



City of Richmond
Urban Development Division

Report to Development Permit Panel

To: Development Permit Panel
From: Raul Allueva
Director of Development
Date: December 20, 2004
File: DP 04-272603
Re: **Application by 528450 BC Ltd. for a Development Permit at 6440 Garden City Road and 9071, 9111, 9131, 9151, 9171, 9191 and 9211 Alberta Road**

Staff Recommendation

1. That a Development Permit be issued that would permit 191 apartment units on top of a two level parking structure with 20 work/live townhouses and some commercial retail space along Garden City Road, on this site zoned Comprehensive Development (CD/154); and
2. Vary the provisions of the Zoning and Development Bylaw No. 5300 to permit the following:
 - a. Reduce the manoeuvring aisle width in the parking structure from 7.5 m to 6.7 m.

Raul Allueva
Director of Development

CA:blg
Att.

Staff Report

Origin

528450 BC Ltd. has applied to the City of Richmond to construct 191 apartment units on top of a two level parking structure, which includes parking, 20 work/live townhouses and some commercial retail space along Garden City Road.

Development Information

Please refer to the proposed Development Permit Application data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

The proposed development will be making significant contribution to the road network in the McLennan North Sub-Area by developing Cook Road and Katsura Road, as well as providing for an urban interface with the future park to be constructed to the south of the site (when Alberta Road is decommissioned).

Development surrounding the subject site is as follows:

- To the north, area in transition with various development projects currently under application or recently approved ranging from highrise towers, four storey apartments to townhouses under various Comprehensive Development zones.
- To the east, existing single-family homes with redevelopment potential for medium density townhouses and low-rise apartments (four-storeys maximum).
- To the west, Garden City Road and existing residential development to the west of the Road.
- To the south, Garden City Park, currently in the design phase, with construction beginning later this year.

Rezoning and Public Hearing Results

The Public Hearing for the site was held on October 18, 2004. No delegation or written submission was received at Public Hearing, and no issues were raised by Council to be addressed at Development Permit stage.

Staff Comments

The proposed scheme meets the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the applicable Design Guidelines in Schedule 1 (9.2 General Guidelines, and 9.3 Multiple-Family Residential Development Permit Guidelines (Apartment) and Schedule 2 (2.10C McLennan North Sub-Area Plan).

In addition to satisfying the conditions outlined in the rezoning report (RZ 04-267632), the revised scheme attached to this report has satisfactorily addressed all the significant staff comments that were identified as part of the Development Permit application review process.

The application is generally in compliance with the Comprehensive Development (CD/154) zoning requirements of the Zoning and Development Bylaw No. 5300 except for the following variance (*Note: Staff comments in bold*):

1. To reduce the manoeuvring aisle in the parking parkade from 7.5 m (24.6 ft.) to 6.7 m (22 ft.).
(Staff support the proposed variance. The proposed 0.8 m (2.6') reduction of the aisle width does not pose significant impact to vehicular manoeuvring, as adequate aisle manoeuvring space is achieved by increasing the separation of columns. This variance helps to achieve a more compact parkade plan and is considered a reasonable practice. On this basis, this standard will be considered in the next review of the Zoning Bylaw).

Advisory Design Panel Comments

This application was presented to the Advisory Design Panel on Wednesday, August 18, 2004. The following comments are excerpted from the Design Panel Minutes, which the applicant has taken into consideration in the final submission. Details of the revisions will be discussed in the "Analysis" section following.

- There were concerns that the Commercial façade along Garden City required strengthening;
- Concerns were noted about the design of the Plaza and that it felt more like a wide pathway;
- Comments were made about the adjacency between a formal structure (building) and informal structure (park);
- Concerns were noted about the need to soften and better articulate the parking entrances along Cook Road and Katsura Street;
- The townhouse units facing the interior courtyard needed to be better articulated;
- More treatment was needed along the building and park edge. Treatments should go beyond street trees and a walkway;
- Concerns were noted about the pathway through the project leading into the park and the difficulty of regulating users and that this may invite the general public into the upper level green space. There were also comments made about the potential use of the upper level green space by kids and teenagers after dark;
- A comment was made about the potential conflict between users of the park and with residents in the townhouses;
- The Panel questioned the small calliper trees to be planted and suggested some larger calliper trees were preferred. The Panel also questioned the use of Planting Substitutes on the plant listing and suggested that the benches in the amenity space be reorganized to promote more interaction (i.e. clustering benches and tables together). The Panel noted that the conceptual nature of the Landscape Plan should be noted in the minutes;
- Comments were made about the possibility of rearranging the bathrooms to make them universally accessible; and
- The chair of the panel summarized the comments made by the panel and commended the architect on the development. A specific comment was made appreciating the subtle differences between the towers.

Analysis

Adjacency

- This development is located in a highly transitional area and the development context is changing rapidly. Several multiple-family development are currently under construction in the immediate area to the north, approved for development or under review with densities ranging from 1.71 to 2.41 F.A.R.. These include Katsura Gate (Cressey Development), with 4 high-rises and townhouses, and a couple of proposed mid-rise residential developments at Garden City Road and Westminster Highway, north of Ferndale Road.
- The commercial space proposed along Garden City Road will provide streetscape improvements and animation by introducing commercial activities.
- The proposal includes a mini "plaza" at the southwest corner that can be incorporated into the entry of the future neighbourhood park to the south to form the entrance into the new park.
- A row of townhouses has been orientated to the south with walkways, lighting, and low fences along the north edge of the future park to provide a pedestrian oriented interface.
- The developer, as a condition of the rezoning, will be making significant contributions to the road network by completing Cook Road and Katsura Street.
- As the Parks Department has yet to formalize a design for the future park south of the site, and Alberta Road will need to remain open for the immediate future, the applicant has proposed a "street edge" interface, with a linear walkway and a row of "street" trees. This design is acceptable to the Parks Department.

Urban Design and Site Planning

- The Area Plan encourages the development of "town square". This proposal has achieved this by animating the streets with commercial units along Garden City Road and live/work townhouse units along Cook Road, as well as providing linkages to the community park. In addition, the provision of public art, on-street parking on Cook Road, outdoor public seating areas along the streets in association with commercial frontages, pedestrian lighting, and high quality landscaping in the greenway connection, along the park edge and the streets further contributes to the liveability of the proposed development.
- The two-tower form over a townhouse podium provides variety and transition of built form in this area of diverse building types (from 4 storey apartments, mid rise to highrise developments).
- The multi-storey live/work townhouses fronting Cook Road include flexible retail or office on the ground floor, fully accessible from the sidewalk, providing flexibility of use and provide animation along the streetscape.
- The proposed design is of a high architectural quality and provides a distinctive character complementary to the emerging design character in the neighbourhood.
- The applicant has proposed 370-bicycle storage to support cycling as an alternative means of transportation at this City Centre location, adjacent to the Garden City designated bicycle route.
- The development proposed a total of 301 parking spaces, which exceeds the minimum required by the CD/154 District Schedule. The nine (9) extra stalls provide flexibility to accommodate commercial uses with a higher parking demand without adversely impacting the visitors' parking.

- Unit Type B has been designed to accommodate wheelchair-turning radius and can be easily converted to fully accessible units with minimal effort. Potentially, up to 50 universally accessible dwelling units can be created as required.

Architectural Form and Character

- The massing and height of the building are generally in compliance with the applicable design guidelines.
- The commercial units (Garden City Road), live/work townhouses (Cook Road) and townhouses (Park edge) animate the streets and provide opportunities natural surveillance onto the streets and park to contribute to a sense of safety.
- The proposed building is highly articulated with large cantilevered balconies and overhangs to enhance the building silhouette. Cantilevered canopies have been provided at the entrances of all the townhouses to provide weather protection.
- The proposed architectural materials include painted concrete, double-glazed, aluminium windows, aluminium balcony guardrails, aluminium louvers and commercial canopies at the storefronts. The proposed colours are muted earth tones.
- The penthouse levels of the towers are further recessed than the typical floors to further articulate the skyline.

Landscaping and Open Space Design

- The proposal utilizes a public right-of-way through the middle of the site to provide a direct pedestrian link between Cook Road precinct and the new Garden City park.
- The ultimate interface with the future park to the south cannot be determined at this stage given that the final plans for the park and the closure of Alberta Road is dependent on the need for access by the existing developments along Alberta Road. The applicant has agreed to pay \$45,000 contribution, over and above the landscaping Letter of Credit to construct the ultimate (future) landscaping extending 3 m into the future northern edge of the neighbourhood park (currently Alberta Road). The Parks Department has requested that the applicant indicate lawn beyond the 3 m zone as an interim measure.
- The project incorporates privately-owned/publicly accessible open spaces to provide highly visible, well-landscaped areas (including benches, lighting, bollards and related street furnishings) in the form of pedestrian/cyclist pathways and expanded sidewalk/boulevard areas at the corners of Cook Road and Alberta Road with Garden City Road to provide public amenities and linkages to the park. In addition, the greenway and bicycle lane on Garden City encourage people to walk and cycle.
- Indoor amenities (exercise rooms and lounges) are provided in each tower with direct access to the landscape roof podiums for use by all residents of the project. The outdoor amenities include separate children's play structure on each podium adjacent to lawn areas for children play. Various seating areas in addition to private roof patios for units on the podium deck level are provided for more passive activities.
- Private open spaces are provided in the form of courtyards for the townhouse units, which are separated from the sidewalk by a layering of fence, hedges and trees to delineate the private and public spaces.
- Street trees are provided along the three street frontages. In addition, a row of trees is provided along the future park edge to the south to delineate private and public realms.

- A lay-by for delivery/moving trucks has been incorporated along Katsura Street to address the loading requirement of large moving trucks.

Conclusions

The project is well conceived with high quality architectural and landscape design. The diversity of use and dwelling types contribute to the building of a complete neighbourhood. Staff therefore recommend approval of this Development Permit application.



Cecilia Achiam, MCIP
Urban Design Planner
(Local 4122)

CA:blg

Att. Attachment 1: Project Data Summary
Attachment 2: Advisory Design Panel Minutes
Attachment 3: Unit B-Adaptable Unit

The following conditions are required to be met prior to forwarding this application to Council for approval:

- A Letter of Credit for \$ 499,164 for landscaping will be required.
- A Letter of Credit for \$ 45,000 for landscaping a 3 m portion of Alberta Road when it is decommissioned and incorporated into the future neighbourhood park south of the development.

Prior to issuance of the Building Permit:

- Submission of an acoustical report and incorporation of the recommended acoustical measures in the construction details.

