



**City of Richmond**  
Urban Development Division

## Report to Development Permit Panel

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**To:** Development Permit Panel  
**From:** Raul Allueva  
Director of Development  
**Date:** February 1, 2005  
**File:** DP 04-280307  
**Re:** **Application by Patrick Cotter Architect Inc. for a Development Permit for a Portion of 7331 No. 4 Road (Formerly a Portion of 7351 No. 4 Road)**

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### Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of six (6) townhouses on a portion of 7331 No. 4 Road (formerly a portion of 7351 No. 4 Road) on a site zoned Comprehensive Development District (CD/35); and
2. Vary the provisions of the Zoning and Development Bylaw No. 5300:
  - a) To reduce the minimum required south side yard setback from 3 m to 2.4 m for the southeast unit;
  - b) To permit projections into the south and east side yard setback of 0.6 m for one-storey enclosed bays at grade on four (4) units; and
  - c) To permit four (4) tandem parking spaces.

Raul Allueva  
Director of Development

SB:blg  
Att.

## Staff Report

### Origin

Patrick Cotter Architect Inc. has applied to the City of Richmond for permission to develop six (6) townhouse units on a rear portion of 7331 No. 4 Road as Phase II of a twenty-two (22) unit development. The site is a previously undeveloped rear portion of 7351 No. 4 Road which was consolidated with the Phase I site of 7331 No. 4 Road. Phase II consists of two (2) 2 ½-storey triplex buildings, including two (2) three-storey units are proposed.

A Development Permit has been issued for Phase I of the development on the same property (DP 04-269088). Phase I consists of 16 townhouse units in the form of five (5) two-storey duplexes and two (2) 2 ½-storey triplexes, including two (2) three-storey units. The Phase I site was rezoned from Single-Family Housing District, Subdivision Area F (R1/F) to Comprehensive Development District (CD/35) for this project under Bylaw 7657 (rezoning application RZ 03-250285).

The subject Phase II site is being rezoned from Single-Family Housing District, Subdivision Area F (R1/F) to Comprehensive Development District (CD/35) for this project under Bylaw 7815 (rezoning application RZ 04-271743).

### Development Information

Please refer to the attached Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant Bylaw requirements.

### Background

The subject site is situated along the western edge of No. 4 Road in the least dense multiple-family area designated under the McLennan South Sub-Area Plan. A mix of older and newer homes characterizes the area around the subject site. The plan generally intends that this part of McLennan South will be redeveloped with a mix of detached, duplex, and triplex dwellings, either as low-density townhouse projects or as fee simple subdivisions.

The existing development surrounding the site is described as follows:

- to the north, is Phase I of the same development (DP 04-269088);
- to the east, across No. 4 Road, are single-family homes;
- to the south and west, are single-family homes which represent the remaining development parcel between this development and future General Currie Road extension;
- further south, across future General Currie Road extension, are single-family homes and a multi-family development; and
- to the west, is a single-family home facing Bridge Street (which is intended to be subdivided into future smaller single-family home lots facing Shields Avenue).

### Previous Phase Issues and Public Hearing Results

#### Previous Phase I

At the Development Permit Panel meeting of August 25, 2004, regarding the application for Phase I to the north, the provision of accessible or adaptable units was identified by staff for follow up during Phase II. In addition, concerns were raised by the public regarding the

encroachment of Phase I pre-load material onto adjacent neighbouring property and the removal of fences. As a result:

“Direction was given to staff that the application (Phase I) be held until confirmation was received from the applicant that a meeting with the residents had been held and the issues concerning fencing and pre-load had been resolved.”

This was completed (see below) to the satisfaction of staff and Phase I Development Permit was subsequently approved. However, Phase II presents an opportunity to ensure this issue continues to be addressed.

#### Accessibility

The applicant has addressed this issue in the proposal for Phase II through providing an alternate floor plan for unit type E (2 units) demonstrating adaptability (**Attachment 3**).

#### Construction Impact on Neighbouring Properties

The applicant addressed this issue with each of the four property owners adjacent to Phase I with a written commitment to correct all damaged fencing, encroachment of building materials and landscape damage (copies on file). Phase II presents adjacencies to three properties, one of which is also adjacent to Phase I. The developer has advised in writing that they have had discussions with two of the neighbours and that he is not aware of either having any concerns with the development. A 6 m setback is offered to the third site, which was recently rezoned to permit a future seven lot subdivision facing future Shields Avenue (RZ 03-227858).

#### Public Hearing Issues

A Public Hearing Meeting for the Rezoning of this site (RZ 04-271743) was held on October 18, 2004. The Public Hearing minutes indicate that the following concerns regarding the rezoning were expressed at the Public Hearing and in a written submission:

“Ms. Jean James, 7420 Bridge Street, objected to the height of the development, which would abut the rear of her property. Ms. James spoke about other 3 storey developments on the block which towered over the existing trees, and said that she had thought that the original plan had included 2.5 storey adjacent to the single-family.”

In a written submission, M. Hon, 7311 No. 4 Road, writes: “We strongly object to the rezoning of a three-storey townhouse at the rear portion of 7351 No. 4 Road. (1) A 3 storey structure is too high to the surrounding neighbourhood not mentioning the public concern about the congested traffic that will be created to No. 4 Road when the site is completed for move in; (2) the existing constructing structure is already too close to our fence, it makes us feel very uncomfortable and we do not want to see another ugly 3 storey building so close to our property; (3) A 3 storey building so close to the neighbour would block the sky view.” The property at 7331 No. 4 Road abuts a two-storey duplex in the northeast corner of Phase I of the development. The duplex is setback 3 m from the subject property.

The issues are summarized as:

- Three-storey building height instead of 2 ½-storey height;
- Increase in traffic volume;
- Adjacency to existing single-family homes; and
- Blocking sky views.

The issues noted above have been addressed in Phase II as follows:

#### Building Height

The proposed building height is 2 ½-storey. Although the zoning district permits three-storey buildings, the applicant is proposing 2 ½-storey triplexes. In fact, the majority of the units are two-storey in height. In each of the 2 ½-storey triplexes, the middle units are three-storey and flanked on either side by two-storey units. This is considered an appropriate and reasonable massing scheme for this location and is consistent with the form of development in the area.

#### Traffic Volume

The introduction of six (6) residential units with access to the major arterial (No. 4 Road) was reviewed by the transportation department and does not present a transportation concern.

#### Adjacency

The proposed development provides a 6 m setback to the proposed single-family lots; Single-Family Housing District, Subdivision Area K (R1/K) of 7320 Bridge Street to the west.

The applicant is seeking a setback variance to the south side yard setback in order to permit the southeast unit to be located 2.4 m from south property line. The proposed variance does not extend the entire length of the unit and is limited to a two-storey portion of the building. The provided setback increases as the building height increases.

The applicant is also seeking setback variances to the east and south side yards in order to permit 0.6 m single-storey building projections at grade on four of the six units. The building face will be setback in accordance with the minimum required 3 m side yard setback. The proposed building projections are consistent with variances approved in Phase I and will not adversely impact privacy as they are limited to single-storey elements and appropriate landscaping and screening will be provided along the property line.

The developer has advised in writing that they have had discussions with both neighbours and is not aware of either neighbour having any concerns.

#### Views

The existing large mature trees surrounding the perimeter of the subject site are taller than the proposed two (2) triplex buildings of 2 ½-storey height. The proposed buildings should not have a greater impact on obscuring views than the existing trees.

#### **Staff Comments**

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the Comprehensive Development District (CD/35) Schedule except for the zoning variances noted below.

### Zoning Compliance/Variances (staff comments in **bold**)

The applicant requests the following variances to the Comprehensive Development District (CD/35) District Schedule of the Zoning and Development Bylaw No. 5300:

- 1) To vary the provision of Section 291.35.4 (Minimum Setbacks From Property Lines) to reduce the minimum required south side yard setback from 3 m to 2.4 m for the southeast unit.

*(Staff supports the proposed variance as the variance only applies to a portion of the side elevation of the building, the building face is articulated, a variety of roof forms are provided and the setback increases as the building height increases. In addition, landscaping measures have been taken to reduce the impact of the development on the adjacent existing single-family home back yard to the south in the form of new tree planting with larger specimens and 1.8 m privacy fencing).*

- 2) To vary the provision of Section 291.35.4 (Minimum Setbacks From Property Lines) to permit projections into the south and east side yard setback of 0.6 m on four (4) units.

*(Staff supports the proposed variance as landscaping measures have been taken to reduce the impact of the development on the adjacent existing single-family home back yards to the south and west in the form of new tree planting with larger specimens and 1.8 m privacy fencing. The proposed 0.6 m single-storey building projections are limited to at grade with no upper storey encroachments. The encroachment into the side yard is consistent with the previously approved Development Permit for Phase I).*

- 3) To vary the provision of Division 400 (Off-Street Parking & Loading) to permit four (4) tandem parking spaces.

*(Staff supports the proposed variance as it is consistent with other townhouse development in the City Centre and the mix of standard and tandem parking is appropriate. Standard side-by-side double car garages are proposed for four (4) of the six (6) units).*

### Analysis

Criteria and policies for the issuance of Development Permits appear in Bylaw 7100, the Official Community Plan:

- Schedule 1: 9.2 General Guidelines  
 9.3 Multiple-Family Residential Development Permit Guidelines (Townhouses)
- Schedule 2: 2.10 City Centre Area Plan  
 2.10D City Centre Area McLennan South Sub-Area Plan

### Conditions of Adjacency:

- The applicant has addressed privacy for the adjacent single-family lots to the east and south with hedge and tree planting and a 1.8 m fence; and
- The applicant has addressed privacy for the future adjacent single-family lot to the west through an increased setback of 6 m, tree planting and a 1.8 m fence.

#### Site Planning and Urban Design:

- An outdoor amenity area and enclosure for garbage & recycling were sized to accommodate both phases and provided in Phase I;
- Cash in lieu of indoor amenity space was provided through the Rezoning application;
- A cross access arrangement was secured through the Rezoning application to provide access across the manoeuvring aisle for the benefit of 7371 No. 4 Road to the south; and
- Although visitor parking was provided in Phase I, the subject development provides the access.

#### Architectural Form and Character:

- The building forms are well articulated; and
- The proposed building materials (Hardi-board and batten, wood shingles, vinyl siding, painted wood trim and asphalt shingle roofing) are generally consistent with the Official Community Plan (OCP) Guidelines.

#### Landscape Design:

- This previously undeveloped site was cleared without the provision of either a tree survey or an arborist report. This was done to pre-load the site for construction. The approximate seven (7) trees (based on visual survey of high altitude aerial photograph) would likely not be viable for retention due to conflict with building envelopes and manoeuvring aisle locations;
- The landscape design includes 15 new trees, 6 of which are larger in size (min. 15 cm dbh) to compensate for the removal of existing trees and will contribute a maturity to the development identity and improve privacy screening to adjacent single-family lots;
- The wooded site of Phase I was also cleared without the provision of either a tree survey or an arborist report with the exception of five (5) existing trees. On the Phase I site, the applicant provided 57 new trees, including 15 larger Maple trees with min. 15 cm dbh, a variety of paving treatments, children's play equipment, and two (2) distinct streetscape treatments;
- The landscape design also includes, special paving treatment with patterning and colour, as well as substantial planting. Landscape buffers and fences are located along all property lines which separate the development from the adjacent single-family home side and back yards; and
- The overall development was planned with amenities being provided in Phase I and sized to accommodate the additional requirements of Phase II. These include the garbage & recycling enclosure and an outdoor amenity area with pedestrian paths, children's play equipment and benches. The Phase II property has been consolidated with that of Phase I.

