



City of Richmond
Urban Development Division


Report to Development Permit Panel

To: Development Permit Panel
From: Joe Erceg
Manager, Development Applications
Date: January 31, 2003
File: DP 02-212789
Re: **Application by Am-Pri Construction Ltd. for a Development Permit at
8080 Bennett Road**

Manager's Recommendation

That a Development Permit be issued for 8080 Bennett Road that would:

1. Permit the construction of a 38-unit townhouse complex on a property zoned Townhouse & Apartment District (R3); and that would:
2. Vary the regulations in the *Zoning and Development Bylaw* to:
 - permit up to twenty tandem parking spaces;
 - reduce the sideyard setback from 6 m to 3 m for five (5) buildings;
 - reduce the front setback from 6 m to 4 m to allow bay windows and porches to project;
 - reduce the rear yard setback from 6 m to 4 m to allow balconies and bay windows to project, and
 - relax the visitor parking requirement from 8 to 6 to allow for more tree-planting.


Joe Erceg
Manager, Development Applications

AJ:blg
Att.

Staff Report

Origin

Mr. Tom Yamamoto, Architect has applied, on behalf of Am-Pri Construction Ltd., to build a 38-unit townhouse complex on a site which is scheduled for February 24 for final reading of the rezoning to Townhouse & Apartment District (R3).

A copy of the development application filed with the Urban Development Division is appended to this report.

Development Information

Site Area:	6,503 m ² (69,998 ft ²)
Building Area:	4,937.263 m ² (53,146 ft ²)
Site Coverage:	40% Allowed 39% Proposed
F.A.R.:	0.6 for first 3,000 m ² , plus 0.9 for next 9,000 m ² Allowed Proposed is 15 m ² less than allowable.
Parking:	65 Spaces Required 68 Spaces Proposed

Findings of Fact

Criteria and policies for the issuance of Development Permits appear in Schedule 2.10. of Bylaw 7100, *The City Centre Area Plan*, part of the *Official Community Plan*.

Development surrounding the subject site is as follows:

To the north, south, east and west are existing multi-family developments; and

To the south-east is an approved townhouse development which is supposed to complete a public walkway to General Currie Road.

Staff Comments

Urban Development - Design

The revised plans are an improvement in a number of ways. (These comments are based on revised plans submitted in November, 2002). Retaining mature trees and combining the two (2) amenity spaces results in an attractive, functional and safe design. We note that the lab report from the arbourist indicates no disease in the roots of the existing Cedar trees along the proposed public walkway, and therefore we agree that the trees should be retained (Parks Department staff concur).

Because the arbourist has a number of cautions in his report, we recommend that the developer retain a qualified tree expert to monitor the trees during and after construction. Please provide evidence of a contract for monitoring during construction. We also will require a letter indicating the health of the trees after construction is complete. Finally, please assure that there is protective fencing in place prior to commencement of construction or site work. (I have already spoken to the developer about trucks on the site). We will be retaining the Letter of Credit for two (2) years after final inspection to cover the City's costs, if any, should the Cedars need to be removed for safety reasons.

We note that one of the conditions of rezoning is the granting of a public walkway 4.5 m wide, narrowing to 3 m at the driveway.

We recommend some minor changes to the landscape plans to: add large-growing trees along the walkway where existing trees have to be removed, and to better connect the walkways thru the common area.

We commend the use of durable materials such as Hardi-plank, but we recommend that it be used at grade level instead of vinyl. Also, please show paint colour numbers for wood trim.

The applicants have revised the plans accordingly. The developer has already installed protective fencing around the existing trees, and prepared a right-of-way plan. The landscape architect has added replacement trees as per the comments. Hardi-plank has been added to the end walls of "C" and "D" units and facades of building 3 are improved by revising the roof lines of the "C" unit and adding hardi-plank to the ground floor façade. Window panels were added to some garage doors. All entries have covered porches and box windows and brackets were added to all buildings. Lighting information has been added to the landscape plan

City Centre Planner

Improve the facades of Building 3, especially the sides facing the walkway and Bennett Road. There seems to be too many garage doors all the same, and the front doors could use more emphasis. Provide a more detailed landscape plan of the walkway and its amenities, lighting, etc.

Buildings 7 and 8 should have access to the amenity space via the rear of the buildings. The architecture in general could use more character and better detailing.

The applicants have revised the plans accordingly, except that access was not added to the rear of the buildings because the floor plan did not lend itself to such a change, and it would lessen the private yard space.

Urban Development - Utilities

Most all of our issues are being dealt with via the rezoning RZ (01-197892) and subsequent required Servicing Agreement (which has not been applied for yet). Related to this, is the design of the walkway along the east edge of the site. It is a Rezoning/Servicing Agreement requirement but some design detail can be coordinated via this Development Permit process. No other concerns.

Urban Development - Transportation

Ensure turnaround capability for vehicles particularly at dead-ends (e.g. hammerheads). Ensure turnaround capability for all visitors' stalls; in particular V1, V2, V3, V4, and V6, otherwise relocate them. First curve upon entering off of Bennett Road is narrow. Ensure two (2) vehicles can pass each other safely (should use a vehicle turning template to confirm).

The applicants have revised the plans accordingly.

Public Art

Recommend that the applicant be requested to contribute \$25,000 for the development of a Public Art project. The suggested location for artwork is the proposed pedestrian trail along the east property. It is recommended that the applicant meet with the Public Art Coordinator to discuss Public Art and its development on-site.

The developer has requested that he be allowed to make a contribution of \$10,000 to the Affordable Housing Fund instead.

Garbage and Recycling

This development will be on private garbage collection and can apply to the City for City garbage collection (see Garbage Bylaw). The proposed location for the recycling enclosure is good. Please add space for a 3 cu. yd. cardboard recycling container and ensure the enclosure is 10 ft. away from combustible building.

The applicants have revised the plans accordingly.

Analysis of the City Centre Guidelines

4.3 General Design Considerations

4.3.1 Public Amenity: Contribute to the establishment of a "complete community".

- Mix of uses, and their distribution, should serve to strengthen neighbourhoods.
- Promote streets for pedestrian activity and make them the focus of public life.

- Social and cultural features should be made plentiful, accessible, and of higher quality.
- Natural, built, and human heritage should be retained, enhanced, and celebrated.
- Safety in design should provide for surveillance, territoriality, effective lighting, and increased security around potential crime targets. **Provide front doors on east side of Building 3, facing the public walkway in order to improve surveillance. The architect has added window panels to the garage doors of building 3 and each unit also has a "back door" facing the public walkway.**

4.3.2 Environmental Factors: Enhance liveability of the public and private realms.

- Sun and shade, influenced by massing and siting, should ensure the liveability of:
 - a) Public Realm - Around noon, 3-5 hours, minimum, of sunlight to streets subject to sunlight standards (Fig.2), and outdoor spaces in general (March 2 - September 21).
 - b) Semi-Private Open Spaces - Maximize direct sunlight between 10 am and 2 pm for all uses, plus 4 pm to early evening for residential uses.
 - c) Private Residential Open Space - Ensure direct sun to at least 75% of dwelling units and their open spaces. (May require shadow study of subject site and neighbours).
- Weather protection should be designed to enhance pedestrian comfort and activity:
 - a) Throughout City Centre - It is promoted adjacent to public uses, transit, building entries, across barriers (i.e. parking lots), and where a "gap" can be filled.
 - b) Special Pedestrian Area - Its provision and continuity are directed as per Fig.3.
 - c) Types - In higher-density and mixed-use areas, canopies (1.8 m deep x 2.74 m high, min.) and arcades (2.5 m deep x 4.2 m high, min.) are preferred over fabric awnings.
- Wind and pedestrian comfort - Protect pedestrian areas, in general, and high-activity pedestrian areas, in particular, from the negative effects of the prevailing easterly wind, local wind conditions, and site-generated wind conditions.
- Noise - North of Granville Avenue, a registered acoustics professional must verify residential development, subject to rezoning or subdivision, meets CMHC standards. **n/a.**
- Public views and vistas, including the skyline, should be preserved and enhanced.

