analysis required re: classification, fire separation, fire fighting provisions, exiting, etc. Show section of grading at the property lines---retaining wall and drainage? Separation of townhouse units to the building exterior. What are the variances if any being granted? Mail kiosk, fireplace in unit B?

Fire Prevention, Detection and Protection

No problems with this plan.

Garbage and Recycling

This development will be on the City's garbage and recycling collection. Garbage and recycling will have to be brought out to the sidewalk for collection. The mail enclosure to be enlarged to accommodate four (4) recycling carts and a spot for garbage cans or bags. * (See conclusions).

ANALYSIS OF THE CITY CENTRE GUIDELINES

The guidelines are summarized below, with areas of compliance indicated with a and staff comments in **bold**.

4.3 General Design Considerations

4.3.1 Public Amenity: Contribute to the establishment of a “complete community”.

- Mix of uses, and their distribution, should serve to strengthen neighbourhoods.
- Promote streets for pedestrian activity and make them the focus of public life.
- Social and cultural features should be made plentiful, accessible, and of higher quality.

- Natural, built, and human heritage should be retained, enhanced, and celebrated.
- Safety in design should provide for surveillance, territoriality, effective lighting, and increased security around potential crime targets.

4.3.2 Environmental Factors: Enhance liveability of the public and private realms.

- Sun and shade, influenced by massing and siting, should ensure the liveability of:
 - a) Public Realm - Around noon, 3-5 hours, minimum, of sunlight to streets subject to sunlight standards (Fig.2), and outdoor spaces in general. (Mar 2 - Sept 21)
 - b) Semi-Private Open Spaces - Maximize direct sunlight between 10am and 2pm for all uses, plus 4pm to early evening for residential uses.
 - c) Private Residential Open Space - Ensure direct sun to at least 75% of dwelling units and their open spaces. (May require shadow study of subject site and neighbours.) **Provide a shadow study or consider balconies or roof decks.**
- Weather protection should be designed to enhance pedestrian comfort and activity:
 - a) Throughout City Centre - It is promoted adjacent to public uses, transit, building entries, across barriers (i.e. parking lots), and where a “gap” can be filled.
 - b) Special Pedestrian Area - Its provision and continuity are directed as per Fig.3.
 - c) Types - In higher-density and mixed-use areas, canopies (1.8 m deep x 2.74 m high, min.) and arcades (2.5 m deep x 4.2 m high, min.) are preferred over fabric awnings. **n/a.**
- Wind and pedestrian comfort - Protect pedestrian areas, in general, and high-activity pedestrian areas, in particular, from the negative effects of the prevailing easterly wind, local wind conditions, and site-generated wind conditions. **n/a.**
- Noise - North of Granville Avenue, a registered acoustics professional must verify residential development, subject to rezoning or subdivision, meets CMHC standards. **n/a.**
- Public views and vistas, including the skyline, should be preserved and enhanced.

4.3.3 Streetscapes: Promote a green and pedestrian-oriented environment.

- Pedestrian amenities, including high-quality, coordinated street improvements (i.e. underground utilities and restricted driveways at sidewalks), building design features (i.e. vent fumes away from public areas), and furnishings, should be provided to distinguish the public realm, enhance pedestrian comfort, and strengthen local character.
- Universal accessibility should be provided to both buildings and sites, and use of ramps and segregation of mobility-impaired and “primary” circulation/uses must be minimized.
- Publicly-accessible open space treatment.
- Streetscape treatment.
 - Street Trees - Columnar in high-density and retail areas, and broader, spreading shapes elsewhere.
 - Street Tree Spacing - 9m, planted in a single row along the curb.

4.3.4 Urban Form: Develop a human-scaled, pedestrian- and transit-oriented environment.

- City form should enhance local character and human-scale with smaller blocks, lanes, pedestrian links, infill, and more intense land use near transit and valued amenities.
- Bulk and height should be liveable, cohesive, and support varied uses/roles, through:

- a) Low-Rise - Both independent and “podium” buildings should predominate.
 - b) Taller Buildings - Selective use, where densification, views, open space, or skyline definition is important and can be better achieved.
 - c) Towers:
 - Staggered spacing of 24 m minimum.
 - 600 m² max. floor plates above 21 m elevation, especially for residential.
 - 4.5 m minimum setback from the face of “podium” base-buildings.
 - Terracing of lower tower floors where appropriate.
- Architectural elements should promote human comfort and urban amenity, through:
- a) Roofs - Taller buildings and roofs should enhance the skyline, while lower roofs should be visually attractive and, where practical, designed as usable open space.
 - b) Entrances - Building entries should open directly onto and animate the street, distinguish clearly between uses, and be highly visible, accessible, and safe.
 - c) Exterior Walls - Walls, glazing, details, materials, lighting, and related landscaping should contribute to a high-quality, human-scaled image at the street, lane, and interior sidewalls, and should enhance the relationship between the pedestrian realm and upper storeys.