#### **Advisory Design Panel Comments**

The Advisory Design Panel was generally supportive of the proposed development and decided that the project should proceed. A copy of the relevant excerpt from the Advisory Design Panel Minutes from December 08, 2004 is attached for reference (**Attachment 2**). The applicant has addressed the Panel's concerns regarding the provision of an adaptable unit; tandem parking; use of pavers and tree sizing through the provision of an alternate floor plan and selective larger tree specimens. An alternate floor plan has been provided demonstrating the adaptability of the two units type C (**Attachment 3**). The use of tandem parking is limited to two of the six units. Standard double-car garages will be provided for the remaining four units. Although pavers are not proposed for the manoeuvring aisle intersection, a variety of paving treatments is proposed,

consistent with Phase I paving treatment, including pavers, texture and colour. Six of the fifteen new trees proposed are larger specimens of minimum 15 cm dbh .

### **Conclusions**

The applicant has satisfactorily addressed issues that were identified through the rezoning process, as well as staff and the Advisory Design Panel's comments regarding conditions of adjacency, site planning and urban design, architectural form and character, and landscape design. The applicant has presented a development that fits into the existing context and will fit into the future context of Le Chow Street. Therefore, staff recommend support of this Development Permit application.



Sara Badyal, M.Arch.  
Planner 1  
(Local 4282)

SB:blg

The following condition is required to be met prior to forwarding this application to Council for approval:

- Receipt of a Letter of Credit for landscaping in the amount of \$20,924.

## List of Attachments

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- |              |                                                 |
|--------------|-------------------------------------------------|
| Attachment 1 | Development Application Data Sheet              |
| Attachment 2 | Excerpt from Advisory Design Panel Minutes      |
| Attachment 3 | Alternate Floor Plan Demonstrating Adaptability |





**City of Richmond**  
6911 No. 3 Road  
Richmond, BC V6Y 2C1

**Development Application  
Data Sheet**  
Development Applications Department

**DP 04-280307**

**Attachment 1**

Address:	A portion of 7331 No. 4 Road (formerly a portion of 7351 No. 4 Road)		
Applicant:	Patrick Cotter Architect Inc.	Owner:	S-8117 Holdings Ltd.
Planning Area(s):	McLennan South Sub-Area of City Centre Area		
Site Area	Formerly: 5,237.4 m <sup>2</sup>	After Dedications:	4,886.5 m <sup>2</sup>
Floor Area	Gross: 971.9 m <sup>2</sup> 3,142.4 m <sup>2</sup> over Phase I & II	Net: 788.2 m <sup>2</sup> 2,912 m <sup>2</sup> over Phase I & II	
Zoning	Formerly: R1/F	Existing:	CD/35

	Existing	Proposed
Land Uses	formerly single-family home	townhouse units
OCP Designation	Residential	no change
Number of Units	formerly portion of back yard	6

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.6	0.6 over Phase I & II	none permitted
Lot Coverage:	Max. 40%	39%	none
<b>Setback – Side Yard:</b>	<b>3 m</b>	<b>2.4 m to 3 m</b>	<b>2.4 m side yard &amp; 0.6 m room projections</b>
Setback – Rear Yard:	3 m	6 m	none
Height (m):	11 m & Max. 3 storeys	10 m & 2½ storeys	none
<b>Off-street Parking Spaces – Resident/Visitor:</b>	<b>9 and 2</b>	<b>12 and 5*</b>	<b>none*</b>
<b>Off-street Parking Spaces – Accessible:</b>	<b>1</b>	<b>1*</b>	<b>none*</b>
<b>Off-street Parking Spaces – Tandem:</b>	<b>not permitted</b>	<b>4</b>	<b>4 tandem spaces</b>
Off-street Parking Spaces – Total:	11	12	none
Amenity Space – Indoor:	Min. 70 m <sup>2</sup>	cash-in-lieu	none
<b>Amenity Space – Outdoor:</b>	<b>96 m<sup>2</sup></b>	<b>184.7 m<sup>2</sup>*</b>	<b>none*</b>

Variances have been requested to: reduce the side yard setback from 3 m to 2.4 m for the SE unit; to permit 0.6 m projections into the side yard setback; and to permit 4 tandem parking spaces.

\* Amenity area, visitor and accessible parking was provided in Phase I.

**EXCERPT OF THE MINUTES FROM  
THE DESIGN PANEL MEETING**

**Wednesday December 08<sup>th</sup>, 2004 – 4:00 p.m.**

**Rm. M.1.003**

**RICHMOND CITY HALL**

5. **Townhouses**

Patrick Cotter, *Patrick Cotter, Arch.*

DP 04-280307

7351 No. 4 Road

(Formal)

Mr. Terence Brunette, planner, provided written staff comments on the project, a copy of which is attached as Schedule 4 and forms a part of these minutes.

Mr. Patrick Cotter, with the aid of a model and other materials, reviewed the project, which is Phase 2 to a project already under construction.

Mr. Clark Kavolinas, landscape architect, provided the landscape details.

The comments of the Panel were as follows:

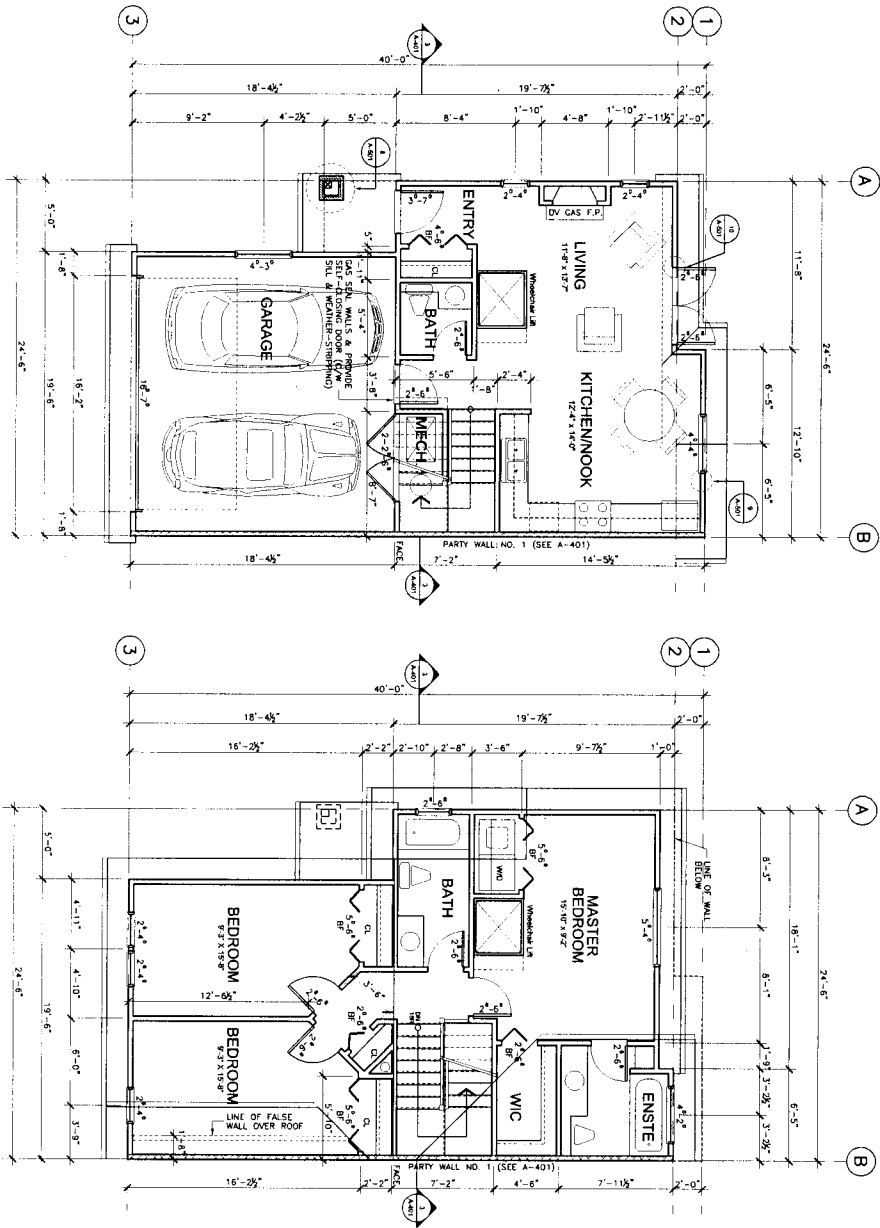
- Unit E could be easily adapted to an accessible unit - *An alternate floor plan has been provided demonstrating adaptability of unit C;*
- tandem parking could prove to be a safety issue - *The use of tandem parking is limited to two of the six units. Standard double-car garages will be provided for the remaining four units;* and
- a nice looking project. Intersections could be softened by the use of pavers. A median tree size was suggested - *Although pavers are not proposed for the manoeuvring aisle intersection, a variety of paving treatments is proposed, consistent with Phase I paving treatment, including pavers, texture and colour. Six of the fifteen new trees proposed are larger specimens of minimum 15 cm dbh .*

Discussion then ensued that resulted in the following motion:

It was moved and seconded

*That DP 04-280307 move forward subject to the incorporation of the Panel's comments.*

**CARRIED**



1 UNIT TYPE 'C'  
ACCESSIBLE GROUND FLOOR PLAN  
SCALE 1/4"=1'-0"

2 UNIT TYPE 'C'  
ACCESSIBLE SECOND FLOOR PLAN  
SCALE 1/4"=1'-0"

ADAPTABLE FLOOR PLAN  
WITH ELEVATOR INSTALLATION

NOTES

NO.	DESCRIPTION
1	REVISIONS
2	REVISIONS
3	REVISIONS
4	REVISIONS
5	REVISIONS
6	REVISIONS
7	REVISIONS
8	REVISIONS
9	REVISIONS
10	REVISIONS

**PATRICK COTTER ARCHITECT INC.**

128 - 3840 R. McTAVISH ST. W. UNIT 204  
VANCOUVER, BC V6V 2M4  
TEL: 604-271-1122  
FAX: 604-271-1122  
E-MAIL: patrick@pcarch.ca

PROPOSED RESIDENTIAL DEVELOPMENT  
7331 No. 4 Road  
Richmond, British Columbia

DATE: S-8117 HOLDINGS LTD.

NO.	DESCRIPTION
1	REVISIONS
2	REVISIONS
3	REVISIONS
4	REVISIONS
5	REVISIONS
6	REVISIONS
7	REVISIONS
8	REVISIONS
9	REVISIONS
10	REVISIONS

UNIT TYPE 'C'  
ACCESSIBLE  
FLOOR PLANS

PROJECT NO.	REV.
A-203A	F



**No. DP 04-280307**

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To the Holder:                   PATRICK COTTER ARCHITECT INC.

Property Address:               A PORTION OF 7331 NO. 4 ROAD  
                                         (FORMERLY A PORTION OF 7351 NO. 4 ROAD)

Address:                         C/O #235 - 11300 NO. 5 ROAD  
                                         RICHMOND, BC V7A 5J7

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1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning and Development Bylaw No. 5300" is hereby varied or supplemented as follows:
  - a) The dimension and siting of buildings and structures on the land shall be generally in accordance with Plans #1 and #2 attached hereto.
  - b) The siting and design of off-street parking and loading facilities shall be generally in accordance with Plans #1 through #3a attached hereto.
  - c) Landscaping and screening shall be provided around the different uses generally in accordance with the standards shown on Plans #3a and #3b attached hereto.
  - d) Roads and parking areas shall be paved in accordance with the standards shown on Plans #2 to #3a attached hereto.
  - e) Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
  - f) Subject to Section 692 of the Local Government Act, R.S.B.C., the building shall be constructed generally in accordance with Plans #4 and #5 attached hereto.
4. As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder, or should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.

