



**Development Cost Charges Bylaw No. 8024,
Amendment Bylaw No. 8049**

WHEREAS Council has adopted Development Cost Charges for the City, and

WHEREAS amendments to the Development Cost Charges are required to finance expected servicing in the City,

The Council of The City of Richmond enacts as follows:

1. Bylaw No. 8024 is amended by deleting Section 1.1.1, and by substituting the following:
"1.1.1 For the purposes of imposing development cost charges, the City is not divided into areas, except in respect of supplementary development cost charges for development in the Alexandra shown on Schedule A."
2. Bylaw No. 8024 is amended by deleting Section 1.2.2, and by substituting the following:
"1.2.2 Every person who obtains approval of a subdivision of a parcel or a building permit must pay development cost charges on the following basis:
 - (a) for residential development in accordance with Schedule B
 - (b) for commercial development in accordance with Schedule C
 - (c) for light industrial development in accordance with Schedule D
 - (d) for major industrial development in accordance with Schedule E
 - (e) for development in the Alexandra area, supplementary development cost charges in accordance with Schedule F."
3. Bylaw No. 8024 is amended by deleting Section 2.2.1, and by substituting the following:
"2.2.1 In the case of an application for building permit for a combination of both residential development and commercial development, the development cost charges are to be calculated as the sum of:
 - (a) for the residential development the applicable rate multiplied by the number of square feet; plus
 - (b) for the commercial development the applicable rate multiplied by the number of square feet."
4. Bylaw No. 8024 is amended by adding the following to Section 3.1

DWELLING, ONE-FAMILY means a detached building used exclusively for residential purpose, containing one dwelling unit only with a maximum of two kitchens.

MULTI-FAMILY DWELLING means a building containing two or more dwelling units, but not including a townhouse.

TOWNHOUSE means a building containing two or more dwelling units, where each unit has a separate entrance at the first level.

5. Bylaw No. 8024 is amended by deleting Schedule "A", and substituting Schedule "A" attached hereto and forming part of the bylaw as Schedule "A" to Bylaw No. 8024.
6. Bylaw No. 8024 is amended by deleting Schedule "B" and substituting Schedule "B" attached hereto and forming part of the Bylaw as Schedule "B" to Bylaw No. 8024.
7. Bylaw No. 8024 is amended by deleting Schedule "C" and substituting Schedule "C" attached hereto and forming part of the Bylaw as Schedule "C" to Bylaw No. 8024.
8. Bylaw No. 8024 is amended by deleting Schedule "D" and substituting Schedule "D" attached hereto and forming part of the Bylaw as Schedule "D" to Bylaw No. 8024.
9. Bylaw No. 8024 is amended by deleting Schedule "E" and substituting Schedule "E" attached hereto and forming part of the Bylaw as Schedule "E" to Bylaw No. 8024.
10. If any part, section, subsection, clause, or subclause of this bylaw is, for any reason, held to be invalid by a decision of a Court of competent jurisdiction, such decision does not affect the validity of the remaining portions of this bylaw.
11. This bylaw comes into force and effect on July 1, 2007.
12. This Bylaw is cited as "Development Cost Charges Bylaw No. 8024, Amendment Bylaw No. 8049".