4.4.1 Residential: Reinforce and augment other City liveability criteria and sub-area plans.

- General multiple-family guidelines promote the following:
 - a) Clustering - Maximum 90 apartment units sharing one entrance, 25 townhouses clustered, and 6 townhouses in a row.
 - b) Entries - Promote individual grade-level unit entries.
 - c) Views - Provide near-, middle-, and distant-views to each unit.
 - d) Sun - 75% of units and their open space should receive direct sunlight year-round.
 - e) Private Open Space - Larger spaces are strongly encouraged, but for townhouses, 37 m² (9 m deep) minimum, and for apartments, 6 m² (1.8 m deep) minimum.
 - f) Noise - Maintain maximum indoor ambient sound level of 35 dBA, and buffer traffic noise impacts on private and semi-private open space.
- Universal housing seeks to accommodate the functional needs of all residents, through:
 - a) Common areas - All should accommodate wheelchairs and the visually impaired.
 - b) Elevator - At least one must accommodate a prone stretcher.
 - c) Units - Should accommodate wheelchair access throughout.
 - d) Doorways - Wheelchair accessible throughout common areas and private units.

- e) Floors - Slip-resistant and non-glare.
 - f) Locks, Handles, and Controls - Easy to read, reach, grasp, and use.
 - g) Counters, Cupboards, Sinks, Tubs, and Showers – Well-lit and easy to use.
 - h) Additional electrical features - Encouraged to allow for computers, etc.
- Housing families with children effectively requires special consideration of:
- a) Sites - Within walking distance of schools/amenities, protected from incompatible uses, and conducive to the provision of family housing needs (i.e. play space).
 - b) Clustering - Group family units to provide children peers to play with, a sense of community, and adequate numbers to support the provision of amenities.
 - c) Common Open Space - Must meet the needs of both adults and children.
 - d) Indoor Amenity Space - Size, distribution, and design should accommodate both adults and children.
- 4.4.2 Retail. **n/a.**
- 4.4.3 Amenity Space: Enhance access to high-quality, useable, indoor amenity spaces.
- Public space provided by new development, as defined under Bylaw 5300, should be tailored to one or more uses determined by the City, provide barrier-free public access, be convenient to outdoor space and parking, and ensure that exterior windows extend for a length equal to at least 20% of the perimeter of the facility.
- Semi-Private Space, for the common use of residents or non-residential tenants, should:
- a) Phasing - Adequately serve each phase of development.
 - b) Design and Operation - Be tailored to site-specific tenant needs.
 - c) Minimum Ratio - For residential, 2 m²/bedroom (plus 4 m²/bedroom of outdoor space), and for other uses, 1 m²/100 m² of gross leaseable building area.
 - d) Tenants - Meet the on-site needs of children, youth, adults, and seniors.
- 4.4.4 Parking and Loading: Improve the safety/appearance/effectiveness of these uses.
- Parking reduction opportunities should be sought through the sharing of parking facilities and coordination with the off-site opportunities.

Advisory Design Panel

The Design Panel gave the project their support at the meeting of November 20, 2002. The comments are as follows:

- “The plan, including Bennett Road, is much improved over the original presentation, in particular the edge and the combining of the play area to the amenity area;
- the play and amenity area combination was good;
- an improved plan. A suggestion was made that a different ground floor facade material be considered over vinyl;
- the new plan was an improvement. More variety and colours were suggested, such as vertical board and batten or shingles, for the exterior finish. A strong recommendation for improved design elements, such as box windows, was put forth.”

The consensus of the Panel was that the item move forward subject to the above noted comments.

The applicants have revised the plans accordingly.

Variances

The applicants are seeking a number of variances to the zoning. These include setback variances on three sides and tandem parking of vehicles. These kinds of variances are commonly granted, and staff have no objections. In addition staff recommend that 2 visitor parking spaces be deleted to allow for more tree-planting at the end of long aisles. The project still exceeds the bylaw requirement for resident parking.

Analysis

This is one of the last projects to be developed in the St. Albans sub-area of the City Centre. This 38 unit townhouse will provide a walkway link to General Currie Road and the school to the south. A number of mature trees will be preserved along the walkway and on the site, which will complement and soften the three-storey architecture. Porches facing Bennett Road, a huge existing Oak tree in the amenity space, and a universally-convertible unit will help by adding a human touch.

The applicant will also be constructing frontage improvements on Bennett Road and has offered to contribute \$10,000 to the Affordable Housing Fund (in lieu of a \$25,000 Public Art contribution).

Conclusions

The City has received an application for a Development Permit for a townhouse complex on a Townhouse & Apartment District (R3) site. The project is generally in conformance with City bylaws and guidelines, except for a few minor variances. The project will provide public benefits, including a walkway and frontage works. Staff recommend approval of this project.



Alex Jamieson
Planner 2 - Urban Design

AJ:blg

There are conditions to be met, namely:

Prior to a Building Permit, the developer is to enter into a Servicing Agreement for the construction of frontage works and a walkway, and a right-of-way is required for the walkway.

Prior to advancing this Development Permit to Council, a Letter of Credit is required for landscaping and \$10,000 for the Affordable Housing Reserve Fund. The developer must provide evidence of a contract for a consultant to monitor the existing trees during construction.



Development Applications Department

ENTERED

6911 No. 3 Road
Richmond, BC V6Y 2C1

City of Richmond

Main (604) 276-4000 Fax (604) 276-4177

DEVELOPMENT APPLICATION

Please submit this completed form to the Zoning, Land Use Planning and Development Applications Centre for each application (ie. rezoning; subdivision; development permit, etc.). All materials submitted to the City for a development application become public property, and therefore, available for public inquiry.

Please refer to the attached forms for details on application attachments and fees.

Type of Application: DEVELOPMENT PERMIT

Property Address(es): ~~8060~~/8080/~~8150~~ BENNETT RD.

Legal Description(s): WY2 & EY2 OF LOT 2, AND LOT 3 SECTION 16
BAN R6W PL 36, PLAN 1262

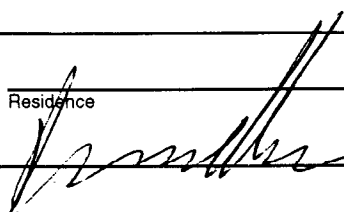
Applicant: AM-PR1 CONSTRUCTION LTD.

Correspondence/Calls to be directed to:

Name: TOMIZO YAMAMOTO ARCHITECT INC.