# Development Permit

No. DP 04-280307

To the Holder: PATRICK COTTER ARCHITECT INC.  
Property Address: A PORTION OF 7331 NO. 4 ROAD  
(FORMERLY A PORTION OF 7351 NO. 4 ROAD)  
Address: C/O #235 - 11300 NO. 5 ROAD  
RICHMOND, BC V7A 5J7

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There is filed accordingly:

An Irrevocable Letter of Credit in the amount of \$20,924.00.

5. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO. \_\_\_\_\_  
DAY OF \_\_\_\_\_, \_\_\_\_\_.

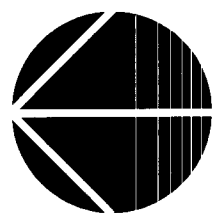
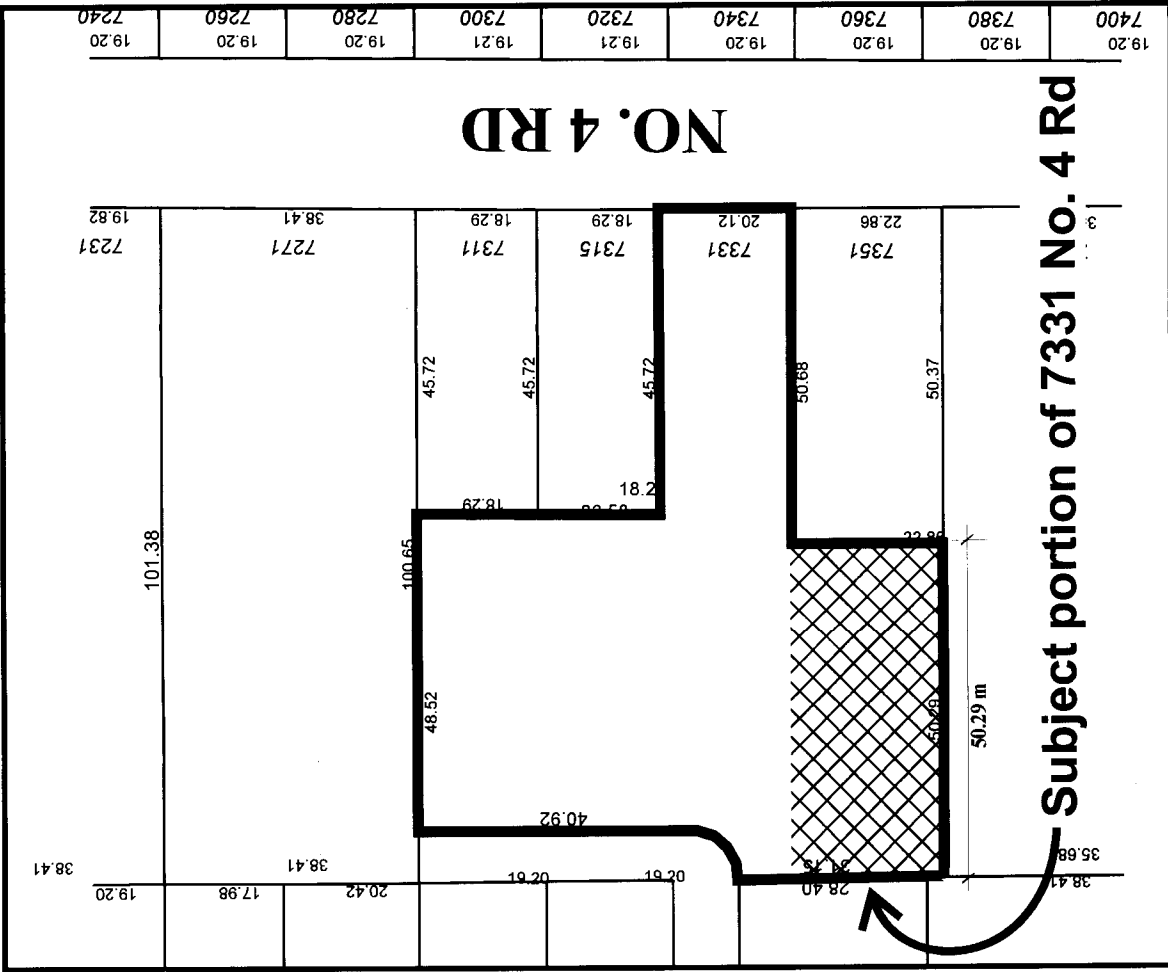
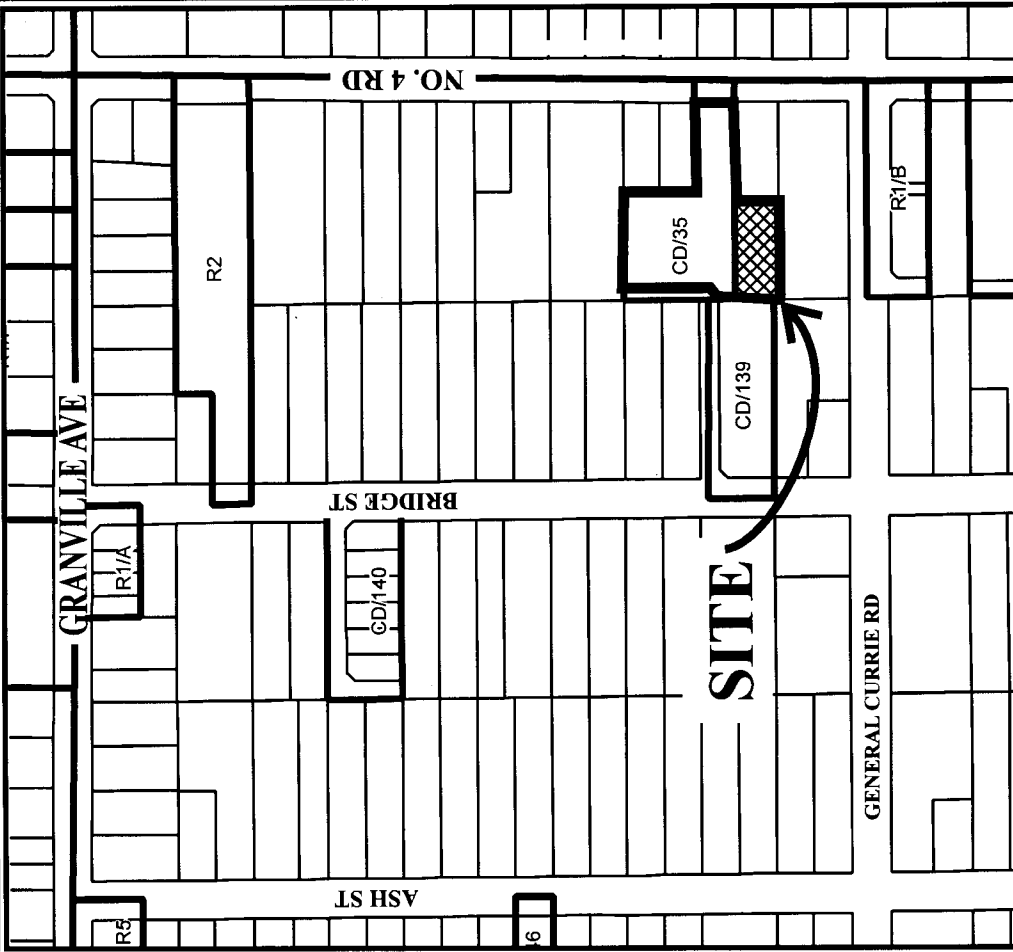
ISSUED BY THE COUNCIL THE

DELIVERED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_\_.

\_\_\_\_\_  
MAYOR



# City of Richmond



## DP 04-280307

### SCHEDULE "A"

Original Date: 11/24/04

Revision Date: 01/17/05

Note: Dimensions are in METRES

# NO.4 ROAD RESIDENTIAL DEVELOPMENT PHASE II

**7351 No.4 Road  
RICHMOND, BRITISH COLUMBIA**

30 JUL 2004 ISSUED FOR REZONING APPLICATION  
29 OCT 2004 ISSUED FOR DEVELOPMENT PERMIT  
26 NOV 2004 ISSUED FOR ADVISORY DESIGN PANEL  
28 JAN 2005 ISSUED FOR DEVELOPMENT PERMIT PANEL

**DRAWING LIST:**

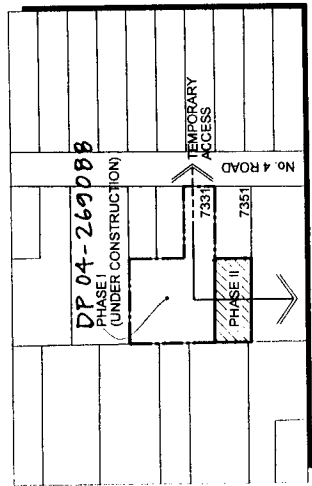
- \* COVER SHEET
- A-101 SITE PLAN (PHASE II ONLY)
- A-101A SITE PLAN (PHASE I AND PHASE II)
- A-102 CONTEXT PLAN
- A-201 UNIT TYPE 'C' - FLOOR PLANS
- A-202 UNIT TYPE 'D' - FLOOR PLANS
- A-203 UNIT TYPE 'E' - FLOOR PLANS
- A-301 UNIT TYPES 'C-D-E' - ELEVATIONS
- A-401 UNIT TYPES 'C-D-E' - SECTION

- L-1 LANDSCAPE PLAN
- L-1a LANDSCAPE PLAN (PHASE II ONLY)
- L-2 FENCE DETAILS
- L-3 AMENITY AREA

**LOCATION PLAN:**

- MAX 0.6M ENCLOSED BAY PROJECTIONS AT GRADE INTO SETBACKS TO SOUTH & EAST
- FOUR TANDEM PARKING SPACES
- REDUCED SIDE YARD SETBACK FOR SOUTHEAST UNIT FROM 3M TO 2.4 M

**REQUESTED VARIANCE: SEE PLAN #2**



**UNITS**

'C' DUPLEX, 2 STOREY UNITS	1,262.0 R2	x 2 UNITS =	2,524.0 R2
'D' DUPLEX, 2.5 STOREY UNITS	1,414.9 R2	x 2 UNITS =	2,829.8 R2
'E' DUPLEX, 2 STOREY UNITS	1,340.9 R2	x 2 UNITS =	2,681.8 R2
<b>TOTAL:</b>		<b>6 UNITS</b>	<b>8,035.6 R2 (54 PAR)</b>

**PATRICK COTTER ARCHITECT INC.**

UNIT 235, 11300 NO. 5 ROAD, RICHMOND, BRITISH COLUMBIA  
 TEL: (604) 272-1477  
 FAX: (604) 272-1471  
 CEL: (604) 377-9454  
 E-MAIL: info@cotterarchitects.com

PLAN #1  
 DP 04280307  
 MAR 02 2005

**DEVELOPMENT PERMIT APPLICATION DATA:**

CIVIC ADDRESS: A REAR PORTION OF ~~7351 No.4 Road~~ **7351 No.4 Road**  
 RICHMOND, BRITISH COLUMBIA

LEGAL ADDRESS: LOT 1 SECTION 15 BLK 4N RG6W PLAN BCP13283

APPLICANT: PATRICK COTTER ARCHITECT INC.

