



City of Richmond
Urban Development Division

Report to Development Permit Panel

To: Development Permit Panel
From: Raul Allueva
Director of Development
Date: July 30, 2004
File: DP 04-269797
Re: **Application by Hotson Bakker Boniface Haden Architects for a Development Permit at 14791 Steveston Highway**

Staff Recommendation

1. That a Development Permit be issued that would permit 211 dwelling units (67 rental and 144 market housing) in four, 4-storey multiple-family apartment buildings with underground parking on a site zoned Comprehensive Development District (CD/134); and
2. Vary the provisions of CD/134 to reduce the required parking for the entire site from the minimum required 460 to 420.

Raul Allueva
Director of Development

CA:blg
Attachments

Staff Report

Origin

Hotson Bakker Boniface Haden Architects has applied to the City of Richmond for permission to construct 211 dwelling units (67 rental and 144 market housing) in four separate 4-storey multiple-family apartment buildings with underground parking on a site zoned Comprehensive Development District (CD/134).

Development Information

Please refer to the proposed Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

The site was rezoned (RZ 03-234655) from “Athletics and Entertainment District (AE)” to “Comprehensive Development (CD/134) in November 2003.

Development surrounding the subject site is as follows:

- To the north: City owned properties that are zoned AE and designated “Commercial”;
- To the south: Fraser Wharves, zoned I2 (Light Industrial District);
- To the east: City owned property zoned AE; Fraser River; and
- To the west: CN Rail right-of-way and Riverport Entertainment Complex (zoned AE).

Rezoning and Public Hearing Results

The Public Hearing for the site was held on July 21, 2003. No issues were identified as part of the rezoning or Public Hearing for specific follow up at the Development Permit stage. The Riverport Landing development (to be renamed Waterstone Pier for marketing purposes) was envisioned to establish a residential waterfront community oriented to the river, and would include a significant waterfront amenity, including public walkways, viewing decks, and dock facilities. These public amenities are either under construction or have been fully secured through the Servicing Agreement process, and are of equal or, in some cases, greater quality than previously approved at the Rezoning stage. In particular, the proposed dock facility, will be more than two and a half times the size what was previously approved (351 sq.m/3,780 sq. ft. instead of 139 sq.m/1,500 sq. ft.).

Proposed Phasing

One of the components of the approved Rezoning application is the future development of a Port building, which will incorporate a variety of service commercial and dormitory housing to take advantage of the nearby athletic facilities at Riverport. The applicants propose to complete the current development in phases, starting from the north (east) end, to coordinate geotechnical issues, as well as to enable the market housing components to finance subsequent buildings and phases, including the rental housing and the athletic dormitory facilities in the Port building.

Commitment has been provided to complete the Port building, including the dormitory component, in the subsequent phase of development, and the applicants are presently conducting a market analysis to determine appropriate tenants and operational considerations for the commercial and residential dormitory facilities in the Port Building.

Staff Comments

The proposed scheme will establish a high-quality development in this area, and meets the intent of the applicable sections of the Official Community Plan (OCP) and applicable Development Permit Guidelines in Schedule 1 (9.2 General Guidelines, and 9.3 Multiple-Family Residential Guidelines). The plans attached to this report has satisfactorily addressed all the significant staff comments that were identified as part of the Development Permit application review process, as well as issues identified by the Advisory Design Panel, as noted below.

Zoning Compliance/Variances:

The proposed development fully complies with the provisions of the CD/134 District Schedule, with the exception of parking. The applicant has requested that a variance for the total number of parking spaces at full build-out of the entire site, including the last phase (future Port Building) to be considered as part of this Development Application, as discussed below.

Parking

Section 291.134.6 of the CD/134 Off-Street Parking provisions require that “Notwithstanding the above (provision of parking in accordance with Division 400 of the Zoning and Development Bylaw), a minimum of 460 off-street parking spaces shall be provided over Areas A, B and C (entire development site)”. The total parking required (460 stalls) would have been below the requirement in the Zoning and Development By-law (474), but was agreed to on the basis of a parking analysis conducted at the Rezoning stage, and staff was satisfied that the reduced parking along with parking on the new “dead end “ street would meet the operational demands of the site.

Since the Rezoning application was approved, the applicant has amended the mix of residential units in response to market changes, and thus affected the parking requirements, as noted below:

Use	Parking Requirements Previous Proposal (RZ 03-234655)	Parking Requirements Current Proposal (DP 04-269797)
Future Port Building (no change)	65	65
Rental building	(55 units) 94 spaces	(67 units) 114 spaces
Market housing	(185 units) 315 spaces	(144 units) 245 spaces
Total Required per Zoning Bylaw	474	424
Total Proposed on Site	460	420

The applicant proposes that the required parking for the project be allowed to comply generally with the Zoning and Development Bylaw requirement (424 total stalls required; applicant is providing 420) instead of the minimum required under the CD/134 bylaw (460 stalls required), which no longer is appropriate given the significant change in unit numbers and types. A revised

parking analysis has been conducted by a Consultant in support of the proposal. (**Staff comments in bold**)

(Staff support the proposed variance. Under the rezoning RZ 03-234655, 55 rental units (approximately 3,979 m²) and 185 market units (approximately 14,985 m²) were proposed. In the current Development Application, 67 rental units (4,345 m²) and 144 market units (15,130 m²) is proposed. The total increase in rental units, as well as the reduced floor area of these units, will result in a greater affordability of housing for the community.

The total proposed residential area has not been significantly altered. However, with the overall reduction of number of dwelling units, the parking requirements for the residential portions of the site, in accordance with the Zoning Bylaw provisions have been reduced from 409 (94 for the rental units and 315 for the market housing) to 359 (114 for the rental units and 245 for the market housing), with the requirements for the future Port Building remaining unchanged at 65.

The proposed parking reduction will fully meet the Zoning Bylaw requirements. The CD/134 minimum was approved as part of the original scheme to allow the applicant to provide less parking than required under the Zoning Bylaw, based on the findings of a Parking Study by Ward Consultants. The same consultant has provided an update as part of the current proposal, which has assessed the parking needs of the proposed uses including the future Port Building. Staff has reviewed the consultant's report and supports the reduction in the minimum parking requirements to meet Zoning Bylaw standards.)

Advisory Design Panel Comments

The proposed development was presented to the Advisory Design Panel on June 23, 2004. A copy of the Advisory Design Panel Minutes is attached for reference (**Attachment 2**). The Panel supported the development subject to having the applicant work with staff to address concerns including the incorporation of Crime Prevention Through Environmental Design (CPTED) principles to address mail theft, lighting and security; providing some accessible units; creating a better sense of entry to buildings and design detailing for Steveston Plaza and pedestrian nodes.

The applicant has successfully addressed the design comments as follows:

- To address the issue of mail theft, the entry lobbies have been re-designed in keeping with CPTED principles by bringing the mail area closer to the front entrance and ensuring this area is visible from outside;
- Outdoor lighting is being provided along all walkways between buildings, at the plaza and the pier, and on the public waterfront walkway on a 30m spacing, as required by the City;
- Accessible units are being provided in 5% of the 67-unit rental building, which will provide a flexible and convertible unit to serve a broad range of current or anticipated residents needs. These units are being designed utilizing the BC Housing

Accessible/Adaptable housing guidelines;

- The lobby entries have been redesigned to ensure that a proper coordination of building materials, stairs, ramps, planting, screening and canopy elements result in a more welcoming experience and better sense of arrival. The use of high quality materials and comfortable levels of lighting will also contribute to the improved sense of entry; and
- Revisions to the Steveston Plaza have been submitted as part of the waterfront development plans which form part of the Servicing Agreement, which include a greater level of detail and refinement to the public plaza.

On the basis of the resubmission, staff consider the revisions to satisfactorily address the design issues identified by staff and the Advisory Design Panel.

Analysis

Adjacency:

The site borders Steveston Highway and existing industrial area to the south, a vacant site owned by the city to the north, Canadian National Railway to the west and Fraser River to the east. The proposed development will have minimal adjacency impact on the surrounding development.

Acoustical measures will have to be incorporated into the residential building design to mitigate the noise impact from the CN rail and adjacent industrial activities at the Building Permit stage to ensure liveability for the units.

Urban Design and Site Planning:

The siting of the buildings are generally in compliance with the approved rezoning plans. The key feature is the open space plan which integrates publicly accessible privately owned areas on this site and the public waterfront walkway along the dyke.

Details of the amenities provided in the public portion of the waterfront open space are being addressed in the Servicing Agreement to ensure seamless transition in visual quality, operational needs, maintenance and accessibility to the public. Issuance of the Development Permit will be held pending approval of final design plans of the waterfront, and completion of the Servicing Agreement. Financial performance securities for the waterfront amenity area were previously secured at the Rezoning stage.

The development is designed with an adult orientation because it is not within walking distance from elementary and secondary schools. Adjacent amenities include a variety of entertainment options available along Entertainment Boulevard (theatres, sports and eating establishments).

Architectural Form & Character:

The proposed architecture takes its cue from the surrounding maritime industrial context by using industrial building materials and simple forms and architectural expressions. The material includes galvanized steel accents and sunshades, painted hardi-plank cladding, coloured glass panels on the balconies and stone cladding. The building facades include significant amount of glazing to take advantage of view and natural daylight.

The entry expression to the individual buildings has been strengthened through variations and coordination in materials, colours, landscaping, canopies and other elements to provide an improved sense of entry. Locating the mail area closer to the lobbies, and incorporating windows in the stairwells and underground parkade lobbies, have addressed CPTED issues. The incorporation of light colour paint, installation of adequate lighting in the underground parkade, as well as the coordination of lighting along the waterfront walkway and private landscaped areas fronting the walkway, also helps to improve surveillance.

Landscape and Open Space:

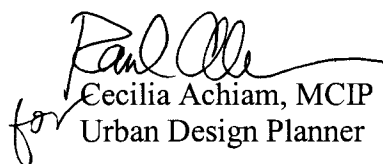
The proposed landscape scheme focuses on creating transition between public/semi-public and private open spaces. The edges of the site and along the waterfront walkway and pedestrian connections from Riverport Way to the waterfront walkway are well landscaped with shade trees, a variety of plant materials, and opportunities for informal gathering. Lighting has been incorporated into these areas to provide a sense of security for night use.

The proposed landscaping includes a diversity of formally arranged ornamental trees and plant material that will create a landscape with a variety of texture and seasonal colours.

Conclusions

The siting, form and character, and architectural expressions are generally in accordance with the overall intent and quality approved at the rezoning stage, and will be of significant quality. The amendments to the mix of housing units will result in a greater supply of affordable housing in this area. The development of the public waterfront amenities, including public walkway, viewing platforms and significantly expanded dock facility, will be secured prior to issuance of this Development Permit. Overall, this development will achieve the expected or increased level of quality for the waterfront in this location, and will provide additional housing choices to the residents of Richmond, and satisfies the conditions approved by Council at the Rezoning stage.

On this basis, staff recommend approval of this Development Permit application.


for Cecilia Achiam, MCIP
Urban Design Planner

CA:blg

Attachments:

- Project Data Summary
- Advisory Design Panel Minutes

The following conditions are required to be met prior to forwarding this application to Council for approval:

- A Letter of Credit for \$413,666 for landscaping
- Prior to the issuance of the Building Permit:
- Applicant to submit a noise impact study, prior to Building Permit issuance, prepared by an accredited acoustical engineer, to ensure that the construction will comply with appropriate noise mitigation measures (CMHC Rail and Noise Transmission Standards).