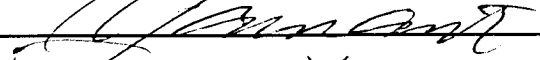
Address: 954 BAYCREST DRIVE, NORTH VANCOUVER
V7G 1N8

Tel. No.: 604-929-8531 Business Residence Postal Code 604-929-8591 Fax

Property Owner(s) Signature(s): 

Please print name

or

Authorized Agent's Signature: 

Attach Letter of Authorization

TOM YAMAMOTO
Please print name

FOR OFFICE USE	
Date Received: <u>July 26/02</u>	Application Fee: <u>2670.⁰⁰</u>
File No.: <u>021-212789</u> <small>Only assign if application is complete</small>	Receipt No.: <u>15-004480</u>



No. DP 02-212789

To the Holder: AM-PRI CONSTRUCTION LTD.
Property Address: 8080 BENNETT ROAD
Address: C/O MR. TOM YAMAMOTO, ARCHITECT
954 BAYCREST DRIVE
NORTH VANCOUVER, BC V7G 1N8

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning and Development Bylaw No. 5300" is hereby varied or supplemented as follows:
 - a) The dimension and siting of buildings and structures on the land shall be generally in accordance with Plan #1 attached hereto.
 - b) The siting and design of off-street parking and loading facilities shall be generally in accordance with Plan #1 attached hereto.
 - c) Landscaping and screening shall be provided around the different uses generally in accordance with the standards shown on Plan #2 and 3 attached hereto.
 - d) Roads and parking areas shall be paved in accordance with the standards shown on Plan #1, and 2 attached hereto.
 - e) Sanitary sewers, water, drainage, highways, street lighting, underground wiring, street trees, walkways, and sidewalks, shall be provided as required.
 - f) Subject to Section 692 of the Local Government Act, R.S.B.C., the building shall be constructed generally in accordance with Plans #4 to #6 attached hereto.
4. As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder, or should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to two years after inspection of the completed landscaping in order to ensure that plant material has survived. In addition to other remedies, the City may cash the letter-of-credit in an amount equal to the value of any trees which die as a result of construction.

To the Holder: AM-PRI CONSTRUCTION LTD.
Property Address: 8080 BENNETT ROAD
Address: C/O MR. TOM YAMAMOTO, ARCHITECT
954 BAYCREST DRIVE
NORTH VANCOUVER, BC V7G 1N8

There is filed accordingly:

An Irrevocable Letter of Credit in the amount of \$31,657.

5. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF

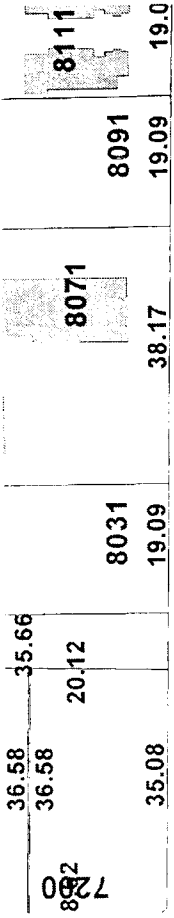
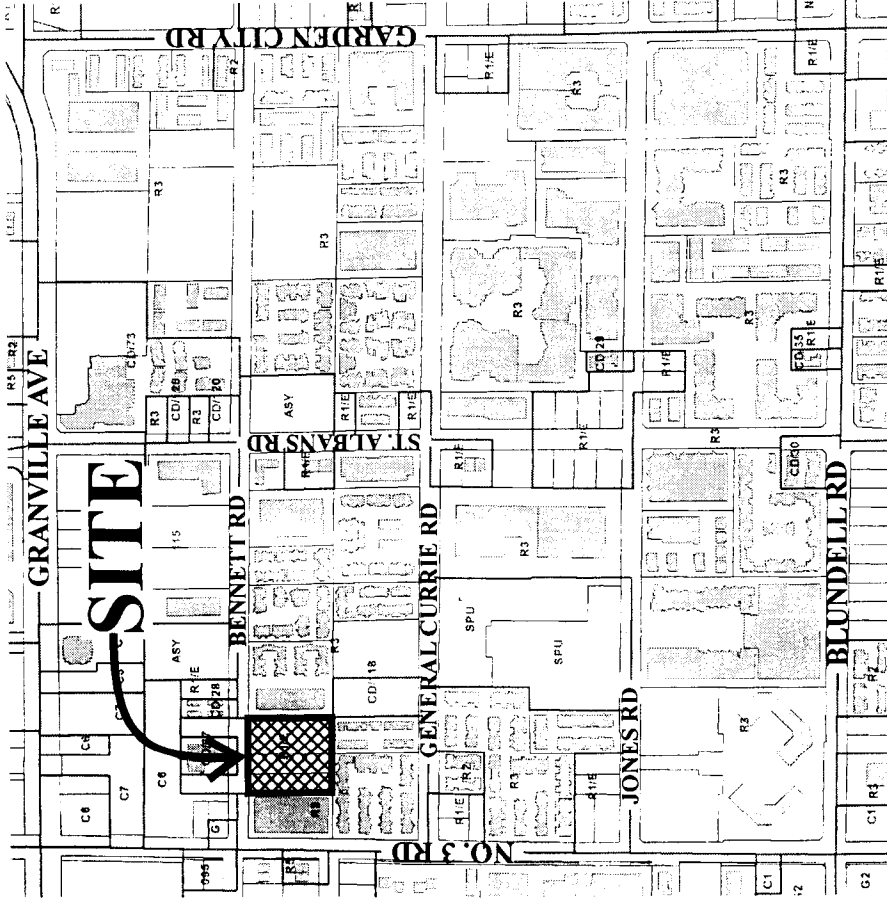
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

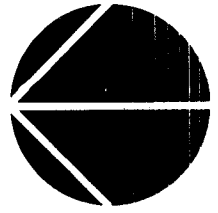
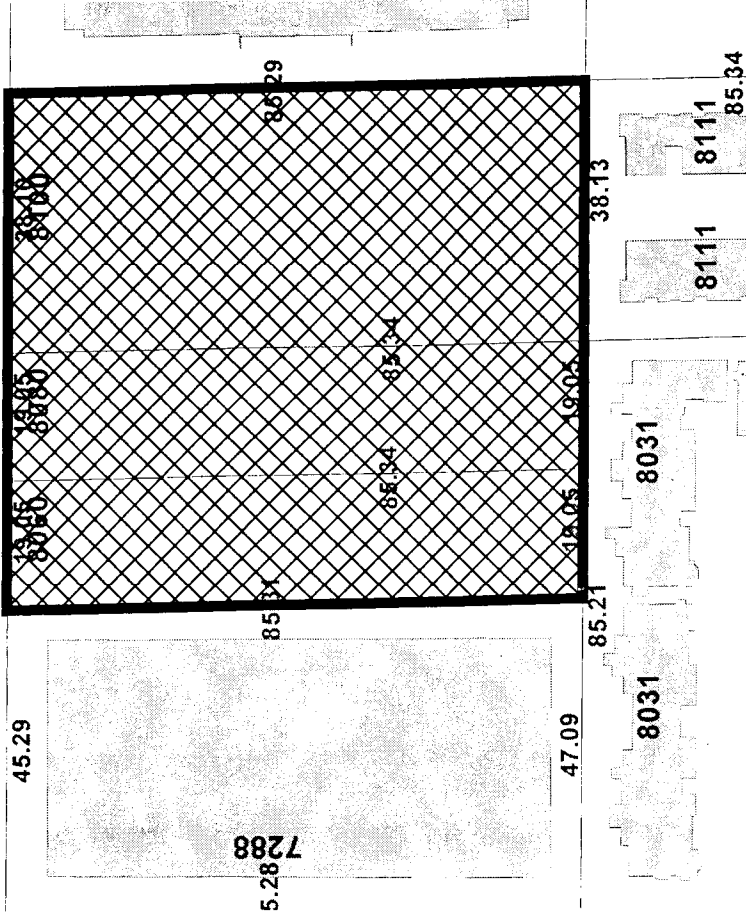
MAYOR