ZONING: CD/35

**DEVELOPMENT DATA:**

**PHASE I**

SITE AREA:	4,074.4 m <sup>2</sup> (43,856.5 R2)	GROSS AREA:	1,163.1 m <sup>2</sup> (12,520.6 R2)
F.A.R.: (0.60)	3,733.5 m <sup>2</sup> (40,079.4 R2)	ROAD DEDICATION:	0.0 m <sup>2</sup> (0.0 R2)
ALLOWABLE:	24,047.7 R2 (60%)	NET AREA:	1,163.1 m <sup>2</sup> (12,520.6 R2)
PROPOSED:	23,308.6 R2 (58%)	PROPOSED:	8,035.6 R2
ALLOWABLE:	16,031.8 R2 (40%)	ALLOWABLE:	5,008.2 R2 (40%)
PROPOSED:	15,779.8 R2 (39%)	PROPOSED:	4,987.8 R2 (40%)

PARKING:	REQUIRED	PROPOSED	
RESIDENT	24.0	RESIDENT	32.0
VISITOR	4.0	VISITOR	5.0
<b>TOTAL</b>	<b>28.0</b>	<b>TOTAL</b>	<b>37.0</b>

**PHASE II**

SITE AREA:	5,237.4 m <sup>2</sup> (56,376.5 R2)	GROSS AREA:	1,512.4 R2 (60%)
F.A.R.: (0.60)	4,886.5 m <sup>2</sup> (52,589.5 R2)	ROAD DEDICATION:	0.0 m <sup>2</sup> (0.0 R2)
ALLOWABLE:	24,047.7 R2 (60%)	NET AREA:	1,512.4 R2 (60%)
PROPOSED:	23,308.6 R2 (58%)	PROPOSED:	31,560.1 R2 (60%)
ALLOWABLE:	8,035.6 R2 (64%)	ALLOWABLE:	23,308.6 R2 (58%)
PROPOSED:	31,344.2 R2 (60%)	PROPOSED:	8,035.6 R2 (64%)

PARKING:	REQUIRED	PROPOSED	
RESIDENT	9.0	RESIDENT	12.0
VISITOR	2.0	VISITOR	0.0
<b>TOTAL</b>	<b>11.0</b>	<b>TOTAL</b>	<b>12.0</b>

**PHASE I and PHASE II COMBINED**

SITE AREA:	9,311.8 m <sup>2</sup> (98,253.0 R2)	GROSS AREA:	26,154.0 R2 (68%)
F.A.R.: (0.60)	8,517.0 m <sup>2</sup> (90,149.0 R2)	ROAD DEDICATION:	0.0 m <sup>2</sup> (0.0 R2)
ALLOWABLE:	48,095.4 R2 (60%)	NET AREA:	26,154.0 R2 (68%)
PROPOSED:	46,646.2 R2 (60%)	PROPOSED:	46,646.2 R2 (60%)
ALLOWABLE:	34,340.4 R2 (40%)	ALLOWABLE:	34,340.4 R2 (40%)
PROPOSED:	33,314.4 R2 (39%)	PROPOSED:	33,314.4 R2 (39%)

PARKING:	REQUIRED	PROPOSED	
RESIDENT	33.0	RESIDENT	44.0
VISITOR	5.0	VISITOR	5.0
<b>TOTAL</b>	<b>38.0</b>	<b>TOTAL</b>	<b>49.0</b>

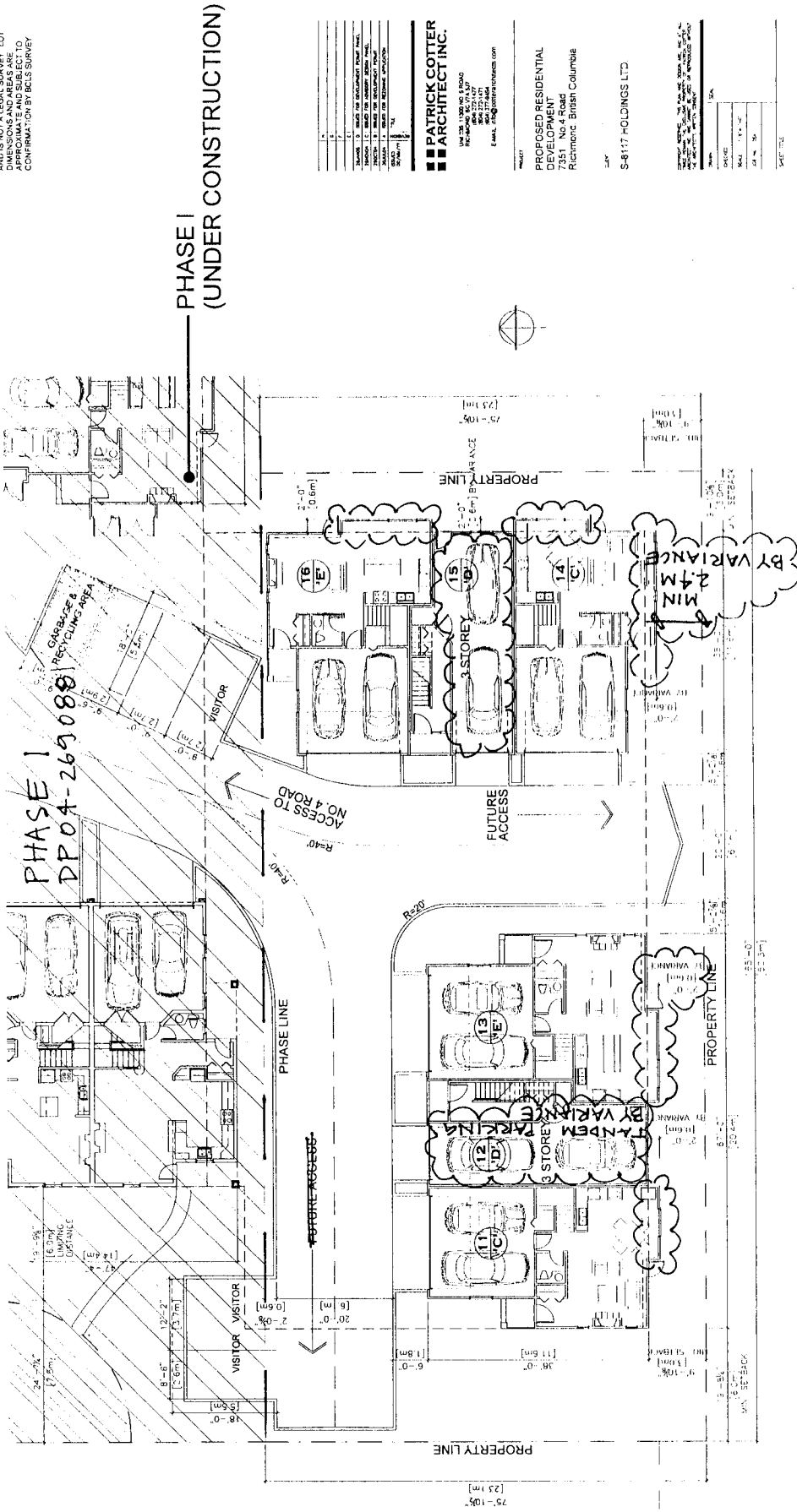
SITE COVERAGE AND PERMISSIBLE AREA PROPOSED: 8,634.36 R2

NOTES

- 1. UNIT NUMBER
- A. UNIT TYPE

FOR INDIVIDUAL UNIT PLANS SEE A-200 SERIES DRAWINGS

THIS PLAN IS SCHEMATIC SITE PLAN AND IS NOT A LEGAL SURVEY. LOT DIMENSIONS AND AREAS ARE TO BE CONFIRMED BY BC'S SURVEY



1	UNIT NUMBER	1
A	UNIT TYPE	A

**PATRICK COTTER ARCHITECT INC.**  
 1100 NO. 4 ROAD  
 VANCOUVER, BC V6L 2K1  
 TEL: 604-271-1147  
 FAX: 604-271-1141  
 E-MAIL: p.cotter@pacarch.com

PROPOSED RESIDENTIAL DEVELOPMENT  
 7351 NO. 4 ROAD  
 Richmond, British Columbia

S-8177 HOLDINGS LTD.

DATE	11/11/04
SCALE	1/8" = 1'-0"
DATE	04/18/05
SCALE	1/8" = 1'-0"

SITE PLAN (PHASE II ONLY)

1. SITE PLAN (PHASE II ONLY)  
 SCALE: 1/8" = 1'-0"

PLAN # 2 MAR 02 2005  
 DP-04280307  
 A-101 D



NOTES

- 1 UN. NUMBER =
  - A UN. TYPE
- FOR INDIVIDUAL UNIT PLANS SEE 4-200 SERIES DRAWINGS
- THIS PLAN IS SCHEMATIC SITE PLAN AND IS NOT A LEGAL SURVEY. IT IS FOR INFORMATIONAL PURPOSES ONLY. CONFIRMATION BY BLS SURVEY.

DATE	DESCRIPTION

**PATRICK COITER ARCHITECT INC.**

1000 WEST 10TH AVENUE  
 SUITE 1000  
 DENVER, CO 80202  
 TEL: 303.733.1100  
 FAX: 303.733.1101  
 WWW.PATRICKCOITER.COM

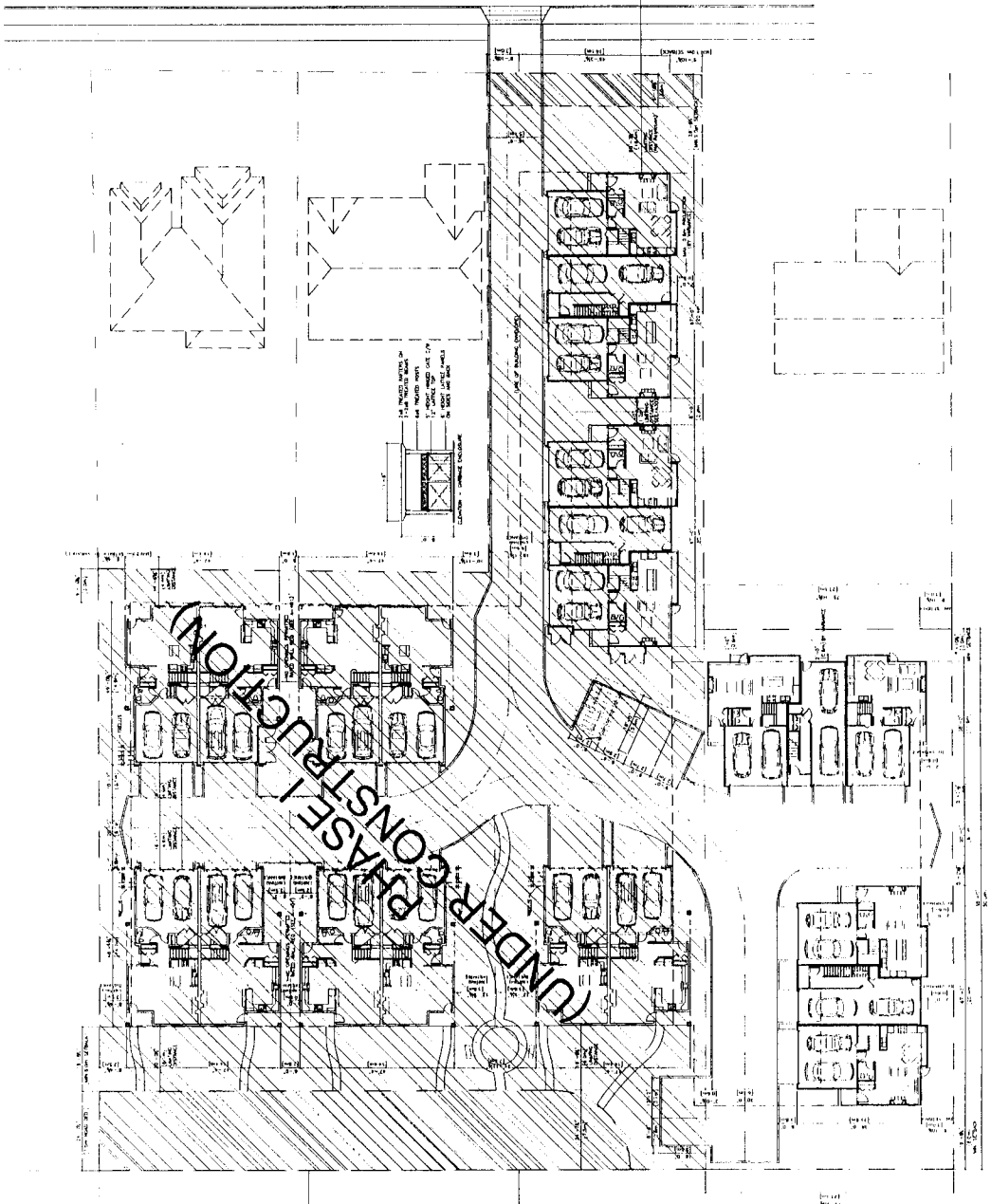


PROPOSED RESIDENTIAL DEVELOPMENT  
 13700 NORTH RICHMOND AVENUE  
 DENVER, CO 80230

S-8117 HOLDINGS LTD

DATE	DESCRIPTION

SITE PLAN (PHASE I AND PHASE II)



