



City of Richmond
Urban Development Division


Report to Development Permit Panel

To: Development Permit Panel
From: Raul Allueva
Director of Development
Date: July 26, 2004
File: DP 04-265641
Re: **Application by Lancing Properties Ltd. for a Development Permit at 5980
Lancing Road, 7631, 7651, 7671 and 7711 No 2 Road**

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of 24 townhouses at 5980 Lancing Road, 7631, 7651, 7671 and 7711 No 2 Road on a site zoned Townhouse District (R2 – 0.7); and
2. Vary the provisions of the Zoning and Development Bylaw No. 5300:
 - a) To reduce the minimum side yard setback from 6 m to 4.5 m along No. 2 Road; and
 - b) To increase the maximum building height from 11 m to 11.12 m for a central portion of the roof on all 4 buildings; and
 - c) To permit tandem parking.


Raul Allueva
Director of Development

SB:rg
Att. 3

Staff Report

Origin

Lancing Properties Ltd. has applied to the City of Richmond for permission to develop twenty-four (24) townhouse units at 7631, 7651, 7671, and 7711 No. 2 Road and 5980 Lancing Road in the form of four (4) three-storey buildings with six (6) units in each. The site contained five (5) single-family homes which was demolished for this project.

The site is being rezoned from Single-Family Housing District, Subdivision Area E (R1/E) to Townhouse District (R2-0.7) for this project under Bylaw 7642 (rezoning application RZ 03-241131). The conditions of rezoning have been satisfied and fourth reading for the bylaw is scheduled for August 30, 2004.

Development Information

Please refer to attached Development Permit Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

This consolidated Blundell area site is within 400 m of the Neighbourhood Service Centre located on the southeast corner of Blundell and No 2 Road. Because of this proximity, the lots along No 2 Road are likely to be assembled and redeveloped. Development surrounding the site is described as follows:

- to the north, across Lancing Road, a large new single-family home;
- to the east, across No.2 Road, are existing single-family homes. There is currently an active redevelopment application being considered;
- to the south, are three older single-family homes between this site and Blundell Road; and
- to the west, across the proposed lane are existing single-family homes facing Langton Road.

Rezoning and Public Hearing Results

A Public Hearing Meeting for the Rezoning of this site (RZ 03-241131) was held on February 16, 2004. At the Public Hearing, several concerns were expressed regarding traffic, parking, privacy and adjacency impacts. Nevertheless, Council granted Second and Third Reading to the Rezoning Bylaw. At the same time, Council asked staff to address the following issues identified by Mr. John Cameron, the adjacent neighbour to the south at 7731 No. 2 Road in correspondence to the City (**Attachment 3**):

1. Permission for future subdivision of property into two 33 ft lots;

At this time there are several redevelopment opportunities for the adjacent site at 7731 No. 2 Road. However, the arterial road redevelopment policy encourages higher density development rather than small single-family lots for properties that are near neighbourhood service centres, such as this property. On this basis, a consolidated townhouse development together with the corner properties further to the south would be the preferred development scenario. Nevertheless, the owner could present a proposal for redevelopment, and this would be considered on its merits.

2. Extension of the rear lane to the north property line;

The rear lane extends to the north property line of 7731 No. 2 Road.

3. Removal of adjacent large Douglas Fir and Willow trees on the subject property;

The requested trees have been removed as have the other trees along the shared property line due to their health, spacing, maturity and retention viability as assessed by a registered arborist. Please see #5 below for the provision of alternate privacy screening.

4. Provision of an adequate buffer along north property line;

Privacy screening will be provided with a solid 1.8 m high wood fence along the property line except within the 4.5 m setback to No. 2 Road where a 3 ft cherry laurel hedge is provided to balance privacy screening with the need for visibility from the adjacent driveway at 7731 No. 2 Road. Further buffering will be provided with the planting of eleven (11) deciduous trees adjacent to the fence. The mature heights range from 10 ft to 20 ft (Japanese Maple, Katusra and Cornelian Cherry). The tree varieties will provide privacy screening for the adjacent neighbour while allowing the southern units to take advantage of their southern exposure. Proposed building footprint, fence details, landscaping and tree height information was provided to the owner of 7731 No. 2 Road and no response has been received.