City of Richmond



BENNETT RD

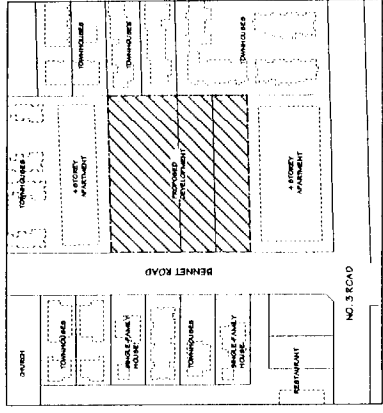
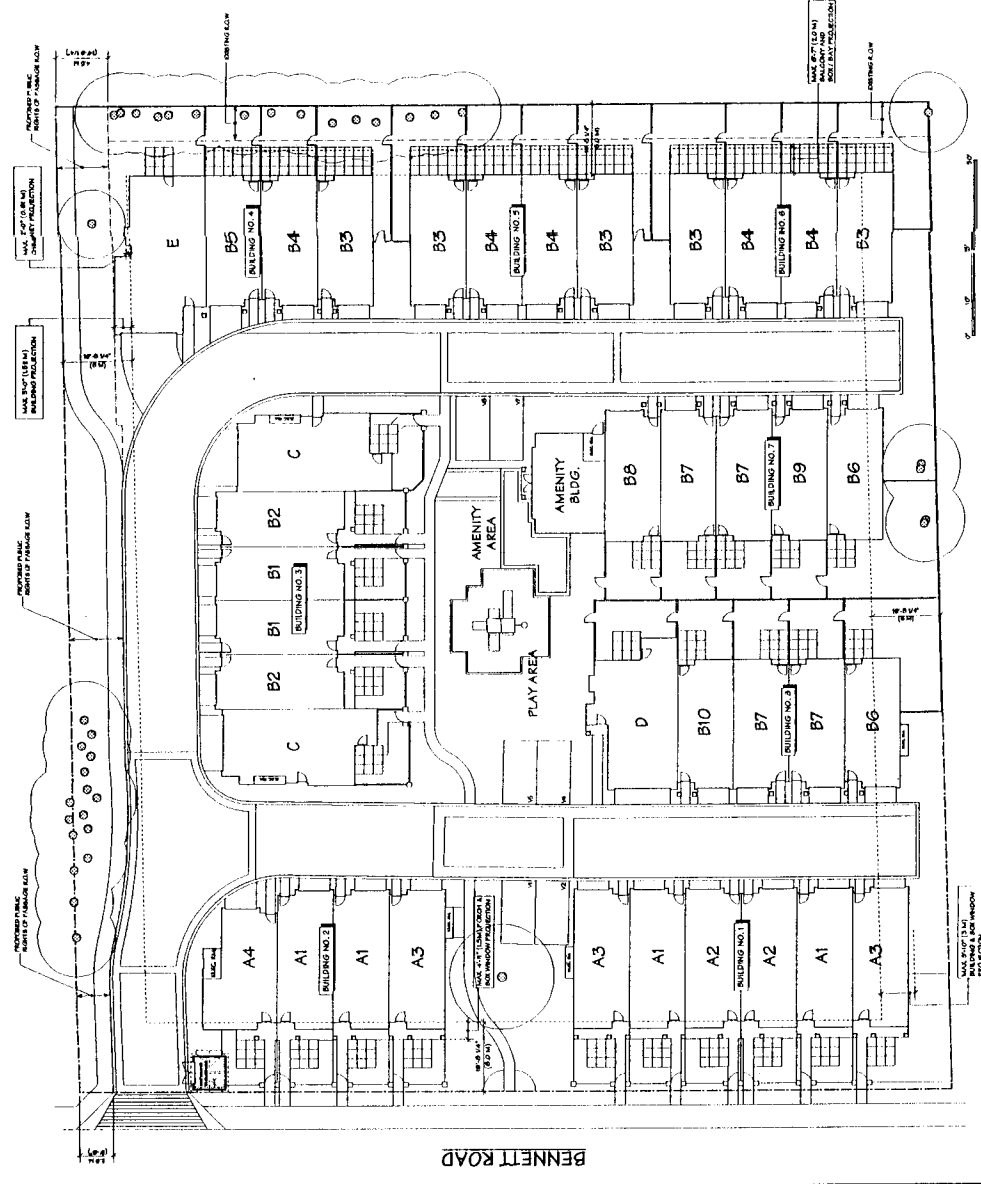


DP 02-212789 SCHEDULE "A"

Original Date: 08/21/02

Revision Date:

Note: Dimensions are in METRES



CONTEXT PLAN
SCALE: 1" = 100'-0"

STATISTICS:
 OVC ADDRESS: 6060 / 6060 / 6020 BENNETT ROAD
 LEGAL DESCRIPTION: W/2 S. E/2 OF LOT 2, AND LOT 3, SECTION 16, 34th. 6th. N. 1/4, 36. PL. AN. 2682
 SITE AREA: 68,999 SQ. FT. (6,203 SQ. M.)
 MAXIMUM FLOOR AREA RATIO: 50.0% (1,374,977 SQ. FT. / 10,000 SQ. M.)
 MAX. ALLOWED: 3,437,467 SQ. FT. (316,200 SQ. M.)
 MAXIMUM SITE COVERAGE: 40%
 MAX. ALLOWED: 27,990 SQ. FT. (2,582 SQ. M.)
 PROPOSED: 27,990 SQ. FT.

PROPOSED FLOOR AREA:

UNIT	COVERED PORCH	FLOOR AREA	UNIT COUNT
UNIT A1	154.8 SQ. FT.	1607.5 SQ. FT.	1 UNITS
UNIT A2	28.9 SQ. FT.	1674.5 SQ. FT.	1 UNITS
UNIT A3	98.5 SQ. FT.	1820.3 SQ. FT.	3 UNITS
UNIT B1	265.2 SQ. FT.	1942.2 SQ. FT.	2 UNITS
UNIT B2	149.2 SQ. FT.	1942.2 SQ. FT.	2 UNITS
UNIT B3	154.3 SQ. FT.	1942.2 SQ. FT.	2 UNITS
UNIT B4	127.8 SQ. FT.	1258.8 SQ. FT.	5 UNITS
UNIT B5	21.5 SQ. FT.	1278.2 SQ. FT.	2 UNITS
UNIT B6	21.5 SQ. FT.	1278.2 SQ. FT.	2 UNITS
UNIT B7	127.8 SQ. FT.	1258.8 SQ. FT.	5 UNITS
UNIT B8	21.5 SQ. FT.	1278.2 SQ. FT.	2 UNITS
UNIT B9	21.5 SQ. FT.	1278.2 SQ. FT.	2 UNITS
UNIT B10	21.5 SQ. FT.	1278.2 SQ. FT.	2 UNITS
UNIT C	1508.9 SQ. FT.	1508.9 SQ. FT.	1 UNITS
UNIT D	18.5 SQ. FT.	135.5 SQ. FT.	1 UNITS
UNIT E	18.5 SQ. FT.	135.5 SQ. FT.	1 UNITS
TOTAL	4083.3 SQ. FT.	24,970.7 SQ. FT.	23,920.3 SQ. FT.