Reference Plan **MAR 0 2 2005**

**DP 04280307 A-101A D**

SITE PLAN (PHASE I AND PHASE II)  
 SCALE: 1/8" = 1'-0"



UN/02 REVISED SITE LAYOUT 1

CANOVINAS & ASSOCIATES INC  
 B.C.L.A. CONSULTANTS  
 2108 W. 46 AVENUE  
 VANCOUVER, B.C.  
 V6M 1Z7  
 PHONE (604) 684-2363

DATE: 12/05  
 DRAWN: [blank]  
 CHECKED: [blank]  
 APPROVED: [blank]

FILE: PLAN VEN  
 LANDSCAPE PLAN  
 PROPOSED  
 COMMERCIAL DEVELOPMENT

SCALE: 1:200  
 DATE: JAN 04

PROJECT: [blank]  
 DRAWING NO: [blank]

PLANTS IN THE PLAN LIST ARE SPECIFIED ACCORDING TO THE LANDSCAPE CANADA GUIDE SPECIFICATIONS FOR NURSERY STOCK AND THE B.C.T.A. STANDARD FOR CONTAINER GROWN PLANTS

ALL LANDSCAPING AND LANDSCAPE MATERIALS TO CONFORM TO THE LATEST EDITION OF THE B.C.T.A./B.C.L.A. LANDSCAPE STANDARDS

NOTE: The presence of any Permits (Removal, Development, Building), to those that be since out of the ground of retained trees, which may be the case. The tree protection fence shall be clear, signed "Tree Retention Area - Keep Out" using either logging tape or custom-made signs.

Provide tree wells and/or creative grading of the ground away from vegetation to facilitate retention of existing trees and avoid/hedgehog vegetation. Where tree wells are to be constructed, the wells should be a minimum distance of 1.5m times the distance from the trunk of the tree to the drip line.

Planting: root pruning, and all work within 1.5m times the existing trees' drip-line shall be supervised by an arborist, and

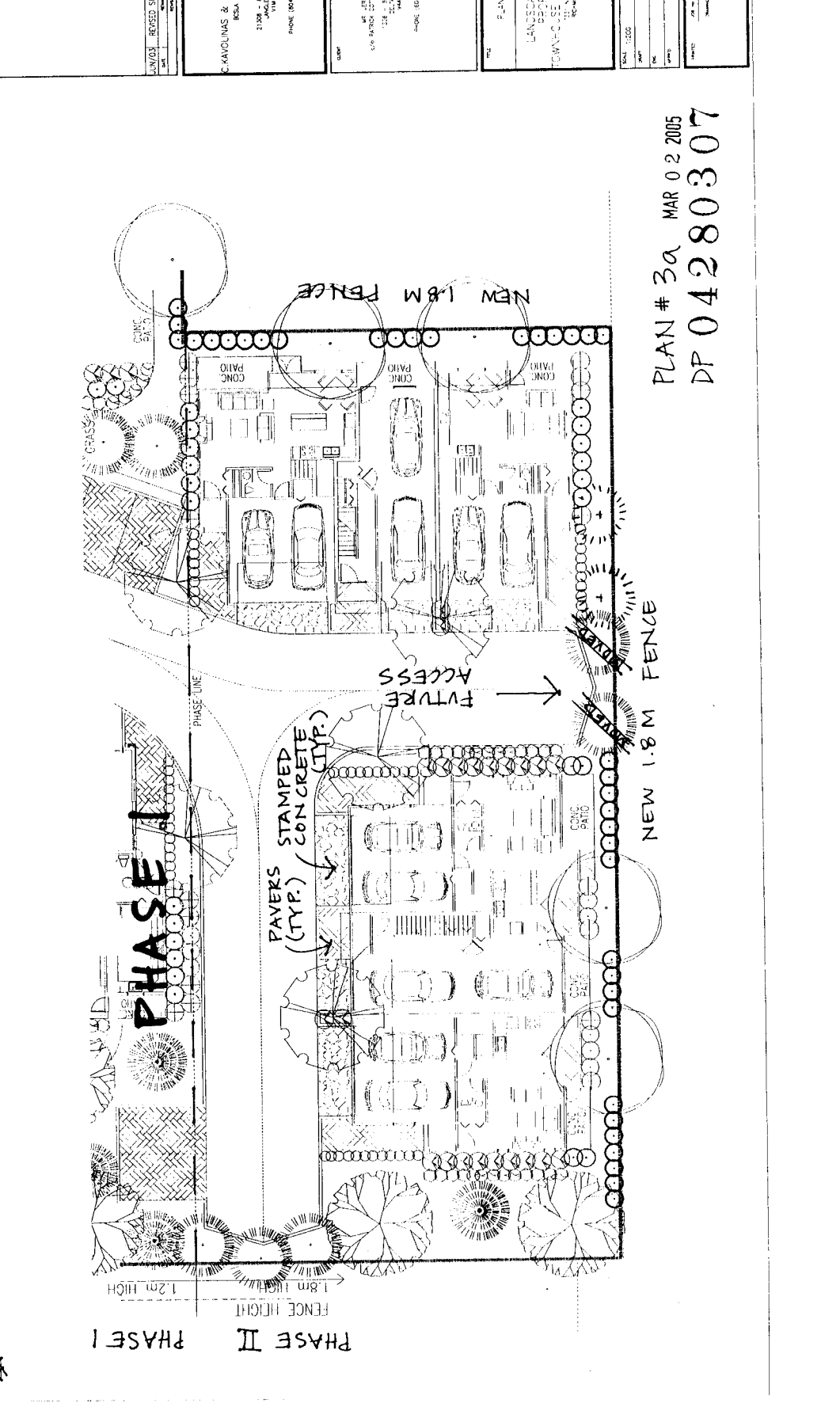
No excavation, storage of materials, parking, preloading, or lifting shall occur within the tree or 2-metre of the tree being preserved.

PHASE I  
 PHASE II

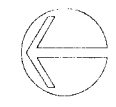
STAMPED CONCRETE (TYP.)  
 NEW 1.8 M FENCE  
 FUTURE ACCESS

HEMLOCK MOVED OUT OF X ACCESS EASEMENT AREA

PLAN # 3a MAR 02 2005  
 DP 04280307



SYMBOL	SPACING	SIZE	PLANT NAME
○	5.0 M	ØL	AS SHOWN
○	10.0 M	ØL	AS SHOWN
○	15.0 M	ØL	AS SHOWN
○	20.0 M	ØL	AS SHOWN
○	25.0 M	ØL	AS SHOWN
○	30.0 M	ØL	AS SHOWN
○	35.0 M	ØL	AS SHOWN
○	40.0 M	ØL	AS SHOWN
○	45.0 M	ØL	AS SHOWN
○	50.0 M	ØL	AS SHOWN
○	55.0 M	ØL	AS SHOWN
○	60.0 M	ØL	AS SHOWN
○	65.0 M	ØL	AS SHOWN
○	70.0 M	ØL	AS SHOWN
○	75.0 M	ØL	AS SHOWN
○	80.0 M	ØL	AS SHOWN
○	85.0 M	ØL	AS SHOWN
○	90.0 M	ØL	AS SHOWN
○	95.0 M	ØL	AS SHOWN
○	100.0 M	ØL	AS SHOWN



DATE: \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_  
 APPROVED BY: \_\_\_\_\_

C. KAVOLINAS & ASSOCIATES INC.  
 BRISA, CANADA  
 21008 - 80 AVENUE  
 SUITE 117  
 VANCOUVER, BC  
 CANADA V6M 2A5  
 PHONE: (604) 688-2262

PLAN VIEW  
 LANDSCAPE PLAN  
 PROPOSED  
 TOWNHOUSE DEVELOPMENT  
 1234 567 890  
 VANCOUVER, BC

DATE	1/2000	DW	APP 7/4
BY	SKP	NO	
CHK	SKP	NO	
APP	SKP	NO	
SCALE	AS SHOWN		
PROJECT			
NO.			

PHASE II PLANT LIST

SYMBOL	COMMON NAME	SIZE	SPEC.
○	MAHONIA	3 5.0m DL	AS SHOWN
○	MAHONIA	4 5.0m DL	AS SHOWN
○	WESTERN HOLEX	5 3-4 METERS	AS SHOWN
○	RED FLOWERING DOGWOOD	3 5.0m DL	AS SHOWN
○	RED SUNSET WARE	2 5.0m DL	AS SHOWN
○	WESTERN RED CEDAR	2 3-4 METERS	AS SHOWN
○	WESTERN RED CEDAR	3 3-4 METERS	AS SHOWN
○	WESTERN RED CEDAR	4 3-4 METERS	AS SHOWN
○	WESTERN RED CEDAR	5 3-4 METERS	AS SHOWN
○	WESTERN RED CEDAR	6 3-4 METERS	AS SHOWN
○	WESTERN RED CEDAR	7 3-4 METERS	AS SHOWN
○	WESTERN RED CEDAR	8 3-4 METERS	AS SHOWN
○	WESTERN RED CEDAR	9 3-4 METERS	AS SHOWN
○	WESTERN RED CEDAR	10 3-4 METERS	AS SHOWN
○	WESTERN RED CEDAR	11 3-4 METERS	AS SHOWN
○	WESTERN RED CEDAR	12 3-4 METERS	AS SHOWN
○	WESTERN RED CEDAR	13 3-4 METERS	AS SHOWN
○	WESTERN RED CEDAR	14 3-4 METERS	AS SHOWN
○	WESTERN RED CEDAR	15 3-4 METERS	AS SHOWN
○	WESTERN RED CEDAR	16 3-4 METERS	AS SHOWN
○	WESTERN RED CEDAR	17 3-4 METERS	AS SHOWN
○	WESTERN RED CEDAR	18 3-4 METERS	AS SHOWN
○	WESTERN RED CEDAR	19 3-4 METERS	AS SHOWN
○	WESTERN RED CEDAR	20 3-4 METERS	AS SHOWN
○	WESTERN RED CEDAR	21 3-4 METERS	AS SHOWN
○	WESTERN RED CEDAR	22 3-4 METERS	AS SHOWN