4.4 Land Use-Specific Design Considerations

4.4.1 Residential: Reinforce and augment other City liveability criteria and sub-area plans.

- General multiple-family guidelines promote the following:
- a) Clustering - Maximum 90 apartment units sharing one entrance, 25 townhouses clustered, and 6 townhouses in a row.
 - b) Entries - Promote individual grade-level unit entries.
 - c) Views - Provide near-, middle-, and distant-views to each unit.
 - d) Sun - 75% of units and their open space should receive direct sunlight year-around.
 - e) Private Open Space - Larger spaces are strongly encouraged, but for townhouses, 37 m² (9 m deep) minimum, and for apartments, 6 m² (1.8 m deep) minimum.
 - f) Noise - Maintain maximum indoor ambient sound level of 35 dBA, and buffer traffic noise impacts on private and semi-private open space.
- Universal housing seeks to accommodate the functional needs of all residents, through:
- a) Common areas - All should accommodate wheelchairs and the visually impaired.
 - b) Elevator - At least one must accommodate a prone stretcher.
 - c) Units - Should accommodate wheelchair access throughout.
 - d) Doorways - Wheelchair accessible throughout common areas and private units.
 - e) Floors - Slip-resistant and non-glare.
 - f) Locks, Handles, and Controls - Easy to read, reach, grasp, and use.
 - g) Counters, Cupboards, Sinks, Tubs, and Showers - Well lit and easy to use.
 - h) Additional electrical features - Encouraged to allow for computers, etc.

Consider making one unit convertible to universal accessibility by deleting one or more garage spaces, etc. We note that this plan exceeds the bylaw requirement for resident parking. The architect has designed one unit at the west end for universal accessibility and has therefore converted the double garage to a single.

- Housing families with children effectively requires special consideration of:
- a) Sites - Within walking distance of schools/amenities, protected from incompatible uses, and conducive to the provision of family housing needs (i.e. play space).
 - b) Clustering - Group family units to provide children peers to play with, a sense of community, and adequate numbers to support the provision of amenities.

- c) Common Open Space - Must meet the needs of both adults and children.
- d) Indoor Amenity Space - Size, distribution, and design should accommodate both adults and children. **The design does not make much allowance for children. There is no room for a play area, and the individual units have a large deck on the second level, but do not have easy access to grade.**

4.4.2 Retail: n/a.

4.4.3 Amenity Space: Enhance access to high-quality, usable, indoor amenity spaces.

- Public space provided by new development, as defined under Bylaw 5300, should be tailored to one or more uses determined by the City, provide barrier-free public access, be convenient to outdoor space and parking, and ensure that exterior windows extend for a length equal to at least 20% of the perimeter of the facility.
- Semi-Private Space, for the common use of residents or non-residential tenants, should:
 - a) Phasing - Adequately serve each phase of development.
 - b) Design and Operation - Be tailored to site-specific tenant needs.
 - c) Minimum Ratio - For residential, 2 m²/bedroom (plus 4 m²/bedroom of outdoor space), and for other uses, 1 m²/100 m² of gross leaseable building area.
 - d) Tenants - Meet the on-site needs of children, youth, adults, and seniors.

There is no common space, with the possible exception of the mail boxes. Perhaps this area could be expanded to provide an informal area where neighbours could meet.

4.4.4 Parking and Loading: Improve the safety/appearance/effectiveness of these uses.

- Lane system should be retained and expanded to enhance access, emergency service, and back-of-house operations wherever practical. Elsewhere:
 - a) Access - Typically from secondary streets.
 - b) Driveways - Consolidate to minimize pedestrian interruption and duplication of vehicular routes, and to provide a more coherent circulation system.
 - c) Car/Service Entrances - Minimize impact on pedestrians and the streetscape.
- Visual impact of new and existing parking lots/structures should be minimized by:
 - a) Multi-Level Structures - No grade-level street frontage permitted, and screening with non-parking uses and special facade treatments required above-grade.
 - b) Surface Lots - Must be situated to the rear of buildings, except in Aberdeen's low-density (0.5 FAR) automobile-oriented, non-residential areas where:
 - Maximum building setback is 40 m.
 - Pedestrian weather protection links the building with the street.
 - Minimum of 1 tree is provided for each 2 parking spaces.
 - Special paving/landscaping enhances the pedestrian experience.
 - c) Surface Lot Landscaping - Enhance streetscape appearance, continuity, and safety.
 - d) Tree Coverage:
 - Surface Lots - Trees must be provided such that, within 10 years of development, 70% of the lot is shaded in summer.
 - Rooftop Parking - Trees and overhead planting must be provided such that, within 5 years, 70% of the surface is shaded in summer and 50% is concealed from view year-round.
 - e) Maximum Area - Any single surface lot, or the aggregate total of adjacent surface lots, shall not exceed 0.25 ha, except in the case of Aberdeen's Automobile-Oriented Commercial and Industrial uses where it shall not exceed 1.21 ha.

- Parking reduction opportunities should be sought through the sharing of parking facilities and coordination with the off-site opportunities. **We note that this project exceeds the bylaw requirement for parking.**
- Bicycle parking and end-of-trip facilities must be provided:
 - a) CLASS 1 Parking - Secured, long-term, at-grade parking in lockers or rooms.
 - b) CLASS 2 Parking - Unsecured, short-term, at-grade parking in racks within 15m of principle building entries.
 - c) Parking Spaces Required (per 100 m² gross leaseable space, except for residential):
 - Residential, 1.5 CLASS 1/dwelling unit, and 0.2 CLASS 2/dwelling unit.
- Loading, garbage, and recycling facilities/operations should not impair lane, road, or sidewalk activities or appearance; and, should either be fully enclosed within a building, or open to a lane and screened with appropriate roofs and walls to minimize noise and visual impact.