City of Richmond

6911 No. 3 Road
Richmond, BC V6Y 2C1

**Development Application
Data Sheet
Development Applications Department**

DP 04-269797

Attachment 1

Address: 14791 Steveston Highway

Applicant: HOTSON BAKKER BONIFACE HADEN ARCHITECTS Owner: Legacy Park Lands Ltd

Planning Area(s): N/A

	Existing	Proposed
Site Size:	Area B: 2993 m ² (32, 216 sf) Area C: 10,126 m ² (108,995 sf)	Area B: 2993 m ² (32, 216 sf) Area C: 10,126 m ² (108,995 sf)
Land Uses	Area B: Multi-Family Rental Area C: Multi-Family Condo	Area B: Multi-Family Rental Area C: Multi-Family Condo
OCP Designation	Limited Mixed Use	Limited Mixed Use
Zoning	CD/134	CD/134
Number of Units	Vacant	Area B: 67 Rental Area C: 144 Condo

	Bylaw Requirement (CD/134)	Proposed	Variance
Floor Area Ratio:	Area B: 1.5 Area C: 1.6	Area B: 1.45 Area C: 1.49	
Lot Coverage – Building:	Area B: 36 % Area C: 40 %	Area B: 36% Area C: 37%	
Setback – Riverport Way setback: Front Yard:	Area B: 5.0 m Area C: 5.0 m	Area B: 5.0 m Area C: 5.0 m	
Setback – Side Yard(North): – Side Yard(South):	Area B: 4.5 m Area C: 6.0 m Area B: 4.5 m Area C: 6.0 m	Area B: 4.5 m Area C: 6.0 m Area B: 4.5 m Area C: 6.0 m	
Setback – Rear Yard:	Area B: n/a Area C: n/a	Area B: n/a Area C: n/a	
Height (m):	Area B: 15.0 m Area C: 15.0 m	Area B: 15.0 m Area C: 15.0 m	
Lot Size:	N/A		
Off-street Parking Spaces – Regular/Visitor:	Area B (rental): 101/13 Area C (market): 216/29	Area B (rental): 100/13 Area C (market): 214/29	
Off-street Parking Spaces – Accessible:	Area B (rental): 2 Area C (market): 5	Area B (rental): 3 Area C (market): 6	
Off-street Parking Spaces – Total:	Total: 460	Area B (rental): 113 Area C (market): 243 Future Port Site: 64 Total: 420 (By-law requirement: 424)	40 stall variance (Total provided generally meets By-law requirements)
Amenity Space – Indoor:	100 m ²	in lieu	public waterfront walkway*
Amenity Space – Outdoor:		ok	public waterfront walkway

PARTIAL MINUTES FROM THE DESIGN PANEL MEETING

Wednesday June 23rd, 2004 – 4:00 p.m.

Rm. 1.003

RICHMOND CITY HALL

1. 2004-29

Apartments

Hotson Bakker Boniface Haden Architects.
14791 Steveston Highway (River Port)
(Formal)

DP 04-269797

Ms. Achiam, Planner, briefly reviewed this apartment project at 14791 Steveston Highway (Riverport) (a copy of her review is attached as Schedule 1 and forms a part of these minutes). She advised that the developer needed to celebrate the terminus of Steveston Highway in a more elaborate way, and to address the integration of the public walkway with privately owned land. She noted that overhead lights should be provided along the public walkway.

With the aid of presentation material and a model, Mr. Norm Hotson, Architect, advised that this development consisted of four apartment buildings, one of which was a rental apartment. There would be a dormitory to support out-of-town athletes and visitors who needed to use Riverport Sports and recreation facilities. The development would provide a generously scaled public waterfront walkway along the river which would be integrated into the city's public trail system.

Joe Fry, Landscape Architect advised that the estuary inspired landscape would be incorporated into plantings. Public and private space would be delineated and removable bollards would be used for pedestrian/vehicular separation. The walkway along the waterfront would be edged with ornamental plants and perennials. Loc block walls and possibly a fence, would be used to separate the CN right of way.

The panel proffered the following comments:

- ❖ the sidewalk connection on Steveston Highway should be enhanced;
- ❖ a stronger link should be developed from the Plaza to Silver City;
- ❖ the exit doors seemed to have greater presence than the entrance;
- ❖ there were no accessible units – the second bathroom in condo 2.3 could be made accessible;
- ❖ it was a good project;
- ❖ mail boxes, in buildings B and C should be placed in the lobby, these should be of sturdy construction and have locks which were difficult to

Minutes of Design Panel Meeting
Wednesday June 23rd, 2004
Meeting Room 1.003, 1st Floor, Richmond City Hall

ITEM	MINUTE	SUBJECT	FILE
------	--------	---------	------

pry open, stairwells and exit doors needed windows; laundry room in the rental building should have windows, consideration should be given to electronic rather than key access; and the public space lighting should be at both low and high levels (a copy of Constable Martin's comments are attached as Schedule 2 and forms a part of these minutes);

- ❖ consideration should be give to developing rooftops for amenity space;
- ❖ the plaza needed softening up with greenery;
- ❖ consideration should be given to putting in a fountain or other public art feature in the plaza;
- ❖ a play area with equipment should be developed and be tied into the pedestrian and bicycle use area;
- ❖ benches should be appropriately placed for public amenity use;
- ❖ there were no accessible units;
- ❖ was it possible to dissuade people from using the railway tracks to get to Silver City;
- ❖ there should be a second access to Silver City – the north building was too far away from the present access point;

In summary Chair advised that the presentation quality was excellent. He was concerned that there was not enough detail about the building elevations. The elements of landscape were good, the applicant should consider having a second crossing to Silver City, and create a better sense of entry for the buildings. Septed's comments should be taken into consideration.

In response, the applicant stated that he appreciated the Panel's comments which will be taken into consideration. He noted that a fence was needed to separate the CN Rail right of way and also noted that residents of the north building could walk over to Silver City on an informal basis.

It was moved and seconded

1. ***That the project go forward subject to the applicant:***
 - (a) ***incorporating Crime Prevention Through Environmental Design (CPTED) principles to address concerns regarding mailboxes, security windows, and lighting into the project;***
 - (b) ***providing some accessible units;***
 - (c) ***creating a better sense of entry to buildings with the next level of detail;***
 - (d) ***placing a greater emphasis on Steveston Plaza;and***
 - (e) ***developing the pedestrian nodes further.***



To the Holder: HOTSON BAKKER BONIFACE HADEN ARCHITECTS

Property Address: 14791 STEVESTON HIGHWAY

Address: 406-611 ALEXANDER STREET
VANCOUVER, BC V6A 1E1

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning and Development Bylaw No. 5300" is hereby varied or supplemented as follows:
 - a) The dimension and siting of buildings and structures on the land shall be generally in accordance with Plan #1 and 2 attached hereto.
 - b) The siting and design of off-street parking and loading facilities shall be generally in accordance with Plan #2 and 3 attached hereto.
 - c) Landscaping and screening shall be provided around the different uses generally in accordance with the standards shown on Plan #4a to 4h attached hereto.
 - d) Roads and parking areas shall be paved in accordance with the standards shown on Plan #3 and 4a attached hereto.
 - e) Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
 - f) Subject to Section 692 of the Local Government Act, R.S.B.C., the building shall be constructed generally in accordance with Plans #5a and 5b to #8a and 8b attached hereto.
4. As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder, or should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.

Development Permit

No. DP 04-269797

To the Holder: HOTSON BAKKER BONIFACE HADEN ARCHITECTS
Property Address: 14791 STEVESTON HIGHWAY
Address: 406-611 ALEXANDER STREET
VANCOUVER, BC V6A 1E1

There is filed accordingly:

An Irrevocable Letter of Credit in the amount of \$ 413,666.

5. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

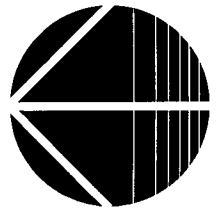
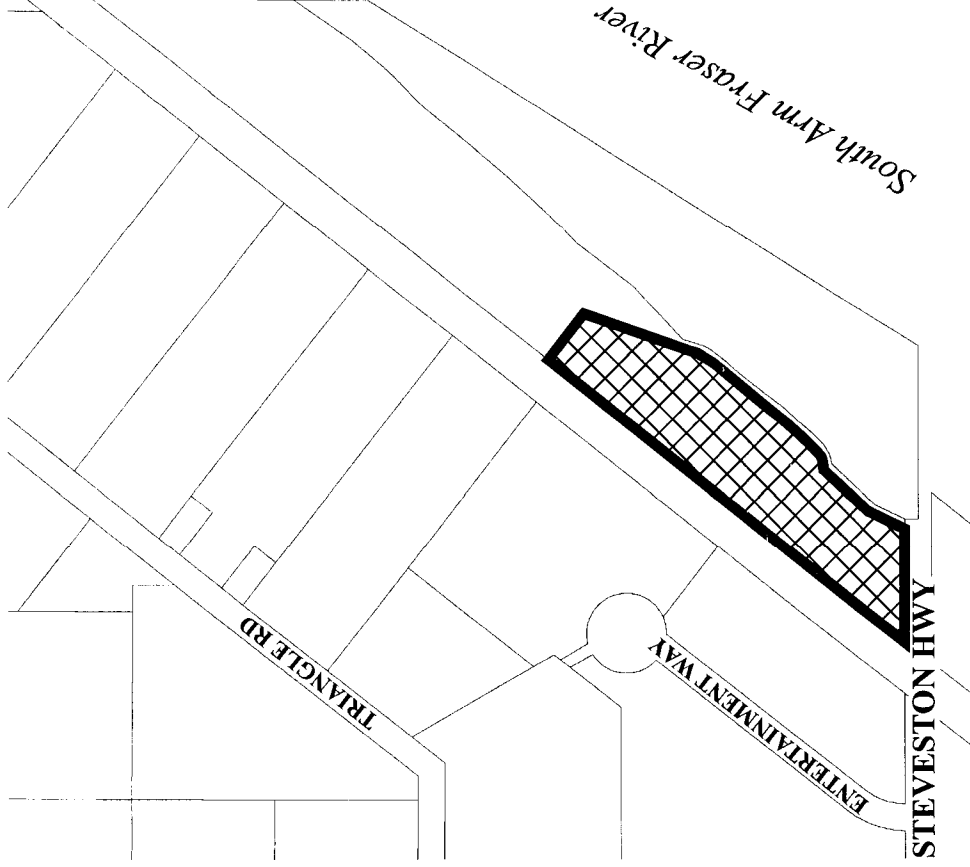
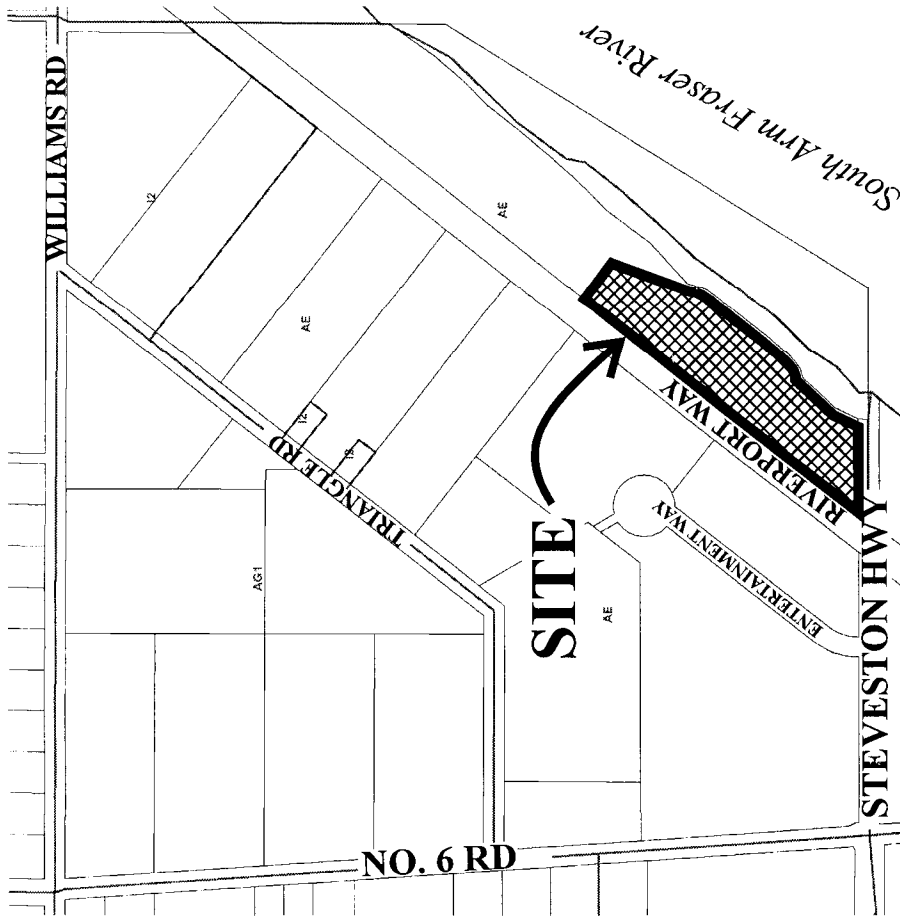
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond

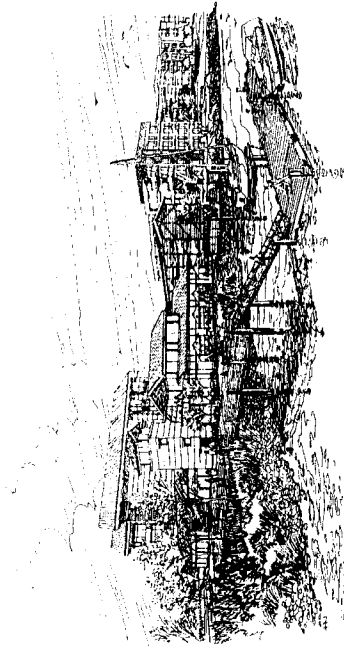


DP 04-269797 SCHEDULE "A"

Original Date: 05/14/04

Revision Date: 08/04/04

Note: Dimensions are in METRES



Waterstone Pier

Legacy Park Lands Ltd.