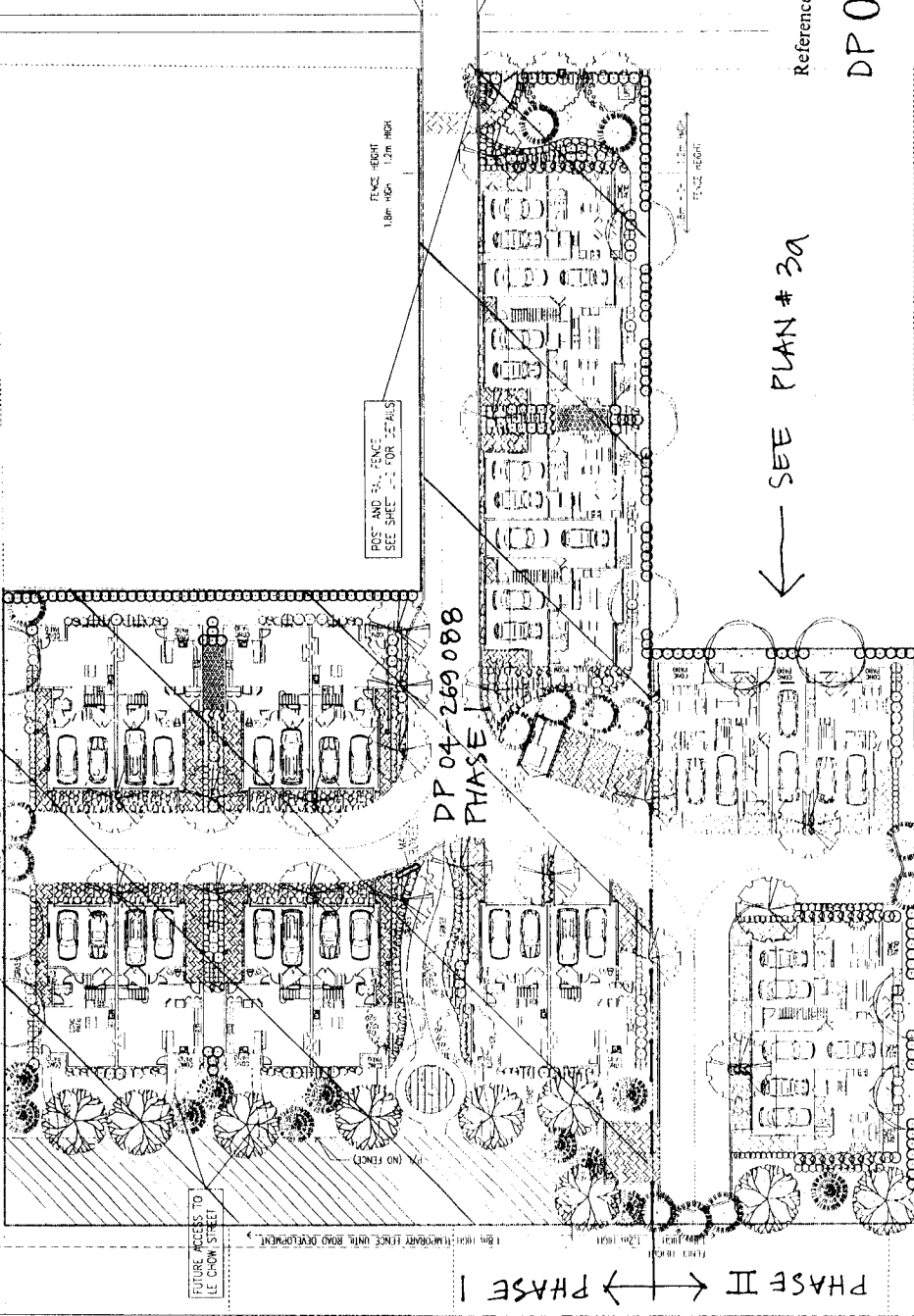
PLANTS IN THE "PLAN" LIST ARE SPECIFIED ACCORDING TO THE LANDSCAPE CANADA STANDARD FOR NURSERY STOCK AND TO BE CONFORM TO THE LATEST EDITION OF THE CANADIAN LANDSCAPE STANDARDS.

PLANTS NOT LISTED IN THE "PLAN" LIST ARE TO BE SPECIFIED BY THE ARCHITECT.

PLANTS NOT LISTED IN THE "PLAN" LIST ARE TO BE SPECIFIED BY THE ARCHITECT.

PLANTS NOT LISTED IN THE "PLAN" LIST ARE TO BE SPECIFIED BY THE ARCHITECT.

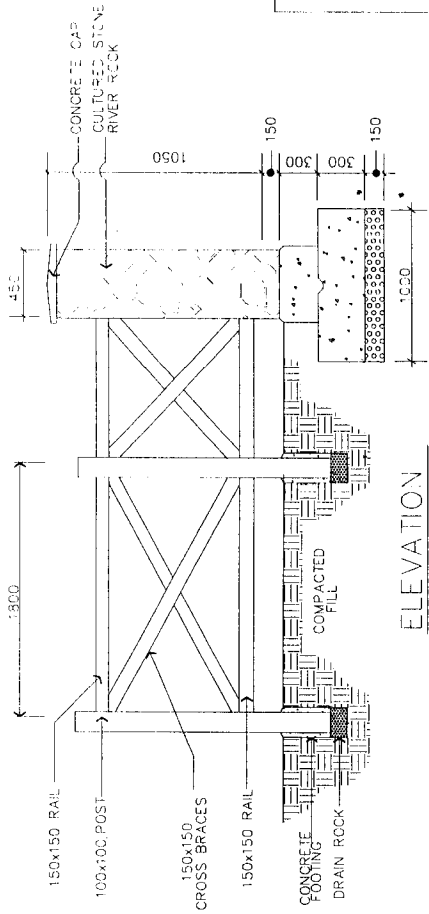
PLANTS NOT LISTED IN THE "PLAN" LIST ARE TO BE SPECIFIED BY THE ARCHITECT.



SEE PLAN # 30

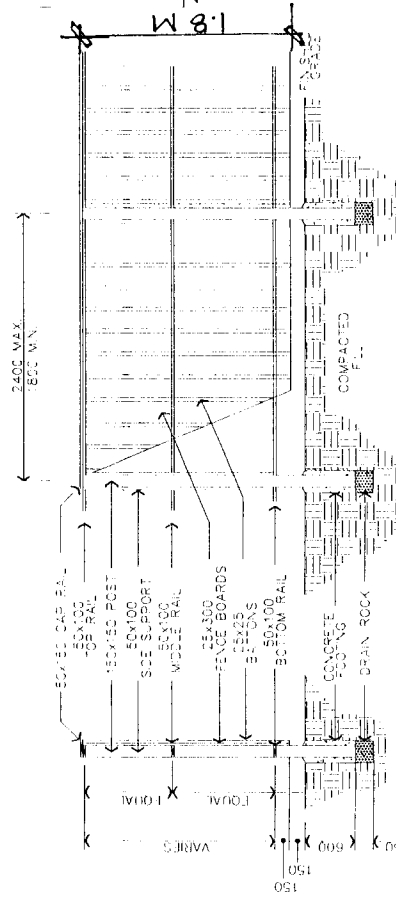
Reference Plan  
 MAR 02 2005  
 DP 04280307

**POST & RAIL  
FENCE DETAIL**  
(DIMENSIONS IN mm)  
N.T.S.



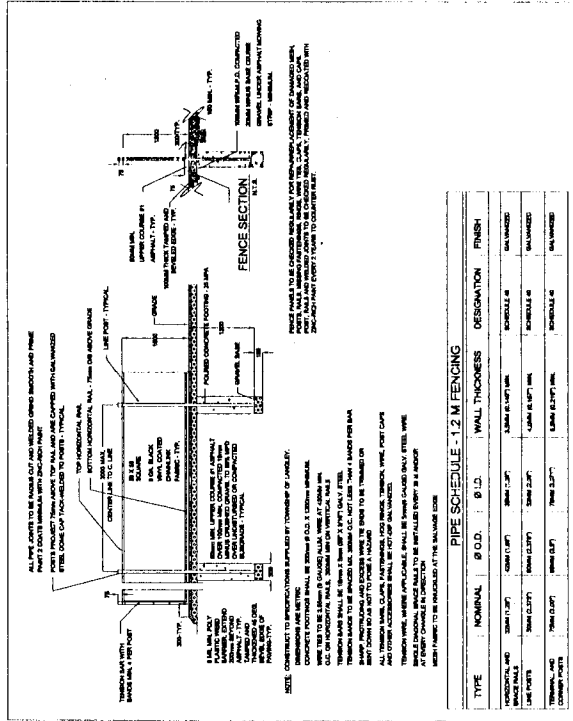
**ELEVATION**

**1.80 METER SOLID CEDAR  
FENCE DETAIL**  
(DIMENSIONS IN mm)  
N.T.S.



**SECTION**

**ELEVATION**



**1.5m CHAINLINK FENCING**

**1.5m CHAINLINK FENCING**

**1.5m CHAINLINK FENCING**

TYPE	NOMINAL	Ø O.D.	Ø I.D.	WALL THICKNESS	DESIGNATION	FINISH
HORIZONTAL AND VERTICAL RAILS	100x100	100	80	10	SCHEDULE 40	PAINTED
POSTS	100x100	100	80	10	SCHEDULE 40	PAINTED
RAILS	50x100	50	30	10	SCHEDULE 40	PAINTED
POSTS	50x100	50	30	10	SCHEDULE 40	PAINTED

PLAN # 36  
MAR 02 2005  
DP 04200307

UN/00 REVISD SITE LAYOUT	1
DATE	02/03/05
BY	MM
FOR	MM

C.M.A.C. & ASSOCIATES INC.  
C.S.A. C.S.A.  
1108 - 85 AVENUE  
JANUARY 12  
PHONE (801) 886-2303

DATE: 02/03/05  
BY: MM  
FOR: MM

SCALE: 1/4" = 1'-0"

DATE: 02/03/05  
BY: MM  
FOR: MM

DATE: 02/03/05  
BY: MM  
FOR: MM

- NOTES**
- 1 VINYL SIDING  
COLOUR: CHAMPAGNE
  - 2 HARD-BORD AND BATTENS  
COLOUR: RANCHWOOD
  - 3 VINYL CORNER TRIM  
COLOUR: CHAMPAGNE
  - 4 PANEL TRIM COLOUR  
COLOUR: BEAUMAIN MOORE  
BROWN MANDIR
  - 5 ACCENT COLOUR  
COLOUR: CLASSIC BURGUNDY
  - 6 WOOD SHINGLES  
COLOUR: RANCHWOOD
  - 7 DOUBLE-GLAZED  
VINYL FRAMED WINDOWS  
COLOUR: TAN
  - 8 PRE-FINISHED METAL GUTTERS  
& FLASHINGS VIEWS:  
COLOUR: RVM-8662 DARK BRONX
  - 9 DUROD SHINGLES  
COLOUR: EARTHSTONE CEDAR
  - 10 SHALE COUNTRY LEDGESTONE

1	2	3	4	5	6	7	8	9	10

**PATRICK COTTER ARCHITECT INC.**  
 1000 BAYVIEW AVE. SUITE 200  
 RICHMOND HILL, ONTARIO L4B 1N1  
 TEL: (905) 709-1001  
 FAX: (905) 709-1002  
 E-MAIL: PATRICK@PATRICKCOTTER.COM

