



City of Richmond
Planning and Development Department

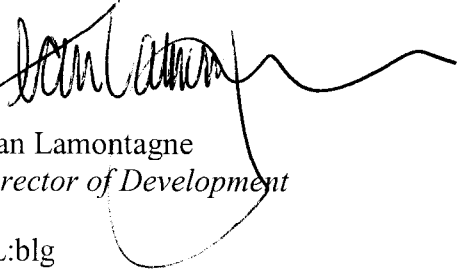
Report to Development Permit Panel

To: Development Permit Panel
From: Jean Lamontagne
Director of Development
Date: March 13, 2007
File: DP 06-330668
Re: **Application by Island City Builders Ltd. for a Development Permit at
5280 Williams Road**

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of six (6) detached townhouse dwellings at 5280 Williams Road on a site zoned Townhouse District (R2-0.6); and
2. Vary the provisions of the Zoning and Development Bylaw No. 5300 to:
 - a) Reduce the minimum front yard setback from 6.0 m to 4.5 m; and
 - b) Reduce the east side yard setback from 3.0 m to 2.0 m for the northeast unit.



Jean Lamontagne
Director of Development

EL:blg
Att.

Staff Report

Origin

Island City Builders Ltd. has applied to the City of Richmond for permission to develop six (6) detached townhouse dwellings at 5280 Williams Road. The site is being rezoned from "Single-Family Housing District, Subdivision Area C (R1/C)" to "Townhouse District (R2-0.6)" for this project under Bylaw No. 7928 (RZ 04-269099). The site contained a single-family home which was demolished for this project.

Development Information

Please refer to attached Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant bylaw requirements.

Background

The property is surrounded by small, relatively new, single-family properties (average 500 m² or 5,382 ft²). To the north, directly across the street, is a variety of development including townhouses, older two-family dwellings, and newer single-family dwellings.

Rezoning and Public Hearing Results

This application has undergone extensive review by both the neighbourhood and staff during the rezoning process. The applicant had made an attempt to address and reflect the concerns of the neighbourhood in their development plan. The latest proposal responds to the neighbourhood's concerns by reducing the number of townhouse units to six (6), creating structures with more of a detached single-family character form and design, providing additional visitor parking stalls on site, and keeping the building heights near to those of adjacent structures.

The Public Hearing for the rezoning of this site was held on February 20, 2006. At the Public Hearing, no concerns about rezoning the property were expressed.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the Townhouse District (R2-0.6) except for the zoning variances noted below.

Zoning Compliance/Variations (staff comments in **bold**)

The applicant requests to vary the provisions of the Zoning and Development Bylaw No. 5300 to:

- 1) Reduce the minimum front yard setback along Williams Road from 6.0 m to 4.5 m.

(Staff supports the proposed variance as it results from measures taken to fit into the surrounding context and improve the transition to the single-family home behind. The proposed building height is limited to two-storey and the rear yard setback is increased from 3.0 m to 6.0 m. The proposed front yard setback is 4.5 m to the building face and 3.75 m to the porch which provides desirable proportionate building and streetscape articulation. The variance was identified on the preliminary drawings attached to the Report to Committee during rezoning and received no public concerns).

- 2) Reduce the east side yard setback from 3.0 m to 2.0 m for the northeast unit.

(Staff supports the proposed variance as it is the result of developing two-storey townhouses with an access on this narrow, constrained lot between two (2) newer single-family homes along an arterial road. The proposed reduced east side yard setback enables fulfillment of two (2) extra visitor parking stalls within this small site and the resulting 2.0 m setback is considered consistent with single-family type housing. The reduced side yard setback to the east adjacent to an existing single-family home was identified on the preliminary drawings attached to the Report to Committee and received no public concerns.)

Advisory Design Panel Comments

The Advisory Design Panel was not presented to the Advisory Design Panel on the basis that the project generally met all the applicable Development Permit Guidelines, and the overall design and site plan adequately addressed staff comments.

Analysis

Conditions of Adjacency

- The proposed height, siting and orientation of the buildings respects the massing of the surrounding existing single-family residential development;
- The increased rear yard setbacks provides appropriate private outdoor open space; and
- The applicant has addressed privacy for the adjacent single-family home to the east through a design with a limited number of windows facing into the side yard, the planting of hedging along the shared property line, and a new 1.68 m (5 ft. 6 in.) Cedar fence.

Urban Design and Site Planning

- The development offers an animated pedestrian-oriented streetscape on Williams Road;
- Vehicle access to the development will be through a permanent access to Williams Road;
- Resident parking is located off of the internal manoeuvring aisle. Twelve (12) resident and four (4) visitor parking spaces are proposed which meets the on-site resident parking requirement and exceeds the visitor parking requirement; one (1) accessible stall has been provided;
- A garbage/recycling enclosure has been incorporated into the design of the building and carefully sited on the west side of the front building for convenience of pick-up; and
- A cross-access easement was secured through the Rezoning to facilitate the future redevelopment potential of the adjacent lot to the east, and to minimize the number of driveways accessing Williams Road.

Architectural Form and Character

- The building forms are well articulated;
- A pedestrian scale is provided at the ground floor level of the units along public street and internal driveway with the inclusion of windows, doors, porches, and landscape features;
- Visual interest and variety has been incorporated with gable roof, porches, varying material combinations, and a range of colour finishes;
- The impact of blank garage doors has been mitigated with panel patterned doors, transom windows, planting islands, and pedestrian entries;
- The proposed building materials are consistent with the Official Community Plan (OCP) Guidelines; and

- One (1) adaptable unit (Building 1) has been incorporated into the design. The stair in Building 1 will be wide enough to accommodate future inclined platform lift.

Landscape Design and Open Space Design

- A Tree Survey (**Attachment 2**) and an Arborist report (**Attachment 3**) has been submitted and reviewed by City staff;
- The applicant has agreed to preserve the three (3) bylaw-sized trees on site (located in the rear yard) and protect the two (2) Japanese Maple trees on the adjacent property to the south (5237 Hollycroft Drive), located very close to the common property line and have branches encroaching into the subject site. Tree Protection Barriers were installed along the driplines of these trees or at the locations as recommended in the Arborist Report during demolition, and will remain on site until the construction of the future townhouse development is completed;
- The applicant is proposing to remove four (4) bylaw-sized trees located within the City's boulevard along Williams Road. The City's Parks Operations staff have reviewed the condition of these trees and have no concerns on the proposed tree removal. The applicant will need to seek formal permission from Parks Department and may need to plant replacement trees or contribute to the Tree Planting Fund to plant trees elsewhere. Removal and replanting of boulevard trees will be at the owner's cost;
- A total of six (6) new trees, 192 shrubs, and 72 Cedars are proposed for the site, which meets the OCP requirements for replacement planting as all bylaw sized trees are being retained on the site;
- The use of concrete pavers improves the permeability of the site; and
- The amenity area has been designed for convenience, safety and accessibility for building occupants and includes children's play equipment; the use of permeable paving over the accessible space and walkway provides a visual extension of the amenity area when the parking area is not in use.

Crime Prevention Through Environmental Design

- The site design provides both internal unit privacy and passive surveillance of internal roadways and communal areas to enhance safety for residents; and
- Effective lighting of buildings, open spaces, parking areas, and along the drive aisles will be provided.

Servicing Capacity Analysis

- A servicing analysis was conducted by the applicant. The Engineering Department has accepted the findings of the consultant's report and concluded that no sanitary upgrades but a contribution for storm sewer upgrades (\$15,522.78) are required. The applicant has provided this contribution.

Flood Management

- In accordance with the Interim Flood Protection Management Strategy, registration of a Flood Indemnity Covenant, specifying a minimum habitable elevation of 0.9 m, on title is required prior to the issuance of the Development Permit.

Affordable Housing

- No affordable housing units are proposed in this proposed six (6) unit development. In accordance with the Interim Affordable Housing Strategy, the applicant has agreed to a

voluntary contribution of \$0.60 per ft² (e.g. \$6,152.) towards the City's Affordable Housing Statutory Reserve Fund.

Conclusions

The applicant has satisfactorily addressed issues that were identified through the rezoning process, as well as staff's comments regarding issues of adjacency, site planning and urban design, architectural form and character, landscape design, and crime prevention through environmental design. In recognition of the importance of the affordable housing issue in Richmond, the developer is volunteering a contribution of \$6,152 towards the City's Affordable Housing Statutory Reserve Fund.

The applicant has presented a development that responds sensitively to adjacent housing forms and fits well within the existing neighbourhood context. Therefore, staff recommend support of this Development Permit application.



Edwin Lee
Planning Technician – Design
(Local 4121)

EL:blg

The following are to be met prior to forwarding this application to Council for approval:

- Receipt of a Letter-of-Credit for landscaping in the amount of \$26,019.16 (based on total floor area of 13,009.58 ft²);
- The City's acceptance of the developer's offer to provide a voluntary cash contribution of \$6,152.00 (based on maximum buildable floor area of 10,253.42 ft² towards the City of Richmond's Affordable Housing Statutory Reserve Fund;
- Proof of a contract with a registered arborist to ensure proper protection of existing on-site and neighbouring trees during construction; and
- Registration of a Flood Indemnity Covenant on title to the lands to meet current City requirements (Minimum 0.9 m geodetic).

The following conditions are required to be met prior to future Building Permit issuance:

- Submission and approval of a Construction Traffic Management Plan (<http://www.richmond.ca/services/ttp/special.htm>);
- Submission of an Encroachment Application to Engineering Department for the permission of locating the proposed play equipments and benches within the statutory right-of-way area;
- Incorporation of accessibility measures into the Building Permit drawings including the use of lever hardware and blocking inside of the walls in all washrooms in all units to facilitate future potential installation of grab bars/handrails.

Attachment 1: Development Application Data Sheet

Attachment 2: Tree Survey

Attachment 3: Arborist Report



City of Richmond

6911 No. 3 Road
 Richmond, BC V6Y 2C1
 www.richmond.ca
 604-276-4000

**Development Application
 Data Sheet**
 Development Applications Division

DP 06-330668

Attachment 1

Address: 5280 Williams Road

Applicant: Island City Builders Ltd. Owner: Island City Builders Ltd.

Planning Area(s): Steveston Area Plan (Schedule 2.4)

Floor Area Gross: 1,208.59 m² Floor Area Net: 947.68 m²

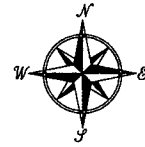
	Existing	Proposed
Site Area:	1,588.2 m ²	1,588.2 m ²
Land Uses:	Single-Family Residential	Townhouse Residential
OCP Designation:	Single-Family Residential	Multiple-Family Residential
Zoning:	Single-Family Housing District, Subdivision Area C (R1/C)	Townhouse District (R2-0.6)
Number of Units:	1 Single-Family Dwelling	6 detached townhouse units

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.60 F.A.R.	0.60	none permitted
Lot Coverage:	Max. 40%	38.8%	none
Setback – Front Yard:	Min. 6 m	4.5 m	variance supported for the front buildings
Setback – East Side Yard:	Min. 3 m	2.0 m	variance supported for the northeast building
Setback – West Side Yard:	Min. 3 m	4.9 m	none
Setback – Rear Yard:	Min. 3 m	6.0 m	none
Height (m):	Max. 11 m	9.02 m	none
Lot Size:	Min. 30 m width Min. 35 m depth	34.72 m width 45.71 m depth	none
Off-street Parking Spaces – Regular/Visitor:	12 and 2	12 and 4	none
Off-street Parking Spaces – Accessible:	1	1	none
Total off-street Spaces:	14	16	none
Tandem Parking Spaces	not permitted	none	none
Amenity Space – Indoor:	Min. 70 m ²	exempted since the average unit size exceeds 148 m ²	none
Amenity Space – Outdoor:	Min. 36 m ²	53.3 m ²	none

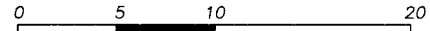
**TOPOGRAPHIC PLAN OF LOT 578 SECTION 36 BLOCK 6 NORTH
RANGE 7 WEST WESTMINSTER DISTRICT PLAN 53817**