Address:
15011 and 14791 Seveston Highway, Richmond, B.C.

Legal:
Parcel D 884N, Sec. 31 82W, NW1D, except Plan M4 652P, Rd. 32258
LWP 47461 and Lot 2 31411 Plan DW 47461, Sec. 31 82W, NW1D

Client

Legacy Park Lands Ltd.
419 Pacific Street
Richmond, BC V6W 1V2
Contact: Kim Wolman
kim.wolman@lplws.net

Management

Reidin Development Management
419 Pacific Street
Richmond, BC V6W 1V2
Contact: Joe Robinson
joe@reiddev.com

Marketing

Renew Marketing Systems
604 887 2008 fax
Vancouver, BC V6C 1V5
Contact: Bob Rayna
bob@renew.com

Graphics

Letterbox
11501 West 5th Avenue
Vancouver, BC V6J 1P2
Contact: Dan Horvath
dan@letterboxdesign.com

Interiors

Craine Owen Interiors Design
1660 118th West, Georgia Street
Vancouver, BC V6E 4A2
Contact: Craine Owen
crao@crainowen.com

Consultant Team

Architect

Nelson Baker Architects Modern Architects
406 81 Alexander Street
Vancouver, BC V6A 1E1
Contact: Norm Hodson
norm@nelsonbaker.com
Stephane Lavoie
stephane@nelsonbaker.com
Sarah Henschel
sarah@nelsonbaker.com

Landscape

Phillips Planning Smallenberg
2277 West Street
Vancouver, BC V6K 3H1
Contact: Chris Phillips
chris@ppsb.ca
Joseph Fry
joseph@ppsb.ca

Structural

Glenora Sheehan Consulting Engineers
101 1181 West 5th Avenue
Vancouver, BC V6J 1N2
Contact: Glenora Sheehan
glenora@sheehan-engineers.com
Jim DeRoche
jim@sheehan-engineers.com

Mechanical

VEL Engineering
305 625 Howe Street
Vancouver, BC V6C 2T6
Contact: Jim DeRoche
jim@vel-engineering.com

Electrical

Pispl Lawfordwell Ltd.
210-109 Broad Street
Vancouver, BC V6L 3H4
Contact: Glenn Generation
glenn@pispl.com

Civil

M.P.T. Engineering Co. Ltd.
210-811 Cook Road
Richmond, BC V6Y 3T3
Contact: Mark Wallis
mark@mpet.com

Geotechnical Environmental

Golder Associates
500 - 680 5th Street
Burnaby, BC V5C 0C8
Contact: Neil Mallen
neilmallen@golder.com
msmallen@golder.com

Code

Loise Mackinnon Demings O'Beon & Assoc. Ltd.
4th Floor, 780 Beatty Street
Vancouver, BC V6B 2M1
Contact: Frank Macle
frank@lmd.com
Cecilia Tripp
cecilia@lmd.com

Building Envelope

Advanced Consultants Ltd.
210 300 1st Street
Dalla, BC V6M 3V9
Contact: Chris Lohr
chris@advanced.com

Acoustic

Brown Strachan Associates
1290 Home Street
Vancouver, BC V6B 5T5
Contact: David Brown
david@bsa.com

Traffic

Ward Consulting Group
520 - 1211 W. Pender Street
Vancouver, BC V6E 1S7
Contact: David Brown
david@ward.com

Marine

Seabak Systems Inc.
1000 1st Street
Richmond, BC V6V 1W2
Contact: Mark Wallis
mark@seabak.com

AUG 25 2004

04269197

3-August 2004



100-1515 Main Street
 Vancouver, BC Canada, V6A 1E1
 Tel: 604.251.1199
 Fax: 604.251.1190
 E: info@hoitsonbakker.com

Site Areas

Site area	224,227 Sq.ft.
Port building site	55,147 sq.ft.
Condominium site	22,245 Sq.ft.
Public dedication	168,895 Sq.ft.
Total	54,871 Sq.ft.

Parkade Areas

Parkade L1	126,592 Sq.ft.
Parkade L2	21,706 Sq.ft.
Total	148,297 Sq.ft.

Condominium L1	79,812 Sq.ft.
Rental L1	25,093 Sq.ft.
Rental L2	21,706 Sq.ft.
Future Port Building	21,880 Sq.ft.
Total	148,297 Sq.ft.

Rental Building Areas

Ground Floor	11,851 Sq.ft.
Second Floor	11,730 Sq.ft.
Third Floor	11,752 Sq.ft.
Fourth Floor	11,746 Sq.ft.
Total	46,179 Sq.ft.
Site area	32,216 Sq.ft.
FAR	1.45
Max. lot coverage	36%
Setback front	5m (16.404')
Setback side	4.5m (14.764')
Max. height	15m (49.213')

Rental Building Units

Studios	5 units
One bedrooms	42 units
Two bedrooms	20 units
Total	67 units

Rental Building Parking

Required Parking	67 units
Residential units	100 stalls
Visitor	13 stalls
Total	114 stalls
Total HC (2%)	3 stalls

Provided parking in parkade

Small stalls L1	43 stalls
Handicap stalls L1	14 stalls
Regular stalls L1	2 stalls
Small stalls L2	42 stalls
Handicap stalls L2	19 stalls
Regular stalls L2	2 stalls
Total	113 stalls

Condo Building Areas

Ground Floor	13,223 Sq.ft.	Pier Two	13,223 Sq.ft.	Pier Three	13,223 Sq.ft.
Third Floor	13,223 Sq.ft.	13,223 Sq.ft.	13,223 Sq.ft.	12,863 Sq.ft.	12,863 Sq.ft.
Fourth Floor	13,223 Sq.ft.	13,223 Sq.ft.	13,223 Sq.ft.	12,863 Sq.ft.	12,863 Sq.ft.
Total	55,731 Sq.ft.	55,731 Sq.ft.	55,731 Sq.ft.	51,406 Sq.ft.	162,866 Sq.ft.
Site area	106,395 Sq.ft.				
FAR	1.49				
Max. lot coverage	36%				
Setback front	5m (16.404')				
Setback side	4.5m (14.764')				
Max. height	15m (49.213')				

Condo Building Units

Studios	0 units	Building C	0 units	Building A Total	2 units
One bedrooms	15 units	16 units	23 units	55 units	55 units
Two bedrooms	25 units	25 units	16 units	66 units	66 units
Three bedrooms	7 units	7 units	7 units	21 units	21 units
Total	48 units	48 units	48 units	144 units	144 units

Condo Building Parking

Required Parking	144 units
Residential units	216 stalls
Visitor	29 stalls
Total	245 stalls
Total HC (2%)	5 stalls

Provided parking in parkade

Regular stalls	176 stalls
Small stalls	52 stalls
Handicap stalls	5 stalls
Total	233 stalls
Provided surface parking	9 stalls
Regular stalls	9 stalls
Total	243 stalls

DATE: 25 JULY 2024
 REVIEWED: [Signature]
 SCALE: 1/32
 PROJECT NO: 04269797

1

AUG 25 2024

A0.00

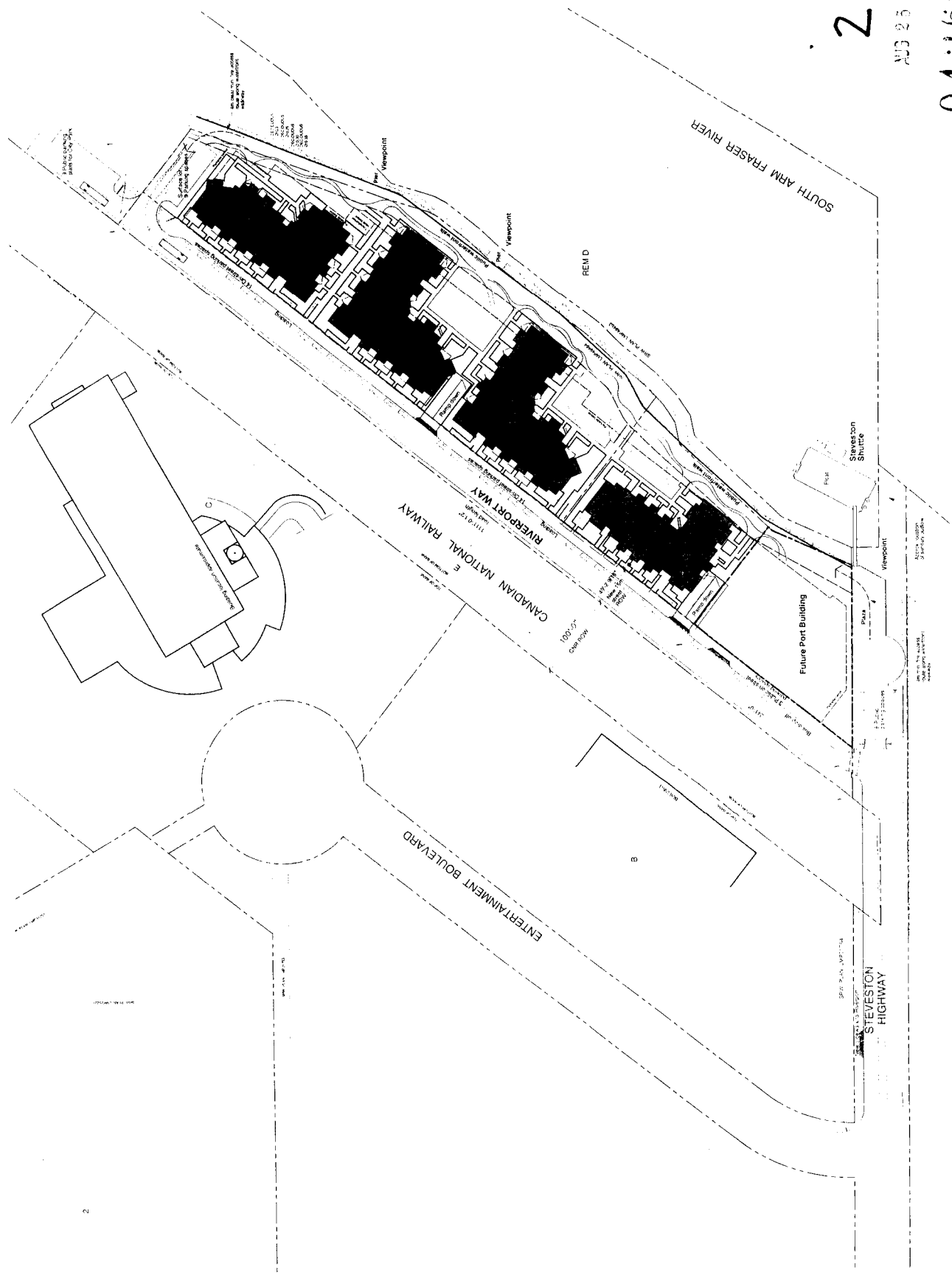
04269797

Legacy Park Lands Ltd.