Development Permit



City of Richmond

6911 No. 3 Road
Richmond, BC V6Y 2C1

Development Application Data Sheet

Development Applications Department

DP 04-272603

Attachment 1

Address: 6440 Garden City Road and 9071, 9111, 9131, 9151, 9171, 9191 and 9211 Alberta Road

Applicant: 528450 B.C. LTD. Owner: Various

Planning Area(s): McLennan North Sub-Area Plan Bylaw 7100 Schedule 2.10C

	Existing	Proposed
Site Size:	8,826.4 m ²	8,826.4 m ²
Land Uses	Single-family	191 apartments + 20 work/live
OCP Designation	2.10 City Centre	
Zoning	Single Family District (R1/F)	Comprehensive Development (CD/154)
Number of Units		191 apartments + 20 work/live

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio: Commercial Residential (all other uses)	0.05 2.45 (+0.1 for amenity)	0.05 2.45 (+0.1 for amenity)	Complies
Lot Coverage – Building:	80 %	73 %	Complies
Density (unit/acre)/ (units/hectare)		96 upa/239 uha	
Setback – Cook Road (North)	Commercial: 2 m All Other Uses: 2 m	Commercial: 2 m All Other Uses: 2 m	Complies Complies
Setback – Katsura Road (East):	6.0 m	6 m	Complies
Setback – (South)	2 m	2 m	Complies
Setback – Garden City Road (West):	10 m to residential 3 m to commercial (ground floor)	10 m to residential 3 m to commercial (ground floor)	Complies Complies
Height	45 m	45 m	Complies
Lot Size:	4,040 m ²	8,826.4 m ²	Complies
Manoeuvring Aisle	7.5 m	6.7 m	Variance

Development Permit

Off-street Parking Spaces – Resident/Visitor/commercial:	249/43/0	249/43/9	Complies
Off-street Parking Spaces-Tandem:	permitted	44	Complies
Small car ratio:	30%	14%	Complies
Off-street Parking Spaces – Accessible:	6	6	Complies
Off-street Parking Spaces – Total:	292	301	Complies
Amenity Space – Indoor:	min.100 m ² - max. 883 m ²	272 m ²	Complies
Amenity Space – Outdoor:	1,226 m ²	2,880 m ²	Complies

PARTIAL MINUTES FROM THE DESIGN PANEL MEETING

Wednesday August 18th, 2004 – 4:00 p.m.

Rm. M.1.002

RICHMOND CITY HALL

3.

Residential Towers/ Townhouses/ Retail

GBL Architects.

8060 Cambie Road

(Formal)

DP 04-272603

Ms. Achiam, Planner, briefly introduced the project as being located in the MacLennan North neighbourhood. She reviewed the context regarding the surrounding roads and future park and advised that adjacency issues with respect to existing residential areas was minimal. An important issue related to interface was how the project blended with adjacent new residential developments.

With the aid of presentation material and a model, Mr. Julio Gomberoff, Architect, introduced the team of architects and landscape architects. Mr. Gomberoff then reviewed some of the surrounding context with respects to existing and proposed new roads as well as new residential development that were in the surrounding local. He advised that the density is 2.45 Floor Area Ratio (F.A.R.) and the total number of units was 211 contained in two towers and ground level townhouses. Comments were made about how along Cook Road, townhouse units were Live/Work and that units facing the park would be Work/Live. A commercial component and accompanying Plaza would be along Garden City Road. He then reviewed components of the project relating to Public Art requirements and connectivity with the park. He concluded with a review of the parking layout and courtyard scheme as well as the proposed height of the towers. A note was made about how the applicants were still working with staff to establish an appropriate CD zone.

Mr. Chris Marshall reviewed landscaping details for entrances and for the plaza proposed along Garden City Road. He also reviewed the pedestrian connection through the project to the park to the south. Final comments were made regarding how patios on the upper floors would be screened for privacy. Comments were then made about the possible retention of trees at the corner plaza along Garden City Road.

The panel proffered the following comments:

Minutes of Design Panel Meeting
Wednesday August 18th, 2004
Meeting Room 1.002, 1st Floor, Richmond City Hall

ITEM	MINUTE	SUBJECT	FILE
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- ❖ questions regarding what type of rooftop mechanical unit and elevator penthouse would be implemented;
- ❖ connection possibilities between the two towers

Comments from the design team in response to the panels general query was that only small vents would be visible on the townhouse rooftops. No major machinery would be visible.

- ❖ There were concerns that the Commercial façade along Garden City required strengthening
- ❖ Concerns were noted about the design of the Plaza and that it felt more like a wide pathway.
- ❖ Comments were made about the adjacency between a formal structure (building) and informal structure (park).
- ❖ Concerns were noted about the need to soften and better articulate the parking entrances along Cook Road and Katsura Street.
- ❖ The townhouse units facing the interior courtyard needed to be better articulated.
- ❖ More treatment was needed along the building and park edge. Treatments should go beyond street trees and a walkway.
- ❖ Concerns were noted about the pathway through the project leading into the park and the difficulty of regulating users and that this may invite the general public into the upper level green space. There were also comments made about the potential use of the upper level green space by kids and teenagers after dark.
- ❖ A comment was made about the potential conflict between users of the park and with residents in the townhouses.
- ❖ Mr. Al Tanzer commended the project. Questioned the small calliper trees to be planted and suggested some larger calliper trees were preferred. He also questioned the use of Planting Substitutes on the plant listing. He also suggested that the benches in the amenity space be reorganized to promote more interaction (i.e. clustering benches and tables together). He noted the conceptual nature of the Landscape Plan should be noted in the minutes.
- ❖ A panel member commended the project and the large sized bathrooms. Comments were made about the possibility of rearranging the bathrooms to make them universally accessible.
- ❖ The chair of the panel summarized the comments made by the panel and commended the architect on the development. A specific comment was made appreciating the subtle differences between the towers.

Minutes of Design Panel Meeting
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ITEM	MINUTE	SUBJECT	FILE
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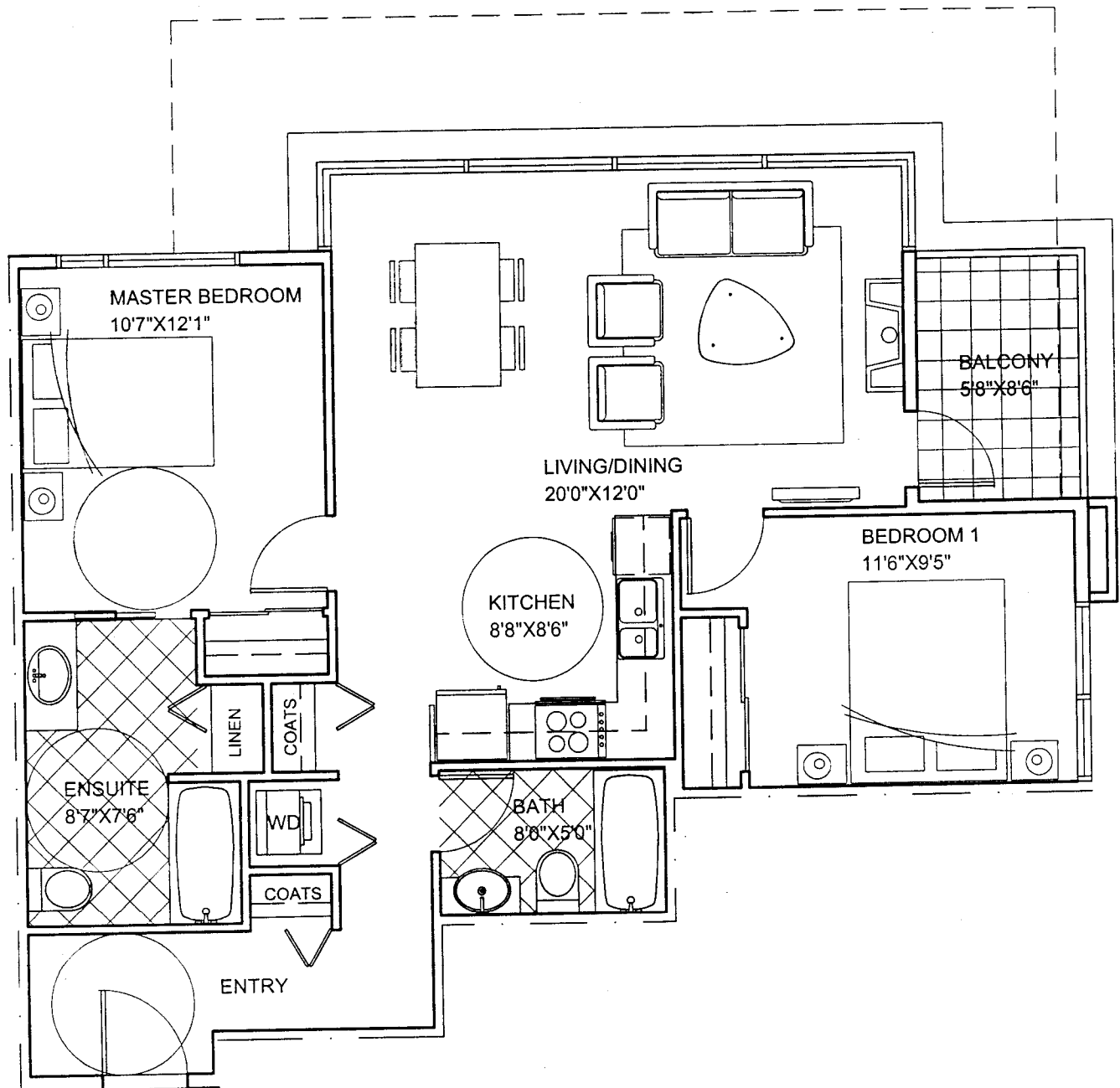
In response to panel comments, Mr. Gomberoff offered the following remarks.

- ❖ Acknowledged that work needed to be done to better articulate the townhouses within the interior courtyard.
- ❖ Offered the comment that there was a four ft grade difference between townhouse units facing the park and the level of a 15 m grass strip.

Discussion then ensued about Quorum. As no quorum was present for this project, the panel offered general comments to the architect. An issue that arose was determining whether the applicant would choose to make another presentation to the panel when a quorum was present.

As there was no quorum, no motion was brought forward by panel members.