FIRST READING

SEP 25 2006

SECOND READING

SEP 25 2006

THIRD READING

SEP 25 2006

APPROVED BY
THE INSPECTOR OF MUNICIPALITIES

JAN 30 2007

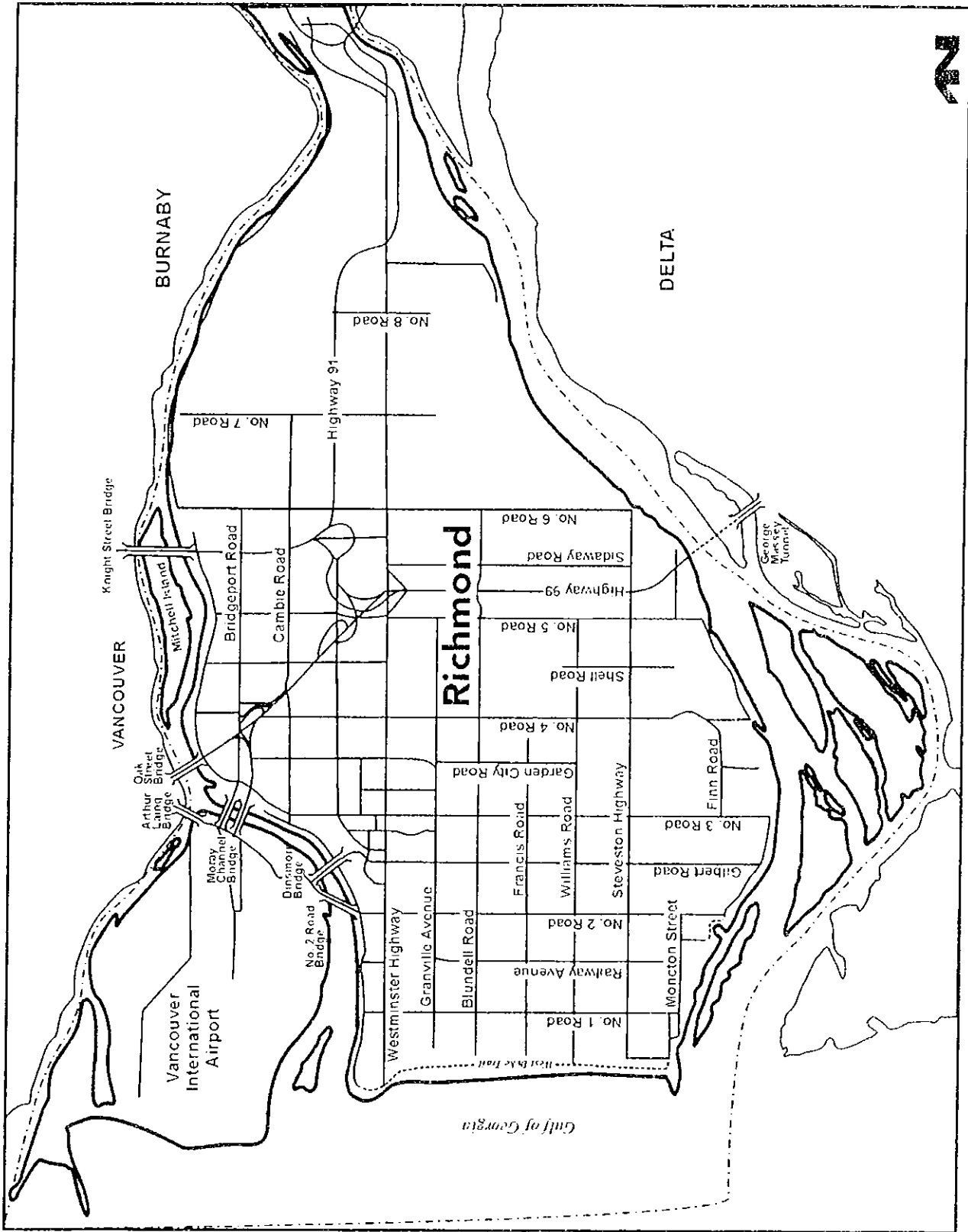
ADOPTED

CITY OF RICHMOND
APPROVED for content by originating dept.
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MAYOR