Site Statistics

HOITSON BAKKER BONIFACE HADEN ARCHITECTS
 100-1515 Main Street
 Vancouver, BC Canada, V6A 1E1
 Tel: 604.251.1199
 Fax: 604.251.1190
 E: info@hoitsonbakker.com

04269797

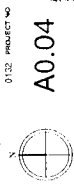


NO DATE REVISION

DATE: 28 April 2024
PROJECT: Waterstone Pier
Richmond, BC

CLIENT: Legacy Park Lands Ltd.
DRAWING: Parkade Plan

HOTSON BAKKER BONIFACE HADEN ARCHITECTS
1111 Alexander Street, Vancouver, BC V6A 1E1
P: 604.251.1739 F: 604.251.1738
E: info@hobsonbakker.com
DATE: 28 April 2024
SCALE: 1" = 50' 0" (1:500)
REVISIONS: 0122 PRODUCTION

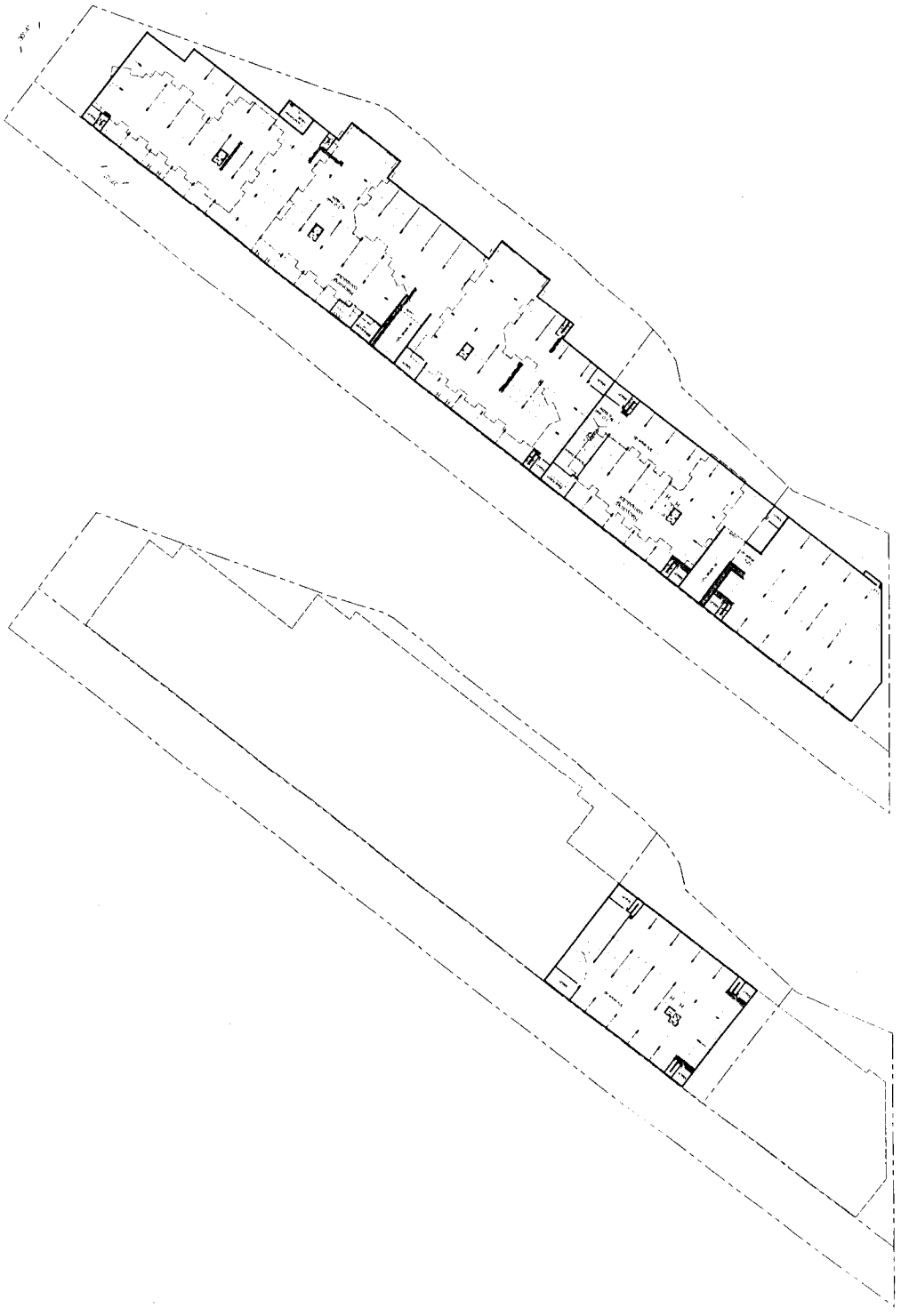


A0.04

3

ADD 2 6 200

04200001



Parkade L1

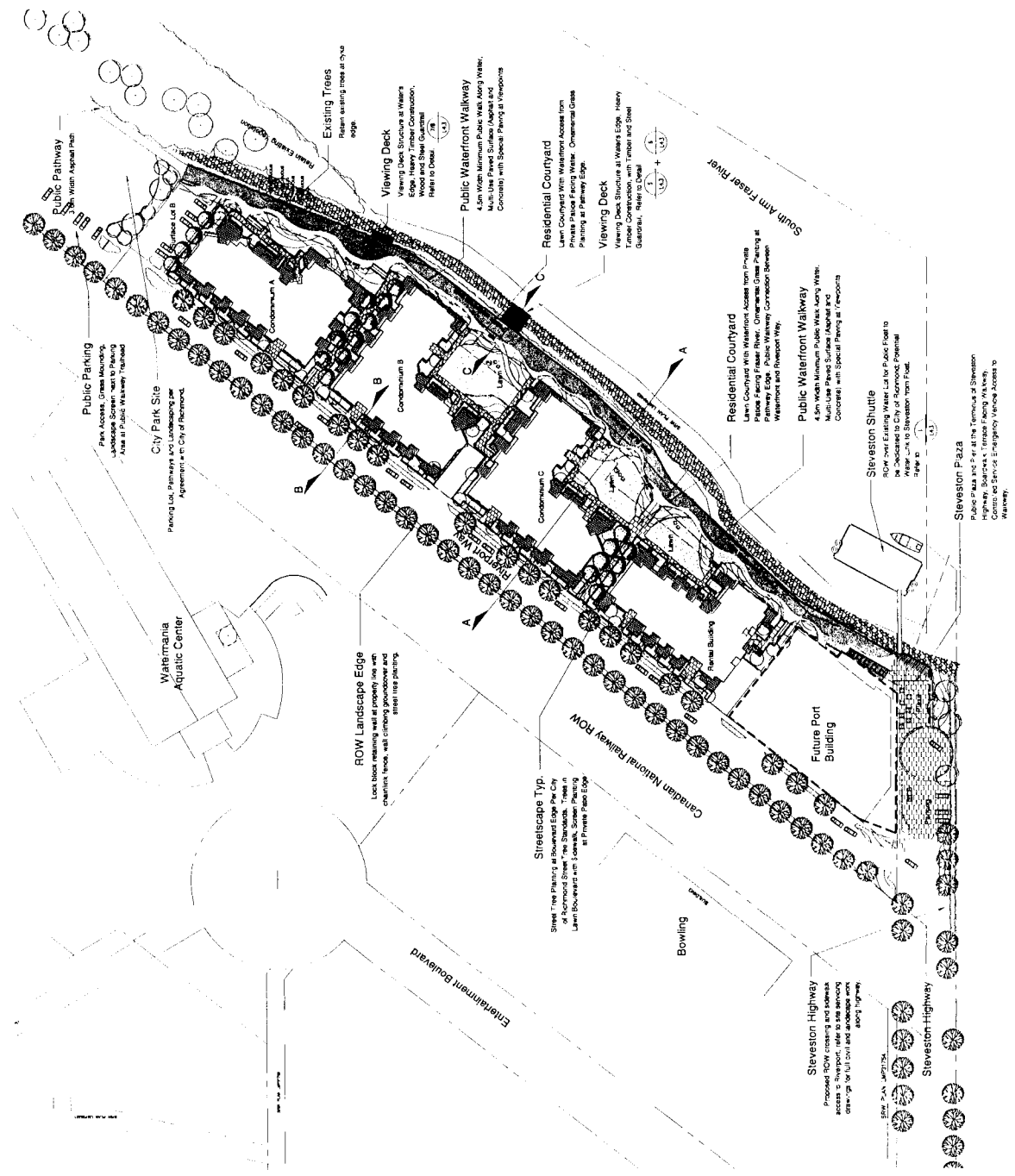
Parkade L2

4a

04269797

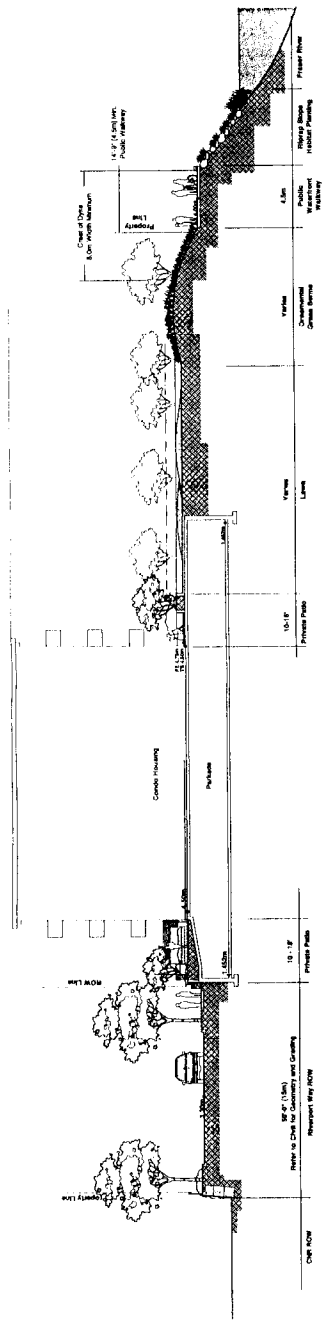
Landscape Concept Plan U.1.1

Holston Bakker Boniface Holden
Landscape Architecture
Phillips Foreweg Smiltenberg
June 2004

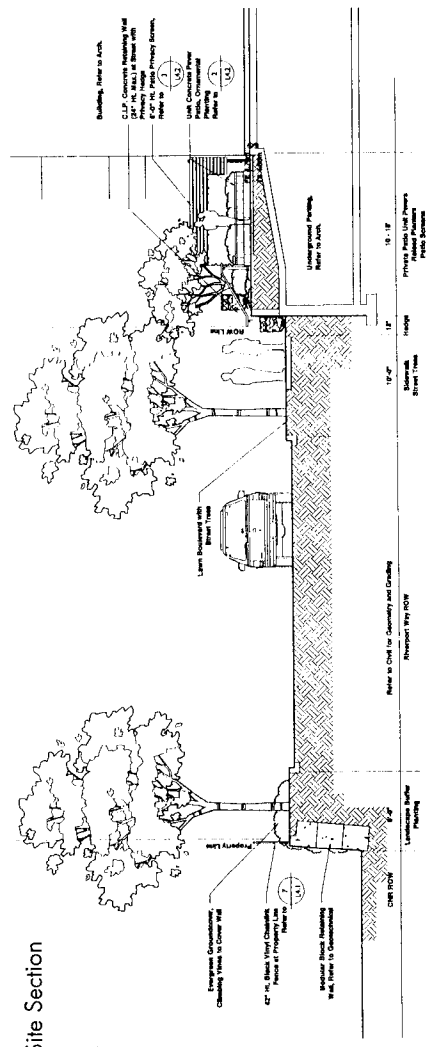


Riverport Landing

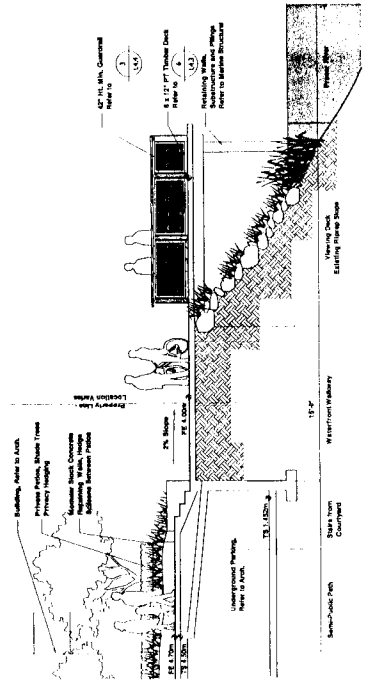
Legacy Park Land Ltd.



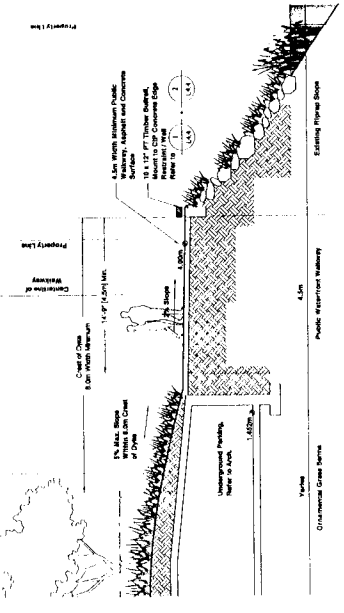
Section A-A Site Section
Scale 1/4" = 1'-0"



Section B-B Typical Streetscape
Scale 1/4" = 1'-0"



Section C-C Public Walkway
Scale 1/2" = 1'-0"



Section D-D Public Walkway
Scale 1/4" = 1'-0"

4b

Riverport Landing
Legacy Park Land Ltd.