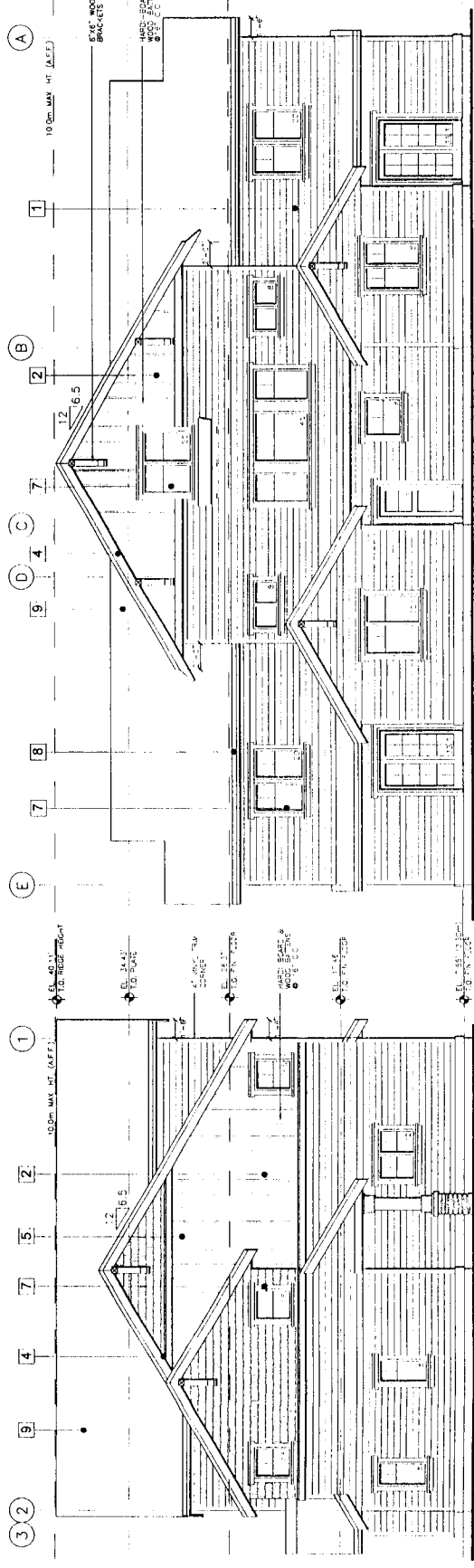
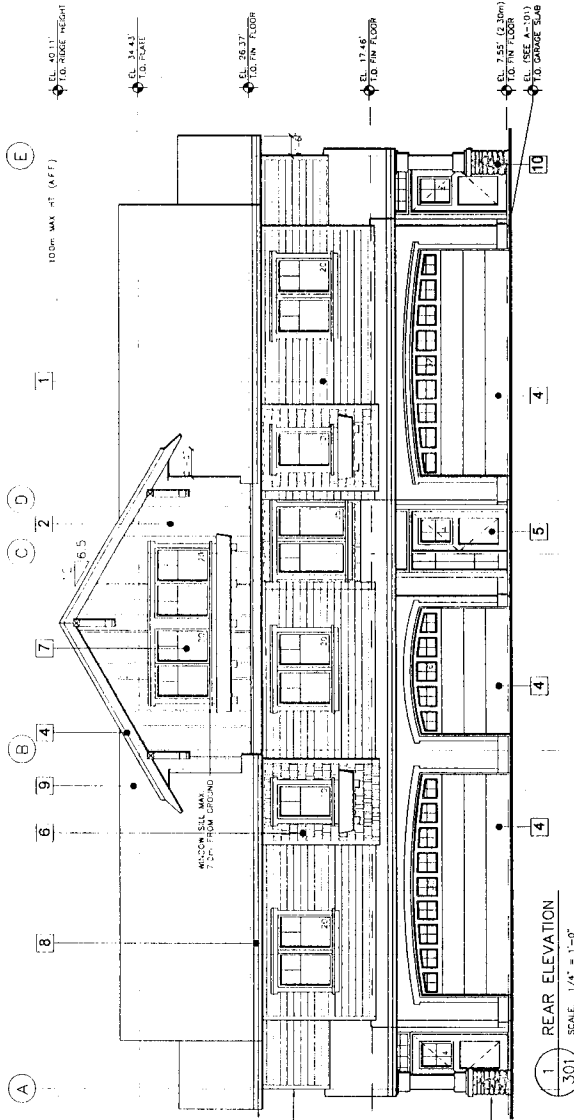
PROPOSED RESIDENTIAL DEVELOPMENT  
 7351 No. 4 Road  
 Richmond, British Columbia

S-8117 HOLDINGS LTD.

DATE:	2005.03.02
SCALE:	1/4" = 1'-0"
SHEET NO.:	301
TITLE:	ELEVATIONS

UNIT TYPE 'C', 'D', 'E'  
 ELEVATIONS

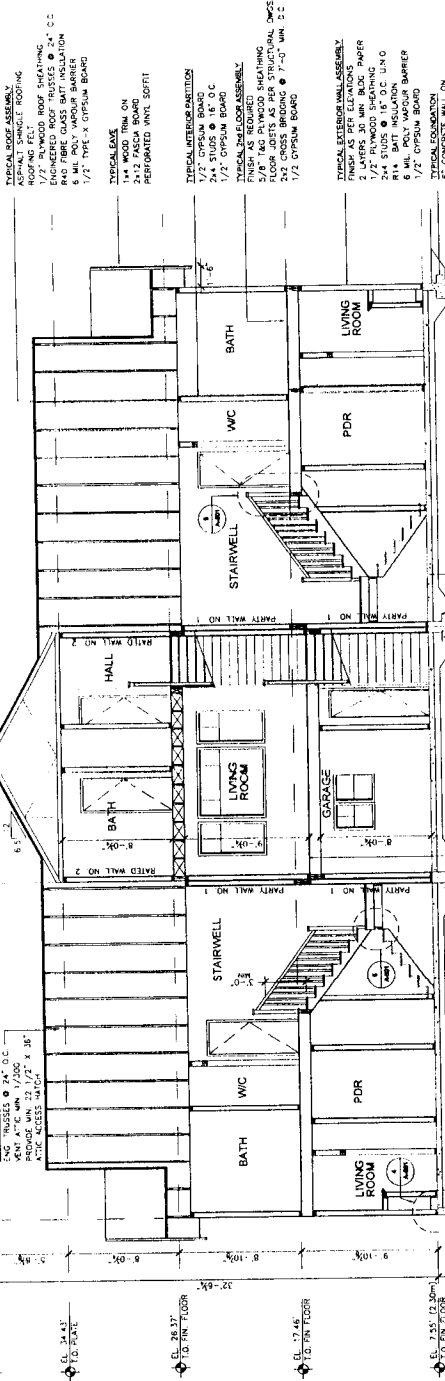
A-301 D



PLAN # 4  
 DP 04280307  
 MAR 02 2005

**NOTES**

1. DATA WALLING
2. TYPICAL ROOF ASSEMBLY
3. 5 MIL POLY VAPOR BARRIER
4. 1/2" OSBSM BOARD
5. 1" X 4" BRUSHWOOD SHAKING
6. 1/2" OSBSM BOARD
7. 3/4" INSULATION BATT
8. 3/8" TYPE X OSBSM BOARD
9. 1/2" OSBSM BOARD
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99. 1/2" OSBSM BOARD
100. 1/2" OSBSM BOARD



**TYPICAL ROOF ASSEMBLY**  
ASPHALT SHINGLE ROOFING  
NO. 12 ROOF JOISTS @ 24" O.C.  
ENGINEERED ROOF TRUSSES @ 24" O.C.  
R40 FIBREGLASS INSULATION BATT  
5/8" TYPE X OSBSM BOARD  
1/2" OSBSM BOARD

**TYPICAL INTERIOR PARTITION**  
1/2" OSBSM BOARD  
2x4 STUDS @ 16" O.C.  
1/2" OSBSM BOARD

**TYPICAL EXTERIOR WALL ASSEMBLY**  
FINISHES TO ARCH. DRAWING  
1/2" OSBSM BOARD  
2x4 STUDS @ 16" O.C.  
5/8" POLY VAPOR BARRIER  
1/2" OSBSM BOARD

**TYPICAL GROUND FLOOR FLOOR**  
1/2" OSBSM BOARD  
2x4 STUDS @ 16" O.C.  
1/2" OSBSM BOARD

**TYPICAL GARAGE FLOOR**  
1/2" OSBSM BOARD  
2x4 STUDS @ 16" O.C.  
1/2" OSBSM BOARD

**TYPICAL CONCRETE FOOTING**  
8" CONCRETE FOOTING ON  
GOOD BEARING SOIL

**TYPICAL FINISH AS PER ELEVATIONS**  
EXTERIOR FINISH AS PER ELEVATIONS  
BLINDING  
BUILDING INSULATION BATT @ 15" O.C.  
5/8" TYPE X OSBSM BOARD  
1/2" OSBSM BOARD  
5/8" TYPE X OSBSM BOARD

NO.	REVISION
1	ISSUED FOR PERMITTING
2	ISSUED FOR PERMITTING
3	ISSUED FOR PERMITTING
4	ISSUED FOR PERMITTING

**PATRICK COITTE ARCHITECT INC.**  
ARCHITECTS  
5 MIL POLY VAPOR BARRIER  
1/2" OSBSM BOARD  
2x4 STUDS @ 16" O.C.  
1/2" OSBSM BOARD

**PROPOSED RESIDENTIAL DEVELOPMENT**  
7351 No. 4 Road  
Richmond, British Columbia

S-8117 HOLDINGS LTD.

DATE: [Blank]  
SCALE: 1/4"=1'-0"

NO.	REVISION
1	ISSUED FOR PERMITTING
2	ISSUED FOR PERMITTING
3	ISSUED FOR PERMITTING
4	ISSUED FOR PERMITTING

**BUILDING SECTIONS**

A-401 D

PLAN # 5 MAR 02 2005  
DP 04280307

NOTES:

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92	92	92
93	93	93
94	94	94
95	95	95
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99	99	99
100	100	100

**PATRICK COTTER ARCHITECT INC.**

1000 WEST 4TH AVENUE  
 SUITE 200  
 VANCOUVER, BC V6H 3G7  
 TEL: (604) 271-7271  
 FAX: (604) 271-7272  
 WWW.PATRICKCOTTERARCHITECT.COM

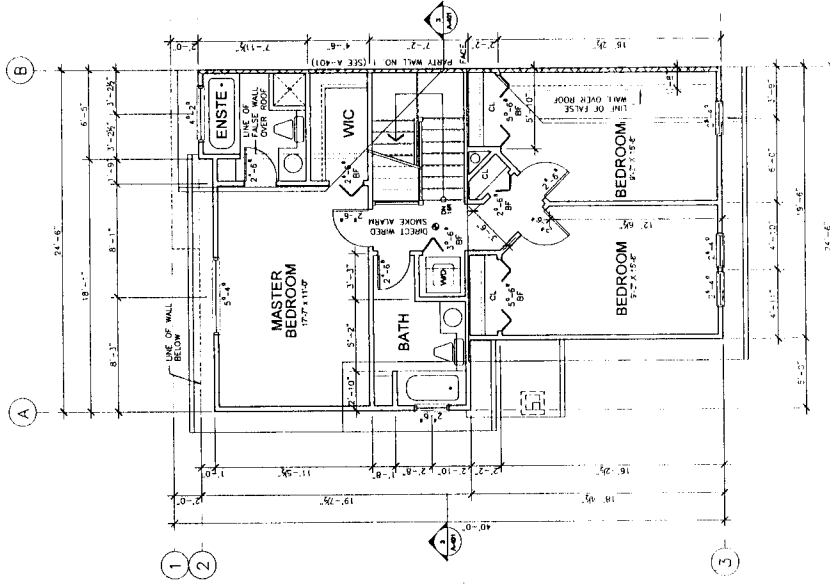
PROPOSED RESIDENTIAL  
 DEVELOPMENT  
 7351 No 4 Road  
 Richmond, British Columbia

S-4117 HOLDINGS LTD.