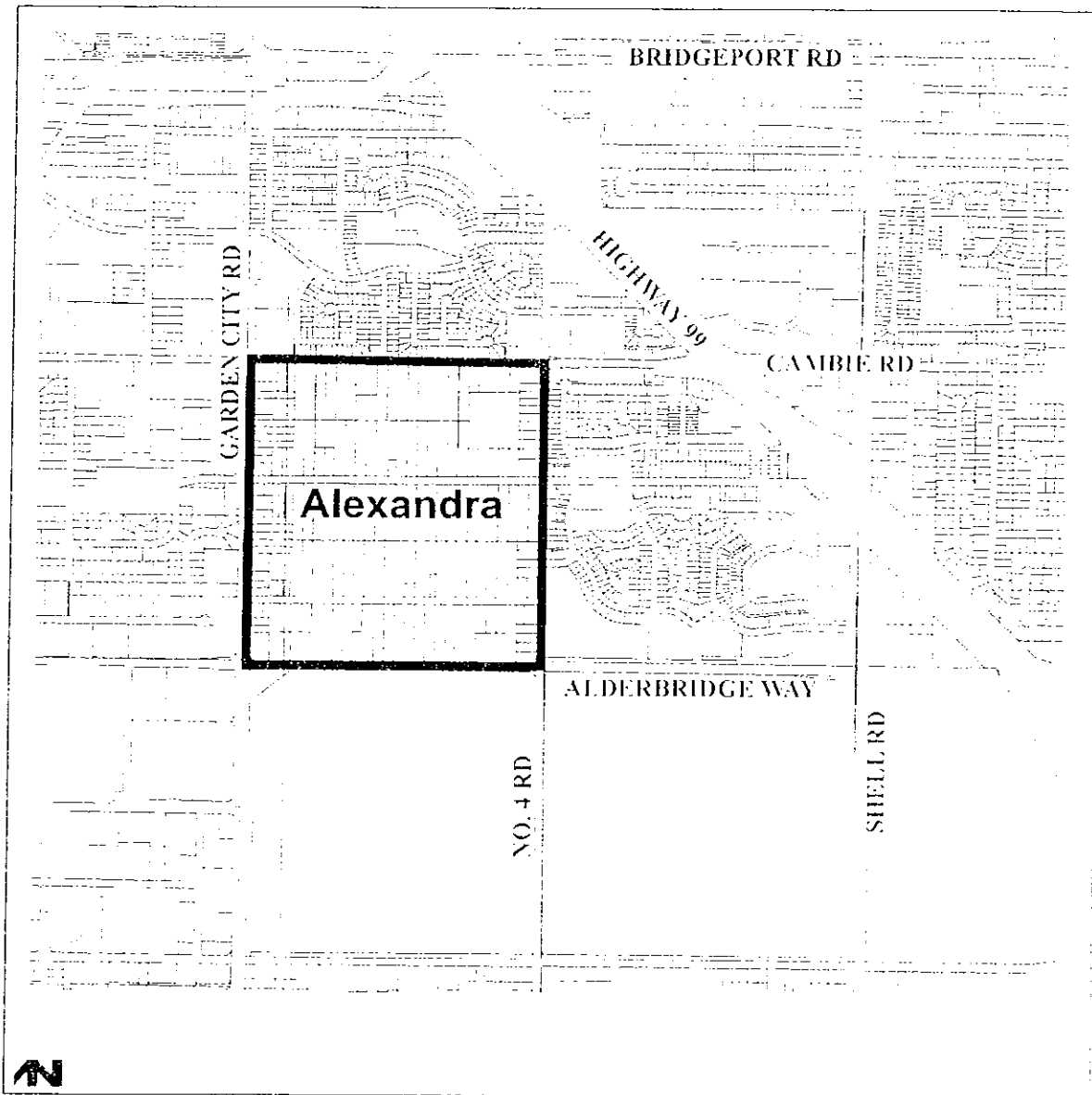
CORPORATE OFFICER

SCHEDULE A to BY-LAW NO. 8049
SCHEDULE A to BYLAW NO. 8024



SCHEDULE A to BY-LAW NO. 8049

SCHEDULE A to BYLAW NO. 8024



SCHEDULE B to BY-LAW NO. 8049

SCHEDULE B to BYLAW NO. 8024

DEVELOPMENT COST CHARGES - RESIDENTIAL DEVELOPMENT

Single-Family Dwelling

<u>Servicing Type</u>	rate per lot
Road Works	\$4,682.00
Drainage	\$4,459.81
Water Works	\$768.18
Sanitary Sewer	\$2,315.28
Parks Acquisition	\$5,245.90
Parks Development	\$3,985.69
<u>TOTAL</u>	\$21,456.86