ELECTRICAL LOADS:
 TOTAL: 285.5 SQ. FT. x 7.7 EDGMS. = 3314.6 SQ. FT.

PARKING:
 REQUIRED: 17 SPACES PER UNIT = 65 SPACES
 PROVIDED: 24 UNITS x 1.5 CAR GARAGE = 36 SPACES
 GUEST/PARKING SPACES = 8 SPACES
 INCLUDING 20 - 2 CAR AND 10 - 1.5 SPACES REQUIRED.

AMENITY AREA:
 REQUIRED: 117 SQ. FT. x 1.51 SQ. FT. = 3,243 SQ. FT.
 PROVIDED: OUTDOOR AMENITY SPACE 1,100 SQ. FT.
 INDOOR AMENITY SPACE 1,143 SQ. FT.

SITE PLAN
SCALE: 1/8" = 1'-0"

DATE: FEB 10 2003
PROJECT: # 1
ADDRESS: 6060 / 6060 / 6020 BENNETT ROAD

NO.	DATE	DESCRIPTION	CONSULTANT
100	10/01	PRELIMINARY DESIGN	YAMAMOTO ARCHITECT INC.
101	11/01	CONCEPT PLAN	YAMAMOTO ARCHITECT INC.
102	12/01	PRELIMINARY DESIGN	YAMAMOTO ARCHITECT INC.
103	01/02	CONCEPT PLAN	YAMAMOTO ARCHITECT INC.
104	02/02	PRELIMINARY DESIGN	YAMAMOTO ARCHITECT INC.
105	03/02	CONCEPT PLAN	YAMAMOTO ARCHITECT INC.

TONYHOUSE DEVELOPMENT
 28 UNITS
 6060 / 6060 / 6020 BENNETT ROAD
 RICHMOND, B.C.

tomizo yamamoto architect inc.
 1000 WEST 10TH AVENUE, SUITE 100
 VANCOUVER, B.C. V6H 1T7
 TEL: 604-271-1111
 FAX: 604-271-1112
 WWW.TOMIZO.COM

NO.	DATE	DESCRIPTION	CONSULTANT
106	04/02	CONCEPT PLAN	YAMAMOTO ARCHITECT INC.
107	05/02	PRELIMINARY DESIGN	YAMAMOTO ARCHITECT INC.
108	06/02	CONCEPT PLAN	YAMAMOTO ARCHITECT INC.
109	07/02	PRELIMINARY DESIGN	YAMAMOTO ARCHITECT INC.
110	08/02	CONCEPT PLAN	YAMAMOTO ARCHITECT INC.
111	09/02	PRELIMINARY DESIGN	YAMAMOTO ARCHITECT INC.

PROJECT NO.: 02-212789
DATE: FEB 10 2003
SCALE: 1/8" = 1'-0"

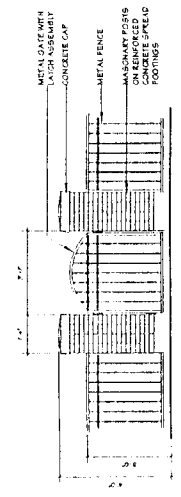
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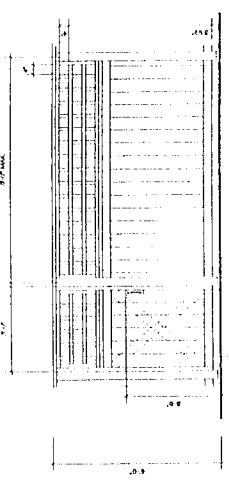
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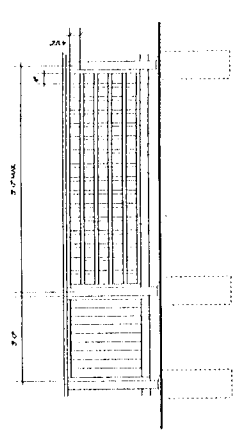
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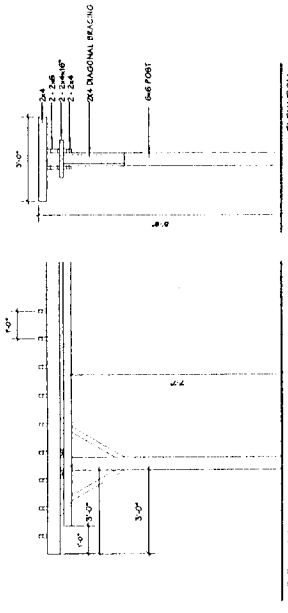
1
L2
METAL FENCE
SCALE: 1/2"=1'-0"



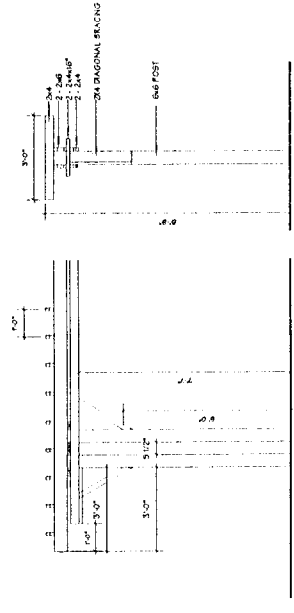
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L2
6 FT. WOOD FENCE
SCALE: 1/2"=1'-0"



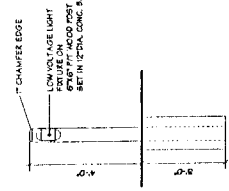
3
L2
3'6" LATTICE FENCE
SCALE: 1/2"=1'-0"



4
L2
ARBOUR TYPE "A"
SCALE: 1/2"=1'-0"



5
L2
ARBOUR TYPE "B"
SCALE: 1/2"=1'-0"



6
L2
BOLLARD LIGHTS
SCALE: 1/2"=1'-0"

NO. 20022 1/2" DIA. x 10' LONG
NO. 20023 1/2" DIA. x 12' LONG
NO. 20024 1/2" DIA. x 14' LONG
NO. 20025 1/2" DIA. x 16' LONG
NO. 20026 1/2" DIA. x 18' LONG
NO. 20027 1/2" DIA. x 20' LONG
NO. 20028 1/2" DIA. x 22' LONG
NO. 20029 1/2" DIA. x 24' LONG
NO. 20030 1/2" DIA. x 26' LONG
NO. 20031 1/2" DIA. x 28' LONG
NO. 20032 1/2" DIA. x 30' LONG
NO. 20033 1/2" DIA. x 32' LONG
NO. 20034 1/2" DIA. x 34' LONG
NO. 20035 1/2" DIA. x 36' LONG
NO. 20036 1/2" DIA. x 38' LONG
NO. 20037 1/2" DIA. x 40' LONG



TIO ASSOCIATES
3145 Maple Street
Richmond, BC V6V 2L4
Voice (604) 275-2512
Facsimile (604) 275-4839
Cdn. Toll Free 1-800-456-7890

Project:
8060/8100
BENNETT RD
RICHMOND, B

Drawings Title:
DETAIL

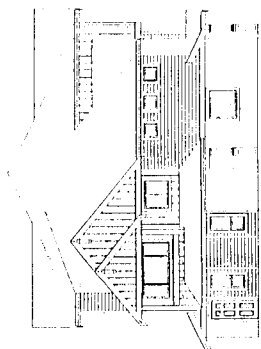
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Drawn	1/2/03
Checked	1/2/03
Date	1/2/03
Job	8060/8100
Sheet	1/2/03