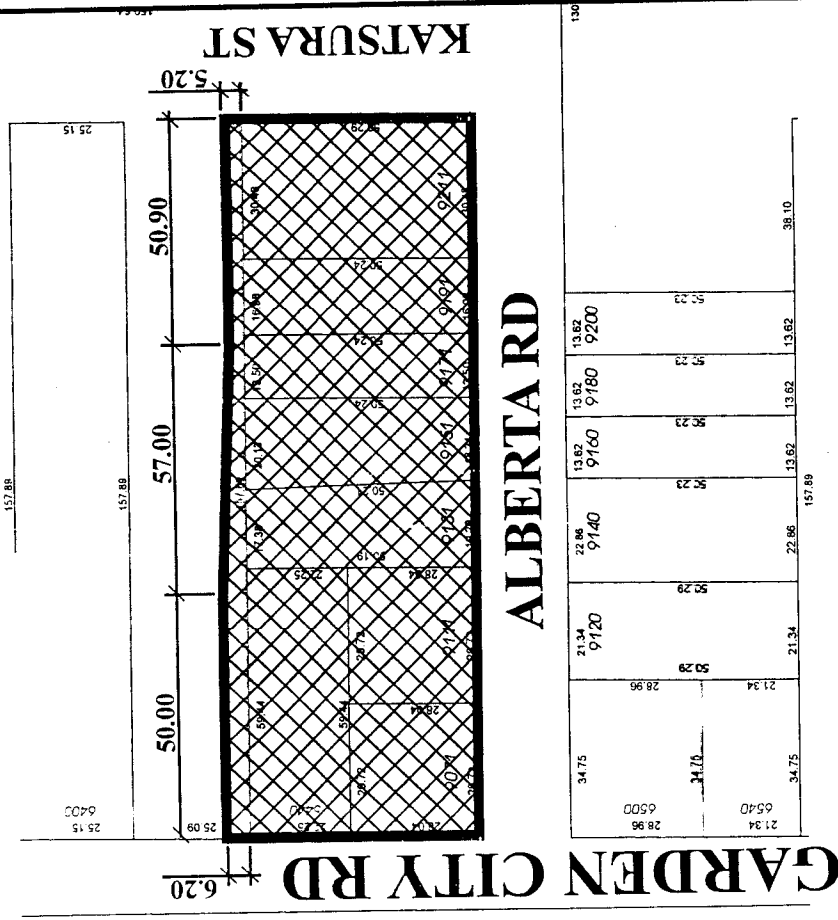
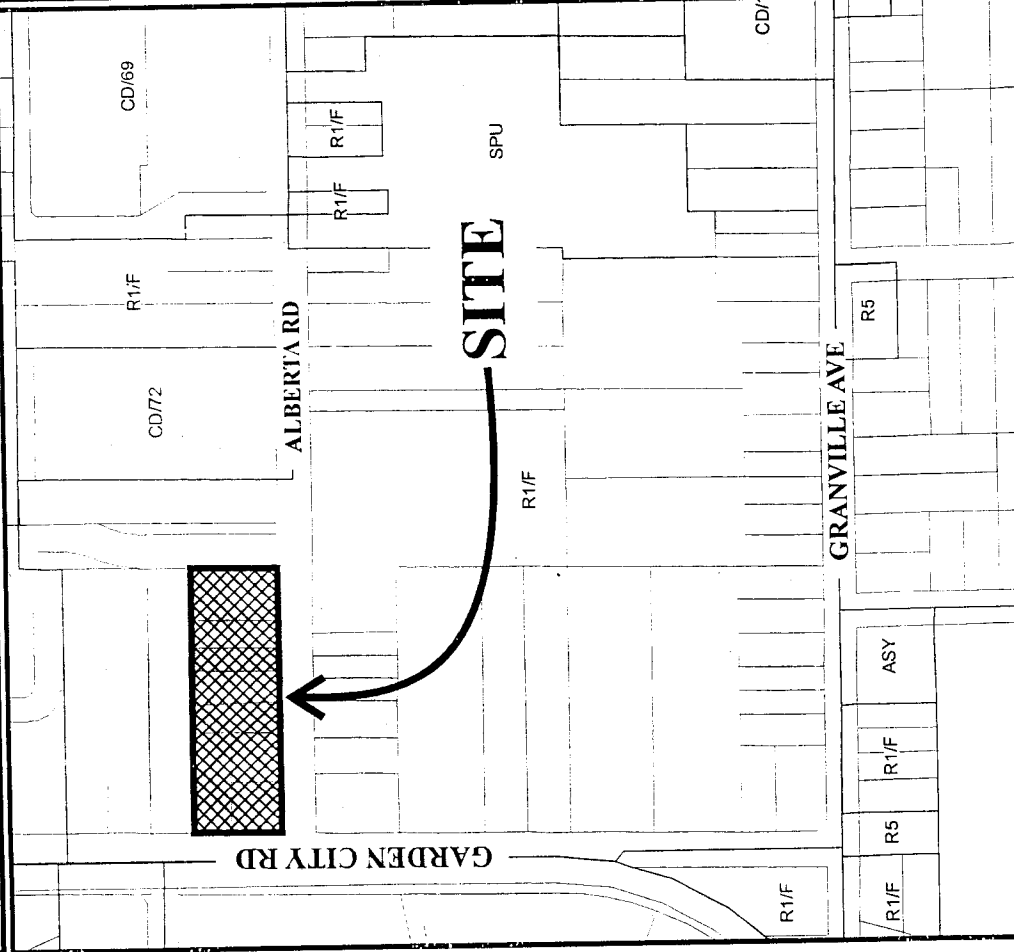
ATTACHMENT 3



UNIT B - ADAPTABLE
908.76 SF
COOK ROAD
DP 04-272603



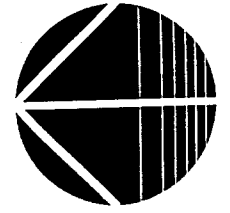
City of Richmond



ALBERTA RD

GARDEN CITY RD

KATSURA ST



DP 04-272603 SCHEDULE "A"

Original Date: 07/13/04
Revision Date: 12/20/04
Note: Dimensions are in METRES



City of Richmond
Urban Development Division

Development Permit

No. DP 04-272603

To the Holder: 528450 B.C. Ltd.

Property Address: 6440 Garden City Road and 9071, 9111, 9131, 9151, 9171, 9191
and 9211 Alberta Road

Address: 260-11590 Cambie Street
Richmond, BC V6X 3Z5

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning and Development Bylaw No. 5300" is hereby varied or supplemented as follows:
 - a) The dimension and siting of buildings and structures on the land shall be generally in accordance with Plan #1a-i attached hereto.
 - b) The siting and design of off-street parking and loading facilities shall be generally in accordance with Plan #1d and 1e attached hereto.
 - c) Landscaping and screening shall be provided around the different uses generally in accordance with the standards shown on Plan #2a-c attached hereto.
 - d) Roads and parking areas shall be paved in accordance with the standards shown on Plan #1d,e and f attached hereto.
 - e) Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
 - f) Subject to Section 692 of the Local Government Act, R.S.B.C., the building shall be constructed generally in accordance with Plans #3 to #9 attached hereto.
4. As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder, or should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.

Development Permit

No. DP 04-272603

To the Holder: 528450 B.C. Ltd.

Property Address: 6440 Garden City Road and 9071, 9111, 9131, 9151, 9171, 9191
and 9211 Alberta Road

Address: 260-11590 Cambie Street
Richmond, BC V6X 3Z5

There is filed accordingly:

An Irrevocable Letter of Credit in the amount of \$499,164 for the development.

5. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



NOTES

NO	DATE	DESCRIPTION	AMOUNT	BALANCE
1	1980-01-01	Initial Investment	100000	100000
2	1980-01-15	Interest Income	5000	105000
3	1980-02-01	Dividend Payment	(2000)	103000
4	1980-03-01	Capital Gain	15000	118000
5	1980-04-01	Interest Income	5000	123000
6	1980-05-01	Dividend Payment	(2000)	121000
7	1980-06-01	Capital Gain	15000	136000
8	1980-07-01	Interest Income	5000	141000
9	1980-08-01	Dividend Payment	(2000)	139000
10	1980-09-01	Capital Gain	15000	154000
11	1980-10-01	Interest Income	5000	159000
12	1980-11-01	Dividend Payment	(2000)	157000
13	1980-12-01	Capital Gain	15000	172000
14	1981-01-01	Interest Income	5000	177000
15	1981-02-01	Dividend Payment	(2000)	175000
16	1981-03-01	Capital Gain	15000	190000
17	1981-04-01	Interest Income	5000	195000
18	1981-05-01	Dividend Payment	(2000)	193000
19	1981-06-01	Capital Gain	15000	208000
20	1981-07-01	Interest Income	5000	213000
21	1981-08-01	Dividend Payment	(2000)	211000
22	1981-09-01	Capital Gain	15000	226000
23	1981-10-01	Interest Income	5000	231000
24	1981-11-01	Dividend Payment	(2000)	229000
25	1981-12-01	Capital Gain	15000	244000
26	1982-01-01	Interest Income	5000	249000
27	1982-02-01	Dividend Payment	(2000)	247000
28	1982-03-01	Capital Gain	15000	262000
29	1982-04-01	Interest Income	5000	267000
30	1982-05-01	Dividend Payment	(2000)	265000
31	1982-06-01	Capital Gain	15000	280000
32	1982-07-01	Interest Income	5000	285000
33	1982-08-01	Dividend Payment	(2000)	283000
34	1982-09-01	Capital Gain	15000	298000
35	1982-10-01	Interest Income	5000	303000
36	1982-11-01	Dividend Payment	(2000)	301000
37	1982-12-01	Capital Gain	15000	316000
38	1983-01-01	Interest Income	5000	321000
39	1983-02-01	Dividend Payment	(2000)	319000
40	1983-03-01	Capital Gain	15000	334000
41	1983-04-01	Interest Income	5000	339000
42	1983-05-01	Dividend Payment	(2000)	337000
43	1983-06-01	Capital Gain	15000	352000
44	1983-07-01	Interest Income	5000	357000
45	1983-08-01	Dividend Payment	(2000)	355000
46	1983-09-01	Capital Gain	15000	370000
47	1983-10-01	Interest Income	5000	375000
48	1983-11-01	Dividend Payment	(2000)	373000
49	1983-12-01	Capital Gain	15000	388000
50	1984-01-01	Interest Income	5000	393000

" GARDEN CITY "
6440 GARDEN CITY ROAD
RICHMOND, BC

FOR:
CHANDI ER KATSURA DEVELOPMENTS INC.

GROUND FLOOR
PI LEVEL

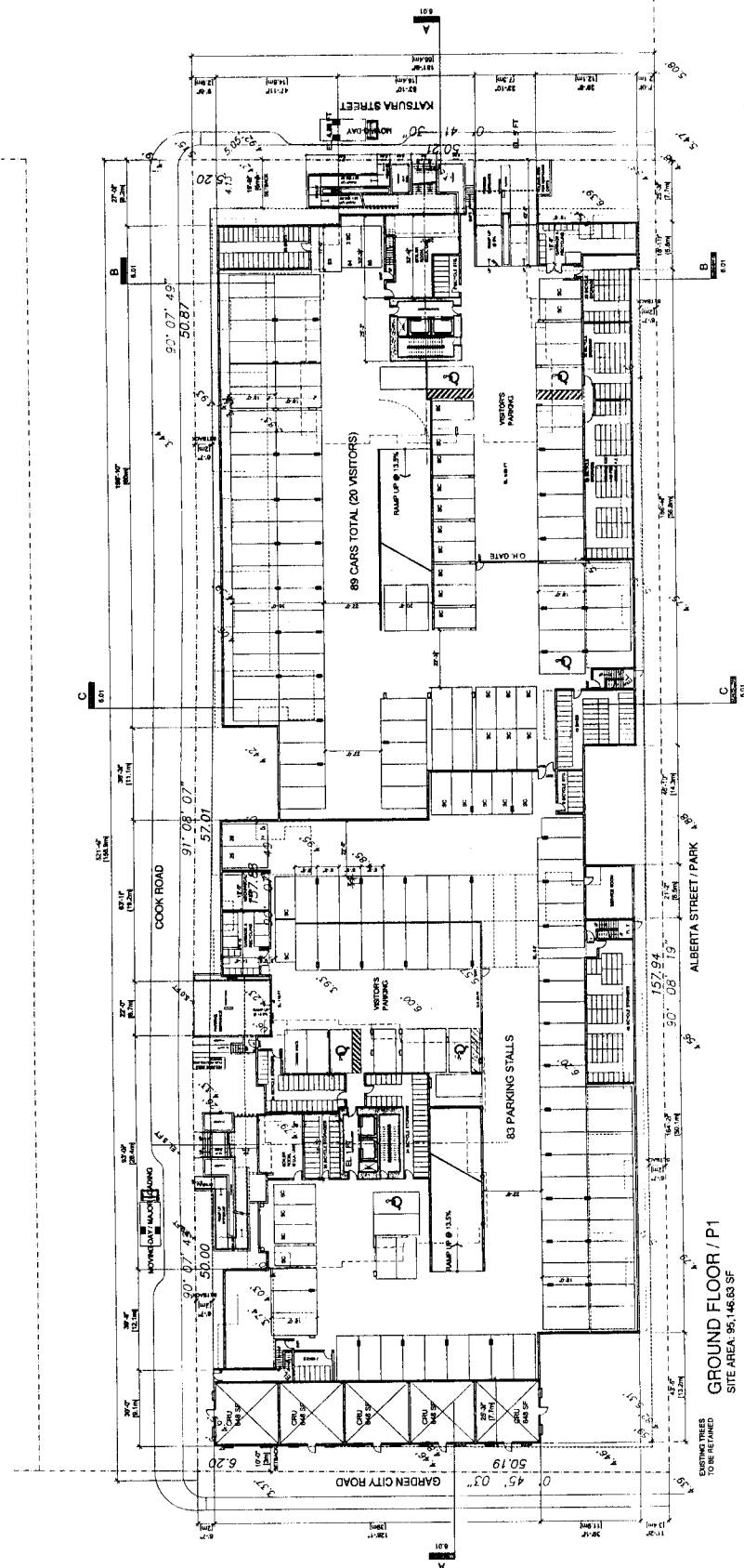
DATE	DATE
DRAWN BY	ALL BR
CHECKED BY	JC
SCALE	1"=20' 0"
PLOTTED	NOV 28 2004
CAD FILE	482-GROUND.DWG
JOB NUMBER	0402

A-3.01

#10

JAN 12 2005
DP 04272603

GROUND FLOOR / P1
SITE AREA: 95,146.63 SF





NOTES

LEGEND

* GARDEN CITY *
1400 GARDEN CITY ROAD
VICHMOND, BC

SHAWEN KATSURU DEVELOPMENTS INC.