Advisory Design Panel

At their meeting of March 19, 2003, the Panel had the following comments:

- The landscape plan and the development were good. The lane was considered tight and it was questioned how the fence would be protected. Light landscaping along the driveway was suggested. The pedestrian trellis could be moved forward and signage could be included. Additional ground cover could be located around the perennials.
- The plantings around the mail area should be kept low.
- The raised entry and the through units were appreciated and were considered to contribute to the liveability and future popularity of the units. The fence and tree should be protected from vehicle use. The removal of overgrown trees was supported. The colour and material choices were complimentary to the project. The front of the development had interest which was enhanced by the mature landscaping. A concern was expressed for the rear (garage) area and the suggestion was made that an opportunity existed to introduce variation to the lower level.
- A handsome project that was well presented. The colours were too dark. The base could be a deep colour rather than a tone. The battens over the garages were too shallow by the time the shortest batten was reached.
- The project was appreciated. The colours and materials were good, as were the presentation and articulation. The roofline was a bit severe and “arc like” but would be well hidden by landscaping. A suggestion that valley’s at the third point of the ridge line be used. The handling of the corner unit was good. The width of the driveway was questioned. The fence should be protected with a hedge.
- The below deck area should be protected against use as storage. A hedge could replace the fence.

In response to the above comments, Mr. Fougere said:

- that there was not enough room along the edge for a hedge;
- ivy could be planted against the fence;

- low plantings would be located around the mailbox;
- as there would be no recognition of the length of the building once the adjacent lots developed, a determination had been made to not increase the risk of roof penetration by incorporating valleys; and
- no hatch for storage would be located under the deck.

The unanimous decision of the Panel was that the item move forward subject to the consideration of the above comments.

Analysis


This is generally a well-designed project which meets most of the guidelines and bylaw requirements. There are a few areas of non-compliance with the guidelines which could be improved (without losing any floor area), keeping in mind the tight site plan and the lack of ground level amenities. Reducing the amount of parking might help in this regard. Some common space would help to encourage interaction between neighbours. Also, some areas could serve as multi-purpose space for children...even paved areas, if carefully designed.

Re: garbage/recycling: Note that there will be curb-side pickup of individual garbage and blue boxes; so the level grass area near the driveway crossing is a practical option.

The project will require variances to visitor parking, which help to reduce the impact of automobiles. Staff have no objection, as these variances have been granted in the past.

Conclusion

Jema Properties Consulting Ltd. have applied for a Development Permit on an infill property on Moffatt Road. The plans generally follow the City Centre guidelines.



Alex Jamieson
Planner 2 - Urban Design
(4122)

AJ:blg

There are conditions to be met: Prior to forwarding this application to Council, a Letter of Credit will be required for landscaping, and prior to a Building Permit, the existing trees should be fenced, and there should be evidence of a contract with a professional who will monitor the existing trees during construction.



City of Richmond
6911 No. 3 Road
Richmond, BC V6Y 2C1

Development Permit Application
Development Applications Department

(604) 276-4000 Fax (604) 276-4052

Please submit this completed form to the Zoning counter located at City Hall. All materials submitted to the City for a *Development Permit Application* become public property, and therefore, available for public inquiry.

Please refer to the attached forms for details on application attachments and non-refundable application fees.

Property Address(es): 7531 HOFFATT ROAD
Legal Description(s): N 1/2 of Lot 21, sec. 17, B4N, R6W, L.D. 36,
Plan 8037

Applicant: JEMA PROPERTIES CONSULTING Ltd.

Correspondence/Calls to be directed to:

Name: TIFFANY DUZITA

Address: #206 - 5631 No.3 Rd.
RICHMOND, BC V6X 2C7
Postal Code

Tel. No.: 604-271-5556 Business 604-271-5557 Residence

tduzita@telus.net E-mail 604-271-5557 Fax

Property Owner(s) Signature(s): _____

Please print name

or

Authorized Agent's Signature: [Signature]
Attach Letter of Authorization

Oiga Ilich
Please print name

For Office Use	
Date Received: <u>Sept 30, 2002</u>	Application Fee: <u>\$945.00</u>
File No.: <u>DP 02-218226</u> <small>Only assign if application is complete</small>	Receipt No.: <u>17-0001563</u>



No. DP 02-218226

To the Holder: JEMA PROPERTIES CONSULTING LTD.

Property Address: 7531 MOFFATT ROAD

Address: C/O TIFFANY DUZITA
#206 – 5631 NO. 3 ROAD
RICHMOND, BC V6X 2C7

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning and Development Bylaw No. 5300" is hereby varied or supplemented as follows:
 - a) The dimension and siting of buildings and structures on the land shall be generally in accordance with Plan #1 attached hereto.
 - b) The siting and design of off-street parking and loading facilities shall be generally in accordance with Plan #2 attached hereto.
 - c) Landscaping and screening shall be provided around the different uses generally in accordance with the standards shown on Plan #2 and 3 attached hereto.
 - d) Roads and parking areas shall be paved in accordance with the standards shown on Plan #1, 2 and 3 attached hereto.
 - e) Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
 - f) Subject to Section 692 of the Local Government Act, R.S.B.C., the building shall be constructed generally in accordance with Plan #5 attached hereto.
4. As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder, or should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived. In addition to other remedies, if the existing trees die as a result of construction activity or negligence, the City may cash the letter of credit in an amount equal to the value of the trees.

To the Holder: JEMA PROPERTIES CONSULTING LTD.

Property Address: 7531 MOFFATT ROAD

Address: C/O TIFFANY DUZITA
#206 – 5631 NO. 3 ROAD
RICHMOND, BC V6X 2C7

There is filed accordingly:

An Irrevocable Letter of Credit in the amount of \$13,278.