5. Provision of adequate measures to address potential drainage issues (with raised townhouse site).

Perimeter drainage is being installed as a requirement of this development. The site is being developed as close to the natural grade elevation as possible. The site is not being uniformly raised to the height of the sidewalk, but grading will occur for pedestrian paths and landscaping to rise to meet the sidewalks on No. 2 and Lancing Roads.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the Townhouse District (R2 – 0.7) Schedule except for the zoning variances noted below.

Zoning Compliance/Variiances (staff comments in *bold*)

The applicant requests the following variances to the R2 – 0.7 District Schedule of the Zoning and Development Bylaw No. 5300:

- 1) To vary the provision of Section 203(C).4 (Minimum Setbacks From Property Lines) to reduce the minimum side yard setback from 6 m to 4.5 m along No. 2 Road;

(Staff supports the proposed variance as it is the result of road dedications for the widening of No. 2 Road (2-3 m angled dedication) and a design which includes measures to mitigate the impact of the development on surrounding development. These measures

include pushing the buildings away from the west and stepping the roof form down at the interface with the lane and adjacent single-family homes. The proposed building siting was presented during the Rezoning process and Public Hearing.)

- 2) To vary the provision of Section 203(C).5 (Maximum Heights) to increase the maximum building height from 11 m to 11.12 m for projections from the north-west units; and

(Staff supports the proposed variance as it is considered minor, occurs only in the middle of the unit block and measures have been taken to reduce the impact of the development on adjacent existing single-family home back yards to the west. As noted above, the roof height is lowered and the roof form stepped down at the end units facing both the lane and No. 2 Road.)

- 3) To vary the provisions of Division 400 (Off-Street Parking & Loading) to permit tandem parking.

(Staff supports the proposed variance as it is considered minor and is consistent with other townhouse development in Richmond. The development exceeds the bylaw requirement for on-site parking (53 vs. 41), therefore no parking issues are anticipated.)

Analysis

Criteria and policies for the issuance of Development Permits appear in Bylaw 7100, the Official Community Plan:

- Schedule 1: 9.2 General Guidelines
9.3 Multiple-Family Residential Development Permit Guidelines (Townhouses)

Conditions of Adjacency:

- The proposed, height, siting and orientation of the buildings respect the massing of the surrounding existing residential development;
- The applicant has addressed privacy for the adjacent single-family lot to the south through additional setback of the building (5.6 m vs. 3 m), a 1.8 m solid fence, and landscaping with trees and hedges planting along the shared property line; and
- The applicant has addressed privacy for the adjacent single-family lot to the west through an almost 50 ft building separation through adjacent back yards, lane and setback of the buildings; orienting the narrow end of the buildings to the west; orienting the main living areas and associated windows towards the north-south axis; minimizing windows on the west elevation; and lowering the height and stepping down the roof form on the end units.

Site Planning and Urban Design:

- The siting of the building and the relationship between the indoor spaces and the outdoor areas allow for adequate surveillance to meet safety and crime prevention objectives;
- The visitor parking, transformer, utility service room and recycling enclosure have been screened with landscaping and siting to minimize their visual impact on No. 2 and Lancing Roads; and
- An adaptable unit design has been provided to address accessibility.

Architectural Form and Character:

- The building forms are well articulated; and
- The proposed building materials (wood shingles, Hardi-plank siding, vinyl siding, vinyl board and batten, painted wood trim and asphalt shingle roofing) are generally consistent with the Official Community Plan (OCP) Guidelines.

Landscape Design:

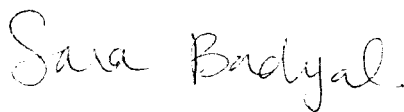
- The landscape design includes 63 new trees and 1 retained and relocated tree, 20 of which are larger in size (Min. 15 cm dbh) to compensate for the removal of 10 major trees and will contribute a maturity to the development identity and streetscape elevations;
- The landscape design also includes an outdoor amenity area well in excess of the OCP guidelines, children's play equipment, special paving treatment with patterning and colour, as well as substantial planting to provide a highly liveable environment along this arterial road;
- The outdoor amenity area is located in the centre of the site, facing unit front entries and addressing No. 2 Road through a detailed pedestrian entry including special paving treatments, landscaping, kiosk and low seating wall;
- The recycling enclosure is located on the lane, setback and screened with a gated and roofed enclosure and landscaping. Its location and landscaping obscure it's visual impact onto No. 2 and Lancing Roads; and
- The use of interlocking pavers improves the permeability of the site.