DP06-330668

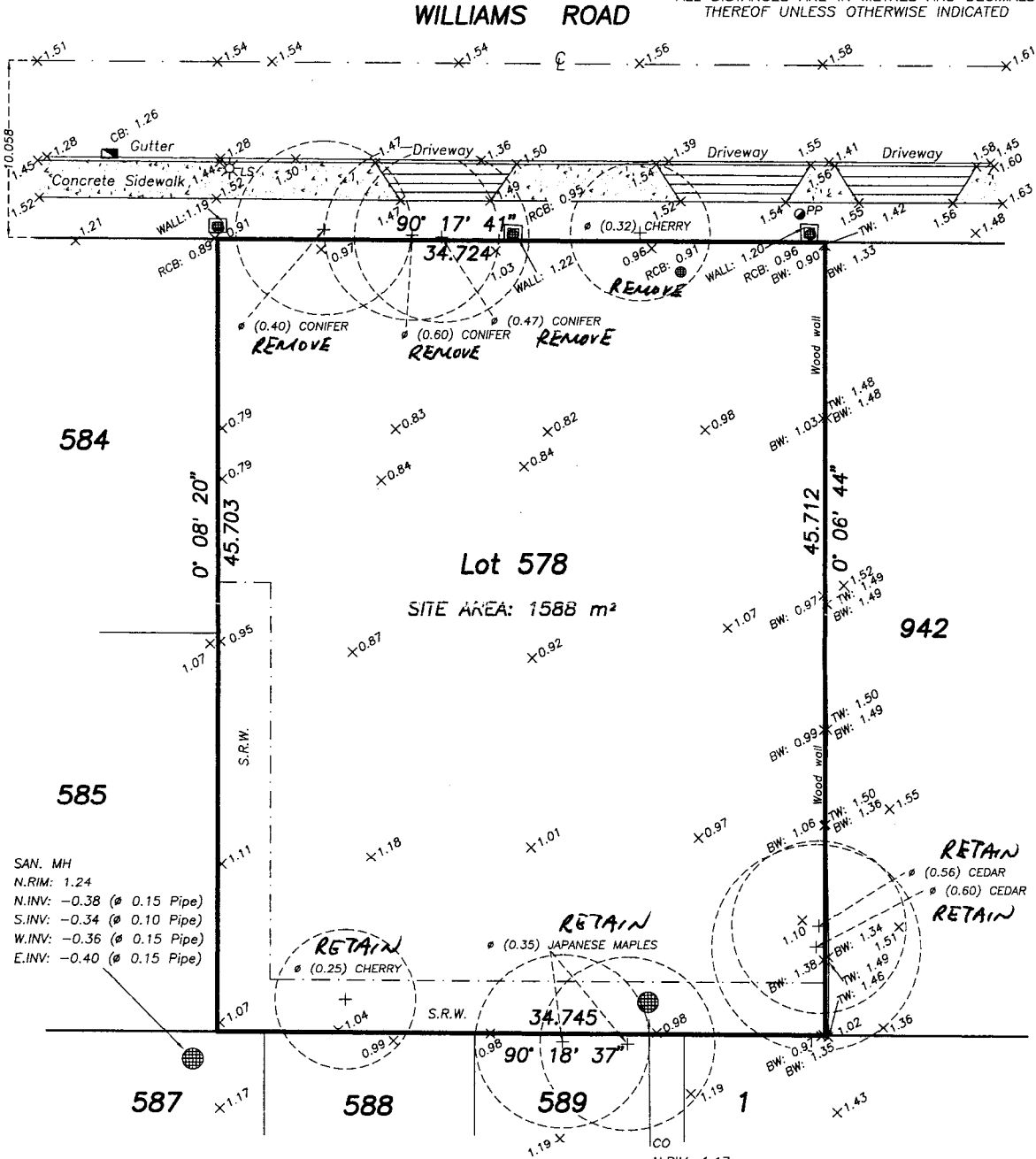
#5280 WILLIAMS ROAD
RICHMOND, B.C.
P.I.D. 003-634-922



SCALE: 1:250



ALL DISTANCES ARE IN METRES AND DECIMALS
THEREOF UNLESS OTHERWISE INDICATED



SAN. MH
N.RIM: 1.24
N.INV: -0.38 (Ø 0.15 Pipe)
S.INV: -0.34 (Ø 0.10 Pipe)
W.INV: -0.36 (Ø 0.15 Pipe)
E.INV: -0.40 (Ø 0.15 Pipe)

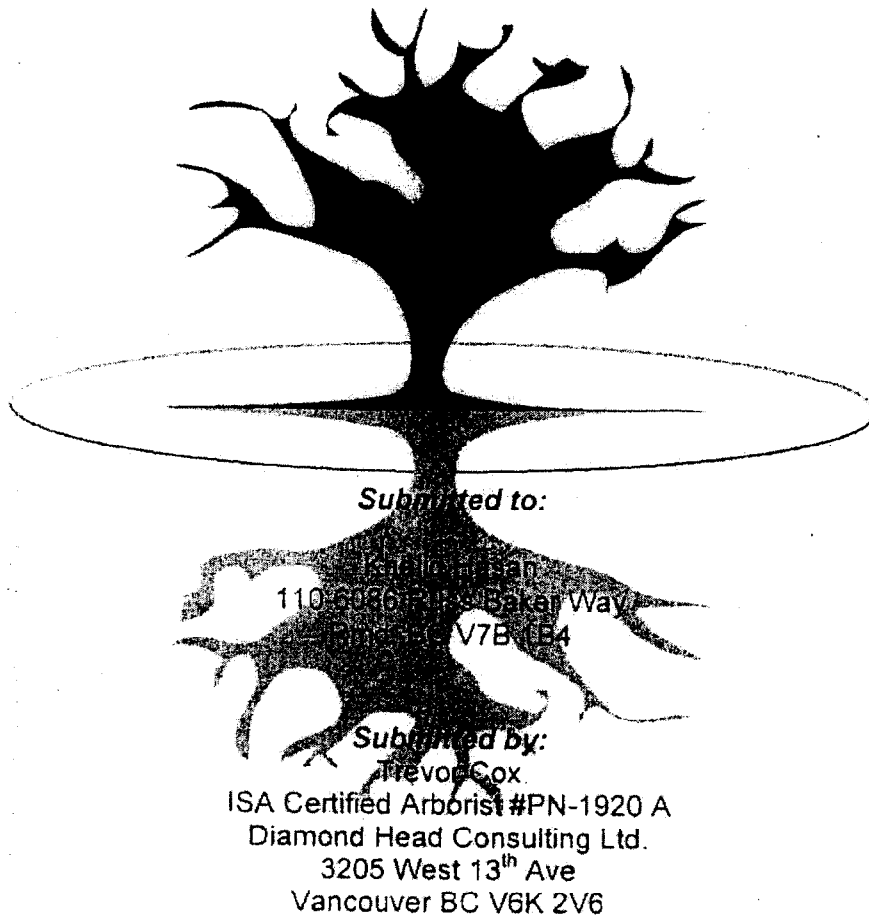
N.RIM: 1.17
N.E.INV: -0.34 (Ø 0.10 Pipe)
N.W.INV: -0.34 (Ø 0.10 Pipe)
S.INV: -0.37 (Ø 0.15 Pipe)

© Copyright
J. C. Tam and Associates
Canada and B.C. Land Surveyor
115 - 8833 Odlin Crescent
Richmond, B.C. V6X 3Z7
Telephone: 214-8928
Fax: 214-8929
E-mail: jctam@telus.net
Job No. 2686
FB-58 P13-18
Drawn By: GB

LEGEND:
tree(D) denotes deciduous tree
RCB denotes round catch basin
CB denotes catch basin
TW denotes top of wall
BW denotes bottom of wall
PP denotes power pole
LS denotes lamp standard
CO denotes clean out

NOTE:
Elevations shown are based on
Richmond City Datum.
Bench Mark: Road Side Nut on hydrant
located on the South Side of Williams Road
at the house #5380
B.M. Elevation = 2.770 metres

**Tree Assessment for the
Proposed Townhouse Development at 5280
Williams Road Richmond BC**



March 7, 2005



Introduction and Methodology

Diamond Head Consulting Ltd. was asked to perform a tree assessment for the proposed townhouse development at 5280 Williams Road, Richmond BC. The objective of this site visit was to assess the attributes of the trees on the proposed development and provide a report to meet the requirements for tree removal and replacement in the City of Richmond.

Raptors Nest Survey

The raptors nest survey was completed according to the standardized guidelines established in "Inventory Methods for Raptors, Standards for Components of British Columbia's Biodiversity No. 11" (MSRM Environment Inventory Branch for the Terrestrial Ecosystems Task Force, Resources Inventory Committee, 2001.)

All the trees were examined in detail for signs of nests and no evidence of raptors using the study area was observed during the survey. There were no direct sightings, no nests observed and no signs of raptor use, like feathers, signs of prey remains, pellets and whitewash were found.

Site Description

This is a development proposal for row townhouses. The area to be developed supports a disturbed and disperse cover of conifer and deciduous trees. It is located within the Dry Maritime Coastal Western Hemlock Subzone (CWHdm) of the Biogeoclimatic Classification System of BC.

A house and driveway exist on the property. The following table details the attributes of the trees at the proposed development site. These trees are labeled in the field with a numbered aluminum tag and their locations are shown on the attached map in relation to the proposed development.

Table 1. Tree Inventory and Recommendations

Tree #.	Stems	Species	DBH (cm)	Height (m)	Comments/ Recommendation
1	4	Flowering cherry <i>Prunus cerasifera</i>	15,20, 18,12	3.5	City street tree. Minor decay at base. Retain.
2	1	Western hemlock <i>Tsuga heterophylla</i>	45	6	City tree. Topped at six meters by BC Hydro. Multiple stems from topping. Fill has been spread around base of tree. Tree is in poor health. Hazard, remove.
3	1	Western hemlock <i>Tsuga heterophylla</i>	44	6	City tree. Topped at six meters by BC Hydro. Multiple stems from topping. Fill has been spread around base of tree. Tree is in poor health. Hazard, remove.
4	1	Western hemlock <i>Tsuga heterophylla</i>	42	6	Dead. Remove.
5	1	David Maple <i>Acer davidii</i>	8	3.5	Good health. Retain or can be transplanted.
6	1	Flowering cherry <i>Prunus cerasifera</i>	25	5	Good health, minor decay at base. Too close to proposed garage. Remove.
7	1	Flowering cherry <i>Prunus cerasifera</i>	12	4	Good health, minor decay at base. Within limits of proposed garage. Remove.



Table 1. Continued

Tag #	# Trees	Species	DBH (cm)	Height (m)	Comments/ Recommendation
8	1	Western redcedar <i>Thuja plicata</i>	56	16	Minor amount of fill at base. Good health. Retain.
9	1	Western redcedar <i>Thuja plicata</i>	48	15	Minor amount of fill at base. Good health. Retain.

Photos

Photo 1. Showing trees 1-5. Note topped hemlocks (trees 2-4) in background.

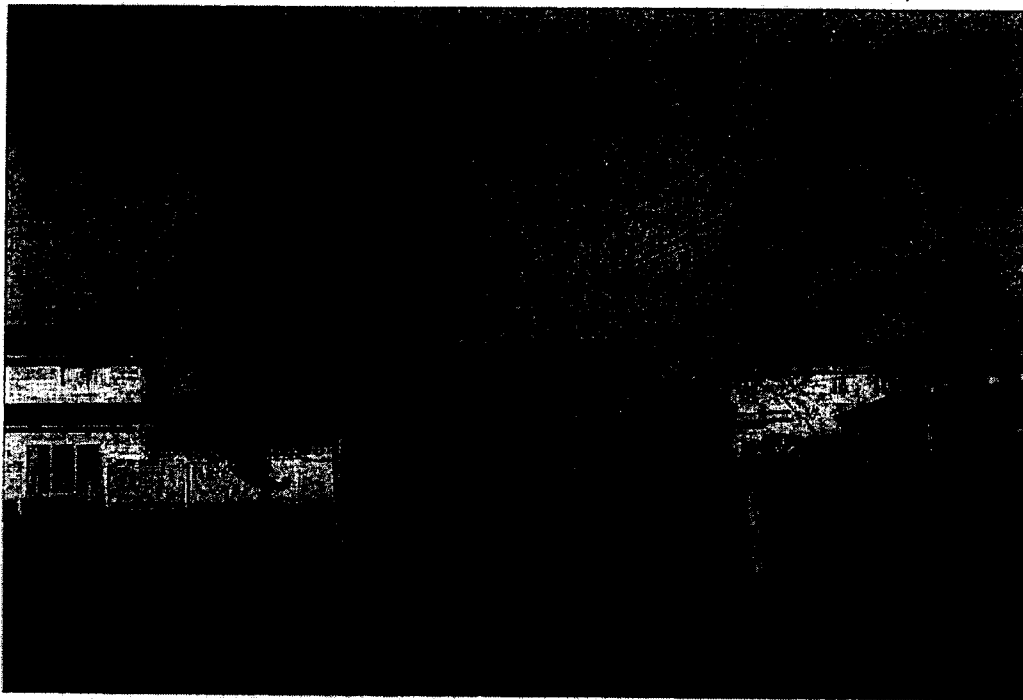




Photo 2. Tag #6 and #7 with Tags 8 and 9 in the background.



Photo 4. Tags #8 and 9. Two cedars at edge of property



**Findings**

Summary of Findings	Totals
Number of trees identified on the proposed development site (Does not include trees on city property)	5
Number of "major trees" (greater than 20cm dbh) found at the proposed development to be removed. (good healthy specimens)	1 (Tree #6)
Number of "minor trees" (less than 20cm dbh) found at the proposed development to be removed (good healthy specimens)	1 (Tree #7)
Number of "major trees" (greater than 20cm dbh) that do not contain significant defects that make them unsuitable for future retention, but are within the proposed development limits.	1 (Tree #6)
Number of "minor" trees (less than 20cm dbh) that do not contain significant defects that make them unsuitable for future retention, but are within the proposed development limits.	1 (Tree #7)
Number of trees to be retained.	3 (Trees 5,8,9)

Trees to be Retained

Tree numbers 3, 8 and 9 can be safely retained within the proposed development site. Tree #3 will require a 2 meter tree protection zone and trees #8 and 9 will require a 3 meter tree protection zone in order to maintain the health of these trees. Trees number 8 and 9 can a crown lift where up to 50% of the live can be pruned.

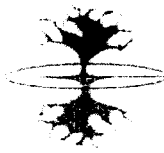
Prior to demolition of the house on this property, the tree protection fencing for these trees should be installed.

Limitations:

The inherent characteristics of trees or parts of trees to fail due to environmental conditions and internal problems are unpredictable. Defects are often hidden within the tree or underground. The project arborist has endeavored to use his skill, education and judgment to assess the potential for failure, with reasonable methods and detail. It is the owner's responsibility to maintain the trees to reasonable standards and to carry out recommendations for mitigation suggested in this report. Some changes in site conditions cannot be predicted. The trees should be evaluated during the construction process and following construction to determine if any damage has been done to the trees or significant changes in the site have been caused. Sketches, diagrams and photographs contained in this report, being intended as visual aids, should not be construed as engineering reports or legal surveys.