- 5. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.
- 6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

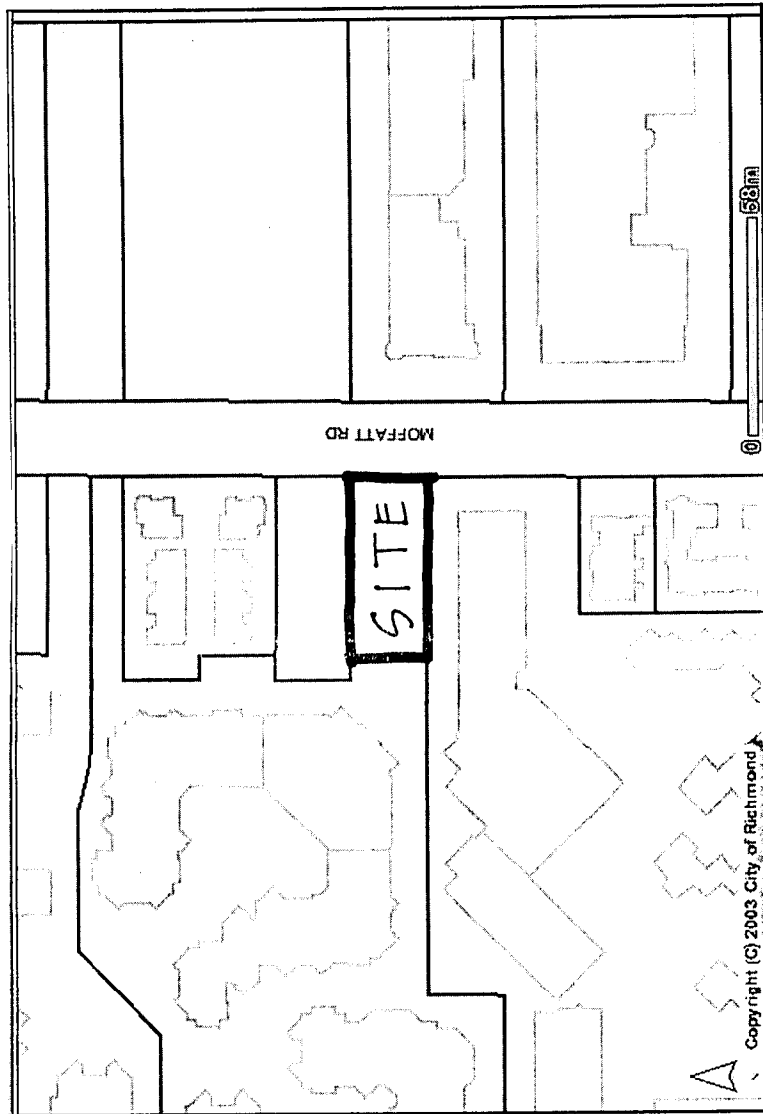
This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF

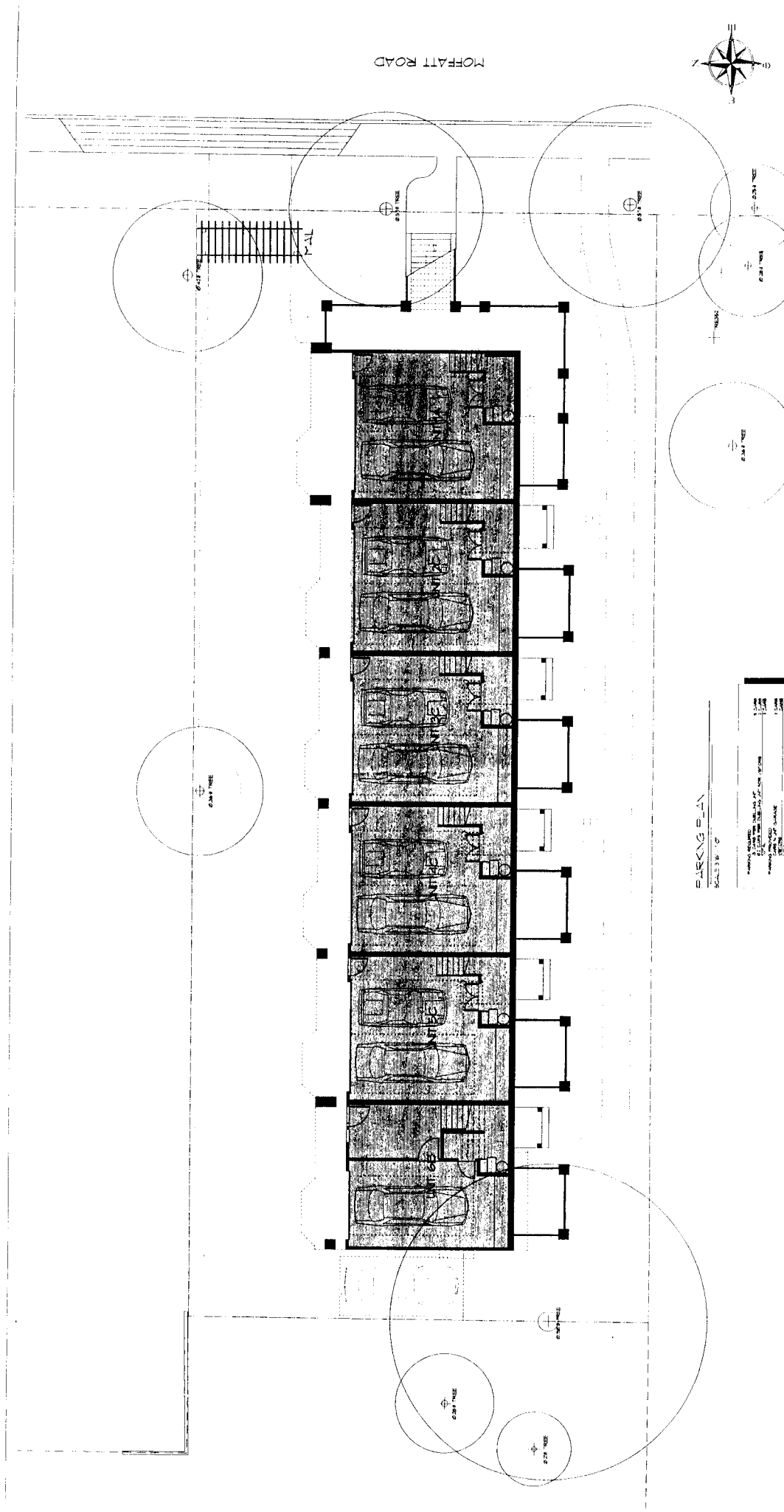
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