Advisory Design Panel Comments

The Advisory Design Panel was generally supportive of the proposed development and decided that the project should proceed. A copy of the relevant excerpt from the Advisory Design Panel Minutes from May 5, 2004 is attached for reference (**Attachment 2**). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '*bold italics*'.

Conclusions

The applicant has satisfactorily addressed issues that were identified through the rezoning process, as well as staff and the Advisory Design Panel's comments regarding conditions of adjacency, site planning and urban design, architectural form and character, and landscape design. The applicant has presented a development that fits into the existing context and improves the animation along the arterial road. Therefore, staff recommend support of this Development Permit application.



Sara Badyal, M.Arch.
Planner 1

SB:blg

The following conditions have to be met prior to forwarding this application to Council for approval:

- Receipt of a Letter of Credit for landscaping in the amount of \$99,097.95 (based on a total floor area of 49,549 ft²); and
- Payment of \$29,000 cash-in-lieu of indoor amenity space as per OCP guidelines.

List of Attachments

- | | |
|--------------|--|
| Attachment 1 | Development Application Data Sheet |
| Attachment 2 | Excerpt from Advisory Design Panel Minutes |
| Attachment 3 | Excerpts from Public Hearing Minutes & Associated Schedule No. 3 |



City of Richmond
6911 No. 3 Road
Richmond, BC V6Y 2C1

**Development Application
Data Sheet**
Development Applications Department

DP 04-265641

Attachment 1

Address:	5980 Lancing Rd, 7631, 7651, 7671 and 7711 No 2 Road	
Applicant:	Lancing Properties Ltd.	Owner: same
Planning Area(s):	Blundell Area	
Site Area	Formerly: approx. 4,700 m ²	After Dedications: 4,502.5 m ²
Floor Area	Gross: 4,603.1 m ²	Net: 3,135.9 m ²
Zoning	Formerly: R1/E	Existing: R2-0.7

	Existing	Proposed
Land Uses	formerly single family homes	townhouse units
OCP Designation	Low-Density Residential	no change
Number of Units	5	24

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.7	0.7	none permitted
Lot Coverage:	Max. 40%	30.3%	none
Setback – Front Yard:	6 m	6 m	none
Setback – Side Yard*:	3 m & 6 m to No 2 Rd	Min 7.3 m & 4.5 m	1.5 reduction to No 2 Rd
Setback – Rear Yard:	3 m	5.6 m	none
Height (m):	11 m & 3 storeys	11.12 m & 3 storeys	0.12 m increase
Off-street Parking Spaces – Regular/Visitor:	36 and 5	48 and 5	none
Off-street Parking Spaces – Accessible:	1	1	none
Off-street Parking Spaces – Total:	41	53	none
Amenity Space – Indoor:	Min 70 m ²	\$29,000 cash-in-lieu	none
Amenity Space – Outdoor:	144 m ²	282.5 m ²	none

*Variances have been requested: to reduce the minimum side yard setback from 6 m to 4.5 m along No. 2 Road; to increase the maximum building height from 11 m to 11.12 m for a

Other: central portion of the roof on all four buildings; and to permit tandem parking.

**EXCERPT FROM THE MINUTES FROM
THE DESIGN PANEL MEETING**

Wednesday May 5th, 2004 – 4:00 p.m.

Rm. M.1.003

RICHMOND CITY HALL

1. 2004-17

Townhouses

Robert Ciccozzi, Architect.

DP 04-265641

7631-7771 No.2 Road/5980 Lancing Road

(Formal)

The panel proffered the following comments about the project that:

- ❖ the orientation of the buildings gave the appearance of single family residences along the streetscape;
- ❖ the block closest to the single family residence was tight, could this building be pulled away some more?;
- ❖ sustainability of paving materials needed to be examined, maybe some pervious pavers could be used; and
- ❖ a suggestion was made that pervious pavers did not work in Richmond.

In response to a query from the Panel, the landscape architect advised that because of preloading and filling it may not be possible to save trees along the south property line, however he would revisit the matter.