Sincerely,

Trevor Cox
ISA Certified Arborist

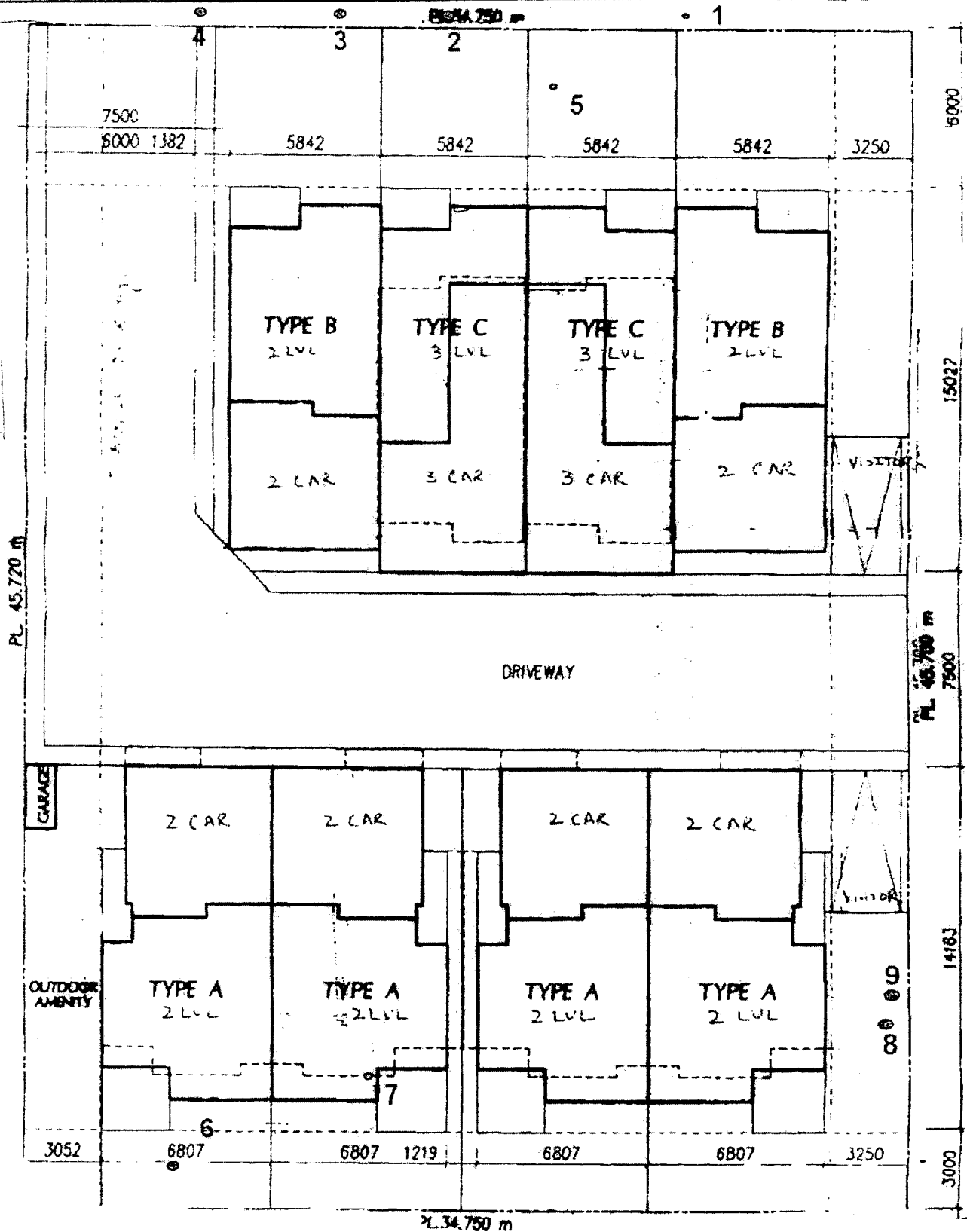


Arboriculture Assessment

5280 Williams Road, Richmond BC.

LEGEND

- Location of trees
- 9 Tag number



Scale 1:200



Appendix B – Description of Terminology

Co-dominant Trees

Defines trees with crowns forming the general level of the main canopy in even-aged groups of trees, receiving full light from above and partial light from the sides

Crown Closure

An assessment of the degree to which the crowns of trees are nearing general contact with one another. The percentage of the ground surface that would be considered by a downward vertical projection of foliage in the crowns of trees.

Culturally Modified Tree

A tree bearing the marks of traditional human uses.

Diameter at Breast Height

The diameter of a tree measured at 1.3m above the point of germination.

Dominant Trees

Defines trees with crowns extending above the general level of the main canopy of even-aged groups of trees, receiving full light from above and comparatively little from the sides.

Intermediate Trees

Defines trees with crowns extending into the lower portion of the main canopy of even-aged groups of trees, but shorter in height than the co-dominants. These receive little direct light from above and none from the sides, and usually have small crowns that are crowded on the sides.

Live Crown Ratio

Is the percentage of the total stem length covered with living branches. It provides a rough but convenient index of the ability of a tree's crown to nourish the remaining part of the tree. Trees with less than 30 percent live crown ratio are typically weak, lack vigor, and have low diameter growth, although this depends very much on the tree's age and species.

Open Grown

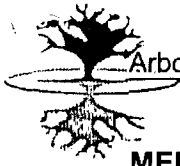
Defines trees with crowns receiving full light from all sides due to the openness of the canopy.

Stems Per Hectare

The number or size of a population (trees) in relation to some unit of space (one hectare). It is measured as the amount of tree biomass per unit area of land.

Suppressed Trees

Defines trees with entirely below the general level of the canopy of even-aged groups of trees, receiving no direct light either from above or from the sides.



MEMORANDUM (Via E-mail: 2 pages)

TO: Khalid Hassan
FAX:
CC: Holger Burke (City of Richmond)
FROM: Diamond Head Consulting Ltd.
(Trevor Cox)

RE: 5280 Williams Road, Richmond B.C. Arborist review to confirm that the trees originally committed to be retained or transplanted will continue to be so with the new, revised proposal.

Diamond Head Consulting prepared an arborists report dated March 7, 2005 titled *Tree Assessment for the Proposed Townhouse Development at 5280 Williams Road Richmond BC*. In this report, nine trees were identified on the site and four of them were recommended for retention or for transplanting (See Figure 1 for the location of these trees with respect to the original plans). Tree #5 can be transplanted or left in its place under the new site plan. Tree #'s 6, 8 and 9 were recommended for retention under the original plans. Tree number six can also be retained under the new site plan. After revising the architectural drawings, trees eight and nine are now situated three meters from the edge of excavation for the development. This is quite close to these trees, therefore extra care will be required to ensure their survival. The following steps are recommended to make sure these two trees survive the development process:

1. Excavation work near these trees should be supervised to ensure proper care is taken and that structural roots are not impacted such that the tree would become a hazard in windy conditions.
2. Assuming no structural roots are encountered, the smaller feeder roots should be pruned at the excavation edge
3. A plywood board should be installed along the cut edge to retain soil moisture
4. The lower limbs should be lift pruned and a spiral pruning may be necessary
5. Under prolonged periods with no rain, the trees should be watered – as directed by the project arborist
6. It is assumed that tree protection fencing for this lot will follow those guidelines established by the City

If the protocol mentioned above for tree numbers eight and nine are followed, there is a high likelihood that these trees will survive the impacts from the development.

If you have any questions regarding this memorandum, please do not hesitate to give me a call.

Sincerely,

Trevor Cox
ISA Certified Arborist
Provisional Member CIP



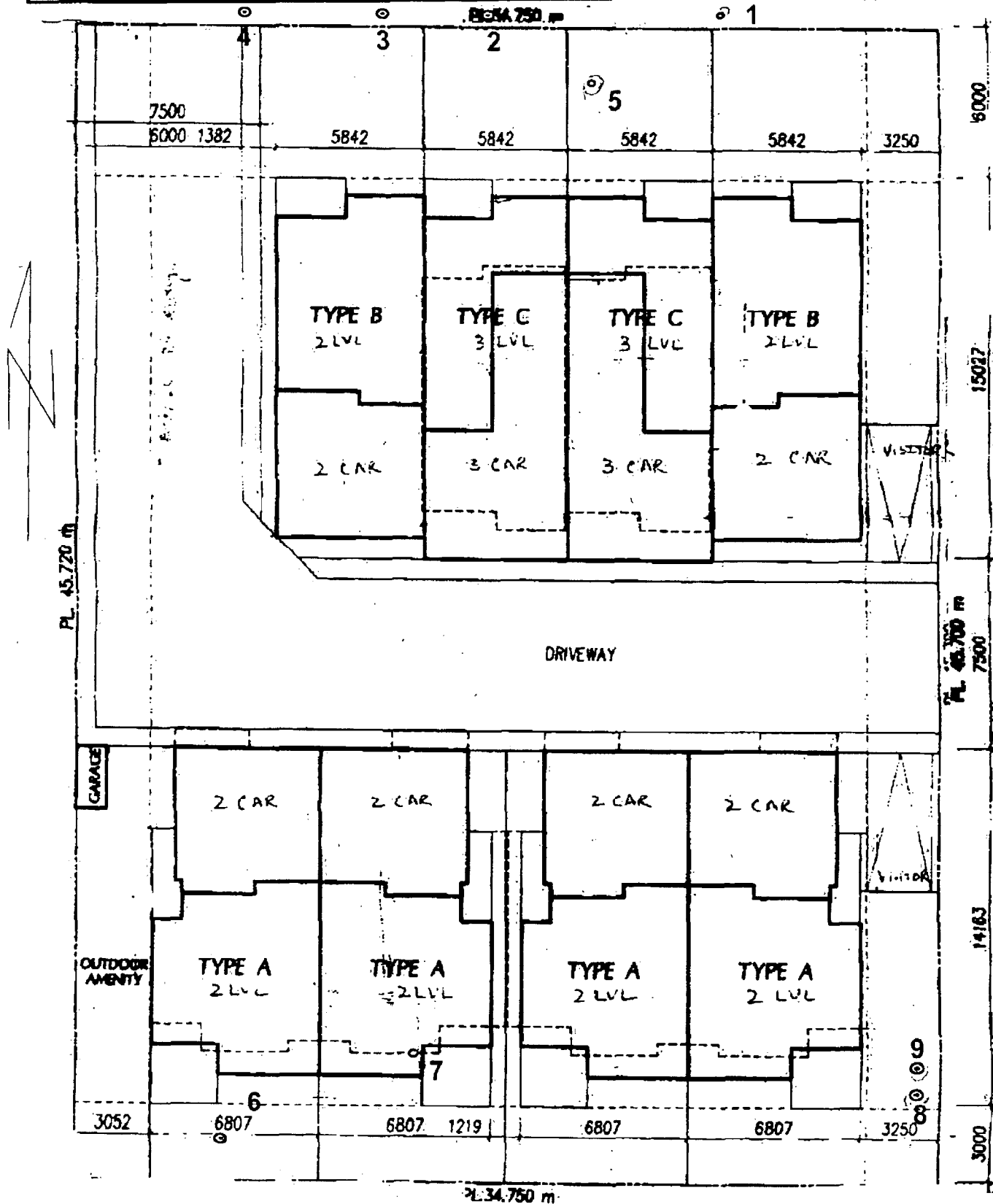
Arboriculture Assessment

5280 Williams Road, Richmond BC.

Figure 1.

LEGEND

- Location of trees
- 9 Tag number



○ - Trees to be retained

**MEMORANDUM (Via E-mail: 5 pages)**

TO: Khalid Hassan

CC: Edwin Lee – City Planner (City of Richmond)

FROM: Diamond Head Consulting Ltd.
(Trevor Cox, ISA Cert. Arborist #PN-1920-A, Cert. Tree Risk Assessor #P0043
and Lesley Gifford, ISA Cert. Arborist #PN-5432-A, Cert. Tree Risk Assessor
#P0630)

RE: **5280 Williams Road, Richmond B.C. Arborist review to confirm that the trees originally committed to be retained or transplanted will continue to be so with the latest revised proposal including recommendations for tree protection areas on and adjacent to subject site.**

Diamond Head Consulting prepared an arborist report dated March 7, 2005 titled *Tree Assessment for the Proposed Townhouse Development at 5280 Williams Road Richmond BC*. In this report, nine trees were identified on the site and four of them were recommended for retention or for transplanting (See Figure 1 for the location of these trees with respect to the original plans). A memorandum prepared July 25, 2005 in response to revised architectural drawings concluded that trees numbered 5, 6, 8 and 9 could be retained under the new site plans provided tree protection measures were carried out to City Standards and as recommended by the project arborist. Tree # 8 and 9, being within 3 meters of excavation limits, required extra protection measures detailed within that memorandum.

Recent changes (2007) to architectural plans prompted the City of Richmond to request further review from the project arborist. Upon our review and based on the most updated site plans (Figure 1) and existing limits of excavation, trees numbered 5, 6, 8 & 9 can be retained as per our previous recommendations. Tree eight and nine require extra care and attention with respect to the tree protection measures due to the proximity of their roots to the construction activities. From the architectural drawings, it appears that the foundation of the nearest home is 3 meters out from the east property line and 4.5 meters from the southern property line. An additional distance of 0.6 meters width by 0.6 meters depth is required for drainage at the foot of the foundation. Tree # 8 and 9 are at the greatest risk of being impacted from these activities and therefore need as much of the 3-meter distance from their trunks to the excavation protected. It is recommended that a protection area measuring 2.75 meters out from their trunks be created. This protection area will not permit the additional .6 meters of excavation for drainage. Alternatives to drainage in this area are recommended such as tunneling under the roots or omitting the drainage in this specific location. Tree protection for trees # 5 & 6 should measure 2 meters out from their trunks.