MAYOR



MAR 25 2003
DP 02, 218226



PARKING PLAN
SCALE: 1/8" = 1'-0"

NO.	DESCRIPTION	AREA (SQ. FT.)	TOTAL
1	PARKING STALLS	12	12
2	DRIVEWAYS	100	100
3	LANDSCAPING	50	50
4	WALKWAYS	20	20
5	MAIL ROOM	10	10
6	STAIRS	5	5
7	RESTROOMS	5	5
8	OFFICE	10	10
9	RECEPTION	5	5
10	CONFERENCE	10	10
11	MEETING	10	10
12	STORAGE	10	10
13	MECHANICAL	10	10
14	ELECTRICAL	10	10
15	PLUMBING	10	10
16	HVAC	10	10
17	ROOF	10	10
18	FOUNDATION	10	10
19	STRUCTURE	10	10
20	FINISHES	10	10
21	MECHANICAL	10	10
22	ELECTRICAL	10	10
23	PLUMBING	10	10
24	HVAC	10	10
25	ROOF	10	10
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30	ELECTRICAL	10	10
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55	PLUMBING	10	10
56	HVAC	10	10
57	ROOF	10	10
58	FOUNDATION	10	10
59	STRUCTURE	10	10
60	FINISHES	10	10

MARCH 25, 2003
FOUGERE ARCHITECTURE INC.
 ARCHITECTS & PLANNERS
 1000 AVENUE OF THE STARS, SUITE 100
 FALLS CHURCH, VA 22044
 (703) 441-2200

7531 MOFFATT ROAD
 for
JEMA PROPERTIES CONSULTING LTD.
 MAR 25 2003
 DX 02. 218226

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NO	DATE	REVISION DESCRIPTION	BY
1			
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10			

DMG
landscape architects
10 N. HENRI LAMARQUE, L.L.C.
1000 BROADWAY, SUITE 100
RICHMOND, VIRGINIA 23219
PH (804) 352-7422 FAX (804) 352-7423

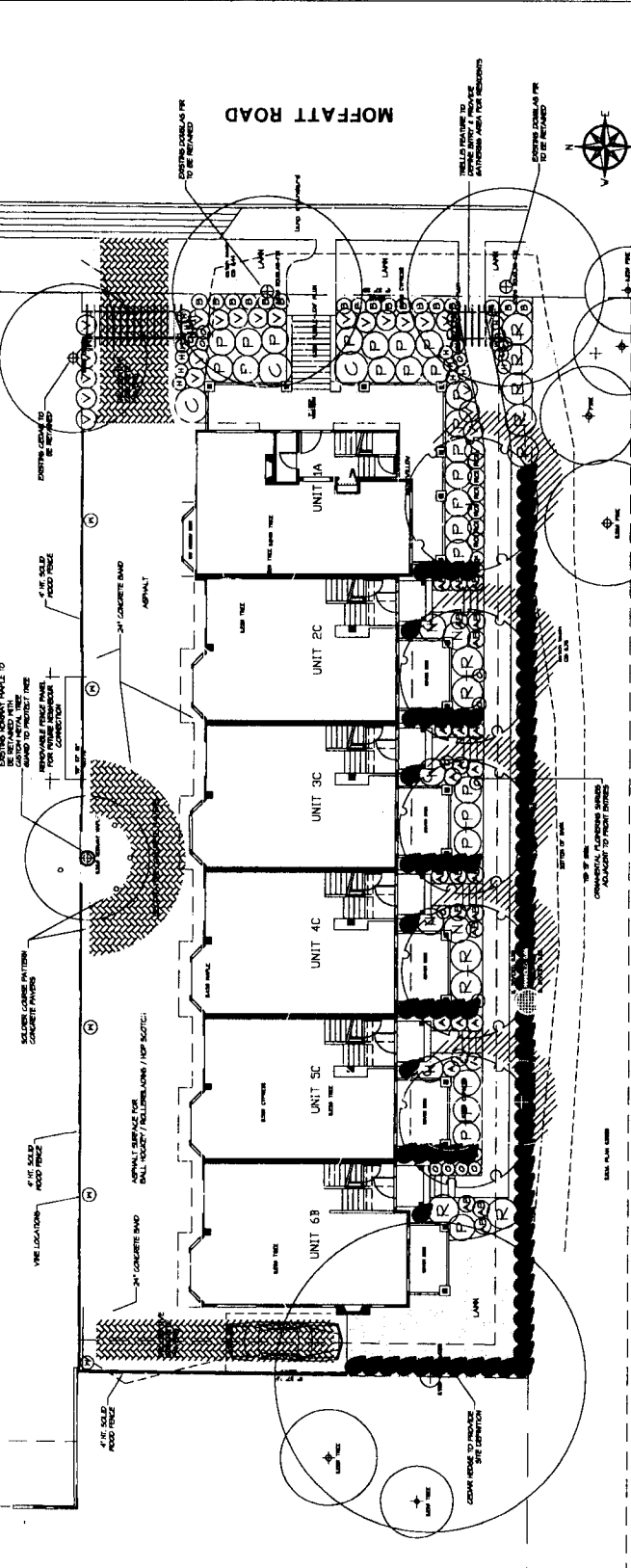
6 UNIT TOWNHOUSE DEVELOPMENT
7531 MOFFATT ROAD
RICHMOND, B.C.