Landscape Sections
L2.1
Hoison Bokker Borifacio Holden
Reidman Development Management
Phillips Forewing Smallenberg
June 2004

04269797



Entertainment District
 TOP OF BANK
 BOTTOM OF BANK

Canadian National Railway ROW

Riverport Way Streetscape
 City of Vancouver
 1000 West Broadway
 Vancouver, BC V6E 2E7

Station
 See L3.2 for Corridor

Riverport Way
 4.0m Street Right-of-Way

Leads

Ramp down

Condominium 'B'

Condominium 'A'

Public waterfront walkway

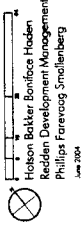
Fraser River South Arm

Waterfront Walkway
 Wetland Habitat Area
 Refer to FREMP diagram for
 guidelines in this area.

Station
 See L3.2 for Corridor

4c

Condo A + B
 Planting Plan L3.1



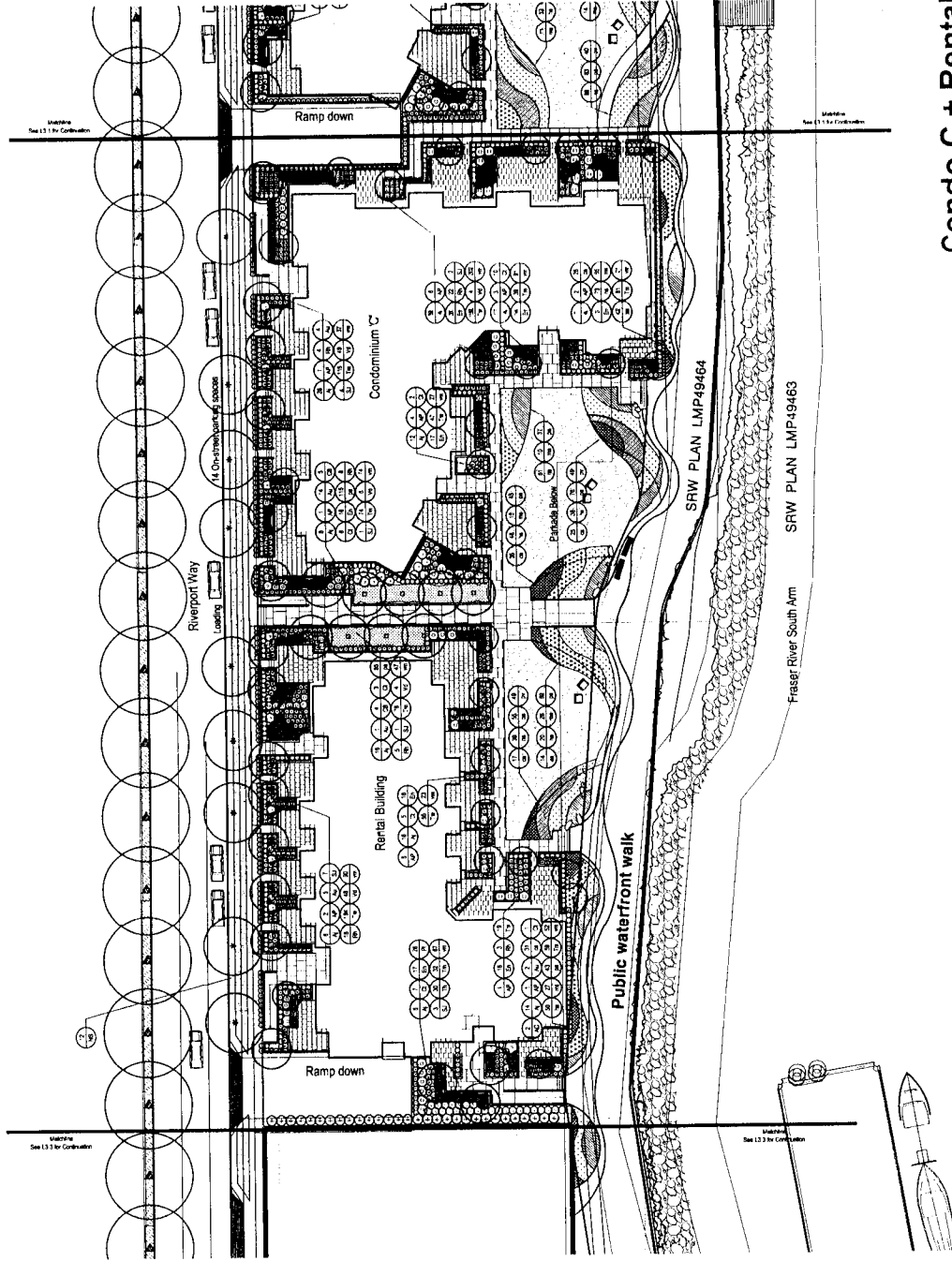
Author:
 1501 West 142nd Street, Richmond, BC
 1999
 Project:
 1000 West Broadway, Vancouver, BC
 2000
 Date:
 2000

Riverport Landing
 Legacy Park Land Ltd.

04269797




TOP OF BANK

BOTTOM OF BANK



4d

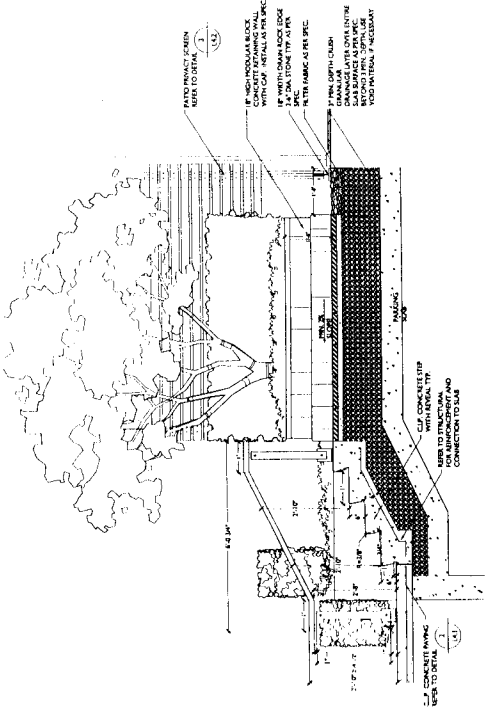
Condo C + Rental
Sheet 7 of 13.2

 Hebborn Bakker Boniface Hadden
 Redden Development Management
 Phillips Foreweg Smollenberg
 June 2004

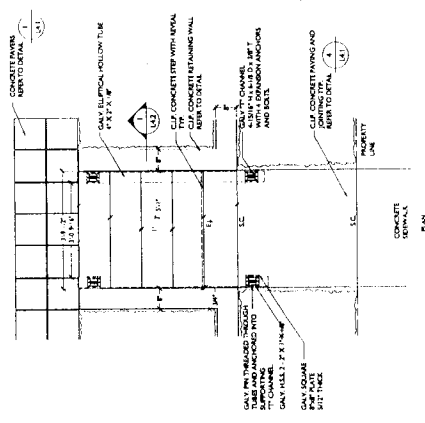
Project:
 15011 and 15012 Fraser River South Arm, L.L.C.
 Date:
 15/06/04
 Drawn:
 15/06/04
 Checked:
 15/06/04

Riverport Landing
 Legacy Park Land Ltd.

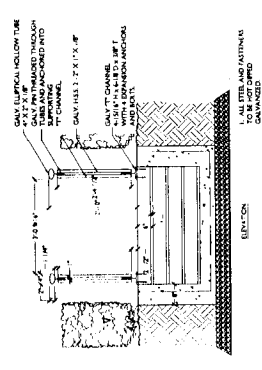
04269797



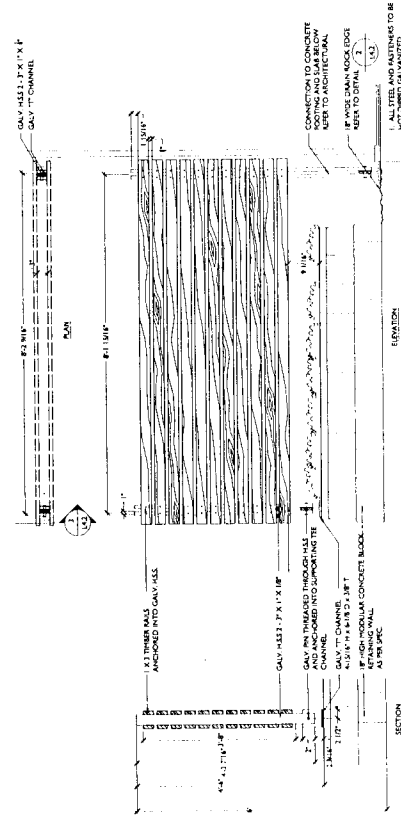
1 TYPICAL PATIO
SCALE 3/4" = 1'-0"



1 HANDRAIL AND CLIP CONCRETE STAIR
SCALE 3/4" = 1'-0"



2 GALV. STEEL CHANNEL
SCALE 3/4" = 1'-0"



3 PATIO PRIVACY SCREEN DETAIL
SCALE 3/4" = 1'-0"

4f

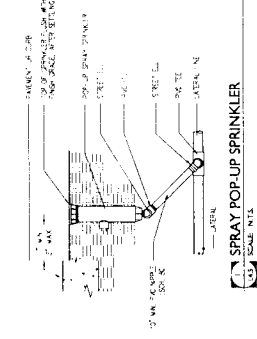
Riverport Landing
Legacy Park Land Ltd.

1971 and 1972, Inception Systems, Richmond, VA
1973 and 1974, Inception Systems, Richmond, VA
1975 and 1976, Inception Systems, Richmond, VA
1977 and 1978, Inception Systems, Richmond, VA

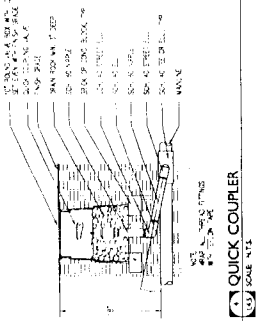
Landscape
Details L4.2

Horizon Baker Boniface Hoden
Landscape Architecture
Phyllis Foreweg Smollerberg
1987-2004

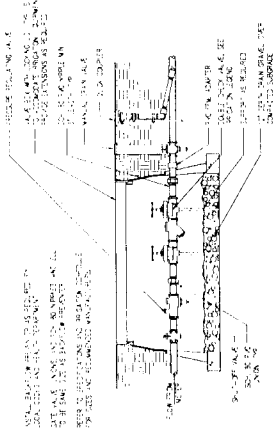
04269797



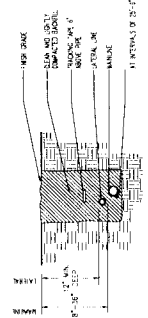
1 SPRAY POP-UP SPRINKLER
SCALE: N=1.5



2 QUICK COUPLER
SCALE: N=1.5



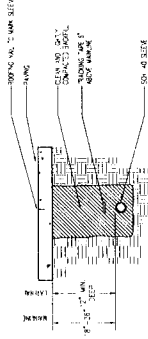
3 POINT OF CONNECTION ASSEMBLY
SCALE: N=1.5



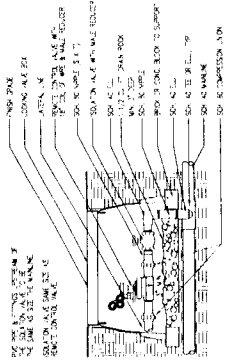
4 IRRIGATION TRENCH
SCALE: N=1.5



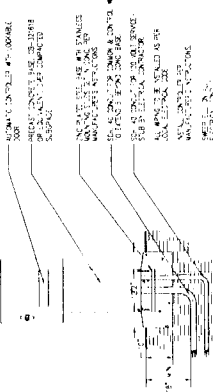
5 MANUAL DRAIN VALVE
SCALE: N=1.5



6 IRRIGATION SLEEVE AT PAVING
SCALE: N=1.5



7 REMOTE CONTROL VALVE
SCALE: N=1.5



8 IRRIGATION CONTROLLER
SCALE: N=1.5

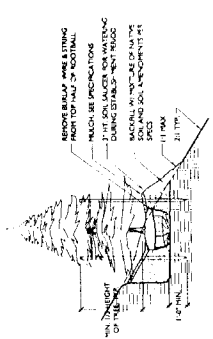
49
04269797

Irrigation
Details L4.5

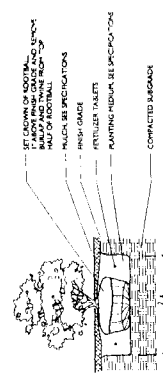
Hobson Baker Benfield Hobden
Resilient Development Management
Phillips Farming Shalfleet
June 2014

Riverport Landing
Legacy Park Land Ltd.