L2 of 2

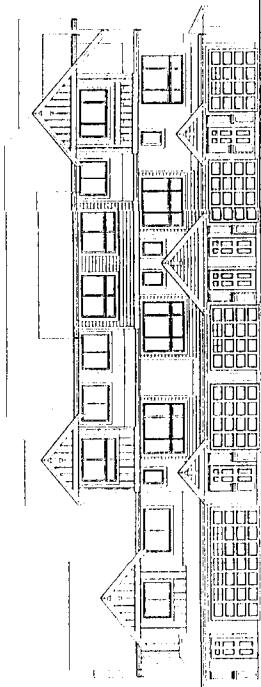
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JAN 28 2003

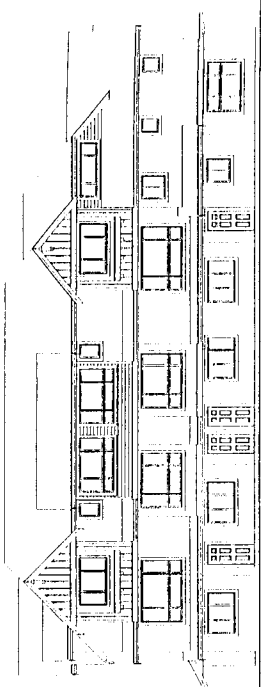
DP 02-212789



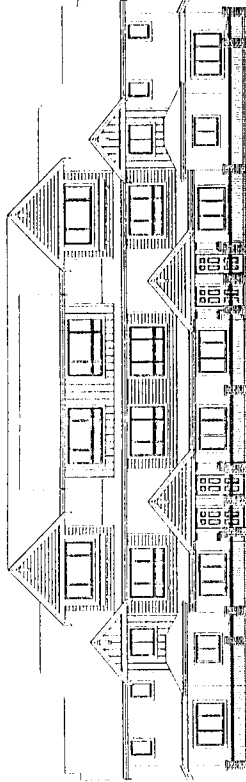
BUILDING NO. 6
EAST ELEVATION
SCALE: 1/8" = 1'-0"



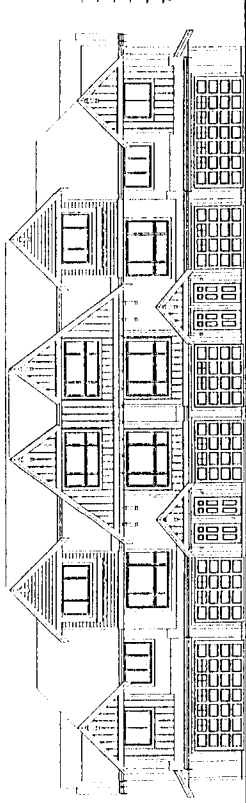
BUILDING NO. 2
NORTH ELEVATION
SCALE: 1/8" = 1'-0"



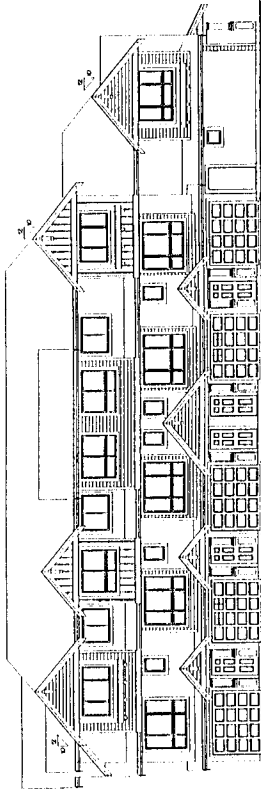
BUILDING NO. 2
SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



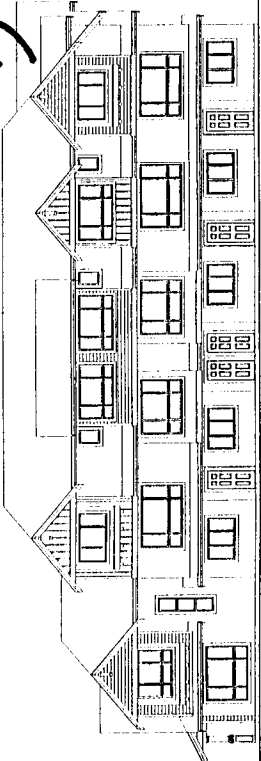
BUILDING NO. 3
WEST ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING NO. 3
EAST ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING NO. 7
EAST & WEST ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING NO. 7
EAST & WEST ELEVATION
SCALE: 1/8" = 1'-0"

JAN. 2003 - ARCHITECT
JULY 2003 - ARCHITECT
APR. 2003 - ARCHITECT
NOV. 2001 - ARCHITECT
NOV. 2001 - ARCHITECT
NOV. 2001 - ARCHITECT
NOV. 2001 - ARCHITECT
NOV. 2001 - ARCHITECT
NOV. 2001 - ARCHITECT

PROJECT
TOWNHOUSE DEVELOPMENT
38 UNITS

ARCHITECT
RICHMOND B.C.
tomizo
yarmamoto
architect inc.

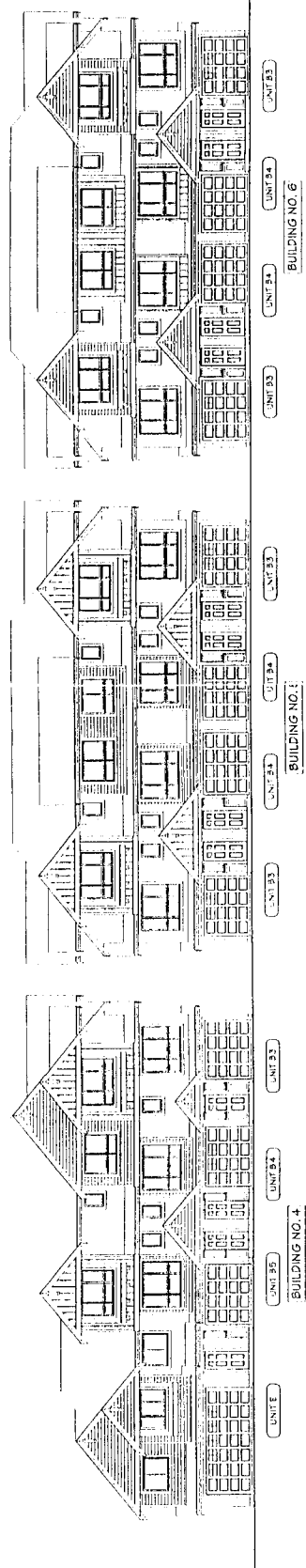
DATE: JAN. 2003
DRAWN: [NAME]
CHECKED: [NAME]
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DATE: JAN. 2003
DRAWN: [NAME]
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SCALE: 1/8" = 1'-0"