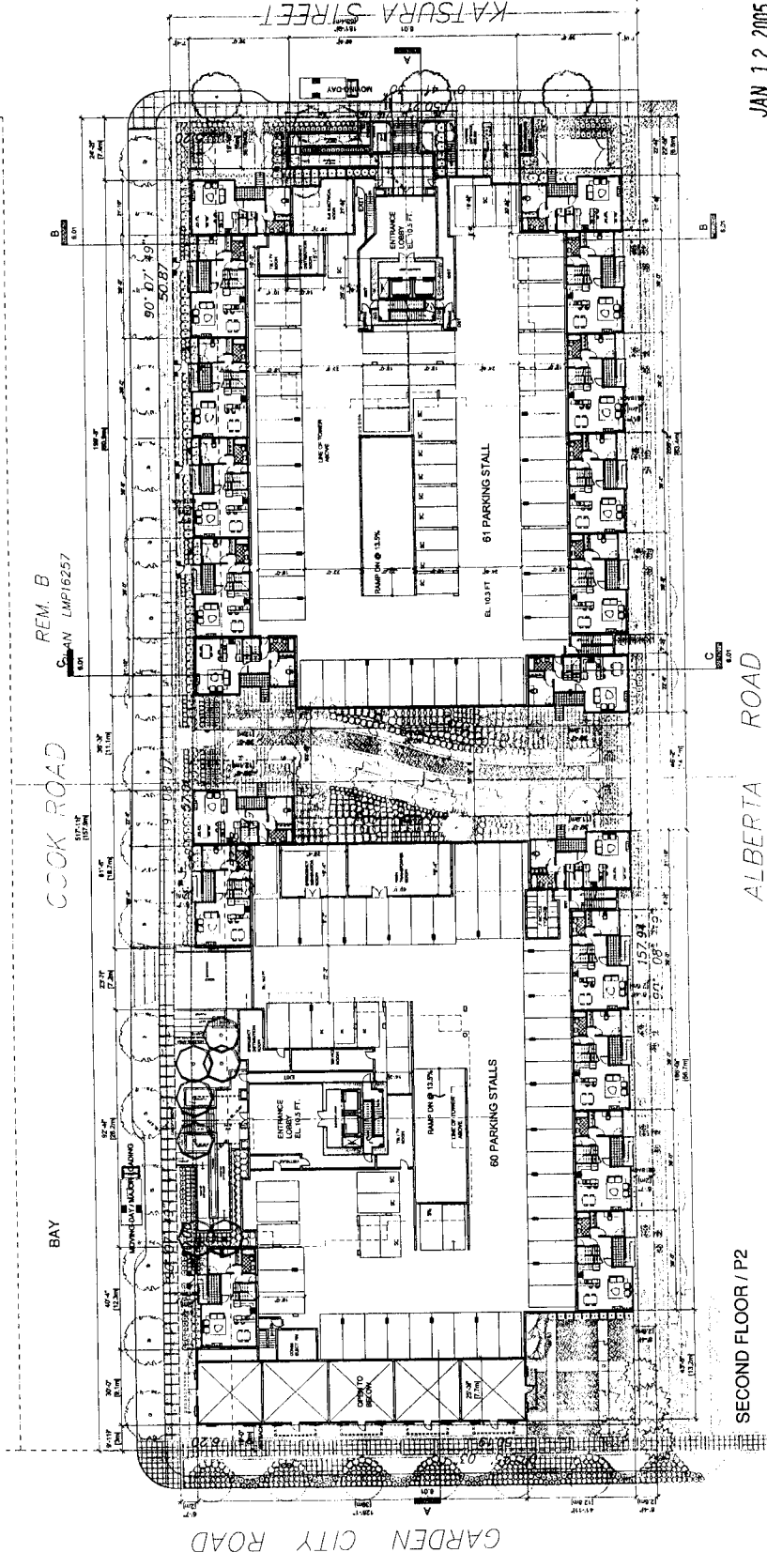
2ND FLOOR
F2 LEVEL

JAN 12 2005

DP 04272603

#10

A-3.02



SECOND FLOOR / P2



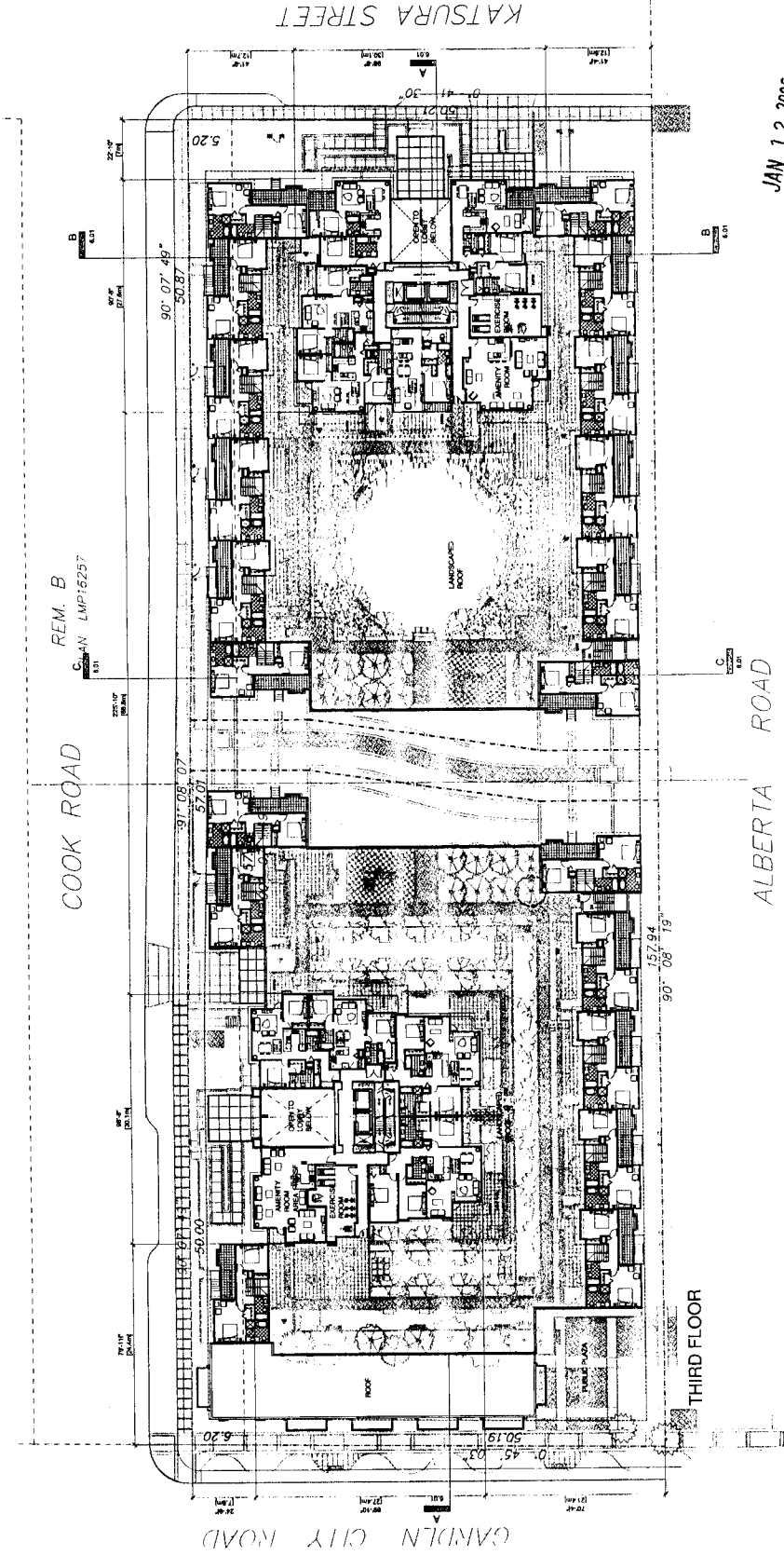
NOTES

LEGEND
 DIMENSIONS
 FINISHES
 MATERIALS
 ELEVATIONS

"GARDEN CITY"
 640 GARDEN CITY ROAD
 RICHMOND, BC
 FOR
 CHANDLER KATSURA DEVELOPMENTS INC.
 3RD FLOOR

DATE	04/02
DRAWN BY	ALB
CHECKED BY	ALB
DESIGNED BY	ALB
NOTED BY	ALB
CAD FILE	0402
JOB NUMBER	0402

A-3.03



JAN 12 2005
 DP 04272603
 #1e



NOTES

1

REVISIONS		DATE	BY	REASON
1		04/02/2018	WJL	Initial Design
2		04/02/2018	WJL	Initial Design

"GARDEN CITY"
6440 GARDEN CITY ROAD
RICHMOND, BC

FOR
CHANDLER KATSURA DEVELOPMENTS INC.