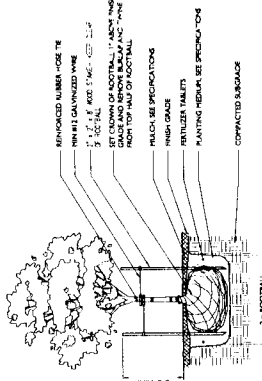
Notes:
1) B1 and B1.1) Irrigation Systems, Materials, E.C.
2) All materials to be installed in accordance with the manufacturer's instructions.
3) All materials to be installed in accordance with the manufacturer's instructions.
4) All materials to be installed in accordance with the manufacturer's instructions.



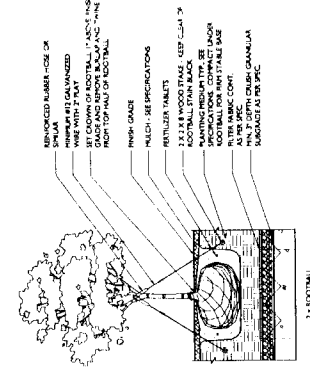
TREE PLANTING ON SLOPE
SCALE: N.T.S.



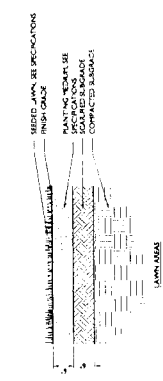
SHRUB PLANTING ON GRADE
SCALE: N.T.S.



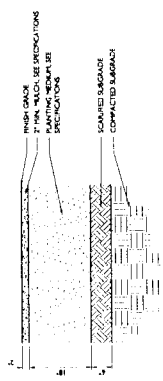
DECIDUOUS TREE PLANTING ON GRADE
SCALE: N.T.S.



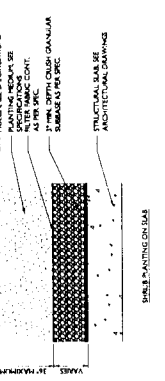
DECIDUOUS TREE PLANTING ON SLAB
SCALE: N.T.S.



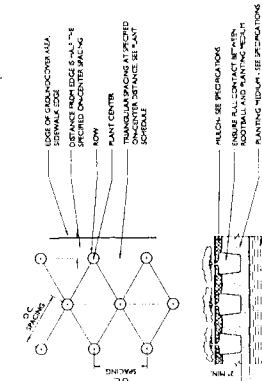
GROUNDCOVER PLANTING
SCALE: N.T.S.



SOIL PROFILES
SCALE: N.T.S.



SHRUB PLANTING ON SLAB
SCALE: N.T.S.



TREE PLANTING ON SLAB
SCALE: N.T.S.

4h

Planting
Details L4.6

Holston Builders' Bondface Holden
Reid Development Management
Phillips Forewong Smalberg
June 2004

10/11 and 1/20/04
10/11 and 1/20/04
10/11 and 1/20/04

Riverport Landing
Legacy Park Land Ltd.

04269197

405, 511 AVANION STREET
VICTORIA BC CANADA V8A 1E1
T 250 255 4399
E design@hotsonbakker.com

GLAZIERED STEEL CURTAIN WALL WITH ALUMINUM WINDOW

GLAZIERED STEEL CURTAIN WALL WITH ALUMINUM WINDOW

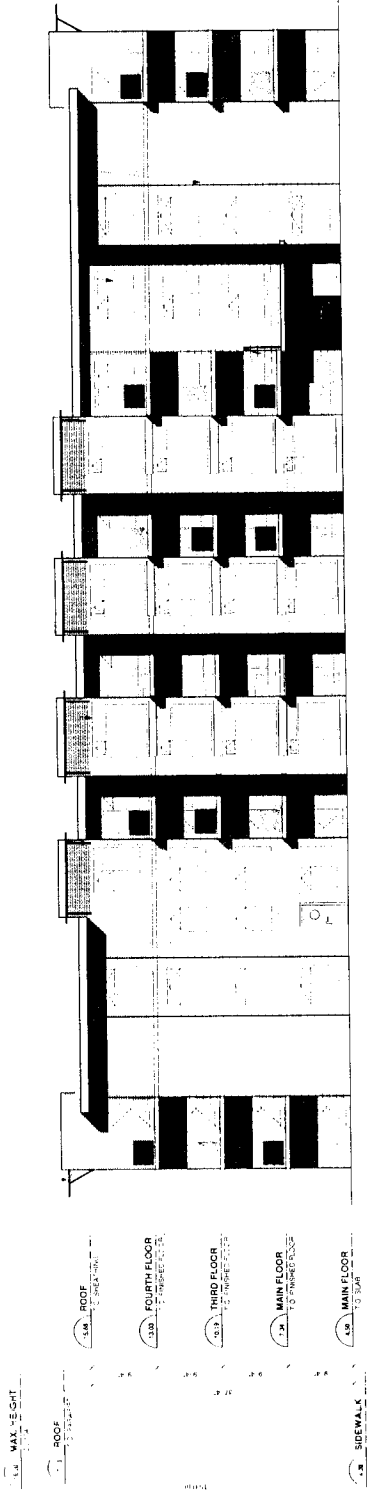
GLAZIERED STEEL CURTAIN WALL WITH ALUMINUM WINDOW

GLAZIERED STEEL CURTAIN WALL WITH ALUMINUM WINDOW

GLAZIERED STEEL CURTAIN WALL WITH ALUMINUM WINDOW

GLAZIERED STEEL CURTAIN WALL WITH ALUMINUM WINDOW

GLAZIERED STEEL CURTAIN WALL WITH ALUMINUM WINDOW



1 North Elevation
N

NO DIM. INDICED

DATE: 2014

PROJECT: Watersong Pier
Richmond, BC

Legacy Park Lands Ltd.
DRAWING: Rental Building
Elevations 1

HOTSON BAKKER BONIFACE HADEN ARCHITECTS

5a

DATE: 2014
SCALE: 1/8" = 1'-0"
DRAWN BY: [Name]
REVIEWED BY: [Name]
DATE: 2014

A3.01
04269797

GLAZIERED STEEL CURTAIN WALL WITH ALUMINUM WINDOW

GLAZIERED STEEL CURTAIN WALL WITH ALUMINUM WINDOW

GLAZIERED STEEL CURTAIN WALL WITH ALUMINUM WINDOW

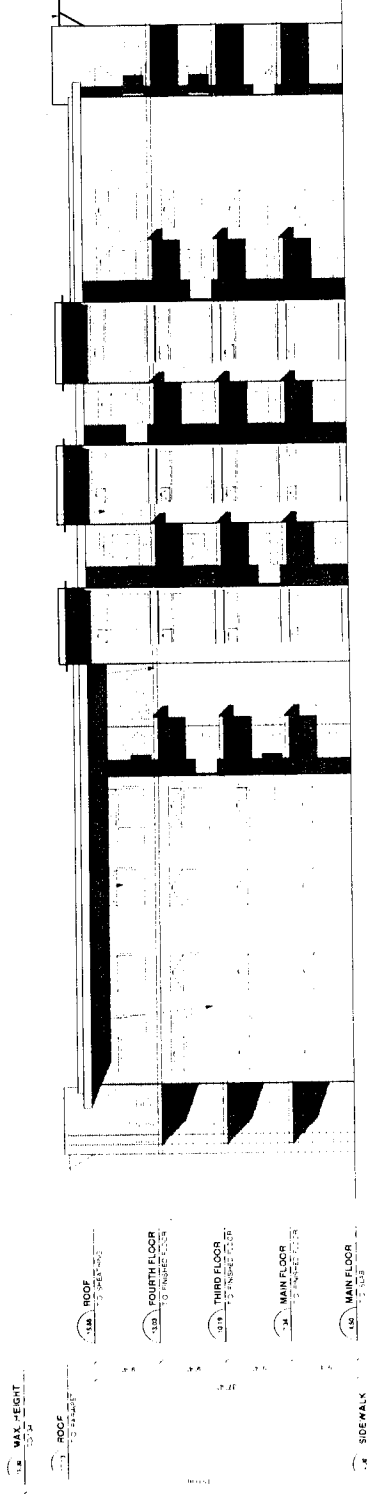
GLAZIERED STEEL CURTAIN WALL WITH ALUMINUM WINDOW

GLAZIERED STEEL CURTAIN WALL WITH ALUMINUM WINDOW

GLAZIERED STEEL CURTAIN WALL WITH ALUMINUM WINDOW

GLAZIERED STEEL CURTAIN WALL WITH ALUMINUM WINDOW

GLAZIERED STEEL CURTAIN WALL WITH ALUMINUM WINDOW



2 South Elevation
S

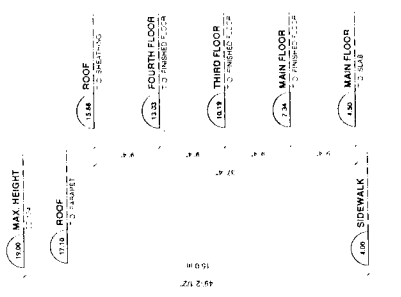
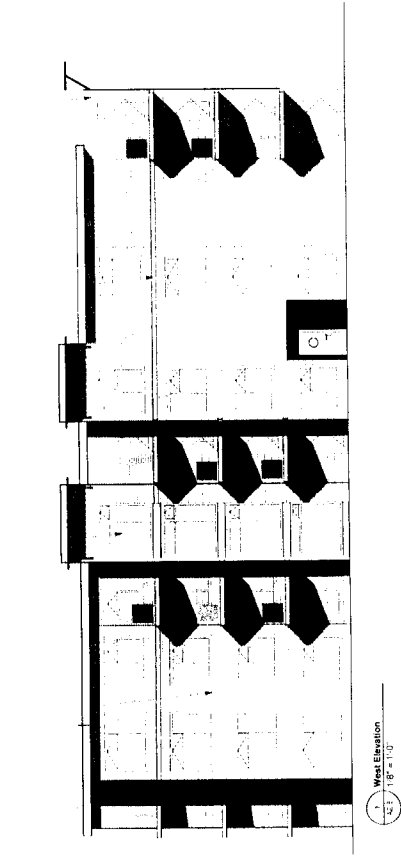
408-811 HASTINGS STREET
 VANCOUVER, BC CANADA V6A 1A6
 TEL: 604-255-1199
 FAX: 604-255-1198
 E: info@hoitsonbakker.com

2x14" LVL SPACED @ 16" O.C.
 2x12" LVL SPACED @ 16" O.C.
 2x10" LVL SPACED @ 16" O.C.

2x12" LVL SPACED @ 16" O.C.
 2x10" LVL SPACED @ 16" O.C.

ACQUINUM WALLS

2x12" LVL SPACED @ 16" O.C.