Townhouse

<u>Servicing Type</u>	rate per square foot of the building area
Road Works	\$2.24
Drainage	\$1.92
Water Works	\$0.49
Sanitary Sewer	\$1.46
Parks Acquisition	\$3.31
Parks Development	\$2.52
<u>TOTAL</u>	\$11.94

Multi-Family Dwelling

<u>Servicing Type</u>	rate per square foot of the building area
Road Works	\$3.00
Drainage	\$1.36
Water Works	\$0.50
Sanitary Sewer	\$1.51
Parks Acquisition	\$3.41
Parks Development	\$2.59
<u>TOTAL</u>	\$12.37

SCHEDULE C to BY-LAW NO. 8049

SCHEDULE C to BYLAW NO. 8024

DEVELOPMENT COST CHARGES - COMMERCIAL DEVELOPMENT

<u>Servicing Type</u>	rate per square foot of the building area
Road Works	\$5.97
Drainage	\$1.33
Water Works	\$0.19
Sanitary Sewer	\$0.57
Parks Acquisition	\$0.65
Parks Development	\$0.49
<u>TOTAL</u>	\$9.20

SCHEDULE D to BY-LAW NO. 8049

SCHEDULE D to BYLAW NO. 8024

DEVELOPMENT COST CHARGES - LIGHT INDUSTRIAL DEVELOPMENT

<u>Servicing Type</u>	rate per square foot of the building area
Road Works	\$4.26
Drainage	\$1.33
Water Works	\$0.19
Sanitary Sewer	\$0.57
Parks Acquisition	\$0.65
Parks Development	\$0.49
<u>TOTAL</u>	\$7.49

SCHEDULE E to BYLAW 8049

SCHEDULE E to BYLAW NO. 8024

DEVELOPMENT COST CHARGES - MAJOR INDUSTRIAL DEVELOPMENT

<u>Servicing Type</u>	rate per acre of gross site area
Road Works	\$22,291.53
Drainage	\$40,609.35
Water Works	\$4,114.56
Sanitary Sewer	\$12,401.22
Parks Acquisition	\$2,497.63
Parks Development	\$1,897.63
<u>TOTAL</u>	\$83,811.92

SCHEDULE F to BYLAW NO. 8049

SCHEDULE F to BYLAW NO. 8024

**SUPPLEMENTARY DEVELOPMENT COST
CHARGES IN ALEXANDRA AREA**

In addition to the development cost charges applicable city-wide in Richmond, development in the Alexandra Area shall pay the following development cost charges:

Multi-Family Dwelling

<u>Servicing Type</u>	rate per square foot of the building area
Roads	\$3.14
Storm Drainage	\$0.36
Water	\$0.07
Sanitary Sewer	\$0.15
Parks Acquisition	\$3.41
Parks Development	\$0.43
<u>TOTAL</u>	\$7.56

Townhouse

<u>Servicing Type</u>	rate per square foot of the building area
Roads	\$2.35
Storm Drainage	\$0.51
Water	\$0.07
Sanitary Sewer	\$0.15
Parks Acquisition	\$3.31
Parks Development	\$0.42
<u>TOTAL</u>	\$6.81

Commercial Development

<u>Servicing Type</u>	rate per square foot of the building area
Roads	\$6.26
Storm Drainage	\$0.35
Water	\$0.03
Sanitary Sewer	\$0.06
Parks Acquisition	\$0.64
Parks Development	\$0.08
<u>TOTAL</u>	\$7.42