The establishment of a tree protection bylaw in the City of Richmond requires trees on neighbouring properties to be protected from construction activities. In this case two trees south of the development will require protection as their roots extend on to the subject site. A tree protection area measuring 2 meters out from the fence will be required for these trees.

Four trees on site and two trees off site (south) will require tree protection fencing installed to protect them from construction activities. The health, safety and survival of these trees are



dependent on the following protection measures being carried out on site. If the following recommendations cannot be upheld the trees will not survive the impacts of construction and should be removed according to City of Richmond Bylaw #8057.

The following steps are recommendations for tree protection for trees on and adjacent to the development.

All trees

It is assumed that guidelines for installing and maintaining tree protection fencing for this lot will follow those guidelines established by the City of Richmond Bylaw #8057 and available on line at: http://www.richmond.ca/___shared/assets/bylaw805715765.pdf

1. Install tree protection fencing around the following trees at the following distances (determined by the project arborist).
 - a. Tree # 5 (8 cm dbh) – 2 meters distance out from trunk
 - b. Tree # 6 (25 cm dbh) – 2 meters distance out from trunk
 - c. Tree # 8 (56 cm dbh) – 2.75 meters distance out from trunk
 - d. Tree # 9 (48 cm dbh) – 2.75 meters distance out from trunk
 - e. Trees (2) on adjacent lot to south (35 cm dbh) – 2 meters distance from property line.

(For fence construction details refer City of Richmond Bylaw #8057, Part 2: Interpretation, Part 5: Regulations 5.1.1 c) and attached City of Surrey Detail)

2. Fenced tree protection areas should have signage alerting workers of the restricted areas. These areas are to remain free from dumping or storing of materials.
- 3.

(Refer to Part 3: Restrictions and Exemptions 3.1.3 (a-k) of Richmond City Bylaw # 8057)

Tree # 8 & 9

4. Excavation work near these trees will have to be supervised to ensure proper care is taken during the excavation and that structural roots are not impacted such that the tree would become a hazard in windy conditions.
5. Assuming no structural roots are encountered, the smaller feeder roots should be pruned at the edge upon excavation by the project arborist.
6. A plywood board should be installed along the cut edge to retain soil moisture.
7. Drainage installation at excavation limits should be **avoided or tunneled** beneath the trees to avoid root damage within the tree protection zone. Any construction activities planned within this area must be designed and constructed carefully as to have no short or long term impacts on the subject trees. These designs must be reviewed and supervised by the consulting arborist.
8. The lower limbs should be lift pruned and a spiral pruning may be necessary (to be determined at a later date).
9. Under prolonged periods with no rain, the trees should be watered – as directed by the project arborist

If the protocol mentioned above for the trees on site are followed, there is a high likelihood that these trees will survive the impacts from the development. Any plans for work or activities within the tree protection areas that are contrary to these guidelines should be discussed with the project arborist so that mitigation measures can be implemented or so that the impacts can be recorded.



If you have any questions regarding this memorandum, please do not hesitate to give us a call.

Sincerely,

Lesley Gifford
ISA Certified Arborist
Certified Tree Risk
Assessor

Trevor Cox, MCIP
ISA Certified Arborist
Certified Tree Risk
Assessor

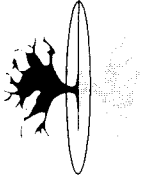


Figure 1. Revised Site Plans, Tree Locations & Tree Protection Zones (TPZ) at 5280 Williams Road, Richmond, BC.

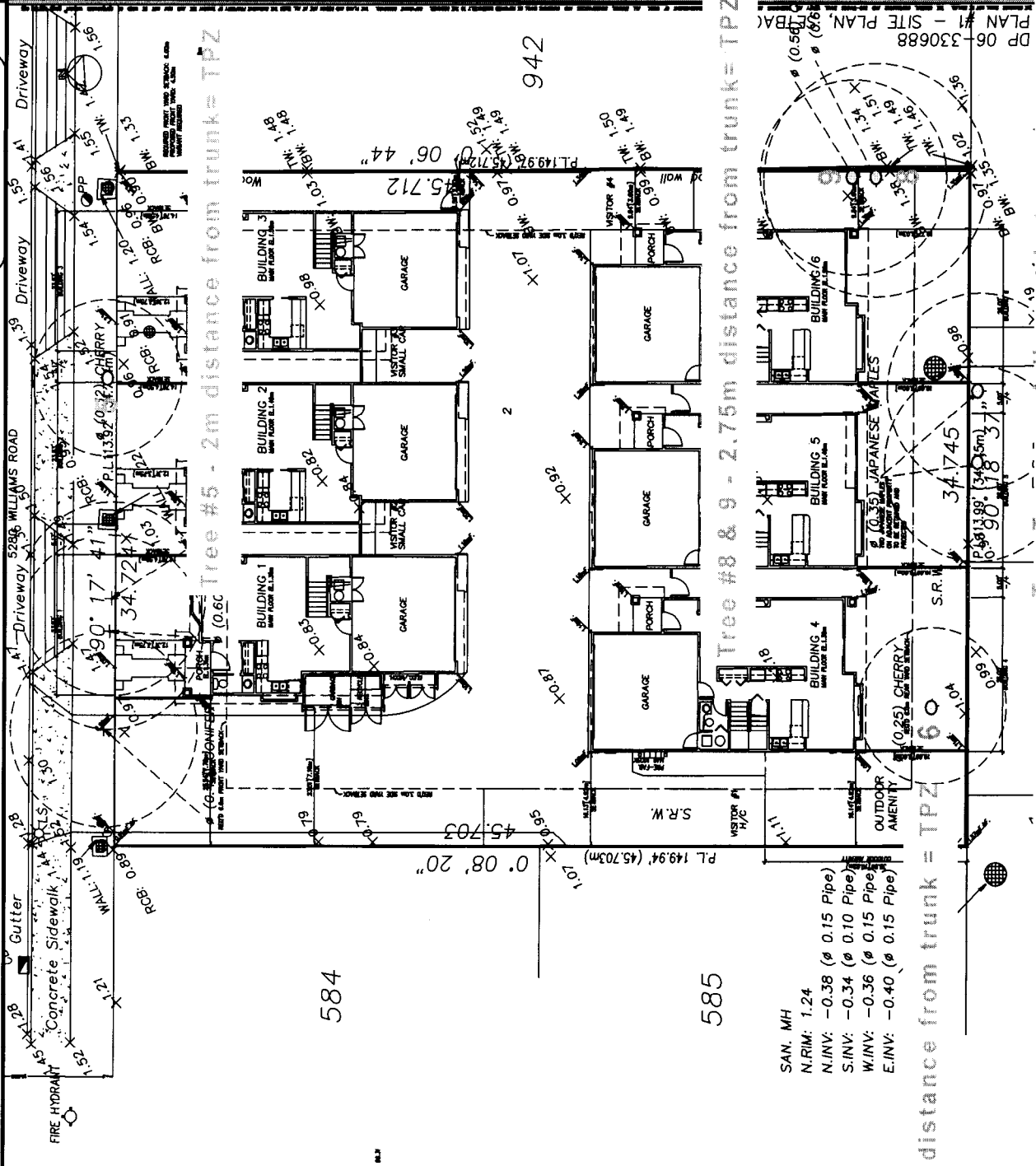
LEGEND

- Location of trees
- 9 Tag number

PROJECT SUMMARY

CLIENT: [REDACTED]
 PROJECT: [REDACTED]
 DATE: [REDACTED]
 DRAWN BY: [REDACTED]
 CHECKED BY: [REDACTED]

NO.	DESCRIPTION	AREA (SQ. FT.)	PERCENTAGE
1	CONCRETE SIDEWALK	1,119.4	1.52%
2	DRIVEWAY	1,159.0	1.59%
3	WALKWAY	1,119.4	1.52%
4	LANDSCAPE	1,119.4	1.52%
5	GRASS	1,119.4	1.52%
6	ASPHALT	1,119.4	1.52%
7	PAVING	1,119.4	1.52%
8	CONCRETE	1,119.4	1.52%
9	ASPHALT	1,119.4	1.52%
10	PAVING	1,119.4	1.52%
11	CONCRETE	1,119.4	1.52%
12	ASPHALT	1,119.4	1.52%
13	PAVING	1,119.4	1.52%
14	CONCRETE	1,119.4	1.52%
15	ASPHALT	1,119.4	1.52%
16	PAVING	1,119.4	1.52%
17	CONCRETE	1,119.4	1.52%
18	ASPHALT	1,119.4	1.52%
19	PAVING	1,119.4	1.52%
20	CONCRETE	1,119.4	1.52%
21	ASPHALT	1,119.4	1.52%
22	PAVING	1,119.4	1.52%
23	CONCRETE	1,119.4	1.52%
24	ASPHALT	1,119.4	1.52%
25	PAVING	1,119.4	1.52%
26	CONCRETE	1,119.4	1.52%
27	ASPHALT	1,119.4	1.52%
28	PAVING	1,119.4	1.52%
29	CONCRETE	1,119.4	1.52%
30	ASPHALT	1,119.4	1.52%
31	PAVING	1,119.4	1.52%
32	CONCRETE	1,119.4	1.52%
33	ASPHALT	1,119.4	1.52%
34	PAVING	1,119.4	1.52%
35	CONCRETE	1,119.4	1.52%
36	ASPHALT	1,119.4	1.52%
37	PAVING	1,119.4	1.52%
38	CONCRETE	1,119.4	1.52%
39	ASPHALT	1,119.4	1.52%
40	PAVING	1,119.4	1.52%
41	CONCRETE	1,119.4	1.52%
42	ASPHALT	1,119.4	1.52%
43	PAVING	1,119.4	1.52%
44	CONCRETE	1,119.4	1.52%
45	ASPHALT	1,119.4	1.52%
46	PAVING	1,119.4	1.52%
47	CONCRETE	1,119.4	1.52%
48	ASPHALT	1,119.4	1.52%
49	PAVING	1,119.4	1.52%
50	CONCRETE	1,119.4	1.52%



SAN. MH
 N.RIM: 1.24
 N.INV: -0.38 (ø 0.15 Pipe)
 S.INV: -0.34 (ø 0.10 Pipe)
 W.INV: -0.36 (ø 0.15 Pipe)
 E.INV: -0.40 (ø 0.15 Pipe)

CADLAB
 (604) 273-2223 Fax: (604) 273-4388 email: info@cadlab.com

MATTHEW CHENG ARCHITECT INC.

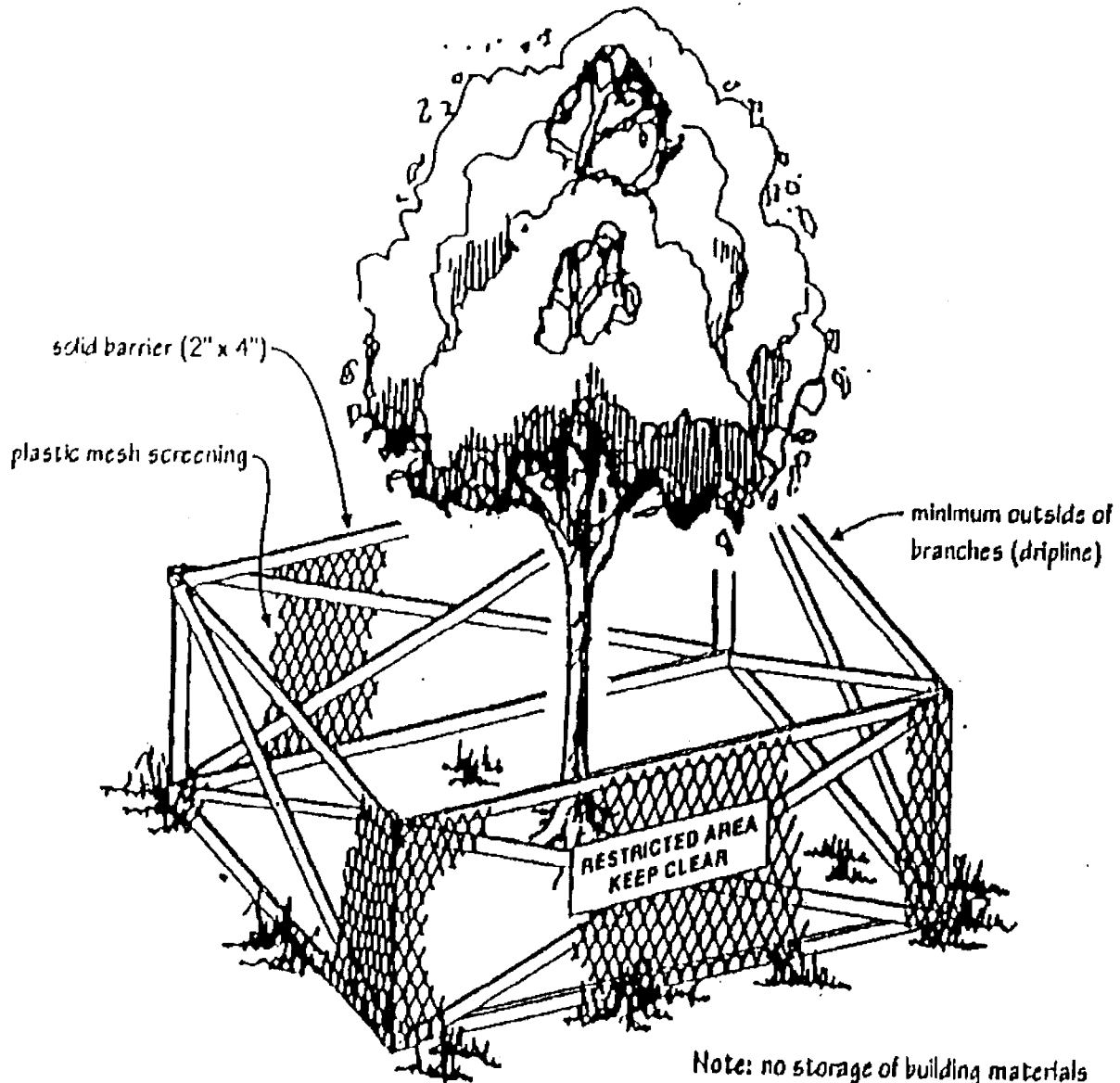
WILLIAMS & PARTNERS ARCHITECTURE

DP 06-330688 PLAN #1 - SITE PLAN, TPZ

#1



**Figure 2. Tree Protection Fence Detail
5280 Williams Road, Richmond BC.**



*Note: no storage of building materials
within or against protection barrier*

Tree Protection Barrier



No. DP 06-330668

To the Holder: ISLAND CITY BUILDERS LTD.