DATE: 02/05/03
SCALE: 1/8"=1'-0"
DRAWN: MCT
DESIGN: MCT
CHECK: MCT

LANDSCAPE PLAN

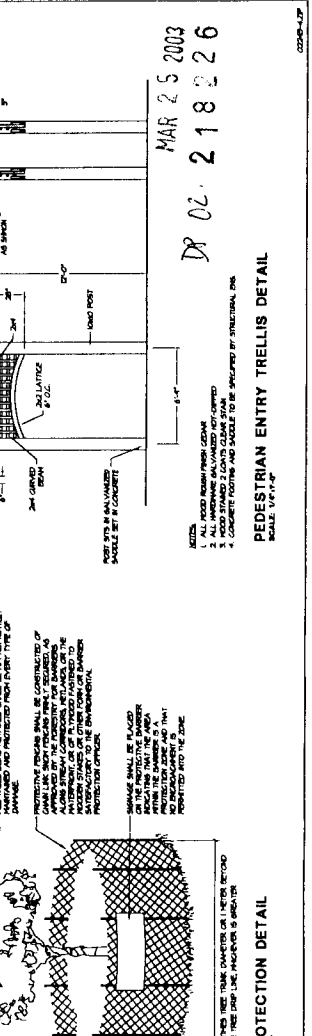
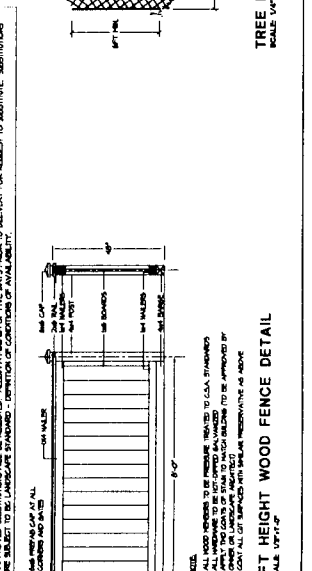
DMG PROJECT NUMBER: 03-240

L1 OF 3



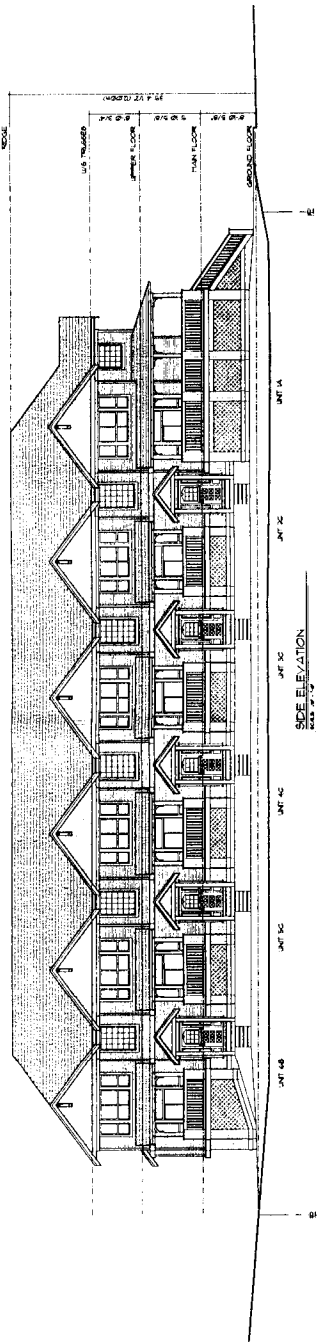
PLANT SCHEDULE
PLANT SIZE: 10" MIN. TUBULAR BASKET

NO.	COMMON NAME	COMMON NAME	PLANTED SIZE / BASKETS
1	ALBERTA 1: NERIS 'SUNSHINE'	ALBERTA 1: NERIS 'SUNSHINE'	10" GAL. 1000 500 500
2	ALBERTA 2: NERIS 'SUNSHINE'	ALBERTA 2: NERIS 'SUNSHINE'	10" GAL. 1000 500 500
3	ALBERTA 3: NERIS 'SUNSHINE'	ALBERTA 3: NERIS 'SUNSHINE'	10" GAL. 1000 500 500
4	ALBERTA 4: NERIS 'SUNSHINE'	ALBERTA 4: NERIS 'SUNSHINE'	10" GAL. 1000 500 500
5	ALBERTA 5: NERIS 'SUNSHINE'	ALBERTA 5: NERIS 'SUNSHINE'	10" GAL. 1000 500 500
6	ALBERTA 6: NERIS 'SUNSHINE'	ALBERTA 6: NERIS 'SUNSHINE'	10" GAL. 1000 500 500
7	ALBERTA 7: NERIS 'SUNSHINE'	ALBERTA 7: NERIS 'SUNSHINE'	10" GAL. 1000 500 500
8	ALBERTA 8: NERIS 'SUNSHINE'	ALBERTA 8: NERIS 'SUNSHINE'	10" GAL. 1000 500 500
9	ALBERTA 9: NERIS 'SUNSHINE'	ALBERTA 9: NERIS 'SUNSHINE'	10" GAL. 1000 500 500
10	ALBERTA 10: NERIS 'SUNSHINE'	ALBERTA 10: NERIS 'SUNSHINE'	10" GAL. 1000 500 500