TYPICAL FLOOR

DATE	DATE	0402
ALL BR	ALL BR	
PC	PC	
1-25-87	1-25-87	
NOV 24 2004	NOV 24 2004	
400-TYPICAL-2004C	400-TYPICAL-2004C	
DATE	DATE	
ALL BR	ALL BR	
PC	PC	
1-25-87	1-25-87	
NOV 24 2004	NOV 24 2004	
400-TYPICAL-2004C	400-TYPICAL-2004C	

A-3.04

DP 04272603 JAN 12 2005 #1f



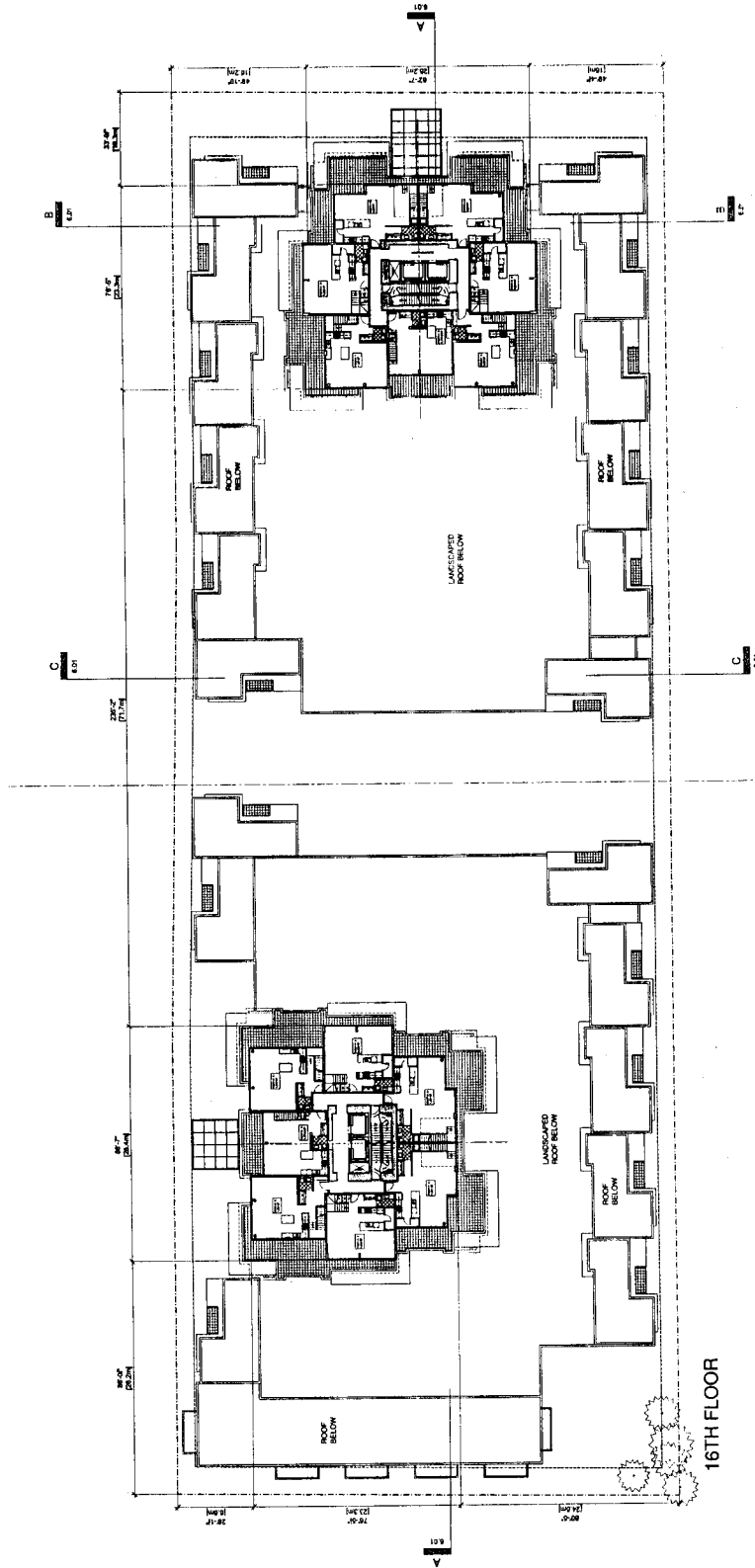
NOTES
 1. REFER TO SHEET A-3.05 FOR GENERAL NOTES.

REVISIONS
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 10. REVISION

"GARDEN CITY"
 4440 GARDEN CITY ROAD
 RICHMOND, BC
 FOR CONSULTATION DEVELOPMENTS INC.
 16TH FLOOR

DATE	12/12/05
DESIGNED BY	A.E.B.
CHECKED BY	T.M.P.
SCALE	1/8" = 1'-0"
PROJECT	16TH FLOOR
CLIENT	DEVELOPMENTS INC.
JOB NUMBER	0402

A-3.05



JAN 12 2005
 DP 04212005
 #19



NOTES

• **10/10/2014**

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[illegible]

" GARDEN CITY "
6440 GARDEN CITY ROAD
RICHMOND, BC

FOR:
CHANDLER KATSURA DEVELOPMENTS INC.

17TH FLOOR

DATE	DATE
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[illegible]

SCALE

Florida

04

A-3.06

51

DP 04272603
JAN 12 2005

17TH FLOOR



NOTES

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CONCLUSIONS

NO	DATE	DESCRIPTION	AMOUNT	CHECK NO	BANK	INTEREST	TOTAL
1	10/1/01	DEPOSIT	100.00				100.00
2	10/1/01	DEPOSIT	100.00				200.00
3	10/1/01	DEPOSIT	100.00				300.00
4	10/1/01	DEPOSIT	100.00				400.00
5	10/1/01	DEPOSIT	100.00				500.00
6	10/1/01	DEPOSIT	100.00				600.00
7	10/1/01	DEPOSIT	100.00				700.00
8	10/1/01	DEPOSIT	100.00				800.00
9	10/1/01	DEPOSIT	100.00				900.00
10	10/1/01	DEPOSIT	100.00				1000.00
11	10/1/01	DEPOSIT	100.00				1100.00
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13	10/1/01	DEPOSIT	100.00				1300.00
14	10/1/01	DEPOSIT	100.00				1400.00
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17	10/1/01	DEPOSIT	100.00				1700.00
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19	10/1/01	DEPOSIT	100.00				1900.00
20	10/1/01	DEPOSIT	100.00				2000.00
21	10/1/01	DEPOSIT	100.00				2100.00
22	10/1/01	DEPOSIT	100.00				2200.00
23	10/1/01	DEPOSIT	100.00				2300.00
24	10/1/01	DEPOSIT	100.00				2400.00
25	10/1/01	DEPOSIT	100.00				2500.00
26	10/1/01	DEPOSIT	100.00				2600.00
27	10/1/01	DEPOSIT	100.00				2700.00
28	10/1/01	DEPOSIT	100.00				2800.00
29	10/1/01	DEPOSIT	100.00				2900.00
30	10/1/01	DEPOSIT	100.00				3000.00
31	10/1/01	DEPOSIT	100.00				3100.00
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44	10/1/01	DEPOSIT	100.00				4400.00
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46	10/1/01	DEPOSIT	100.00				4600.00
47	10/1/01	DEPOSIT	100.00				4700.00
48	10/1/01	DEPOSIT	100.00				4800.00
49	10/1/01	DEPOSIT	100.00				4900.00
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51	10/1/01	DEPOSIT	100.00				5100.00
52	10/1/01	DEPOSIT	100.00				5200.00
53	10/1/01	DEPOSIT	100.00				5300.00

" GARDEN CITY "
6440 GARDEN CITY ROAD
RICHMOND, BC

FOR: CHANDLER KATSURA DEVELOPMENTS INC.

ROOF PLAN

JAN 12 2005

DP 04272603

#

A-3.07

16TH FLOOR



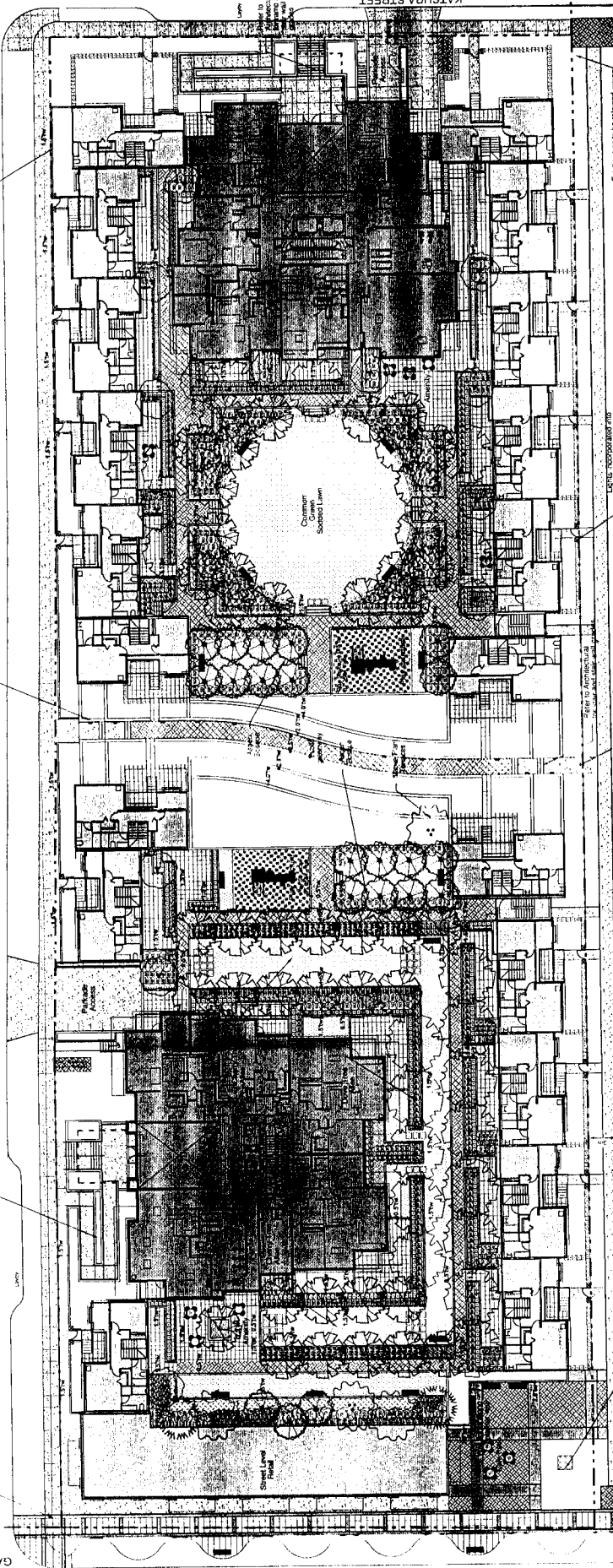
Paying Payroll As the City Of Richmond Standard
 Course Now In Actual Payroll On Blue Invoices IN The
 Standard With The 2 Set Monthly
 In Progressed Second Course With No "Trade" Man's
 At 60 Second 2 Sets 2 Course Above Students at 1st
 Trade with Students
 2nd and 3rd Years To Be Assigned With Special List 1st

Refer to Architectural for ramp and stair wall grades.

CCCCROH

ALLENBURY, J. and
BUONICCONTI, R.