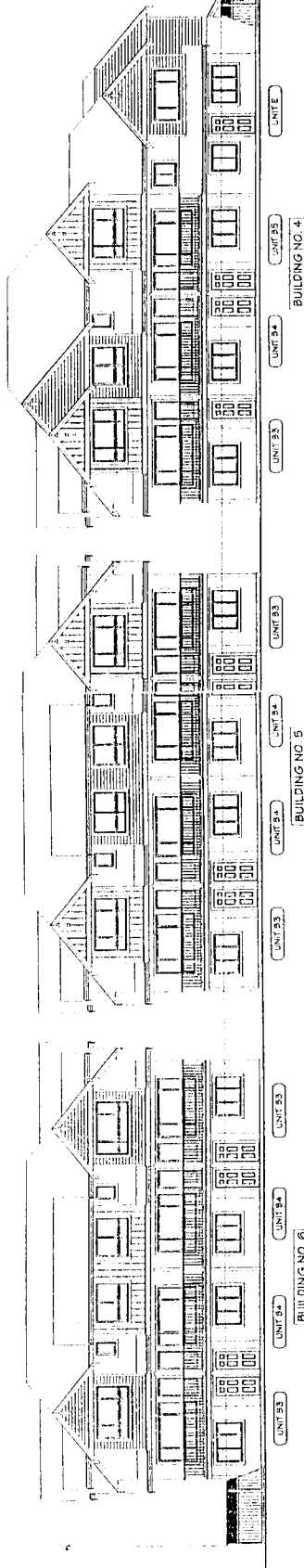
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DR02-212789

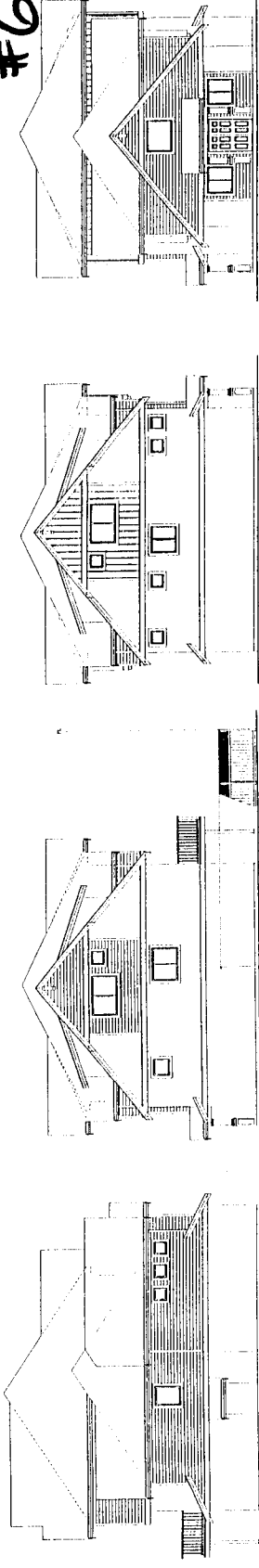
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CHECKED: [NAME]
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"

NORTH & SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

WEST ELEVATION
SCALE: 1/8" = 1'-0"

#6

JAN 2003 - 100% PERMITS
ALL SHEETS - 100% PERMITS
APR 2002 - 100% PERMITS
NOV 2001 - 100% PERMITS
NO DATE - 100% PERMITS
CONTRACT

PROJECT: TOWNHOUSE DEVELOPMENT
38 UNITS

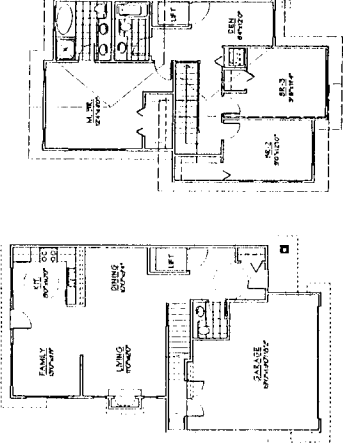
REGISTERED ARCHITECT
tomizo yamamoto architect inc.

DATE: JAN 28 2003
SCALE: 1/8" = 1'-0"

AMENITY: []
BUILDING NO. 7
EAST ELEVATION
SCALE: 1/8" = 1'-0"

JAN 28 2003
A8
OF 8

PO2-212789



GROUND FLOOR PLAN
SCALE 1/8" = 1'-0"

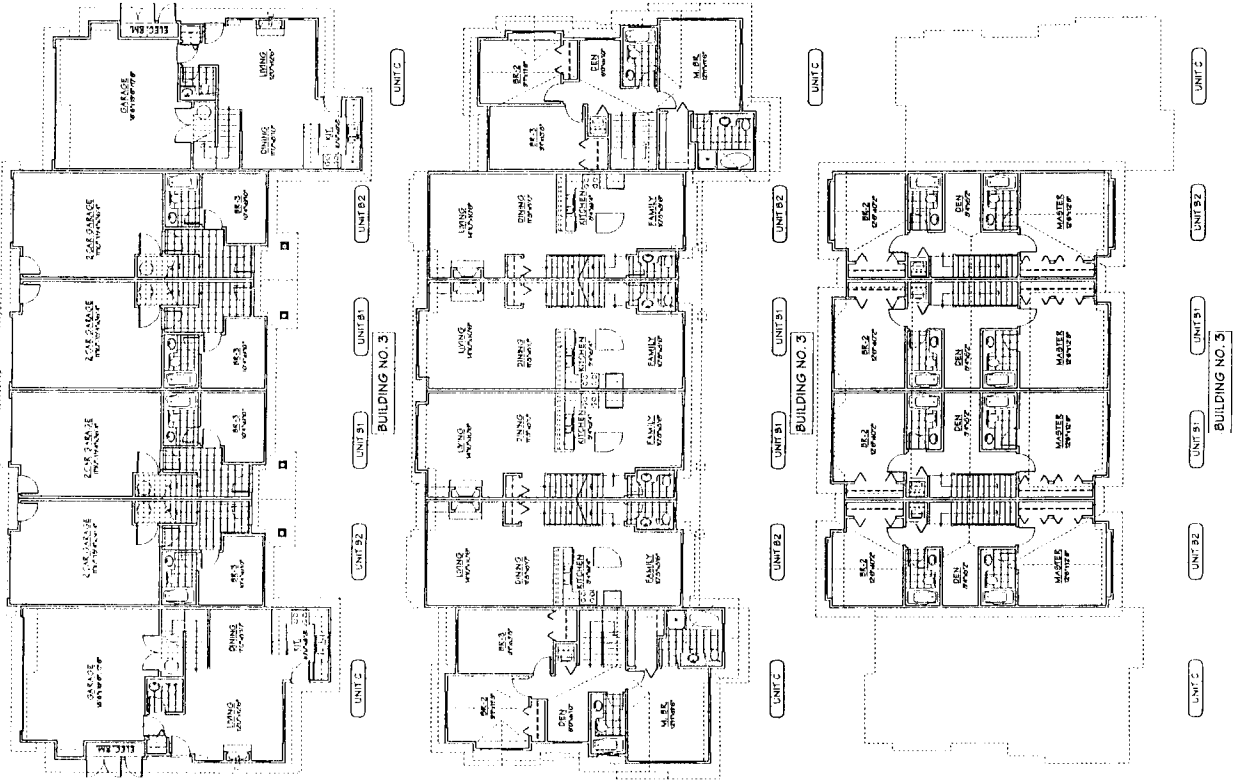


SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"



RECYCL ENCLOSURE PLAN
SCALE 1/8" = 1'-0"

THIRD FLOOR PLAN
SCALE 1/8" = 1'-0"



DATE	DESCRIPTION
10/11/11	REVISED
10/11/11	REVISED
10/11/11	REVISED
10/11/11	REVISED
10/11/11	REVISED
10/11/11	REVISED
10/11/11	REVISED
10/11/11	REVISED
10/11/11	REVISED
10/11/11	REVISED

TOWNHOUSE DEVELOPMENT
30 UNITS

ROBERTO BENNETT, AIA
RICHMOND, B.C.
tomizo
yamamoto
architect inc.