- ❖ internal trees could be scaled to the buildings and planted along each section roadway;
- ❖ the location of the mail pick up was of concern, also a suggestion was made that benches could be placed in this area;
- ❖ a suggestion was also made that decorative pavers could be used instead of concrete at the entrance to the site to indicate a transition area;
- ❖ signage was needed for off street entrances;
- ❖ the unit suggested for conversion was unimaginative, making the garage accessible was not an acceptable option. The bathroom needed modification, and there was no easy access to the commode;
- ❖ it was important to have addresses well signed for emergency vehicles; and
- ❖ the mailbox area could also be used as a gathering area.

In summary, Chair complimented the architect on the high quality of drawings and clarity of information provided. He stated that transition of

the site to No. 2 Road was handled successfully and the amenity space should work well. He then stated that:

- ❖ the applicant should revisit the site of the mail box with a view to relocating it;
- ❖ the applicant should re-examine the design of the accessible unit;
- ❖ the applicant should work with staff to increase the distance between the single family residence and the adjacent block of units; and
- ❖ investigate the possibility of increasing the amount of pervious pavers which would be beneficial in terms of sustainability.

It was moved and seconded

1. *That the project go forward subject to the applicant working with staff to attempt to:*
 - (a) *increase the setback to the adjacent single family residence. **The 5.6 m setback provided exceeds the required 3 m;***
 - (b) *relocate mailbox. **The mailbox location has been adjusted and has been incorporated into a gathering space at the pedestrian entrance to the development on No. 2 Road;***
 - (c) *finalize the use of paving materials - **done;***
 - (d) *preserve existing trees as much as is feasible – **one tree retained;***
 - (e) *increase the scale of internal street trees - **done;***
 - (f) *provide additional benches in the play are. **Generous gathering space under trellis provided; and***
 - (g) *change concrete material at entrances to decorative pavers to provide a transition area - **done; and***
2. *that the applicant must revisit and resolve the issue of the convertible unit. **Adaptable floor plan provided with provision for future elevator installation.***

CARRIED



City of Richmond
6911 No. 3 Road
Richmond, BC V6Y 2C1

Minutes

Excerpt from:

Regular Council Meeting for Public Hearings

Monday, February 16th, 2004

2a. Zoning Amendment Bylaw 7641 (RZ 03-241131)
(Along Section Line Roads; Applicant: City of Richmond)

2b. Zoning Amendment Bylaw 7642 (RZ 03-241131)
(5980 Lancing Road & 7631, 7651, 7671, 7711 No. 2 Road; Applicant: Aspen Marketing Ltd.)

Applicant's Comments:

Mr. Robert Sergosi, Architect, representing the applicant, used site plans to explain the proposal, which he indicated was based on the changes to the City's Arterial Road policy, which called for increased density along major arterial roads and around commercial centres, and allowed for a variety of housing options centred around these commercial centres.

Written Submissions:

Thomas Woo, 1111 West Georgia Street, Vancouver (Schedule No. 1)
Manjit Sandhu, 7640 Langton Road (Schedule No. 2)

Submissions from the floor:

Mr. John Cameron, of 7731 No. 2 Road (Schedule No. 3).
Mr. Jim Hamilton, of 5780 Lancing Road (Schedule No. 4).

PH 04/2-3

It was moved and seconded

That Zoning Amendment Bylaws 7641 and 7642 each be given second and third readings .

Prior to the question on Resolution No. PH04/2-3, being called, staff were requested to ensure that the requests of Mr. Cameron (as indicated on Page 5 of his submission) were addressed.

The question on Resolution No. PH04/2-3 was then called, and it was **CARRIED.**

February 16, 2004

Mayor Brodie, City Councillors and Urban Development Division, City of Richmond

SUBMISSION - Re: Rezoning Amendment Bylaws No. 7641 and 7642

Properties: 5980 Lancing Road and 7631, 7651, 7671 and 7711 No. 2 Road

requires finding another house nearby to such amenities. In the absence of any decent purchase offer, there is no incentive to either sell or move.

REQUESTED PROVISIONS

I ask for the following:

1. That I be permitted to subdivide my property into two 33-foot lots in the future.
2. That the rear lane extend to my north property line.
3. That the two particular trees previously mentioned at 7711 No. 2 Road be removed.
4. That an adequate buffer be provided along my north property line (perhaps a large cedar hedge).
5. That my drainage concerns be addressed.