July 1993 along

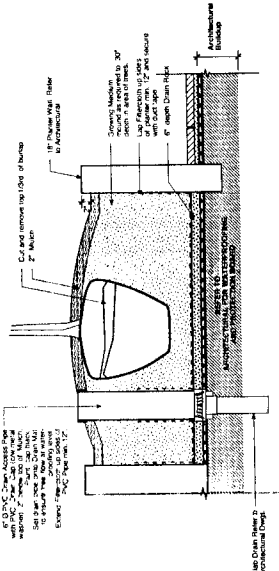
Public Art Installation
 40.000000

All work within the 17m Alberta Road R.O.W. to be performed by the City of Richmond

Garden City Park

[illegible]

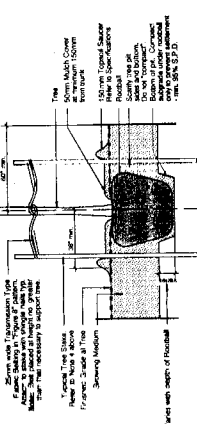
JAN 12 2005 DP 04272503 = 26



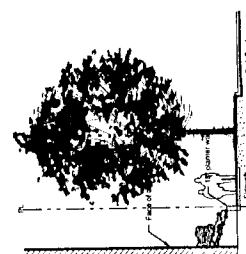
U3
L3
Typical Planter Wall & Tree Planting on Slab w/ Drain Access Pipe
Scale 1" = 1'-0"

Quantity of Components	Area (MS)	Size of Surface (Square)	Size of Surface (Circle)
600	8.33	2.9 M x 1.3 M	3.25 M.D

- Notes:**
1. Do not fill the planter with soil during planting. Gravel needed protected from sun, frost & compaction.
 2. Gravel should be placed in the planter to a depth of 12" above the drain access pipe. Gravel should be compacted in 4" lifts.
 3. Gravel should be placed in the planter to a depth of 12" above the drain access pipe. Gravel should be compacted in 4" lifts.
 4. Gravel should be placed in the planter to a depth of 12" above the drain access pipe. Gravel should be compacted in 4" lifts.
 5. Gravel should be placed in the planter to a depth of 12" above the drain access pipe. Gravel should be compacted in 4" lifts.
 6. Gravel should be placed in the planter to a depth of 12" above the drain access pipe. Gravel should be compacted in 4" lifts.
 7. Gravel should be placed in the planter to a depth of 12" above the drain access pipe. Gravel should be compacted in 4" lifts.
 8. Gravel should be placed in the planter to a depth of 12" above the drain access pipe. Gravel should be compacted in 4" lifts.
 9. Gravel should be placed in the planter to a depth of 12" above the drain access pipe. Gravel should be compacted in 4" lifts.
 10. Gravel should be placed in the planter to a depth of 12" above the drain access pipe. Gravel should be compacted in 4" lifts.



U4
L3
Typical Tree Planting Detail
Scale: NTS



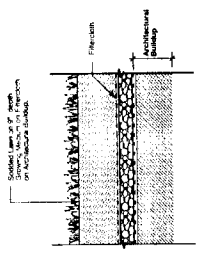
Section A-A Ground level north farmhouse looking West
Scale: 1" = 1'-0"

JAN 12 2005

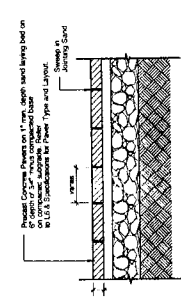
04272603

#20

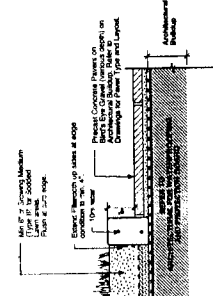
L-4



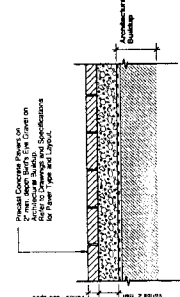
U3
L3
Sodded Lawn on Slab
Scale 1" = 1'-0"



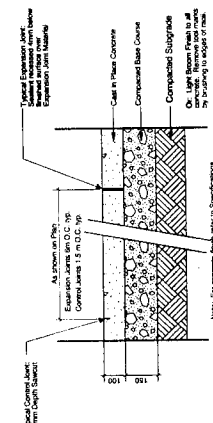
U4
L3
Precast Concrete Pavement on Grade
Scale 1" = 1'-0"



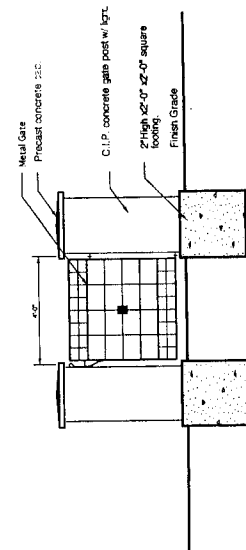
U4
L3
Sodded Lawn on Slab
Scale 1" = 1'-0"



U3
L3
Precast Concrete Pavement on Slab
Scale 1" = 1'-0"

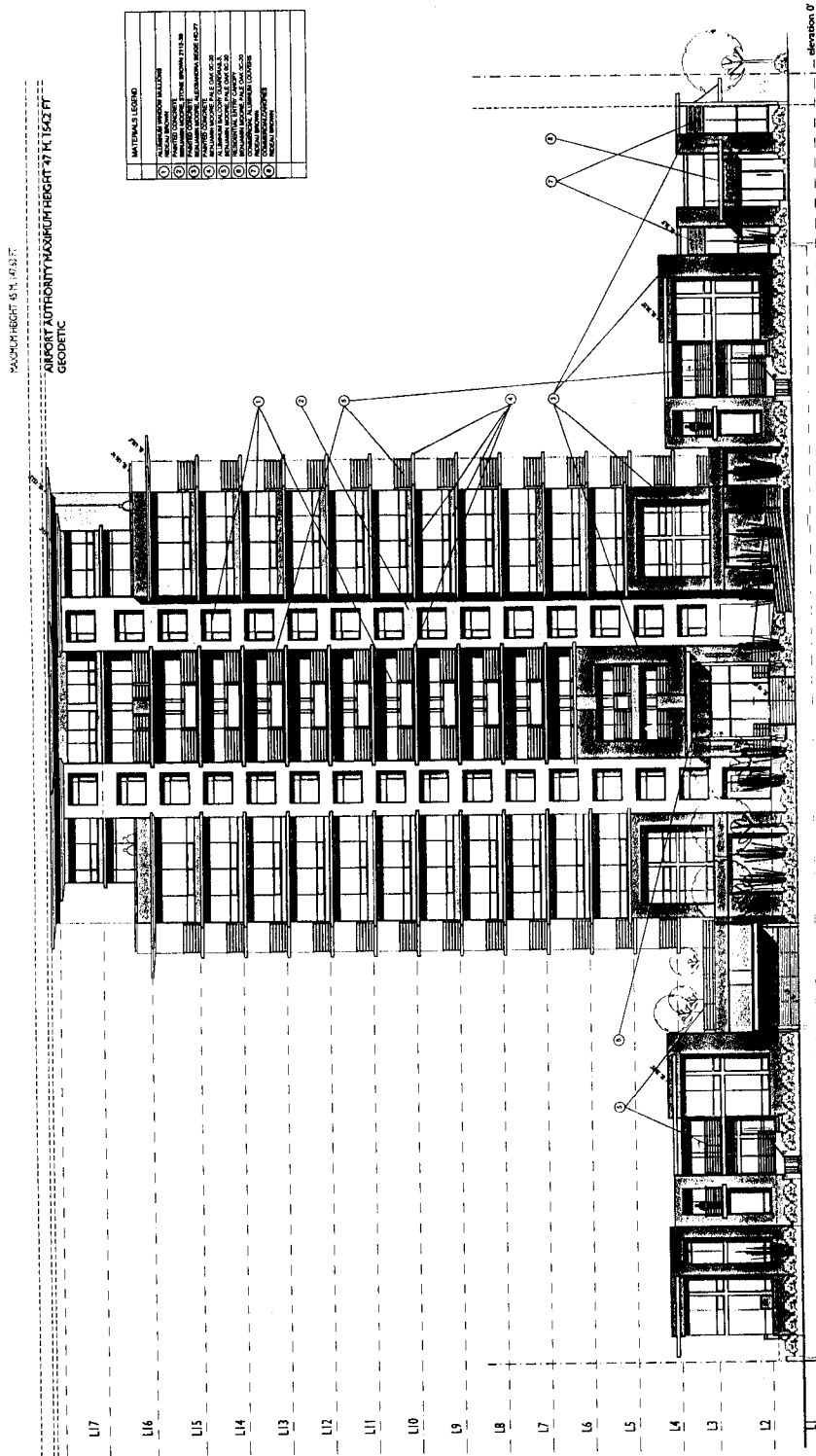


U4
L3
Concrete Paving
Scale 1" = 1'-0"



U4
L3
Metal Gate and Entry Columns
Scale 1" = 1'-0"

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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FRONT ELEVATION ALONG COOK ROAD
TOWER A

JAN 12 2005
 DP 04272603

#3

A-5.01

NOTES

1. SEE ELEVATION

ELEVATIONS

- 1. SEE ELEVATION
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- 17. SEE ELEVATION