Property Address: 5280 WILLIAMS ROAD

Address: C/O TIMOTHY TSE
5271 MERGANSER DRIVE
RICHMOND, BC V7E 3X8

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning and Development Bylaw No. 5300" is hereby varied to:
 - a) Reduce the minimum front yard setback from 6.0 m to 4.5 m; and
 - b) Reduce the east side yard setback from 3.0 m to 2.0 m for the northeast unit.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #4 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$26,019.16 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 06-330668

To the Holder: ISLAND CITY BUILDERS LTD.

Property Address: 5280 WILLIAMS ROAD

Address: C/O TIMOTHY TSE
5271 MERGANSER DRIVE
RICHMOND, BC V7E 3X8

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

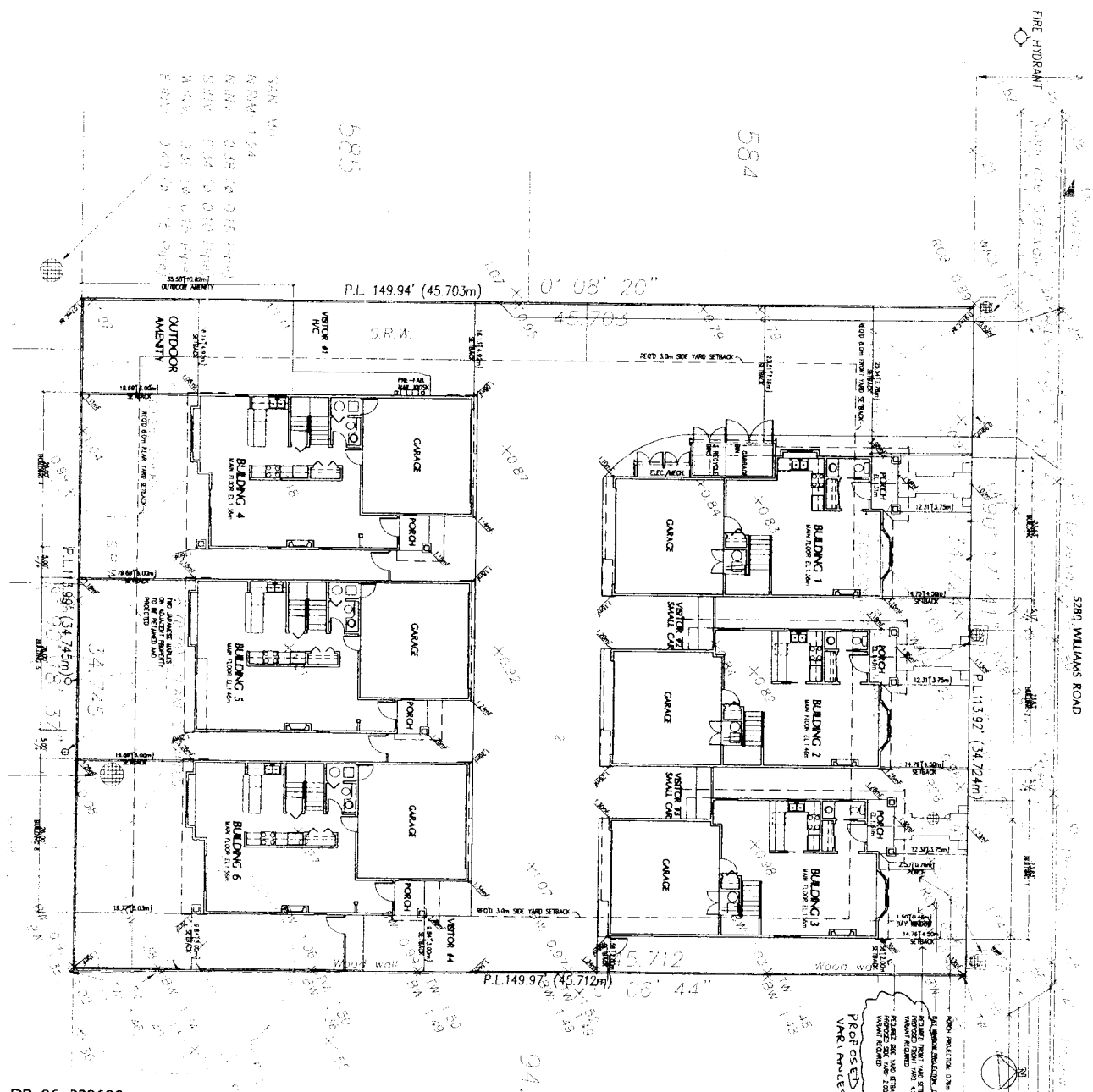
This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO. ISSUED BY THE COUNCIL THE
DAY OF

DELIVERED THIS DAY OF

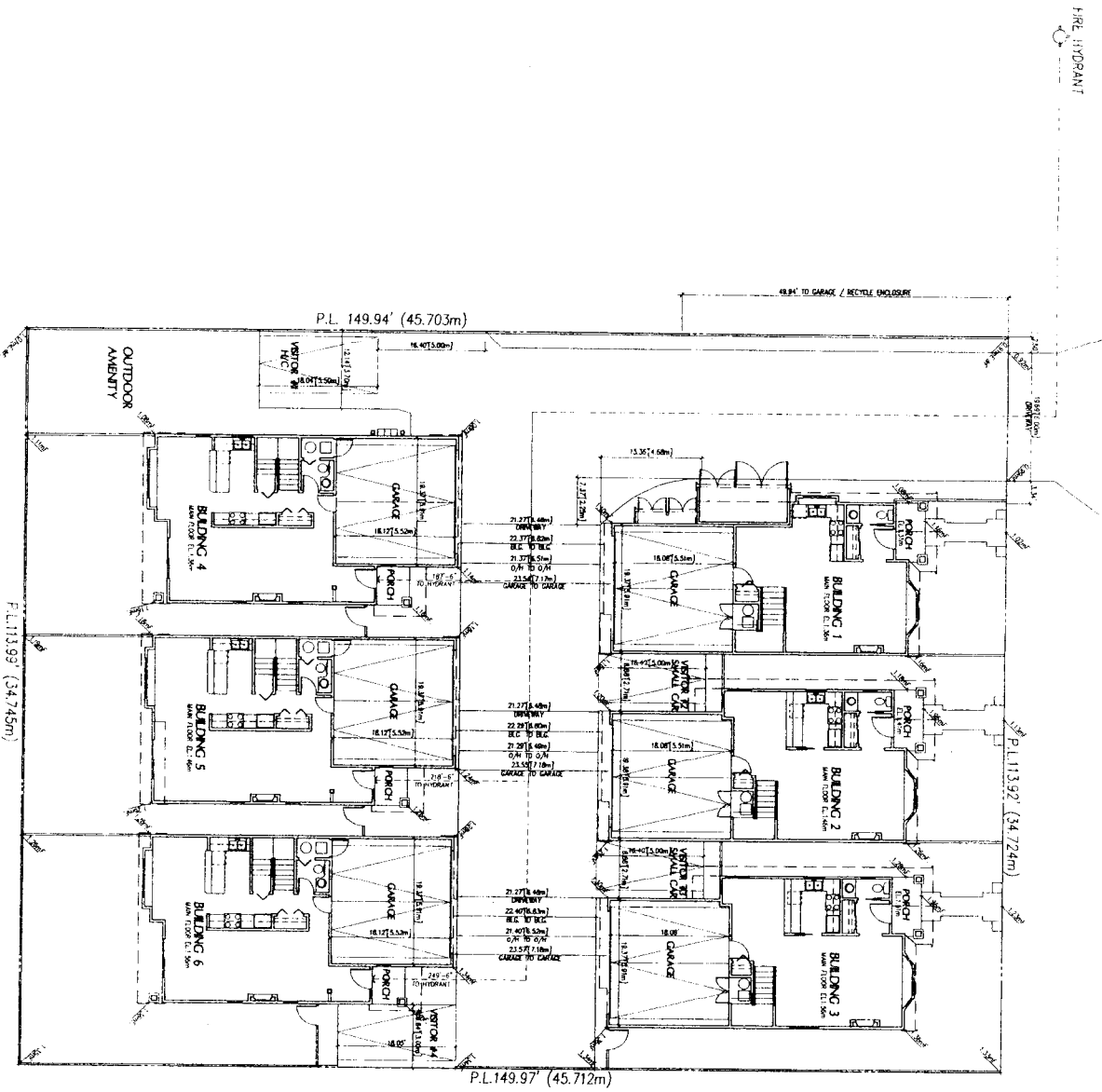
MAYOR

PROJECT SUMMARY			
NO.	DESCRIPTION	QUANTITY	UNIT
1	CONCRETE	1000	YD
2	STEEL	1000	LB
3	BRICK	1000	YD
4	CEMENT	1000	YD
5	AGGREGATE	1000	YD
6	PAINT	1000	YD
7	GLASS	1000	YD
8	ROOFING	1000	YD
9	MECHANICAL	1000	YD
10	ELECTRICAL	1000	YD
11	PLUMBING	1000	YD
12	LANDSCAPE	1000	YD
13	ASPHALT	1000	YD
14	CONCRETE	1000	YD
15	STEEL	1000	LB
16	BRICK	1000	YD
17	CEMENT	1000	YD
18	AGGREGATE	1000	YD
19	PAINT	1000	YD
20	GLASS	1000	YD
21	ROOFING	1000	YD
22	MECHANICAL	1000	YD
23	ELECTRICAL	1000	YD
24	PLUMBING	1000	YD
25	LANDSCAPE	1000	YD
26	ASPHALT	1000	YD
27	CONCRETE	1000	YD
28	STEEL	1000	LB
29	BRICK	1000	YD
30	CEMENT	1000	YD
31	AGGREGATE	1000	YD
32	PAINT	1000	YD
33	GLASS	1000	YD
34	ROOFING	1000	YD
35	MECHANICAL	1000	YD
36	ELECTRICAL	1000	YD
37	PLUMBING	1000	YD
38	LANDSCAPE	1000	YD
39	ASPHALT	1000	YD
40	CONCRETE	1000	YD



DP 06-330688
 PLAN #1a - SITE PLAN, SETBACKS (GROUND FLOOR)