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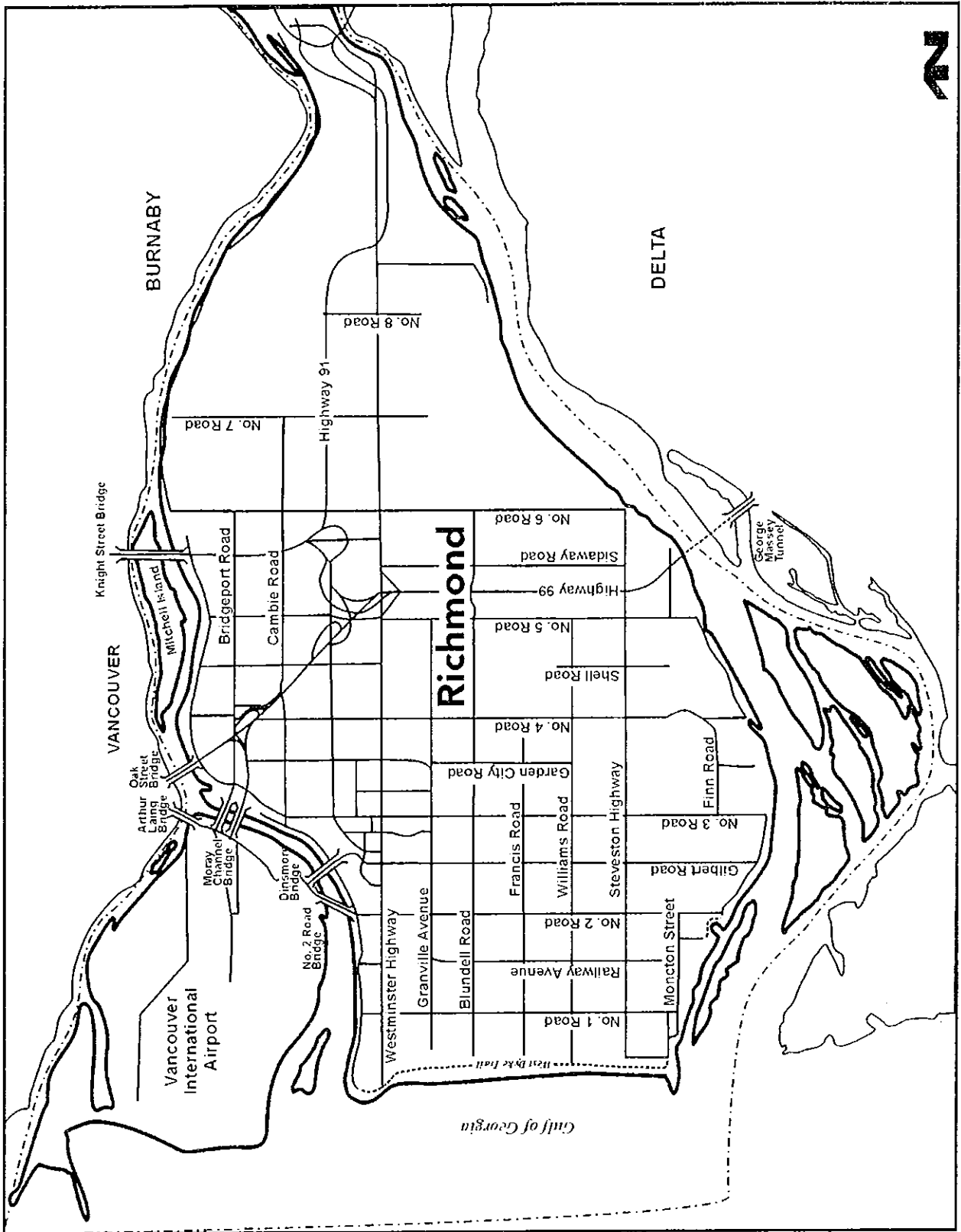