NO. 2000 10/20/00

DATE: 10/20/00
 PROJECT: Waterstone Pier
 Richmond, BC
 CLIENT: Legacy Park Lands Ltd.
 DRAWING: Rental Building
 Elevation 2

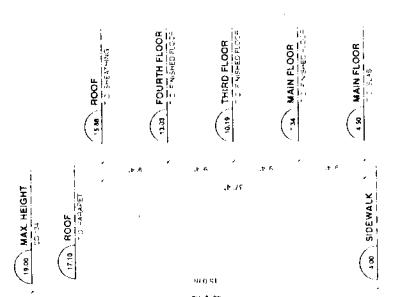
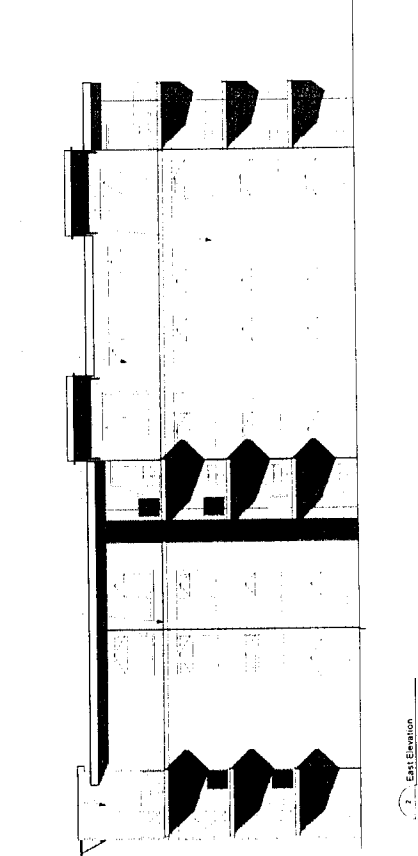
HOITSON BAKKER BONIFACE HADEN ARCHITECTS

PLASTER STUCCO

AQUINUM WALLS

CONCRETE SHEET CLADDING
 WITH COLORED GLASS

CONCRETE STUCCO WALL WITH
 GLASS

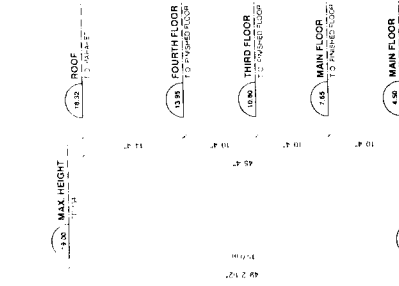
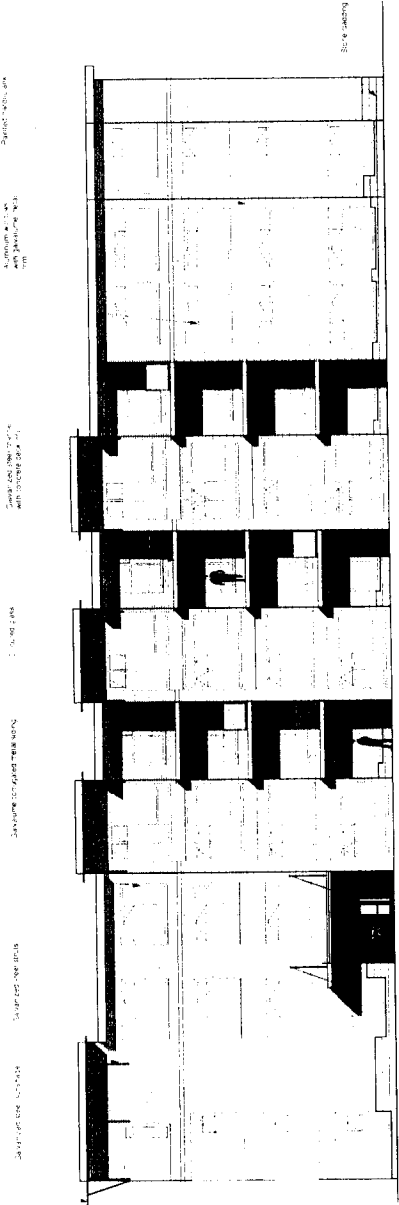


5b

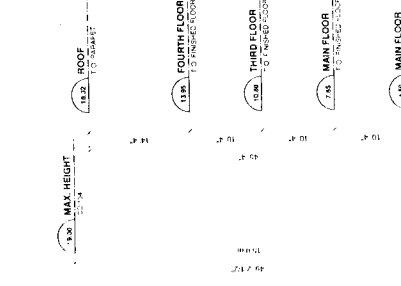
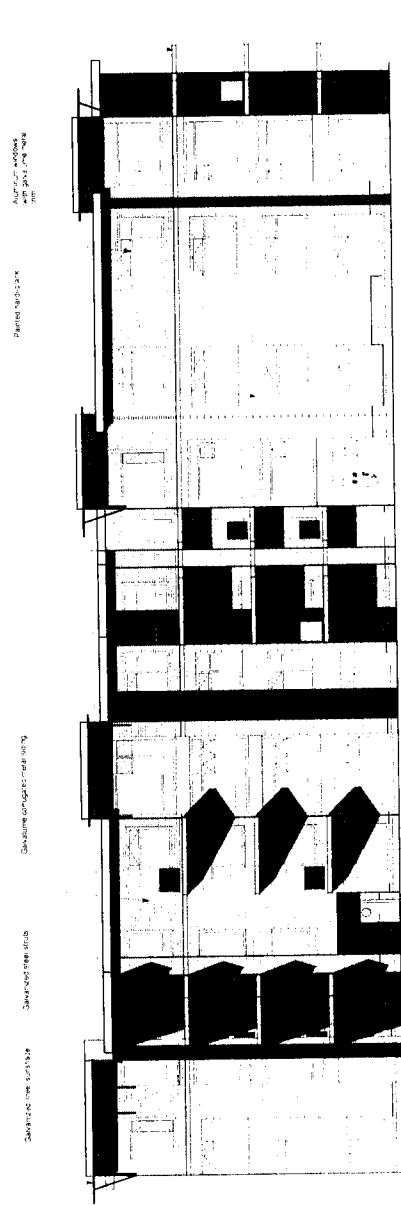
DATE: 10/20/00
 PROJECT: Waterstone Pier
 Richmond, BC
 CLIENT: Legacy Park Lands Ltd.
 DRAWING: Rental Building
 Elevation 2

A3.02

04269107



1 North Elevation
1/8" = 1'-0"



2 South Elevation
1/8" = 1'-0"

NO. DATE
PROJECT: Waterstone Pier
Richmond, BC
DRAWING: Per One
Elevations

HOTSON BAKER BOWEN HADEN ARCHITECTS
DATE: 11/11/11
REVISION: 1
SCALE: 1/8" = 1'-0"
PROJECT NO: 04269797

ba
A3.01
04269797

DATE: 2014-03-10
SCALE: 1/8" = 1'-0"

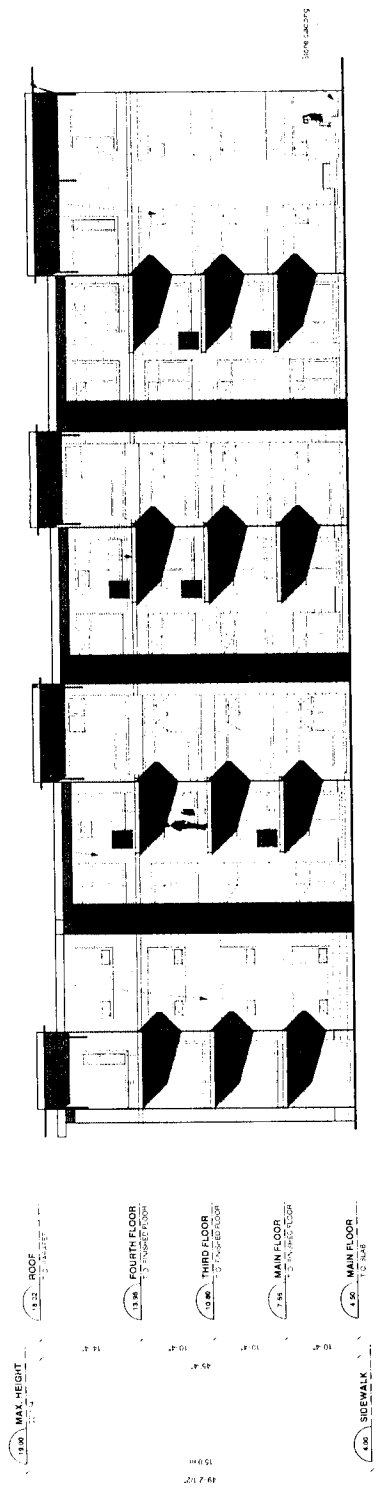
PROJECT: 04269797
DRAWING: 66

DATE: 2014-03-10
SCALE: 1/8" = 1'-0"

PROJECT: 04269797
DRAWING: 66

DATE: 2014-03-10
SCALE: 1/8" = 1'-0"

PROJECT: 04269797
DRAWING: 66



1 East Elevation
1/8" = 1'-0"

DATE: 2014-03-10
SCALE: 1/8" = 1'-0"

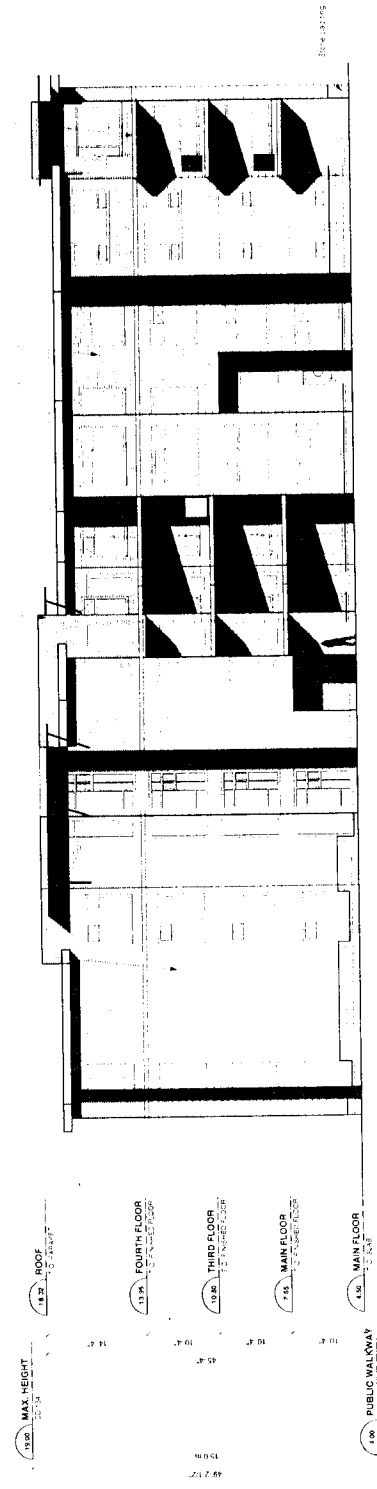
PROJECT: 04269797
DRAWING: 66

DATE: 2014-03-10
SCALE: 1/8" = 1'-0"

PROJECT: 04269797
DRAWING: 66

DATE: 2014-03-10
SCALE: 1/8" = 1'-0"

PROJECT: 04269797
DRAWING: 66



2 West Elevation
1/8" = 1'-0"

DATE: 2014-03-10
SCALE: 1/8" = 1'-0"

PROJECT: 04269797
DRAWING: 66

DATE: 2014-03-10
SCALE: 1/8" = 1'-0"

PROJECT: 04269797
DRAWING: 66

DATE: 2014-03-10
SCALE: 1/8" = 1'-0"

PROJECT: 04269797
DRAWING: 66

DATE: 2014-03-10
SCALE: 1/8" = 1'-0"

PROJECT: 04269797
DRAWING: 66

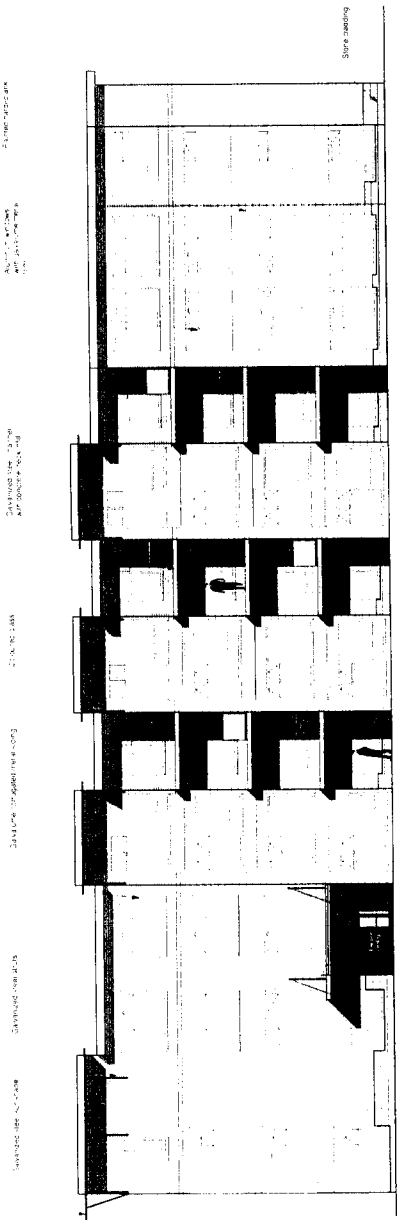
HOTSON BAKKER BONIFACE HADEN ARCHITECTS

DATE: 2014-03-10
SCALE: 1/8" = 1'-0"

PROJECT: 04269797
DRAWING: 66

A3.02

405, 411, 413 & 415 Street
 Vancouver BC Canada V6A 1P2
 T: 604 681 1199
 E: hotson@hotsonbakker.com



13.0 MAX HEIGHT
 22'-11"
 13.1 ROOF
 2'-0" (2'-0" MIN)
 13.2 FOURTH FLOOR
 2'-0" (2'-0" MIN)
 13.3 THIRD FLOOR
 2'-0" (2'-0" MIN)
 13.4 MAIN FLOOR
 2'-0" (2'-0" MIN)
 13.5 MAIN FLOOR
 2'-0" (2'-0" MIN)
 13.6 SIDEWALK
 2'-0"