Recognizing that I have resided at 7731 No. 2 Road for over 26 years and paid property taxes, I ask that my needs be given consideration and be addressed. Should these concerns not be addressed, I shall be forced to seek legal redress and compensation for restricting my ability to develop.

Sincerely,

John N. Cameron
Owner and resident of 7731 No. 2 Road
Phone # 604-274-8122

Attachments: 2 offers to purchase



No. DP 04-265641

To the Holder: LANCING PROPERTIES LTD.

Property Address: 5980 LANCING ROAD, 7631, 7651, 7671 AND 7711 NO. 2 ROAD

Address: C/O 1806 PINE STREET
VANCOUVER, BC V6J 3C9

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning and Development Bylaw No. 5300" is hereby varied or supplemented as follows:
 - a) The dimension and siting of buildings and structures on the land shall be generally in accordance with Plans #1 to #3d attached hereto.
 - b) The siting and design of off-street parking and loading facilities shall be generally in accordance with Plans #2 and #3 attached hereto.
 - c) Landscaping and screening shall be provided around the different uses generally in accordance with the standards shown on Plans #3a to #3d attached hereto.
 - d) Roads and parking areas shall be paved in accordance with the standards shown on Plans #2 and #3 attached hereto.
 - e) Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
 - f) Subject to Section 692 of the Local Government Act, R.S.B.C., the building shall be constructed generally in accordance with Plans #4 to #8 attached hereto.
4. As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder, or should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.

Development Permit

No. DP 04-265641

To the Holder: LANCING PROPERTIES LTD.
Property Address: 5980 LANCING ROAD, 7631, 7651, 7671 AND 7711 NO. 2 ROAD
Address: C/O 1806 PINE STREET
VANCOUVER, BC V6J 3C9

There is filed accordingly:

An Irrevocable Letter of Credit in the amount of \$99,097.95.

5. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF

ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

MAYOR

UNITS 1, 2 AND 3: 2 UNIT/10' AND PART OF UNITS 5 AND 9: 2 UNIT/20'00"
 ALL OF SECTION 3: BLOCK 4 NORTH RANGE, 1955' AND 1950' W/10'00" OF E.P.C.U.
 50'00' LANCING ROAD, 193' 00" W/10'00" AND 191' 00" W/10'00"

5-7'S AREA
 1:50' SCALE
 2:1 X 4:50'2.5 34.1'
 1:800'S 1:1 802.5 34.1'

NO.	DATE	DESCRIPTION
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2	1985.9.31.0	1:50' SCALE
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97	1985.9.31.0	125 3 34.1'
98	1985.9.31.0	125 3 34.1'
99	1985.9.31.0	125 3 34.1'
100	1985.9.31.0	125 3 34.1'

COVERED AREA
 AREA OF COVERED DECK
 COVERED AREA ALLOWED
 24 UNITS X 11'S 80'-0" UNIT
 10.08 X 23.12'

OUTDOOR AMENITY
 1602' 0" DECK
 10.08 X 23.12'