<p>#1a</p>	<p>Project Title REZONING & RESIDENTIAL DEVELOPMENT 5290 WILLIAMS ROAD BIRMINGHAM, AL</p>	<p>No. Date Revision 1 06/11/07 2 07/11/07 3 08/11/07 4 09/11/07 5 10/11/07 6 11/11/07 7 12/11/07 8 01/11/08 9 02/11/08 10 03/11/08 11 04/11/08 12 05/11/08 13 06/11/08 14 07/11/08 15 08/11/08 16 09/11/08 17 10/11/08 18 11/11/08 19 12/11/08 20 01/11/09 21 02/11/09 22 03/11/09 23 04/11/09 24 05/11/09 25 06/11/09 26 07/11/09 27 08/11/09 28 09/11/09 29 10/11/09 30 11/11/09 31 12/11/09 32 01/11/10 33 02/11/10 34 03/11/10 35 04/11/10 36 05/11/10 37 06/11/10 38 07/11/10 39 08/11/10 40 09/11/10 41 10/11/10 42 11/11/10 43 12/11/10 44 01/11/11 45 02/11/11 46 03/11/11 47 04/11/11 48 05/11/11 49 06/11/11 50 07/11/11 51 08/11/11 52 09/11/11 53 10/11/11 54 11/11/11 55 12/11/11 56 01/11/12 57 02/11/12 58 03/11/12 59 04/11/12 60 05/11/12 61 06/11/12 62 07/11/12 63 08/11/12 64 09/11/12 65 10/11/12 66 11/11/12 67 12/11/12 68 01/11/13 69 02/11/13 70 03/11/13 71 04/11/13 72 05/11/13 73 06/11/13 74 07/11/13 75 08/11/13 76 09/11/13 77 10/11/13 78 11/11/13 79 12/11/13 80 01/11/14 81 02/11/14 82 03/11/14 83 04/11/14 84 05/11/14 85 06/11/14 86 07/11/14 87 08/11/14 88 09/11/14 89 10/11/14 90 11/11/14 91 12/11/14 92 01/11/15 93 02/11/15 94 03/11/15 95 04/11/15 96 05/11/15 97 06/11/15 98 07/11/15 99 08/11/15 100 09/11/15 101 10/11/15 102 11/11/15 103 12/11/15 104 01/11/16 105 02/11/16 106 03/11/16 107 04/11/16 108 05/11/16 109 06/11/16 110 07/11/16 111 08/11/16 112 09/11/16 113 10/11/16 114 11/11/16 115 12/11/16 116 01/11/17 117 02/11/17 118 03/11/17 119 04/11/17 120 05/11/17 121 06/11/17 122 07/11/17 123 08/11/17 124 09/11/17 125 10/11/17 126 11/11/17 127 12/11/17 128 01/11/18 129 02/11/18 130 03/11/18 131 04/11/18 132 05/11/18 133 06/11/18 134 07/11/18 135 08/11/18 136 09/11/18 137 10/11/18 138 11/11/18 139 12/11/18 140 01/11/19 141 02/11/19 142 03/11/19 143 04/11/19 144 05/11/19 145 06/11/19 146 07/11/19 147 08/11/19 148 09/11/19 149 10/11/19 150 11/11/19 151 12/11/19 152 01/11/20 153 02/11/20 154 03/11/20 155 04/11/20 156 05/11/20 157 06/11/20 158 07/11/20 159 08/11/20 160 09/11/20 161 10/11/20 162 11/11/20 163 12/11/20 164 01/11/21 165 02/11/21 166 03/11/21 167 04/11/21 168 05/11/21 169 06/11/21 170 07/11/21 171 08/11/21 172 09/11/21 173 10/11/21 174 11/11/21 175 12/11/21 176 01/11/22 177 02/11/22 178 03/11/22 179 04/11/22 180 05/11/22 181 06/11/22 182 07/11/22 183 08/11/22 184 09/11/22 185 10/11/22 186 11/11/22 187 12/11/22 188 01/11/23 189 02/11/23 190 03/11/23 191 04/11/23 192 05/11/23 193 06/11/23 194 07/11/23 195 08/11/23 196 09/11/23 197 10/11/23 198 11/11/23 199 12/11/23 200 01/11/24 201 02/11/24 202 03/11/24 203 04/11/24 204 05/11/24 205 06/11/24 206 07/11/24 207 08/11/24 208 09/11/24 209 10/11/24 210 11/11/24 211 12/11/24 212 01/11/25 213 02/11/25 214 03/11/25 215 04/11/25 216 05/11/25 217 06/11/25 218 07/11/25 219 08/11/25 220 09/11/25 221 10/11/25 222 11/11/25 223 12/11/25 224 01/11/26 225 02/11/26 226 03/11/26 227 04/11/26 228 05/11/26 229 06/11/26 230 07/11/26 231 08/11/26 232 09/11/26 233 10/11/26 234 11/11/26 235 12/11/26 236 01/11/27 237 02/11/27 238 03/11/27 239 04/11/27 240 05/11/27 241 06/11/27 242 07/11/27 243 08/11/27 244 09/11/27 245 10/11/27 246 11/11/27 247 12/11/27 248 01/11/28 249 02/11/28 250 03/11/28 251 04/11/28 252 05/11/28 253 06/11/28 254 07/11/28 255 08/11/28 256 09/11/28 257 10/11/28 258 11/11/28 259 12/11/28 260 01/11/29 261 02/11/29 262 03/11/29 263 04/11/29 264 05/11/29 265 06/11/29 266 07/11/29 267 08/11/29 268 09/11/29 269 10/11/29 270 11/11/29 271 12/11/29 272 01/11/30 273 02/11/30 274 03/11/30 275 04/11/30 276 05/11/30 277 06/11/30 278 07/11/30 279 08/11/30 280 09/11/30 281 10/11/30 282 11/11/30 283 12/11/30 284 01/11/31 285 02/11/31 286 03/11/31 287 04/11/31 288 05/11/31 289 06/11/31 290 07/11/31 291 08/11/31 292 09/11/31 293 10/11/31 294 11/11/31 295 12/11/31 296 01/11/32 297 02/11/32 298 03/11/32 299 04/11/32 300 05/11/32 301 06/11/32 302 07/11/32 303 08/11/32 304 09/11/32 305 10/11/32 306 11/11/32 307 12/11/32 308 01/11/33 309 02/11/33 310 03/11/33 311 04/11/33 312 05/11/33 313 06/11/33 314 07/11/33 315 08/11/33 316 09/11/33 317 10/11/33 318 11/11/33 319 12/11/33 320 01/11/34 321 02/11/34 322 03/11/34 323 04/11/34 324 05/11/34 325 06/11/34 326 07/11/34 327 08/11/34 328 09/11/34 329 10/11/34 330 11/11/34 331 12/11/34 332 01/11/35 333 02/11/35 334 03/11/35 335 04/11/35 336 05/11/35 337 06/11/35 338 07/11/35 339 08/11/35 340 09/11/35 341 10/11/35 342 11/11/35 343 12/11/35 344 01/11/36 345 02/11/36 346 03/11/36 347 04/11/36 348 05/11/36 349 06/11/36 350 07/11/36 351 08/11/36 352 09/11/36 353 10/11/36 354 11/11/36 355 12/11/36 356 01/11/37 357 02/11/37 358 03/11/37 359 04/11/37 360 05/11/37 361 06/11/37 362 07/11/37 363 08/11/37 364 09/11/37 365 10/11/37 366 11/11/37 367 12/11/37 368 01/11/38 369 02/11/38 370 03/11/38 371 04/11/38 372 05/11/38 373 06/11/38 374 07/11/38 375 08/11/38 376 09/11/38 377 10/11/38 378 11/11/38 379 12/11/38 380 01/11/39 381 02/11/39 382 03/11/39 383 04/11/39 384 05/11/39 385 06/11/39 386 07/11/39 387 08/11/39 388 09/11/39 389 10/11/39 390 11/11/39 391 12/11/39 392 01/11/40 393 02/11/40 394 03/11/40 395 04/11/40 396 05/11/40 397 06/11/40 398 07/11/40 399 08/11/40 400 09/11/40 401 10/11/40 402 11/11/40 403 12/11/40 404 01/11/41 405 02/11/41 406 03/11/41 407 04/11/41 408 05/11/41 409 06/11/41 410 07/11/41 411 08/11/41 412 09/11/41 413 10/11/41 414 11/11/41 415 12/11/41 416 01/11/42 417 02/11/42 418 03/11/42 419 04/11/42 420 05/11/42 421 06/11/42 422 07/11/42 423 08/11/42 424 09/11/42 425 10/11/42 426 11/11/42 427 12/11/42 428 01/11/43 429 02/11/43 430 03/11/43 431 04/11/43 432 05/11/43 433 06/11/43 434 07/11/43 435 08/11/43 436 09/11/43 437 10/11/43 438 11/11/43 439 12/11/43 440 01/11/44 441 02/11/44 442 03/11/44 443 04/11/44 444 05/11/44 445 06/11/44 446 07/11/44 447 08/11/44 448 09/11/44 449 10/11/44 450 11/11/44 451 12/11/44 452 01/11/45 453 02/11/45 454 03/11/45 455 04/11/45 456 05/11/45 457 06/11/45 458 07/11/45 459 08/11/45 460 09/11/45 461 10/11/45 462 11/11/45 463 12/11/45 464 01/11/46 465 02/11/46 466 03/11/46 467 04/11/46 468 05/11/46 469 06/11/46 470 07/11/46 471 08/11/46 472 09/11/46 473 10/11/46 474 11/11/46 475 12/11/46 476 01/11/47 477 02/11/47 478 03/11/47 479 04/11/47 480 05/11/47 481 06/11/47 482 07/11/47 483 08/11/47 484 09/11/47 485 10/11/47 486 11/11/47 487 12/11/47 488 01/11/48 489 02/11/48 490 03/11/48 491 04/11/48 492 05/11/48 493 06/11/48 494 07/11/48 495 08/11/48 496 09/11/48 497 10/11/48 498 11/11/48 499 12/11/48 500 01/11/49 501 02/11/49 502 03/11/49 503 04/11/49 504 05/11/49 505 06/11/49 506 07/11/49 507 08/11/49 508 09/11/49 509 10/11/49 510 11/11/49 511 12/11/49 512 01/11/50 513 02/11/50 514 03/11/50 515 04/11/50 516 05/11/50 517 06/11/50 518 07/11/50 519 08/11/50 520 09/11/50 521 10/11/50 522 11/11/50 523 12/11/50 524 01/11/51 525 02/11/51 526 03/11/51 527 04/11/51 528 05/11/51 529 06/11/51 530 07/11/51 531 08/11/51 532 09/11/51 533 10/11/51 534 11/11/51 535 12/11/51 536 01/11/52 537 02/11/52 538 03/11/52 539 04/11/52 540 05/11/52 541 06/11/52 542 07/11/52 543 08/11/52 544 09/11/52 545 10/11/52 546 11/11/52 547 12/11/52 548 01/11/53 549 02/11/53 550 03/11/53 551 04/11/53 552 05/11/53 553 06/11/53 554 07/11/53 555 08/11/53 556 09/11/53 557 10/11/53 558 11/11/53 559 12/11/53 560 01/11/54 561 02/11/54 562 03/11/54 563 04/11/54 564 05/11/54 565 06/11/54 566 07/11/54 567 08/11/54 568 09/11/54 569 10/11/54 570 11/11/54 571 12/11/54 572 01/11/55 573 02/11/55 574 03/11/55 575 04/11/55 576 05/11/55 577 06/11/55 578 07/11/55 579 08/11/55 580 09/11/55 581 10/11/55 582 11/11/55 583 12/11/55 584 01/11/56 585 02/11/56 586 03/11/56 587 04/11/56 588 05/11/56 589 06/11/56 590 07/11/56 591 08/11/56 592 09/11/56 593 10/11/56 594 11/11/56 595 12/11/56 596 01/11/57 597 02/11/57 598 03/11/57 599 04/11/57 600 05/11/57 601 06/11/57 602 07/11/57 603 08/11/57 604 0</p>
-------------------	--	---



DP 06-330688
 PLAN #2 - SITE PLAN, PARKING

#2	Project Title REZONING & RESIDENTIAL DEVELOPMENT 5200 WILLIAMS ROAD RICHMOND, B.C.	No. Date Revision 1 FEB06 SPA 2 MAR06 REVD FOR IPA 3 JUL06 REV FOR LETTER 4 JAN07 5 FEB07	Consultants
	Sheet Title SITE PLAN PARKING		



DP 06330688

MAR 13 2007

GENERAL LANDSCAPE NOTES

1. ALL PLANTING SHALL BE INSTALLED WITHIN THE SPECIFIED TOLERANCES.
2. ALL PLANTING SHALL BE INSTALLED WITHIN THE SPECIFIED TOLERANCES.
3. ALL PLANTING SHALL BE INSTALLED WITHIN THE SPECIFIED TOLERANCES.
4. ALL PLANTING SHALL BE INSTALLED WITHIN THE SPECIFIED TOLERANCES.
5. ALL PLANTING SHALL BE INSTALLED WITHIN THE SPECIFIED TOLERANCES.
6. ALL PLANTING SHALL BE INSTALLED WITHIN THE SPECIFIED TOLERANCES.
7. ALL PLANTING SHALL BE INSTALLED WITHIN THE SPECIFIED TOLERANCES.
8. ALL PLANTING SHALL BE INSTALLED WITHIN THE SPECIFIED TOLERANCES.
9. ALL PLANTING SHALL BE INSTALLED WITHIN THE SPECIFIED TOLERANCES.
10. ALL PLANTING SHALL BE INSTALLED WITHIN THE SPECIFIED TOLERANCES.

- EXISTING TREES**
- 1. All existing trees shall be preserved and protected.
 - 2. All existing trees shall be preserved and protected.
 - 3. All existing trees shall be preserved and protected.
 - 4. All existing trees shall be preserved and protected.
 - 5. All existing trees shall be preserved and protected.
 - 6. All existing trees shall be preserved and protected.
 - 7. All existing trees shall be preserved and protected.
 - 8. All existing trees shall be preserved and protected.
 - 9. All existing trees shall be preserved and protected.
 - 10. All existing trees shall be preserved and protected.

- PAVING NOTES**
- 1. Concrete shall be placed and finished in accordance with the specifications.
 - 2. Concrete shall be placed and finished in accordance with the specifications.
 - 3. Concrete shall be placed and finished in accordance with the specifications.
 - 4. Concrete shall be placed and finished in accordance with the specifications.
 - 5. Concrete shall be placed and finished in accordance with the specifications.
 - 6. Concrete shall be placed and finished in accordance with the specifications.
 - 7. Concrete shall be placed and finished in accordance with the specifications.
 - 8. Concrete shall be placed and finished in accordance with the specifications.
 - 9. Concrete shall be placed and finished in accordance with the specifications.
 - 10. Concrete shall be placed and finished in accordance with the specifications.