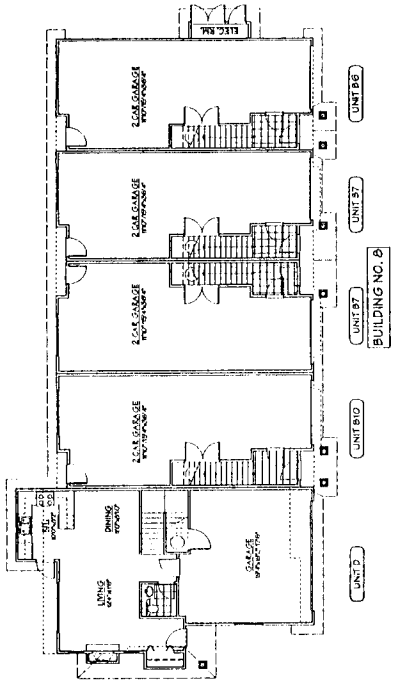
14500 20th Ave. S., Box 35
P.O. Box 350000, Seattle, WA 98135
DRAWING TITLE
FLOOR PLANS
BUILDING NO. 3, AMENITY

DATE	SCALE	SHEET NO.
10/11/11	1/8" = 1'-0"	A3
DATE	SCALE	SHEET NO.
10/11/11	1/8" = 1'-0"	A3
DATE	SCALE	SHEET NO.
10/11/11	1/8" = 1'-0"	A3

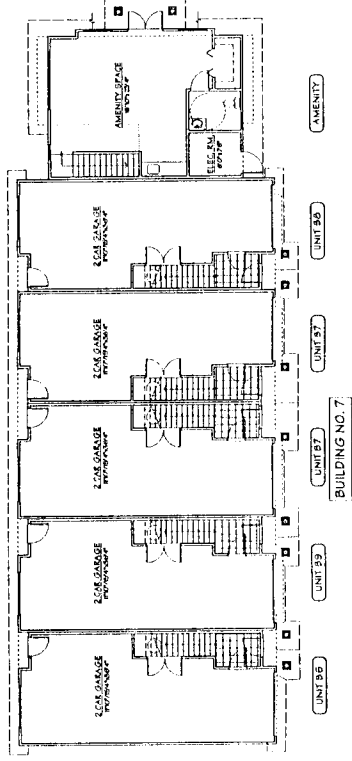
DP02-212789

OF 3
SHEET

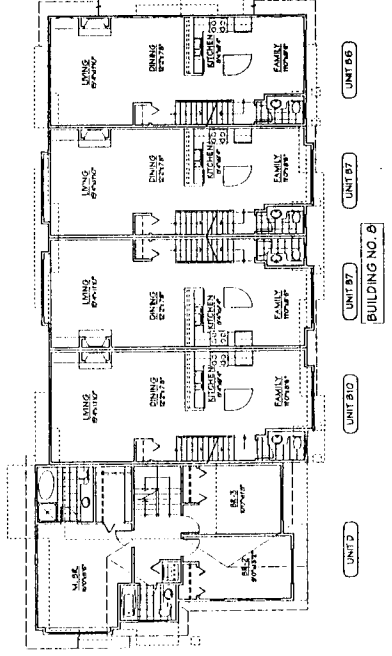
GROUND FLOOR PLAN
SCALE 1/8" = 1'-0"



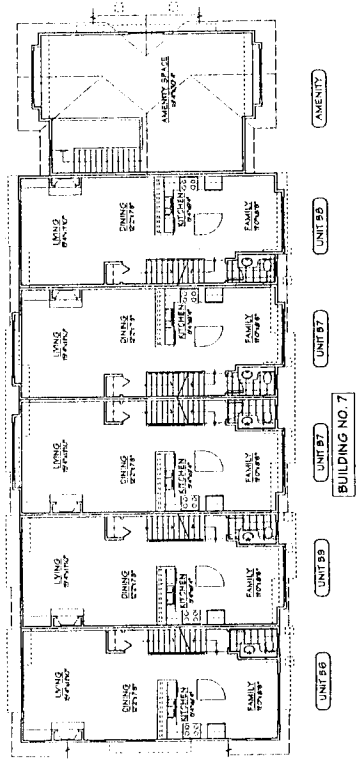
GROUND FLOOR PLAN
SCALE 1/8" = 1'-0"



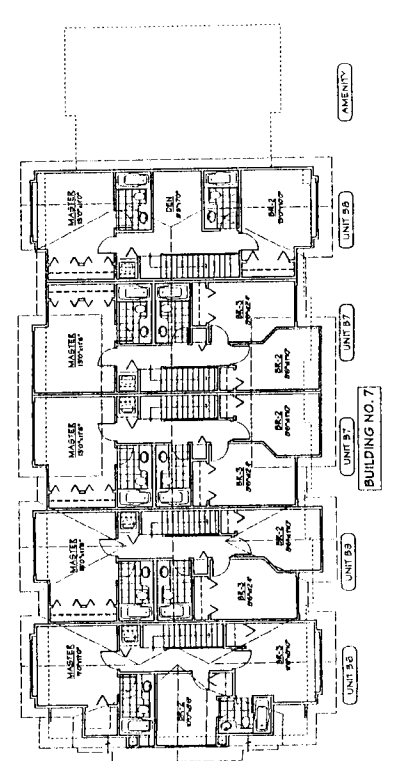
SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"



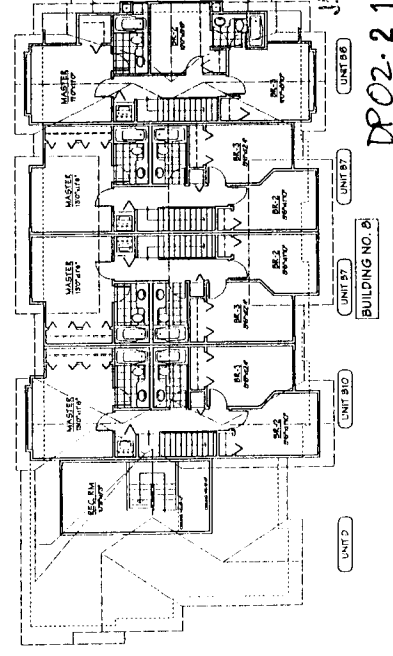
SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"



THIRD FLOOR PLAN
SCALE 1/8" = 1'-0"



THIRD FLOOR PLAN
SCALE 1/8" = 1'-0"



NO.	DATE	REVISIONS
1	JUN 20 2013	ISSUED FOR PERMITS
2	JUL 10 2013	REVISED FOR PERMITS
3	NOV 20 2013	REVISED FOR RECORDING
4		FOR RECORDING
5		FOR RECORDING

PROJECT: TOWNHOUSE DEVELOPMENT
38 UNITS

MODERNO BENCHMARKING ARCHITECTS, P.C.
tomizo yamamoto architect inc.

FLOOR PLANS
BUILDING NO. 7 AND NO. 8

DATE	18-11-13	SCALE	A5
DRAWN	DAK		OF 9
CHECKED	DAK		

DR02-212789