*** GARDEN CITY ***
 540 GARDEN CITY ROAD
 RICHMOND, BC
 FOR
 CHANDLER KATSURA DEVELOPMENTS INC.
ELEVATIONS

DATE JAN 12 2005
DESIGNED BY ABL
PROJECT NO. 04272603
CAD FILE 0402
CH. NO. 0402



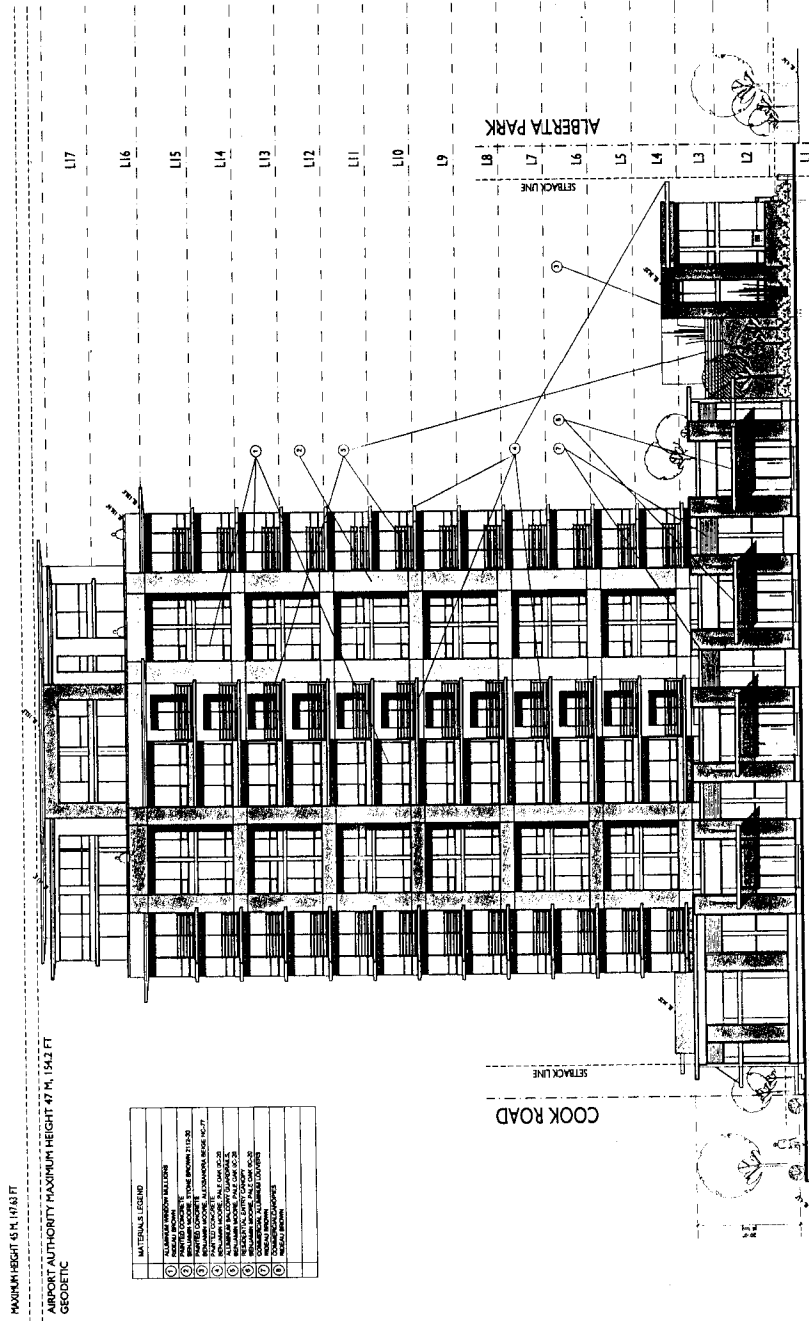
NOTES

REVISIONS

GARDEN CITY
6440 GARDEN CITY ROAD
RICHMOND, BC
FOR
CHARLES KATZURA DEVELOPMENTS INC.
ELEVATIONS

DATE: JAN 12 2005
DRAWN BY: J. B. B.
CHECKED BY: J. B. B.
PROJECT NO.: 0402
JOB NO.: 0402
JOB NAME: 0402

A-5.02



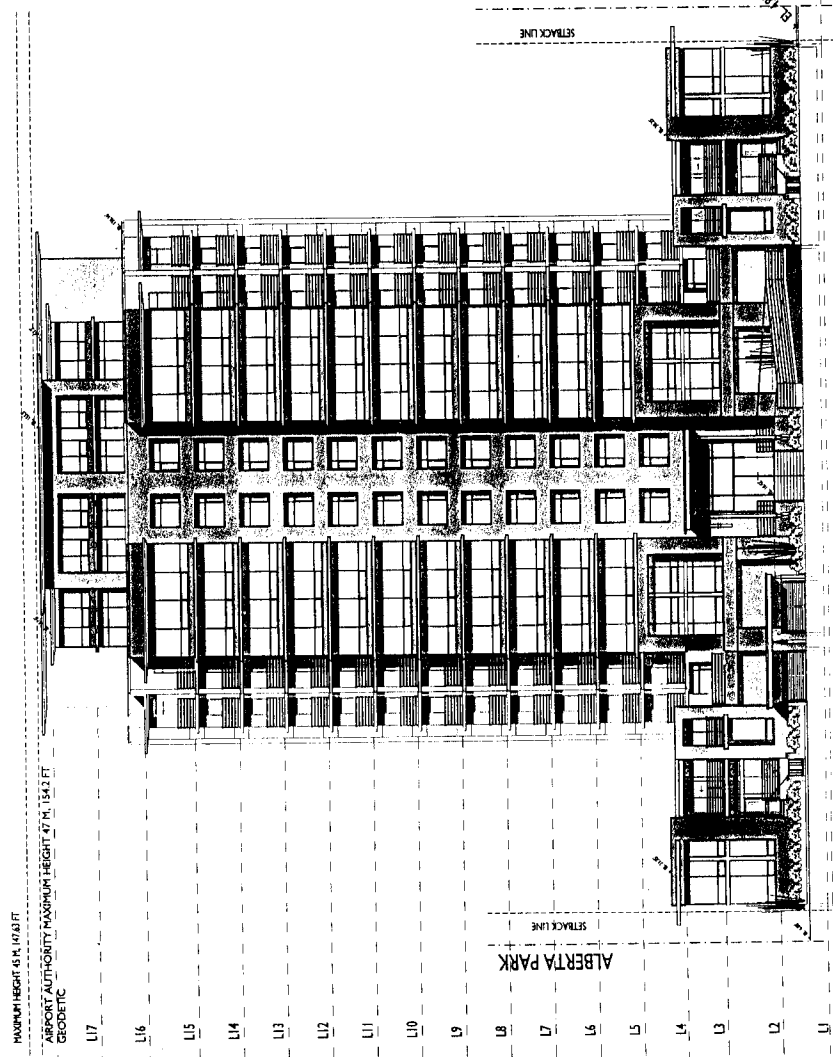
SIDE ELEVATION ALONG GARDEN CITY ROAD
TOWER A

DR 04272603
#4

MATERIALS / LEGEND	
1	CLADDING / WINDOW WALLS
2	PAINTED CONCRETE / WINDOW WALLS
3	PAINTED CONCRETE / WINDOW WALLS
4	PAINTED CONCRETE / WINDOW WALLS
5	PAINTED CONCRETE / WINDOW WALLS
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15	PAINTED CONCRETE / WINDOW WALLS
16	PAINTED CONCRETE / WINDOW WALLS
17	PAINTED CONCRETE / WINDOW WALLS

MAXIMUM HEIGHT 65 M (213 FT)

AIRPORT AUTHORITY MAXIMUM HEIGHT 47 M (154 FT)
GEODETIC



FRONT ELEVATION ALONG KATSURA STREET
TOWER B

JAN 12 2005

D? 04272603

#5

A-5.03

NOTES

1. SEE ARCHITECT'S NOTES

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100. SEE ARCHITECT'S NOTES

"GARDEN CITY"
 6440 GARDEN CITY ROAD
 RICHMOND, BC
 FOR: CHANGLER KATSURA DEVELOPMENTS INC.
 ELEVATIONS

DATE	JAN 12
DESIGNED BY	GCBL
CHECKED BY	GCBL
PLOTTED	GCBL
DATE PLOTTED	0402
DATE PLOTTED	0402



JAN 12 2005

DP 04272603

04

A-5.04

"GARDEN CITY"
6440 GARDEN CITY ROAD
RICHMOND, BC
FOR:
CHANDLER KATSURA DEVELOPMENTS INC.
ELEVATIONS

DATE	DATE
DRAWN BY	AS BE
CHECKED BY	PC
SCALE	1/2"=1'-0"
PLOTTED	NOV 24 2004
CAD FILE	402-BLACK-TELEWING
JOB NUMBER	0402



NOTES

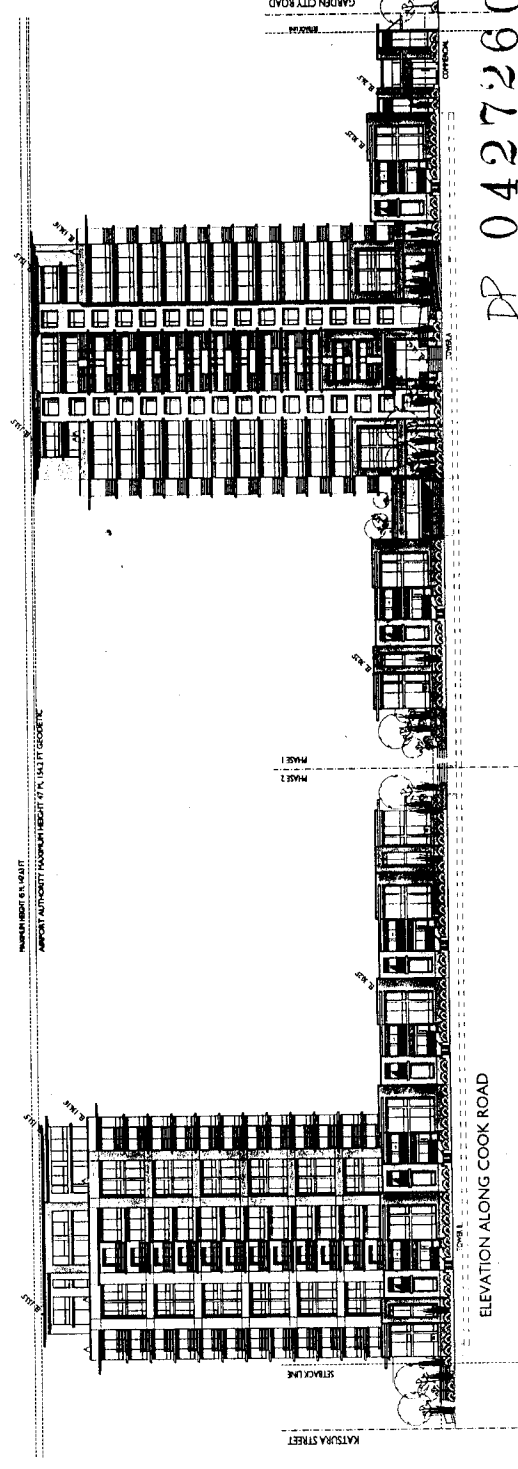
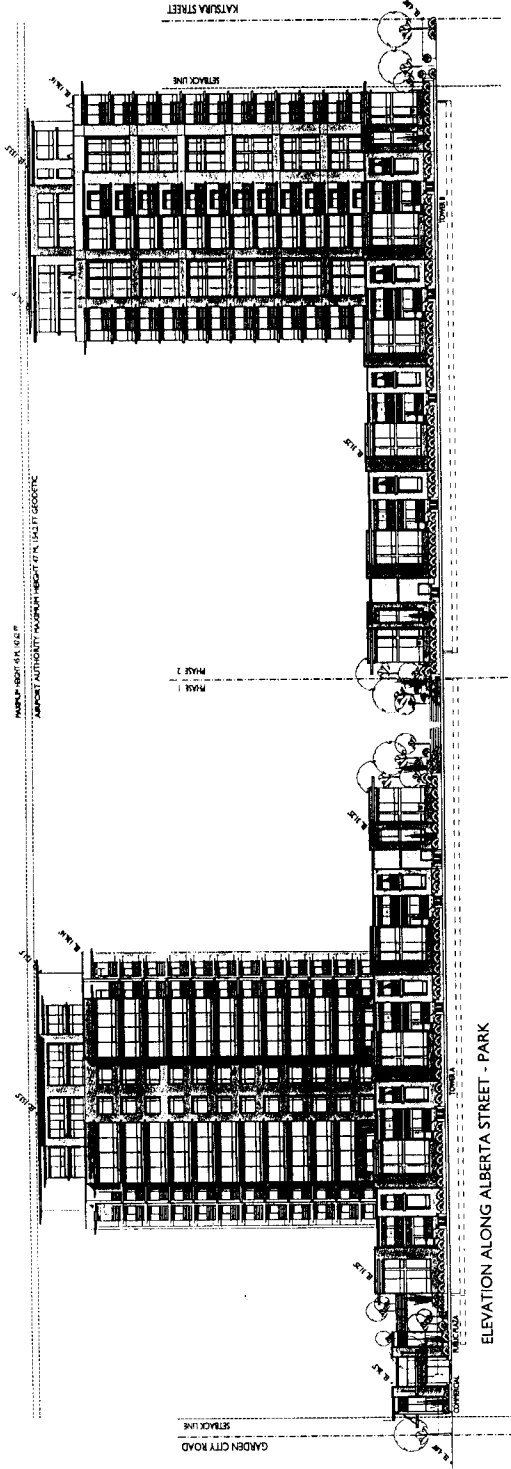
10. REFERENCES