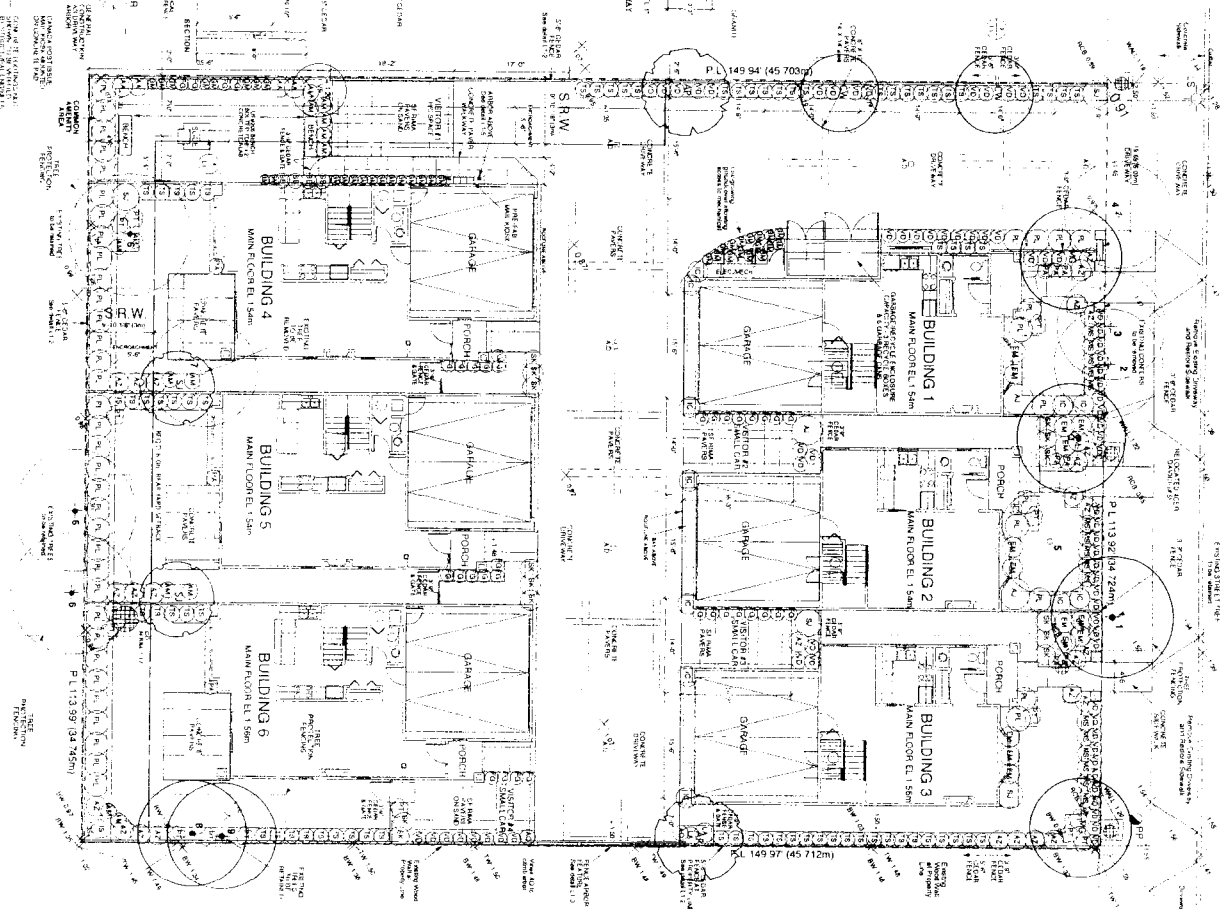
- ENTRY MANGER POST**
- 1. Entry manger post shall be installed in accordance with the specifications.
 - 2. Entry manger post shall be installed in accordance with the specifications.
 - 3. Entry manger post shall be installed in accordance with the specifications.
 - 4. Entry manger post shall be installed in accordance with the specifications.
 - 5. Entry manger post shall be installed in accordance with the specifications.
 - 6. Entry manger post shall be installed in accordance with the specifications.
 - 7. Entry manger post shall be installed in accordance with the specifications.
 - 8. Entry manger post shall be installed in accordance with the specifications.
 - 9. Entry manger post shall be installed in accordance with the specifications.
 - 10. Entry manger post shall be installed in accordance with the specifications.

- CEDR FENCING TYPICAL**
- 1. Cedar fencing shall be installed in accordance with the specifications.
 - 2. Cedar fencing shall be installed in accordance with the specifications.
 - 3. Cedar fencing shall be installed in accordance with the specifications.
 - 4. Cedar fencing shall be installed in accordance with the specifications.
 - 5. Cedar fencing shall be installed in accordance with the specifications.
 - 6. Cedar fencing shall be installed in accordance with the specifications.
 - 7. Cedar fencing shall be installed in accordance with the specifications.
 - 8. Cedar fencing shall be installed in accordance with the specifications.
 - 9. Cedar fencing shall be installed in accordance with the specifications.
 - 10. Cedar fencing shall be installed in accordance with the specifications.

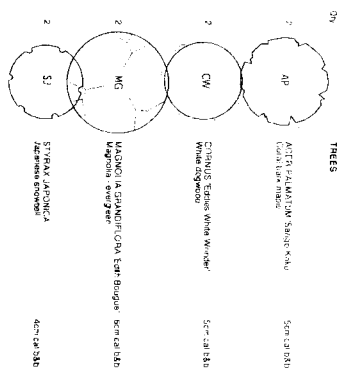
- DRIVEWAY FENCE ARBOR FEATURE**
- 1. Driveway fence arbor feature shall be installed in accordance with the specifications.
 - 2. Driveway fence arbor feature shall be installed in accordance with the specifications.
 - 3. Driveway fence arbor feature shall be installed in accordance with the specifications.
 - 4. Driveway fence arbor feature shall be installed in accordance with the specifications.
 - 5. Driveway fence arbor feature shall be installed in accordance with the specifications.
 - 6. Driveway fence arbor feature shall be installed in accordance with the specifications.
 - 7. Driveway fence arbor feature shall be installed in accordance with the specifications.
 - 8. Driveway fence arbor feature shall be installed in accordance with the specifications.
 - 9. Driveway fence arbor feature shall be installed in accordance with the specifications.
 - 10. Driveway fence arbor feature shall be installed in accordance with the specifications.

- AMENITY PLAY AREA FURNISHINGS**
- 1. Amenity play area furnishings shall be installed in accordance with the specifications.
 - 2. Amenity play area furnishings shall be installed in accordance with the specifications.
 - 3. Amenity play area furnishings shall be installed in accordance with the specifications.
 - 4. Amenity play area furnishings shall be installed in accordance with the specifications.
 - 5. Amenity play area furnishings shall be installed in accordance with the specifications.
 - 6. Amenity play area furnishings shall be installed in accordance with the specifications.
 - 7. Amenity play area furnishings shall be installed in accordance with the specifications.
 - 8. Amenity play area furnishings shall be installed in accordance with the specifications.
 - 9. Amenity play area furnishings shall be installed in accordance with the specifications.
 - 10. Amenity play area furnishings shall be installed in accordance with the specifications.

- MALE KIOSK ARBOR**
- 1. Male kiosk arbor shall be installed in accordance with the specifications.
 - 2. Male kiosk arbor shall be installed in accordance with the specifications.
 - 3. Male kiosk arbor shall be installed in accordance with the specifications.
 - 4. Male kiosk arbor shall be installed in accordance with the specifications.
 - 5. Male kiosk arbor shall be installed in accordance with the specifications.
 - 6. Male kiosk arbor shall be installed in accordance with the specifications.
 - 7. Male kiosk arbor shall be installed in accordance with the specifications.
 - 8. Male kiosk arbor shall be installed in accordance with the specifications.
 - 9. Male kiosk arbor shall be installed in accordance with the specifications.
 - 10. Male kiosk arbor shall be installed in accordance with the specifications.



PLANTING KEY



Code	Plant Name	Quantity	Notes
AP	AMERICAN PLUM TREE	50	50' x 50' x 50'
MG	MAGNOLIA GRANDIFLORA	50	50' x 50' x 50'
CW	CRAPAUDINE	50	50' x 50' x 50'
S2	SPRING BURNING BUSH	50	50' x 50' x 50'
SHRUBS	SHRUBS		
1	ALCORN	50	50' x 50' x 50'
2	DOGWOOD	50	50' x 50' x 50'
3	DOGWOOD	50	50' x 50' x 50'
4	DOGWOOD	50	50' x 50' x 50'
5	DOGWOOD	50	50' x 50' x 50'
6	DOGWOOD	50	50' x 50' x 50'
7	DOGWOOD	50	50' x 50' x 50'
8	DOGWOOD	50	50' x 50' x 50'
9	DOGWOOD	50	50' x 50' x 50'
10	DOGWOOD	50	50' x 50' x 50'
11	DOGWOOD	50	50' x 50' x 50'
12	DOGWOOD	50	50' x 50' x 50'
13	DOGWOOD	50	50' x 50' x 50'
14	DOGWOOD	50	50' x 50' x 50'
15	DOGWOOD	50	50' x 50' x 50'
16	DOGWOOD	50	50' x 50' x 50'
17	DOGWOOD	50	50' x 50' x 50'
18	DOGWOOD	50	50' x 50' x 50'
19	DOGWOOD	50	50' x 50' x 50'
20	DOGWOOD	50	50' x 50' x 50'
21	DOGWOOD	50	50' x 50' x 50'
22	DOGWOOD	50	50' x 50' x 50'
23	DOGWOOD	50	50' x 50' x 50'
24	DOGWOOD	50	50' x 50' x 50'
25	DOGWOOD	50	50' x 50' x 50'
26	DOGWOOD	50	50' x 50' x 50'
27	DOGWOOD	50	50' x 50' x 50'
28	DOGWOOD	50	50' x 50' x 50'
29	DOGWOOD	50	50' x 50' x 50'
30	DOGWOOD	50	50' x 50' x 50'
31	DOGWOOD	50	50' x 50' x 50'
32	DOGWOOD	50	50' x 50' x 50'
33	DOGWOOD	50	50' x 50' x 50'
34	DOGWOOD	50	50' x 50' x 50'
35	DOGWOOD	50	50' x 50' x 50'
36	DOGWOOD	50	50' x 50' x 50'
37	DOGWOOD	50	50' x 50' x 50'
38	DOGWOOD	50	50' x 50' x 50'
39	DOGWOOD	50	50' x 50' x 50'
40	DOGWOOD	50	50' x 50' x 50'
41	DOGWOOD	50	50' x 50' x 50'
42	DOGWOOD	50	50' x 50' x 50'
43	DOGWOOD	50	50' x 50' x 50'
44	DOGWOOD	50	50' x 50' x 50'
45	DOGWOOD	50	50' x 50' x 50'
46	DOGWOOD	50	50' x 50' x 50'
47	DOGWOOD	50	50' x 50' x 50'
48	DOGWOOD	50	50' x 50' x 50'
49	DOGWOOD	50	50' x 50' x 50'
50	DOGWOOD	50	50' x 50' x 50'
51	DOGWOOD	50	50' x 50' x 50'
52	DOGWOOD	50	50' x 50' x 50'
53	DOGWOOD	50	50' x 50' x 50'
54	DOGWOOD	50	50' x 50' x 50'
55	DOGWOOD	50	50' x 50' x 50'
56	DOGWOOD	50	50' x 50' x 50'
57	DOGWOOD	50	50' x 50' x 50'
58	DOGWOOD	50	50' x 50' x 50'
59	DOGWOOD	50	50' x 50' x 50'
60	DOGWOOD	50	50' x 50' x 50'
61	DOGWOOD	50	50' x 50' x 50'
62	DOGWOOD	50	50' x 50' x 50'
63	DOGWOOD	50	50' x 50' x 50'
64	DOGWOOD	50	50' x 50' x 50'
65	DOGWOOD	50	50' x 50' x 50'
66	DOGWOOD	50	50' x 50' x 50'
67	DOGWOOD	50	50' x 50' x 50'
68	DOGWOOD	50	50' x 50' x 50'
69	DOGWOOD	50	50' x 50' x 50'
70	DOGWOOD	50	50' x 50' x 50'
71	DOGWOOD	50	50' x 50' x 50'
72	DOGWOOD	50	50' x 50' x 50'
73	DOGWOOD	50	50' x 50' x 50'
74	DOGWOOD	50	50' x 50' x 50'
75	DOGWOOD	50	50' x 50' x 50'
76	DOGWOOD	50	50' x 50' x 50'
77	DOGWOOD	50	50' x 50' x 50'
78	DOGWOOD	50	50' x 50' x 50'
79	DOGWOOD	50	50' x 50' x 50'
80	DOGWOOD	50	50' x 50' x 50'
81	DOGWOOD	50	50' x 50' x 50'
82	DOGWOOD	50	50' x 50' x 50'
83	DOGWOOD	50	50' x 50' x 50'
84	DOGWOOD	50	50' x 50' x 50'
85	DOGWOOD	50	50' x 50' x 50'
86	DOGWOOD	50	50' x 50' x 50'
87	DOGWOOD	50	50' x 50' x 50'
88	DOGWOOD	50	50' x 50' x 50'
89	DOGWOOD	50	50' x 50' x 50'
90	DOGWOOD	50	50' x 50' x 50'
91	DOGWOOD	50	50' x 50' x 50'
92	DOGWOOD	50	50' x 50' x 50'
93	DOGWOOD	50	50' x 50' x 50'
94	DOGWOOD	50	50' x 50' x 50'
95	DOGWOOD	50	50' x 50' x 50'
96	DOGWOOD	50	50' x 50' x 50'
97	DOGWOOD	50	50' x 50' x 50'
98	DOGWOOD	50	50' x 50' x 50'
99	DOGWOOD	50	50' x 50' x 50'
100	DOGWOOD	50	50' x 50' x 50'

DAVID S. THOMPSON
 LANDSCAPE ARCHITECT
 1000 W. 10TH STREET, SUITE 100
 RICHMOND, VA 23224
 (804) 781-1111
 www.dsthompson.com