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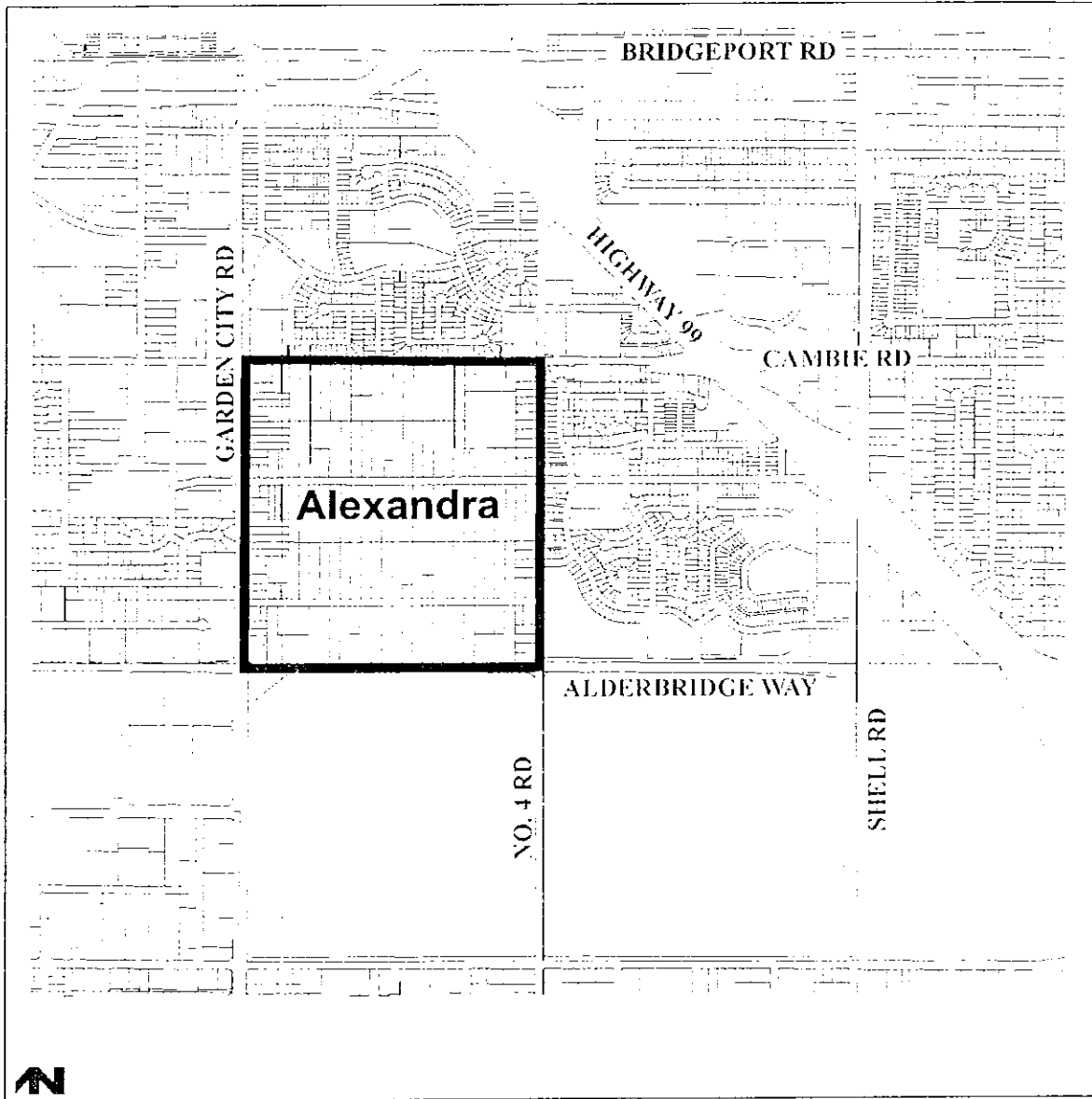
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