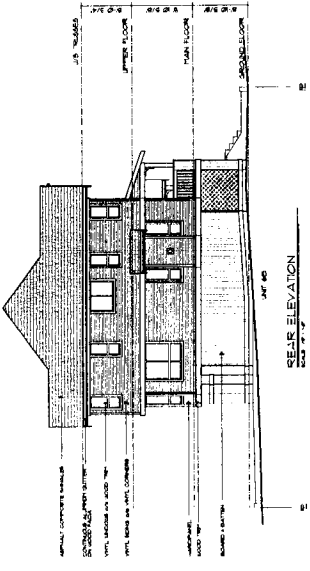


MAR 25 2003
DR 02-218226

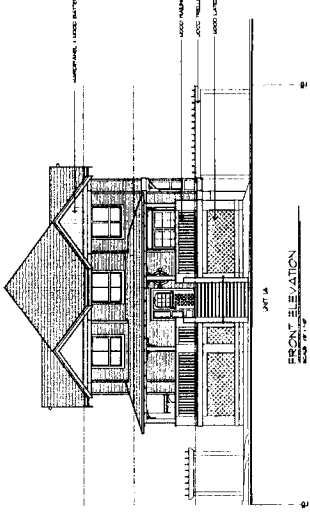
DMG PROJECT NUMBER: 03-240



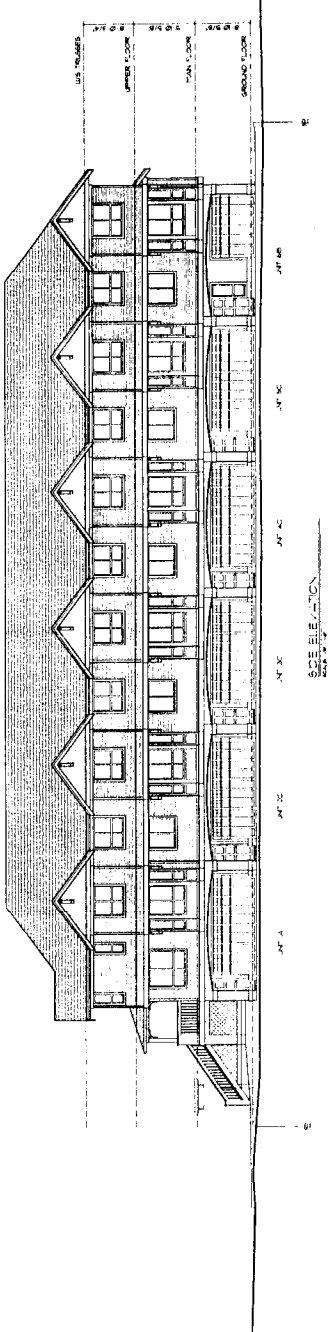
SIDE ELEVATION
SIDE OF BUILDING



REAR ELEVATION
REAR OF BUILDING



FRONT ELEVATION
FRONT OF BUILDING



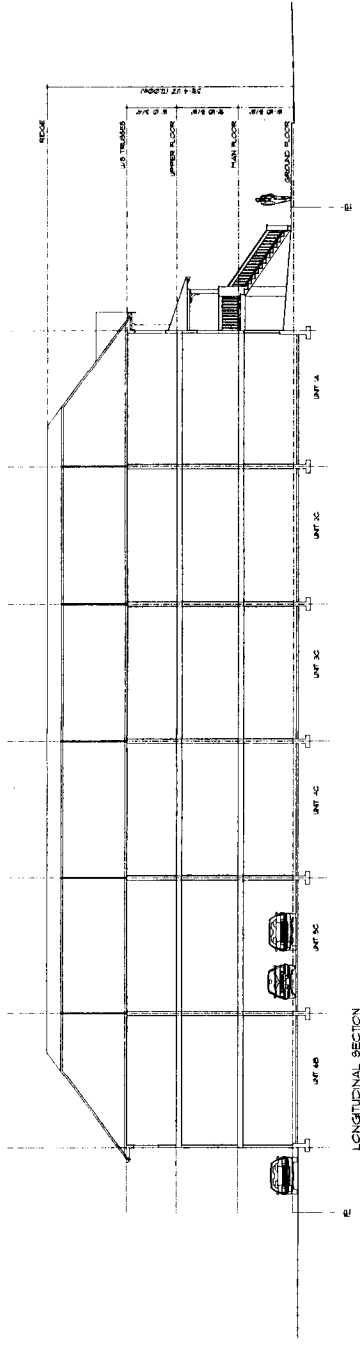
SIDE ELEVATION
SIDE OF BUILDING

7531
MOFFATT
ROAD
for
JEMA PROPERTIES
CONSULTING LTD.

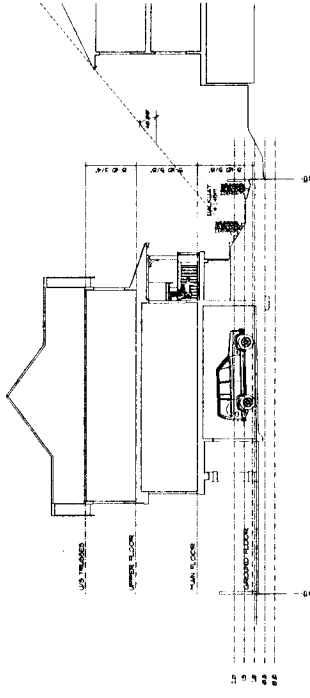
MARCH 26, 2003
FOUGERE
ARCHITECTURE
7711 216 AVE. S.W. VANCOUVER, B.C. V6V 2K6
TEL: 604-273-8888 FAX: 604-273-8889