North Elevation
 1/8" = 1'-0"

DATE: 12/15/17
 DRAWN BY: JPH
 CHECKED BY: JPH

PROJECT: Watersone Pier
 Richmond BC

DATE: 12/15/17
 DRAWN BY: JPH
 CHECKED BY: JPH

13.0 MAX HEIGHT
 22'-11"
 13.1 ROOF
 2'-0" (2'-0" MIN)
 13.2 FOURTH FLOOR
 2'-0" (2'-0" MIN)
 13.3 THIRD FLOOR
 2'-0" (2'-0" MIN)
 13.4 MAIN FLOOR
 2'-0" (2'-0" MIN)
 13.5 MAIN FLOOR
 2'-0" (2'-0" MIN)
 13.6 SIDEWALK
 2'-0"

South Elevation
 1/8" = 1'-0"

HOTSON BAKKER BONIFACE HADEN ARCHITECTS

DATE: 12/15/17
 DRAWN BY: JPH
 CHECKED BY: JPH

PROJECT: Watersone Pier
 Richmond BC

DATE: 12/15/17

HOTSON BAKKER BONIFACE HADEN ARCHITECTS

7a

DATE: 12/15/17
 DRAWN BY: JPH
 CHECKED BY: JPH

A3:01

04269197

Sheet 04 of 04

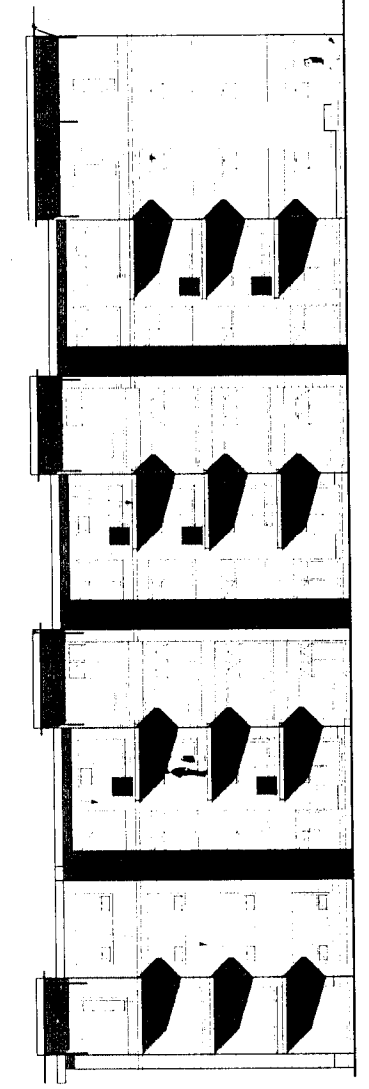
Architectural
with structural steel

Architectural
with structural steel

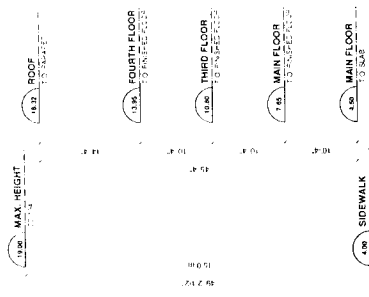
Architectural
with structural steel

Architectural
with structural steel

Architectural
with structural steel



Steel cladding



1 East Elevation
20' x 18' x 11'

Steel cladding
with structural steel

Architectural
with structural steel

Architectural
with structural steel

Architectural
with structural steel

Architectural
with structural steel

Architectural
with structural steel

Architectural
with structural steel

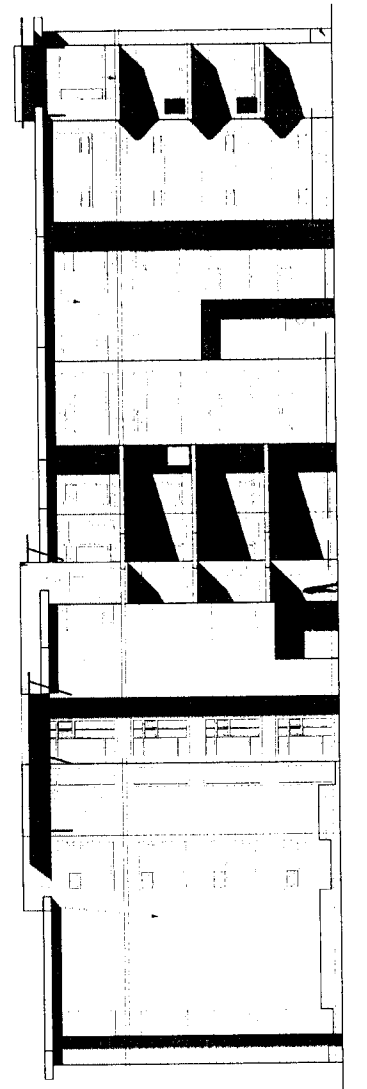
Architectural
with structural steel

Architectural
with structural steel

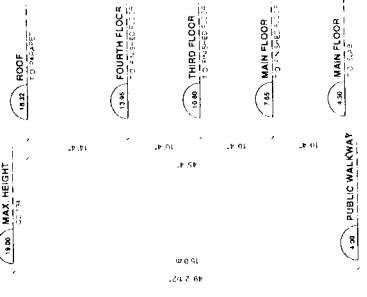
Architectural
with structural steel

Architectural
with structural steel

Architectural
with structural steel



Steel cladding



2 West Elevation
20' x 18' x 11'

NO. DATE REVISION

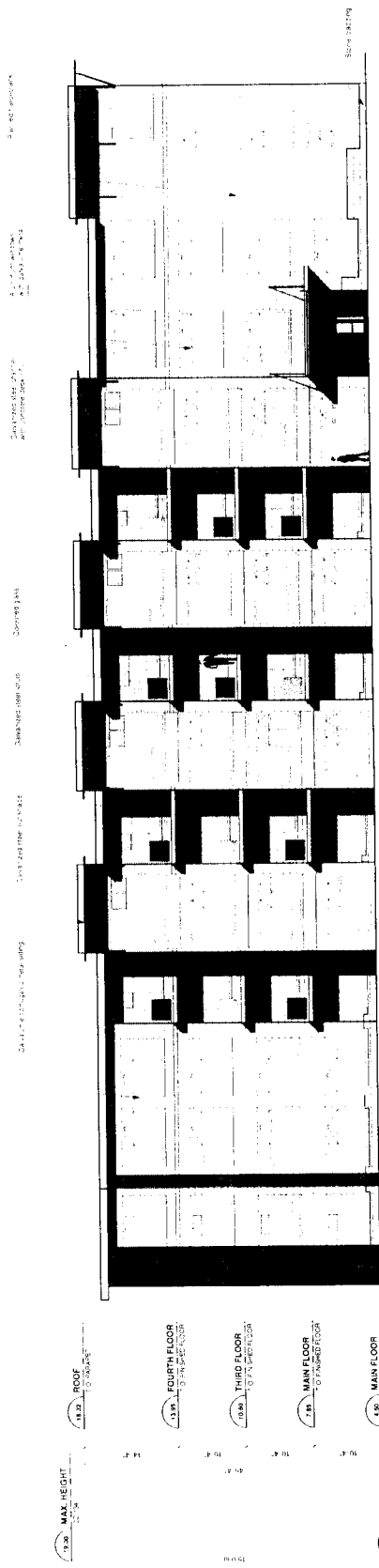
DATE: 10/11/11
PROJECT: Watersore Pier
Richmond, VA

DRAWING: Part Two
Elevations

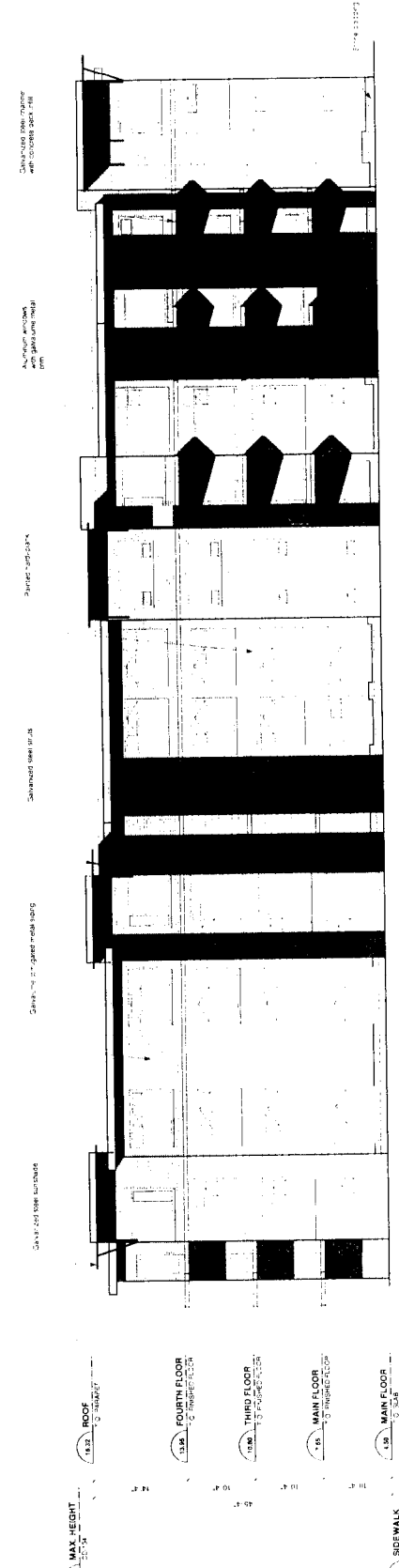
HOTSON BAKKER BONIFACE HADEN ARCHITECTS

76
DATE: 10/11/11
SCALE: 1/8" = 1'-0"
PROJECT NO: 2112

A3.02
04269797



North Elevation
11.30 / 10.30



South Elevation
11.30 / 10.30

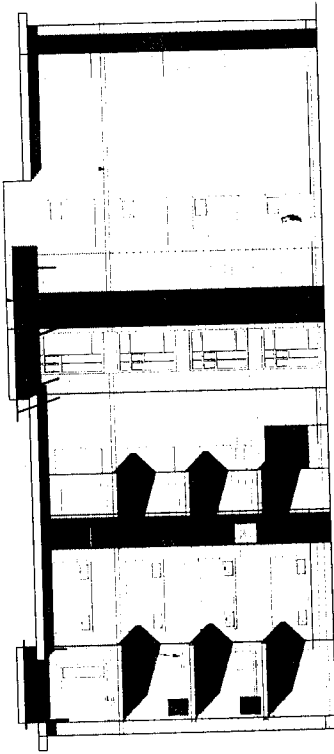
86
2007.07.01
V03-2-5-2007
A3.02
04269797

2007.07.01

2007.07.01

2007.07.01

2007.07.01



1. East Elevation
1:18 = 1/8"

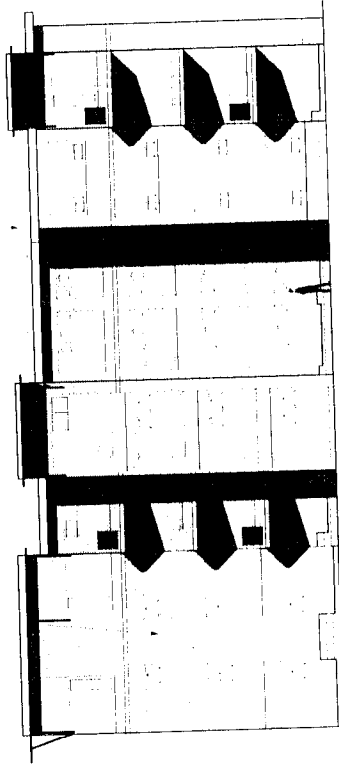
- 1.20. MAX HEIGHT 5.0'
- 1.19. ROOF 1.0'
- 1.18. FOURTH FLOOR 2.0'
- 1.17. THIRD FLOOR 2.0'
- 1.16. MAIN FLOOR 1.0'
- 1.15. MAIN FLOOR 1.0'
- 1.14. SIDEWALK 1.0'

ALUMINUM WINDOW
AND OPERABLE SILL

CANADIAN WINDOW SILL

CANADIAN WINDOW SILL

REFLECT. 100% 200%



2. West Elevation
1:18 = 1/8"

- 1.18. MAX HEIGHT 5.0'
- 1.17. ROOF 1.0'
- 1.16. FOURTH FLOOR 2.0'
- 1.15. THIRD FLOOR 2.0'
- 1.14. MAIN FLOOR 1.0'
- 1.13. MAIN FLOOR 1.0'
- 1.12. PUBLIC WALKWAY 1.0'