DETACHED STAFF HOMES
 580 WILLIAMS ROAD
 RICHMOND, VA

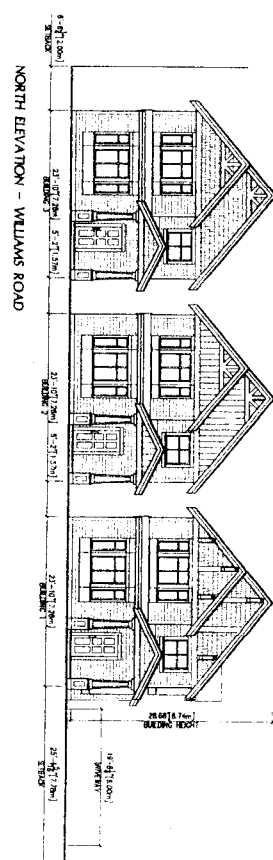
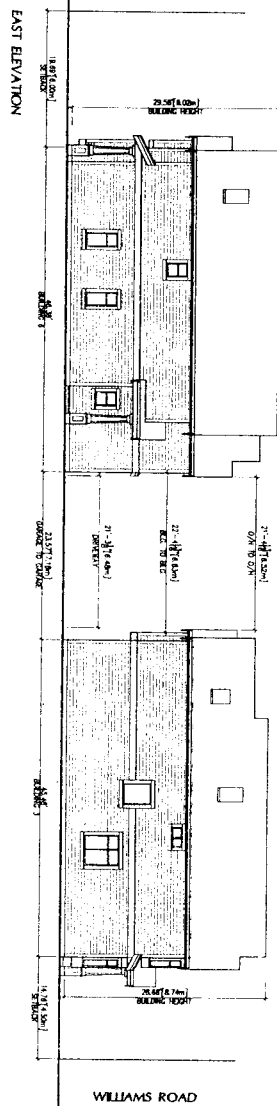
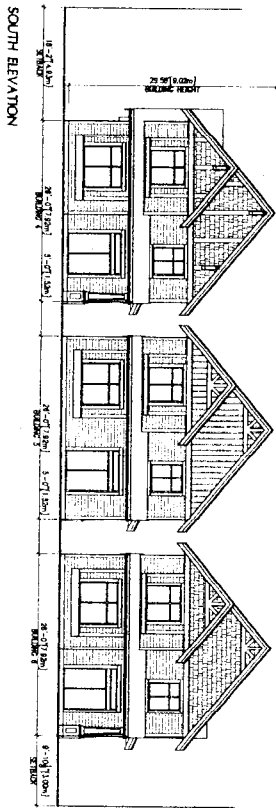
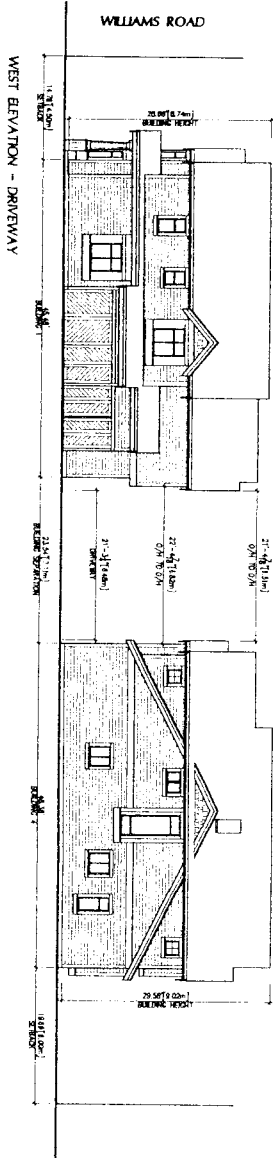
LANDSCAPE PLAN

PLAN 3

3

DATE: 03/13/2007
 DRAWING NO: 1000000003
 PROJECT NO: 1000000003

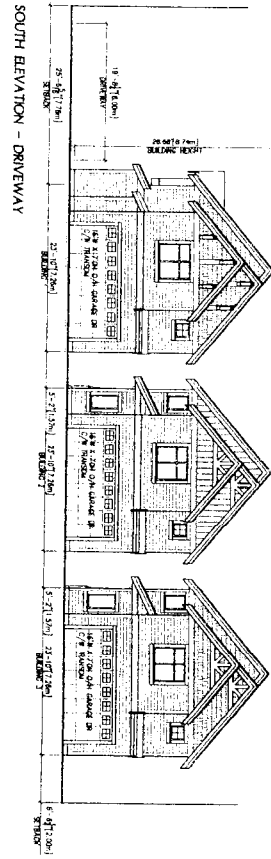
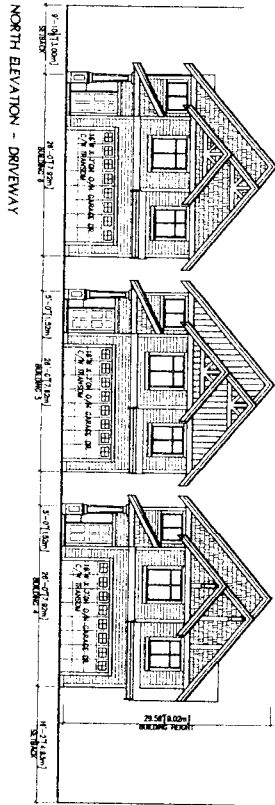
06330668 MAR 13 2007



DP 06-330688
PLAN #4a - ARCHITECTURAL BUILDING ELEVATIONS

<p>#4a</p>	<p>Project Title REZONING & RESIDENTIAL DEVELOPMENT 3200 WILLIAMS ROAD RICHMOND, B.C.</p>	<p>No. Date Revision 1 1/2007 TCA 2 2/2007 REV'D FOR DPA 3 2/2007 REV'D FOR LETTER 4 3/2007 5 3/2007 REV'D FOR DPA</p>	<p>Consultants MATTHEW CHENG ARCHITECT INC. 201 402 WEST 44th AVENUE, RICHMOND, B.C. V6V 1H4 Tel: (604) 271-2822 Fax: (604) 271-1068 Tel: (604) 691-0247 Email: matthew@matthewcheng.ca</p>
	<p>Sheet Title SITE ELEVATIONS</p>	<p>CADLAB cadlab design and development inc. Tel: (604) 618-3225 Fax: (604) 241-9308 email: cadlab@compro.com</p>	

DP 06330688 MAR 13 2007



DP 06-330688
 PLAN #4b - ARCHITECTURAL BUILDING ELEVATIONS

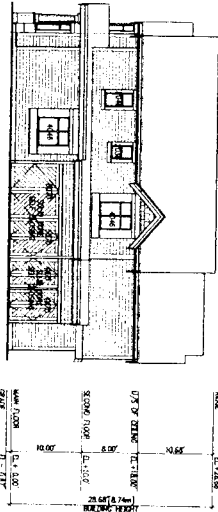
Project File REZONING & RESIDENTIAL DEVELOPMENT 5290 WILLIAMS ROAD RICHMOND, B.C.	No.	Date	Revision	Consultants
	1	1/18/06	OPA	
Sheet Title DRIVEWAY ELEVATIONS	2	3/16/06	REV'D FOR OPA	
	3	07/06	REV'D PER LETTER	
	4	3/16/07	REV'D FOR OPA	



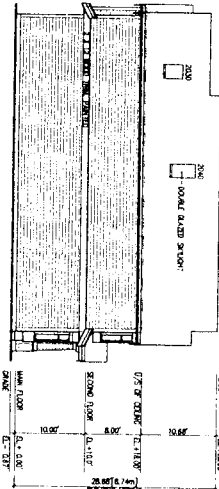
DP06330688

MAR 13 2007

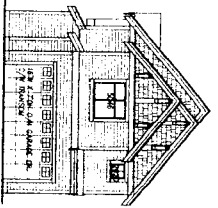
WEST ELEVATION
 BUILDING 1
 PROJECT NO. 06-330688
 SHEET NO. 4C
 DATE 03/13/07
 DRAWN BY J. CHENG
 CHECKED BY M. CHENG
 APPROVED BY M. CHENG



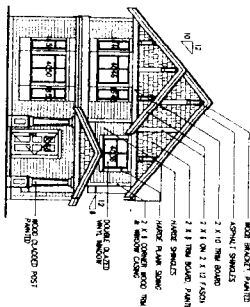
EAST ELEVATION
 BUILDING 1
 PROJECT NO. 06-330688
 SHEET NO. 4C
 DATE 03/13/07
 DRAWN BY J. CHENG
 CHECKED BY M. CHENG
 APPROVED BY M. CHENG



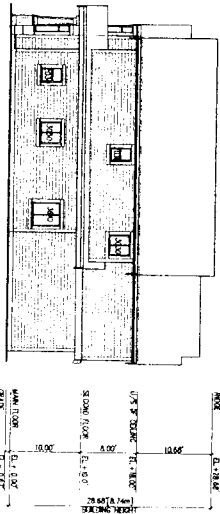
SOUTH ELEVATION
 BUILDING 1
 PROJECT NO. 06-330688
 SHEET NO. 4C
 DATE 03/13/07
 DRAWN BY J. CHENG
 CHECKED BY M. CHENG
 APPROVED BY M. CHENG



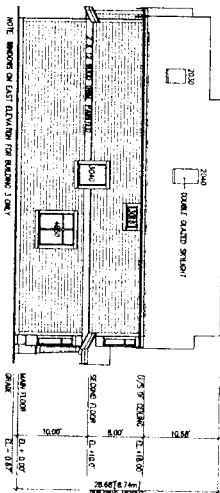
NORTH ELEVATION



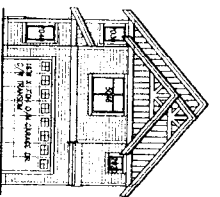
WEST ELEVATION
 BUILDING 2 & BUILDING 3
 PROJECT NO. 06-330688
 SHEET NO. 4C
 DATE 03/13/07
 DRAWN BY J. CHENG
 CHECKED BY M. CHENG
 APPROVED BY M. CHENG



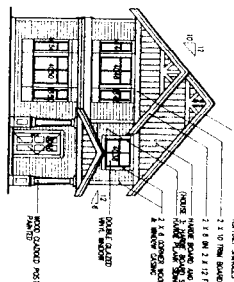
EAST ELEVATION
 BUILDING 2 & BUILDING 3
 PROJECT NO. 06-330688
 SHEET NO. 4C
 DATE 03/13/07
 DRAWN BY J. CHENG
 CHECKED BY M. CHENG
 APPROVED BY M. CHENG



SOUTH ELEVATION
 BUILDING 2 & BUILDING 3
 PROJECT NO. 06-330688
 SHEET NO. 4C
 DATE 03/13/07
 DRAWN BY J. CHENG
 CHECKED BY M. CHENG
 APPROVED BY M. CHENG



NORTH ELEVATION



**DP 06-330688
 PLAN #4C - ELEVATIONS, BUILDING 1, 2 & 3**

#4C Revision No. 0	Project Title REZONING & RESIDENTIAL DEVELOPMENT 5200 WILLEMIC ROAD RICHMOND, B.C.	No. Date Revision 1 03/13/07 2 03/13/07 3 03/13/07 4 03/13/07	Consultants MATTHEW CHENG ARCHITECT INC. 201 WEST MAIN ST. VANCOUVER, B.C. V6B 1E3 TEL: (604) 681-9222 FAX: (604) 681-9200 CELL: (604) 681-9200 EMAIL: mat@matarchitect.com
	Sheet Title ELEVATIONS BUILDINGS 1, 2 & 3	Project No. 06-330688	Scale 1/8" = 1'-0"



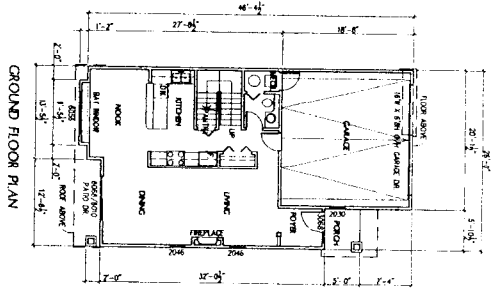
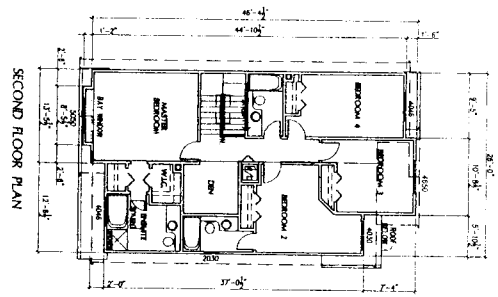
MATTHEW CHENG ARCHITECT INC.
 201 WEST MAIN ST. VANCOUVER, B.C. V6B 1E3
 TEL: (604) 681-9222 FAX: (604) 681-9200
 CELL: (604) 681-9200 EMAIL: mat@matarchitect.com

CADLAB
 cadlab design and development inc.
 1st floor, 1000-1010 West Broadway, Vancouver, BC V6E 1S7
 Tel: (604) 681-3223 fax: (604) 241-9386 email: cadlab@compusa.com

DP06330688 MAR 13 2007



BUILDING 6



DP 06-330688
 PLAN #5a - FLOOR PLANS, BUILDING 6

Project File REZONING & RESIDENTIAL DEVELOPMENT 3280 WILLIAMS ROAD RICHMOND, B.C.	No.	Date	Revision	Consultants
	1 03/13/07 FOR DPA			
Sheet Title FLOOR PLANS BUILDINGS 6				

MATTHEW CHENG ARCHITECT INC.
 20-445 WEST BURNAY, VANCOUVER, B.C. V5V 1E3
 TEL: (604) 273-3013 FAX: (604) 273-3008
 CAD: (604) 499-2888 EMAIL: matthew@matarch.com

CADLAB
 cadlab design and development inc.
 TEL: (604) 618-3223 FAX: (604) 241-5388 EMAIL: cadlab@compco.com

REFERENCE PLAN

DP 00030068

MAR 13 2007