MAR 25 2003

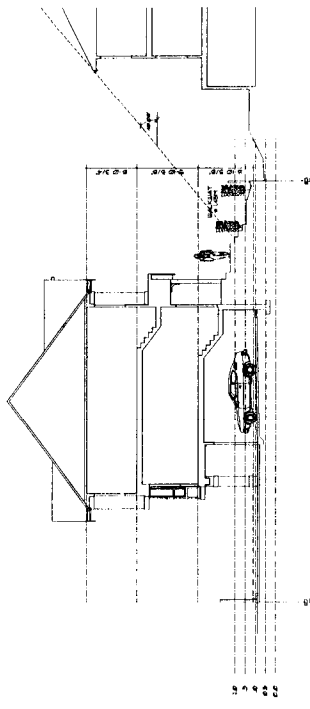
DP 02, 218226



LONGITUDINAL SECTION



CROSS SECTION



CROSS SECTION

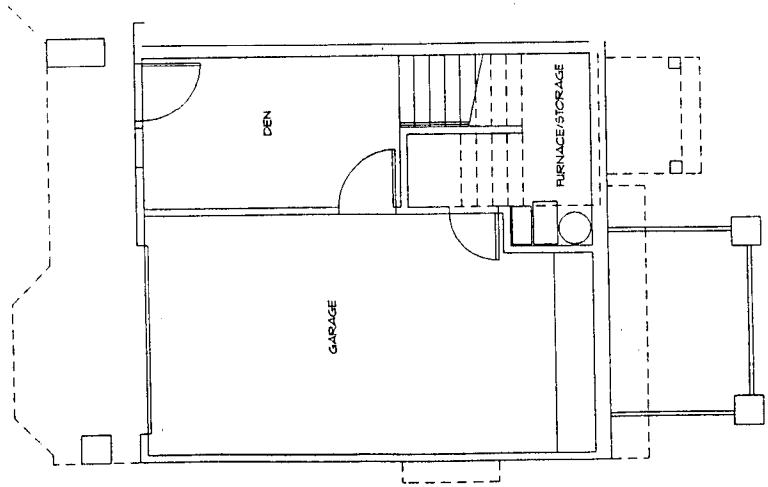
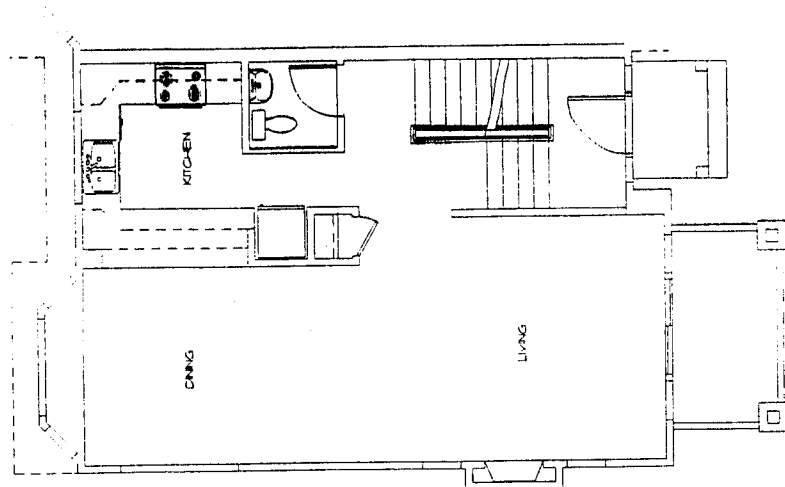
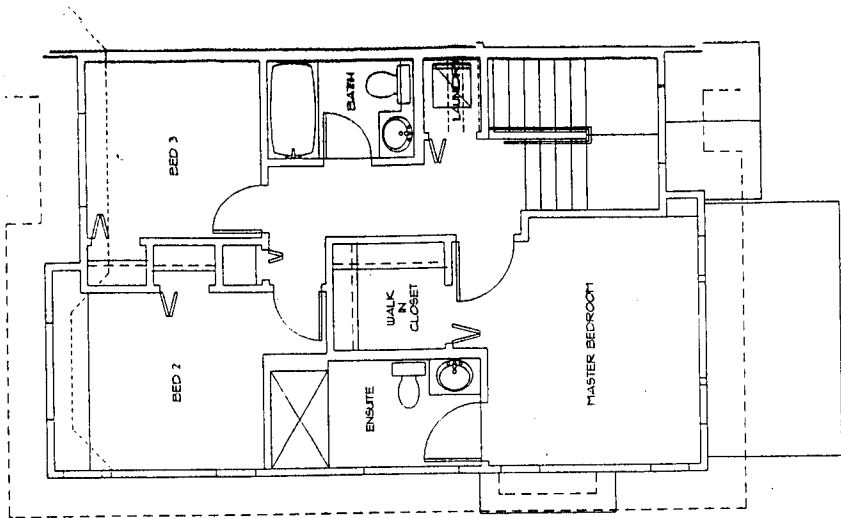
7531
MOFFATT
ROAD

for
JEMA PROPERTIES
CONSULTING LTD.

MARCH 25, 2003
FOUGERE
ARCHITECTURE
INC.
100-1111 GALT AVENUE
SUITE 1000
VANCOUVER, BC V6V 1V9
TEL: 604-277-7700

MAR 25 2003

DP 02.218220



UNIT B

GROUND FLOOR	1186 SQ. FT.
MAIN FLOOR	667.79 SQ. FT.
UPPER FLOOR	622.5 SQ. FT.
TOTAL FLOOR AREA	1475.29 SQ. FT.