DATE:	11/21/07
BY:	MA
SCALE:	1/4" = 1'-0"
PROJECT NO.:	300
DATE:	11/21/07
BY:	MA
SCALE:	1/4" = 1'-0"
PROJECT NO.:	300

UNIT TYPE 'C'  
 FLOOR PLANS

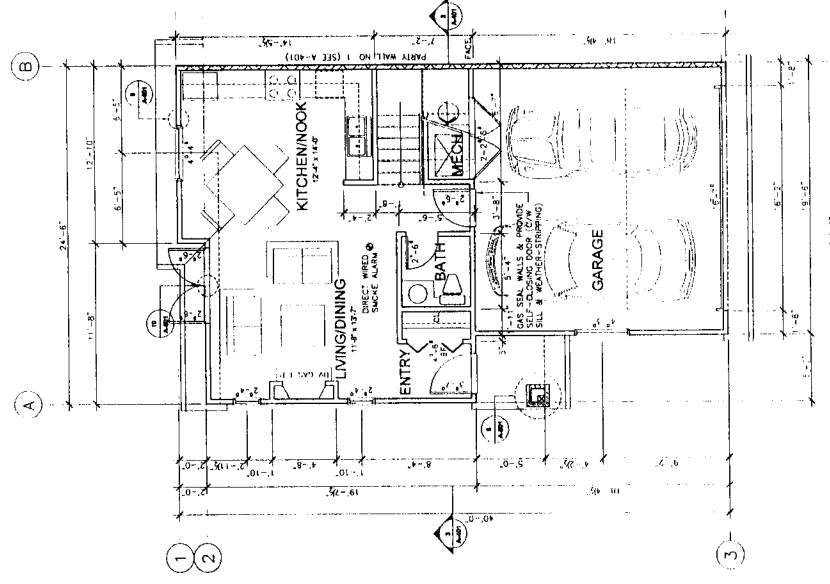
A-201 D



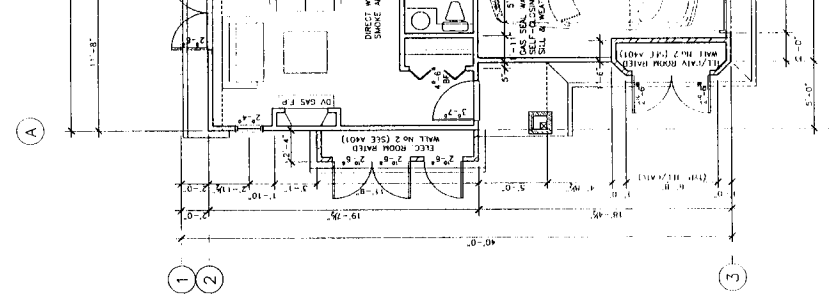
UNIT TYPE 'C'  
 2 SECOND FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

Reference Plan

MAR 0 2 2005  
 DP 04280307



UNIT TYPE 'C'  
 3 SECOND FLOOR PLAN  
 SCALE: 1/4" = 1'-0"



UNIT TYPE 'C'  
 3 OPTIONAL ELEC/CATV ROOMS  
 SCALE: 1/4" = 1'-0"

NOTES

**PATRICK COTTER ARCHITECT INC.**  
 1100 W. 5th Ave  
 Suite 100  
 Richmond, British Columbia  
 V6V 2K6  
 Tel: 604.273.1141  
 Fax: 604.273.1142  
 Email: info@patrickcarter.com

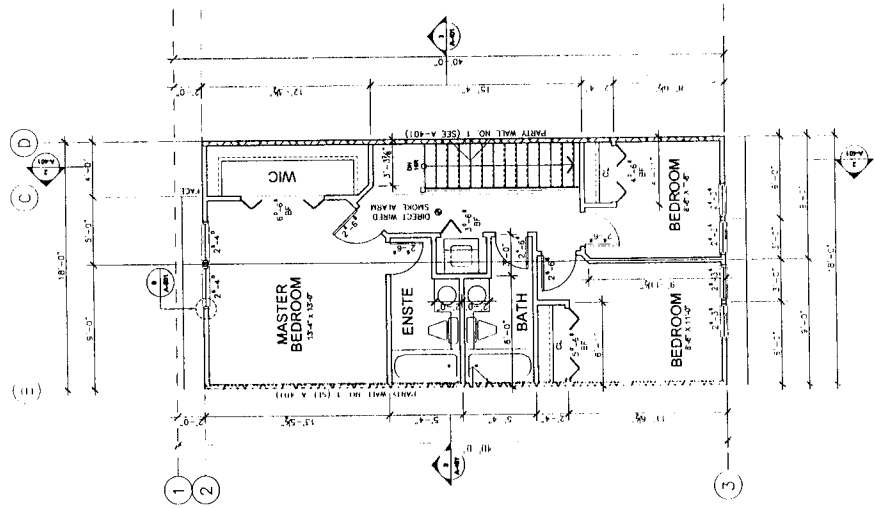
PROPOSED RESIDENTIAL DEVELOPMENT  
 7351 No 4 Road  
 Richmond British Columbia

S-8117 HOLDINGS LTD.

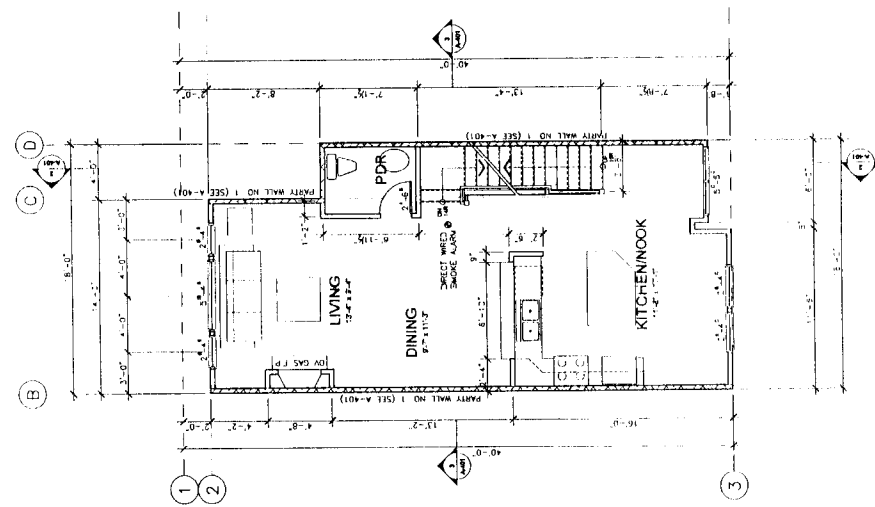
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UNIT TYPE 'D'  
 FLOOR PLANS

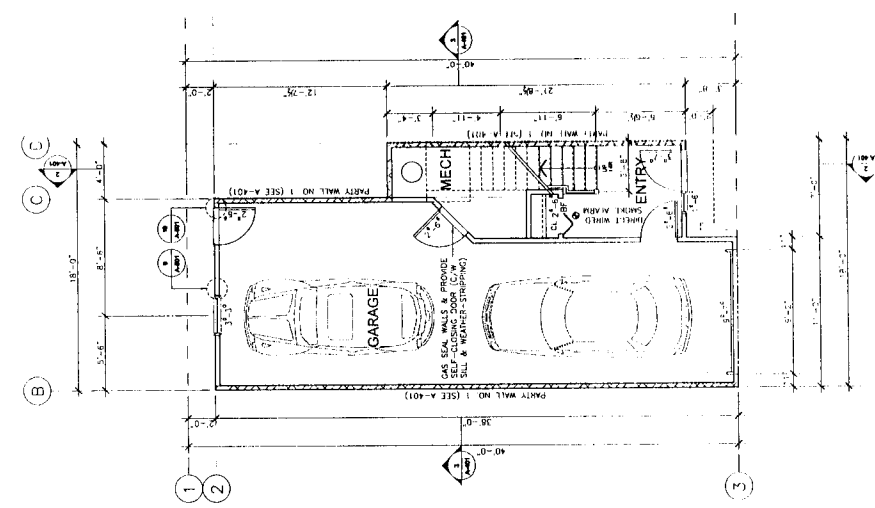
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UNIT TYPE 'D'  
 THIRD FLOOR PLAN  
 SCALE: 1/4" = 1'-0"



UNIT TYPE 'D'  
 SECOND FLOOR PLAN  
 SCALE: 1/4" = 1'-0"



UNIT TYPE 'D'  
 GROUND FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

Reference Plan  
 MAR 0 2 2005  
 DP 04280307



1	BASE TO BATHROOM PART WALL
2	BASE TO BATHROOM PART WALL
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**PATRICK COTTER ARCHITECT INC.**  
 100 W. 18th St.  
 New York, NY 10011  
 Tel: 212.477.1234  
 Fax: 212.477.1235  
 E-Mail: info@patrickcarter.com

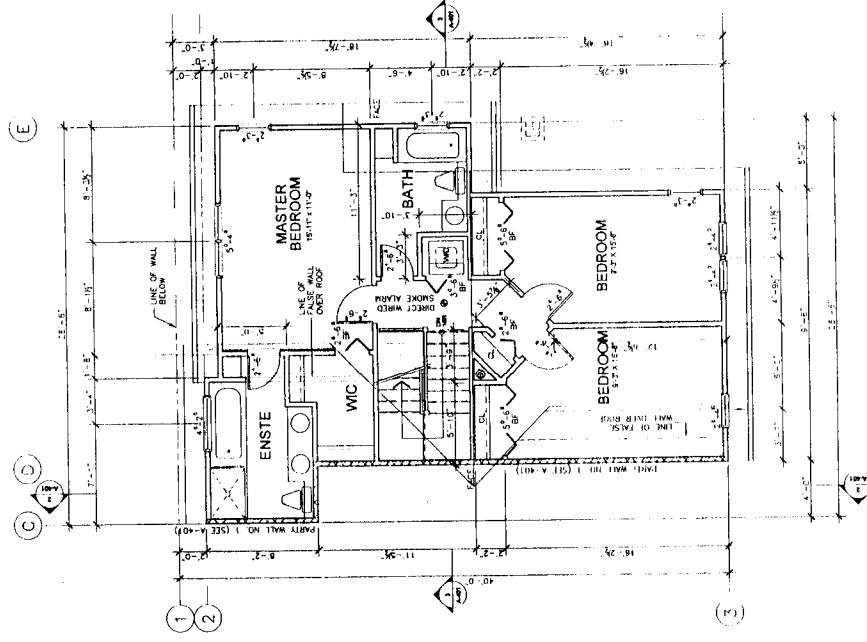
PROPOSED RESIDENTIAL DEVELOPMENT  
 732' No. 4 Place  
 5th Floor, 5th Floor  
 Columbia

S-4-17 HOLDINGS LTD.

1	BASE TO BATHROOM PART WALL
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UNIT TYPE E  
 FLOOR PLANS

A-203 D

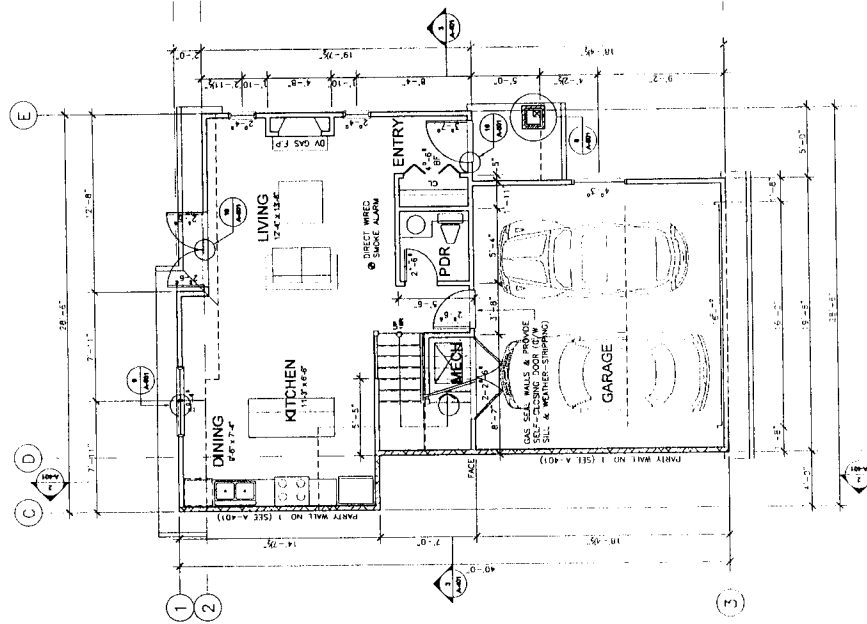


UNIT TYPE E  
 2 SECOND FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

MAR 02 2005

Reference Plan

DP 04280307



UNIT TYPE E  
 1 GROUND FLOOR PLAN  
 SCALE: 1/4" = 1'-0"