NO	DATE	DESCRIPTION	AMOUNT	BALANCE
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2	1992-01-15	Payment received	25.00	125.00
3	1992-02-01	Interest payment	5.00	130.00
4	1992-02-15	Payment received	10.00	140.00
5	1992-03-01	Interest payment	5.00	145.00
6	1992-03-15	Payment received	15.00	160.00
7	1992-04-01	Interest payment	5.00	165.00
8	1992-04-15	Payment received	20.00	185.00
9	1992-05-01	Interest payment	5.00	190.00
10	1992-05-15	Payment received	25.00	215.00
11	1992-06-01	Interest payment	5.00	220.00
12	1992-06-15	Payment received	30.00	250.00
13	1992-07-01	Interest payment	5.00	255.00
14	1992-07-15	Payment received	35.00	290.00
15	1992-08-01	Interest payment	5.00	295.00
16	1992-08-15	Payment received	40.00	335.00
17	1992-09-01	Interest payment	5.00	340.00
18	1992-09-15	Payment received	45.00	385.00
19	1992-10-01	Interest payment	5.00	390.00
20	1992-10-15	Payment received	50.00	440.00
21	1992-11-01	Interest payment	5.00	445.00
22	1992-11-15	Payment received	55.00	500.00
23	1992-12-01	Interest payment	5.00	505.00
24	1992-12-15	Payment received	60.00	565.00
25	1993-01-01	Interest payment	5.00	570.00
26	1993-01-15	Payment received	65.00	635.00
27	1993-02-01	Interest payment	5.00	640.00
28	1993-02-15	Payment received	70.00	710.00
29	1993-03-01	Interest payment	5.00	715.00
30	1993-03-15	Payment received	75.00	790.00
31	1993-04-01	Interest payment	5.00	795.00
32	1993-04-15	Payment received	80.00	875.00
33	1993-05-01	Interest payment	5.00	880.00
34	1993-05-15	Payment received	85.00	965.00
35	1993-06-01	Interest payment	5.00	970.00
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37	1993-07-01	Interest payment	5.00	1065.00
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44	1993-10-15	Payment received	110.00	1490.00
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47	1993-12-01	Interest payment	5.00	1615.00
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49	1994-01-01	Interest payment	5.00	1740.00
50	1994-01-15	Payment received	125.00	1865.00
51	1994-02-01	Interest payment	5.00	1870.00
52	1994-02-15	Payment received	130.00	2000.00
53	1994-03-01	Interest payment	5.00	2005.00
54	1994-03-15	Payment received	135.00	2140.00
55	1994-04-01	Interest payment	5.00	2145.00
56	1994-04-15	Payment received	140.00	2285.00
57	1994-05-01	Interest payment	5.00	2290.00
58	1994-05-15	Payment received	145.00	2435.00
59	1994-06-01	Interest payment	5.00	2440.00
60	1994-06-15	Payment received	150.00	2590.00
61	1994-07-01	Interest payment	5.00	2595.00
62	1994-07-15	Payment received	155.00	2750.00
63	1994-08-01	Interest payment	5.00	2755.00
64	1994-08-15	Payment received	160.00	2915.00
65	1994-09-01	Interest payment	5.00	2920.00

"GARDEN CITY"
6440 GARDEN CITY ROAD
RICHMOND, BC
FOR: CHANDLER KATSURA DEVELOPMENTS INC.
ELEVATIONS

DATE	DATE
DRAWN BY	AN ER
CHECKED BY	JG
SCALE	3/32"=1'-0"
PLOTTED	FEB 18 2004
CAD FILE	400-01-STREETSCAPE.DWG
JOB NUMBER	0402

A-5.05



JAN 12 2005

04272603

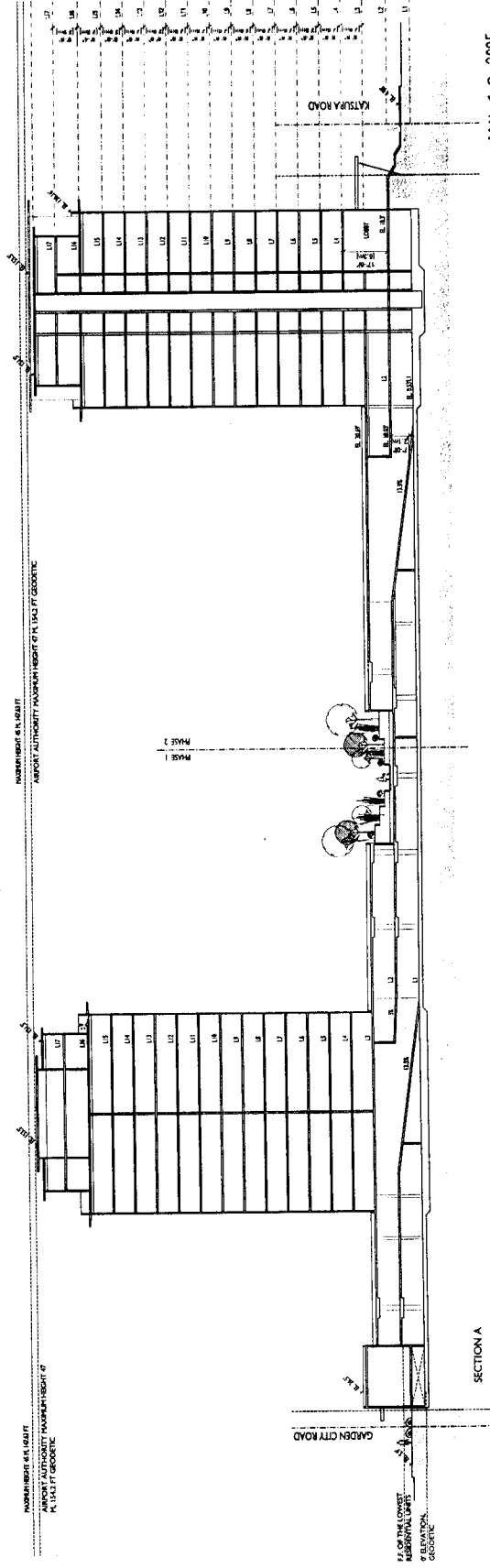
17
18



COMPANY FALL 2014 PROJECT GROUP #10
ARCHITECT: gBL
DATE: 10/15/14
PROJECT: 640 GARDEN CITY ROAD
RICHMOND, BC
DRAWN BY: [Name]
CHECKED BY: [Name]
DATE: 10/15/14

NOTES
1. SEE SHEET 0402 FOR SECTION A

REVISIONS
1. SEE SHEET 0402 FOR SECTION A

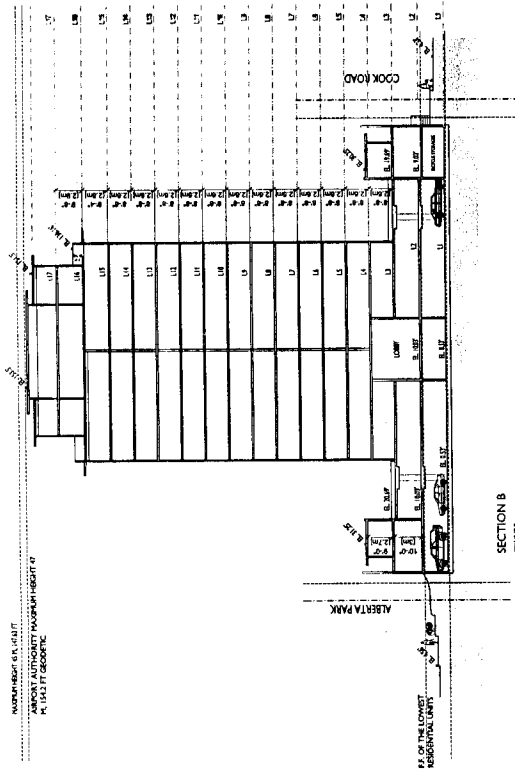


JAN 12 2005
DP 04272603
#8

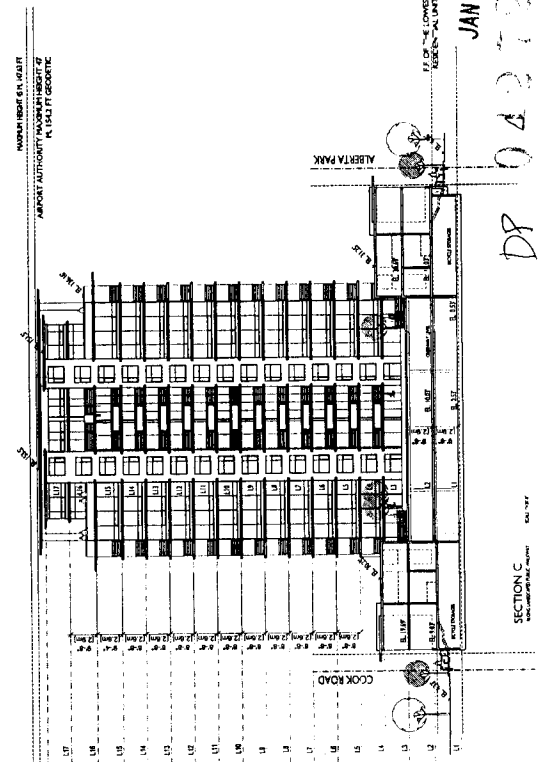
"GARDEN CITY"
640 GARDEN CITY ROAD
RICHMOND, BC
FOR: CHAMBER KATSUPA DEVELOPMENTS INC.
SECTION

DATE: 10/15/14
DRAWN BY: [Name]
CHECKED BY: [Name]
PROJECT: 640 GARDEN CITY ROAD
RICHMOND, BC
DATE: 10/15/14

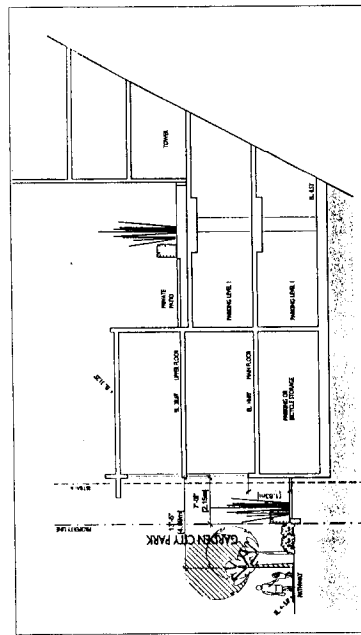
A-6.01



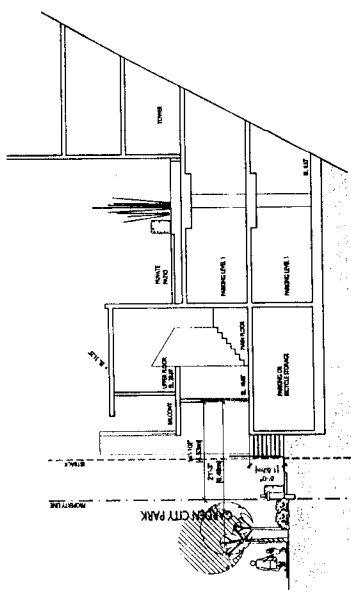
SECTION B
 ELEVATION



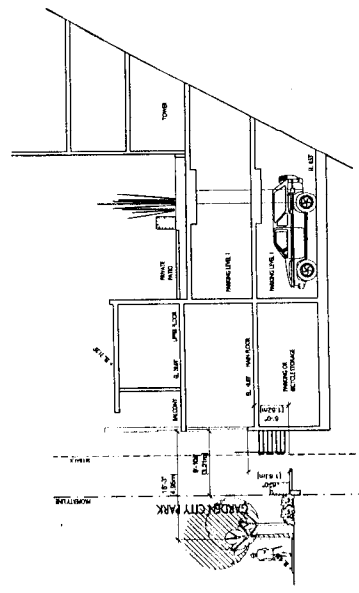
SECTION C
 ELEVATION



TYPICAL TOWNHOUSE SECTION AT SOUTH (PARK) EDGE
 SCALE 1/8"=1'-0"



TYPICAL TOWNHOUSE SECTION AT SOUTH (PARK) EDGE



TYPICAL TOWNHOUSE SECTION AT SOUTH (PARK) EDGE

"GARDEN CITY"
 6440 GARDEN CITY ROAD
 RICHMOND, BC
 FOR: CHAMBERLAIN DEVELOPMENTS INC.
 SECTIONS B & C
 DATE: JAN 12 2005
 CHECKED BY: [Signature]
 SCALE: 1/8"=1'-0"
 DRAWN BY: [Signature]
 0402
 JAN 12 2005
 #9
 A-6.02