REARINGS
 BLOCK I
 BLOCK II
 BLOCK III
 BLOCK IV

PROPOSED
 VISITOR PARKING
 0.2 UNIT X 24.1
 5 STALLS

HANDICAP STALLS
 0.2 UNIT X 24.1
 5 STALLS

NO. 2 ROAD

BLUNDELL ROAD

PROPOSED DEVELOPMENT

PLAN # 1
 AUG 25 2004
 DP 04265641

LANCING ROAD

RICHMOND TOWNHOMES

CONTEXT PLAN

A-0

1806 Pine Street
 Vancouver BC
 Canada
 Tel: (604) 687-4741
 Fax: (604) 687-4841
 admin@riccozzarchitecture.com

1806 Pine Street
 Vancouver BC
 Canada
 Tel: (604) 687-4741
 Fax: (604) 687-4841
 admin@riccozzarchitecture.com

1806 Pine Street
 Vancouver BC
 Canada
 Tel: (604) 687-4741
 Fax: (604) 687-4841
 admin@riccozzarchitecture.com

1806 Pine Street
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APPROVED: _____
 NO. DATE DISCUSSION

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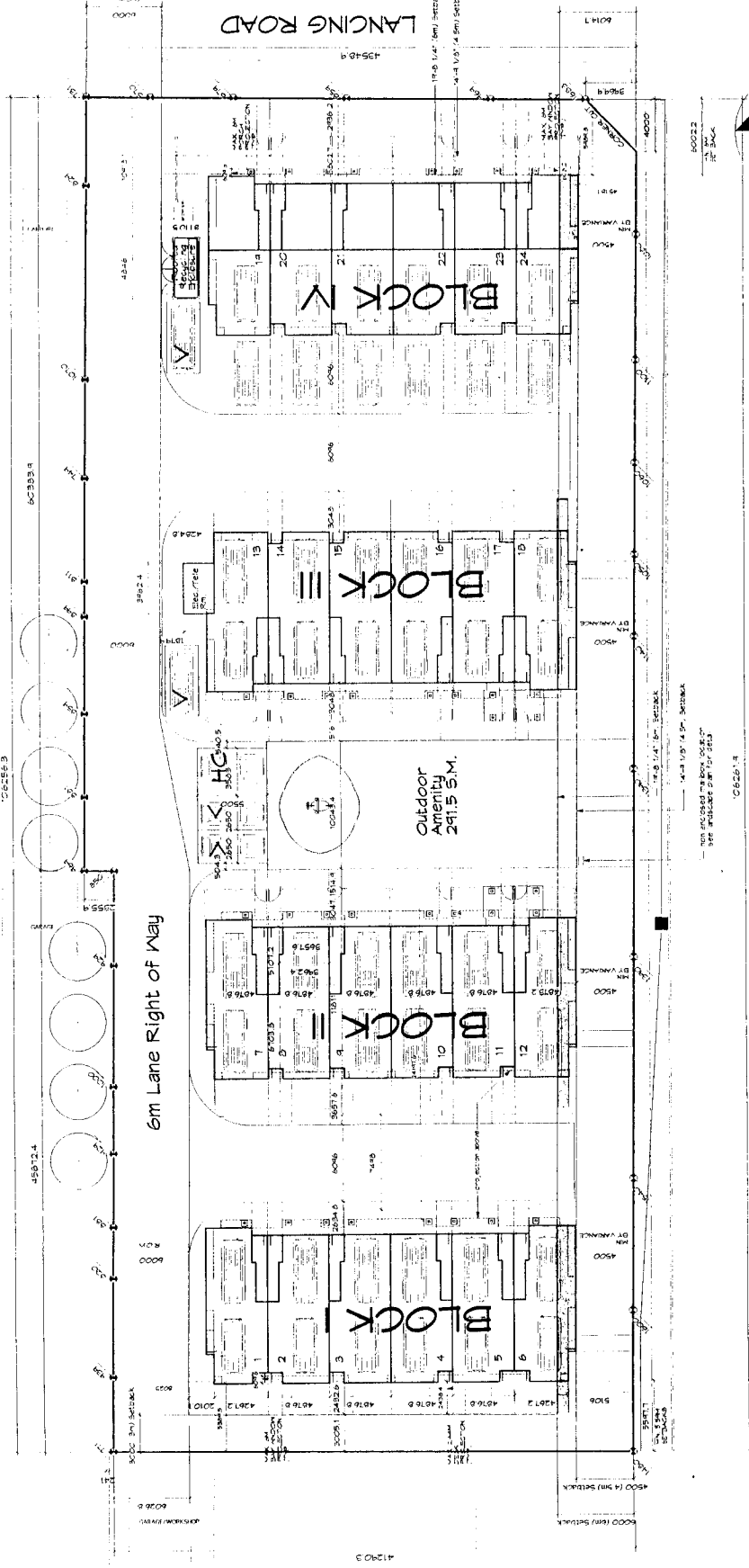
RCA
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 rca@rchazalarchitecture.com

RICHMOND TOWNHOMES

SHEET NO. 11180
 DATE 11/18/04
 PROJECT RICHMOND TOWNHOMES
SITE PLAN

SHEET NO. A-1

PLAN # 2
 DP 04265641
 AUG 25 2004



NO. 2 Road

indicates area of encroachment
 into setbacks



4760N
2 STOREY DWELLING

4760N
2 STOREY DWELLING

4760N
2 STOREY DWELLING

4760N
2 STOREY DWELLING

41240 3
 4760N
2 STOREY DWELLING

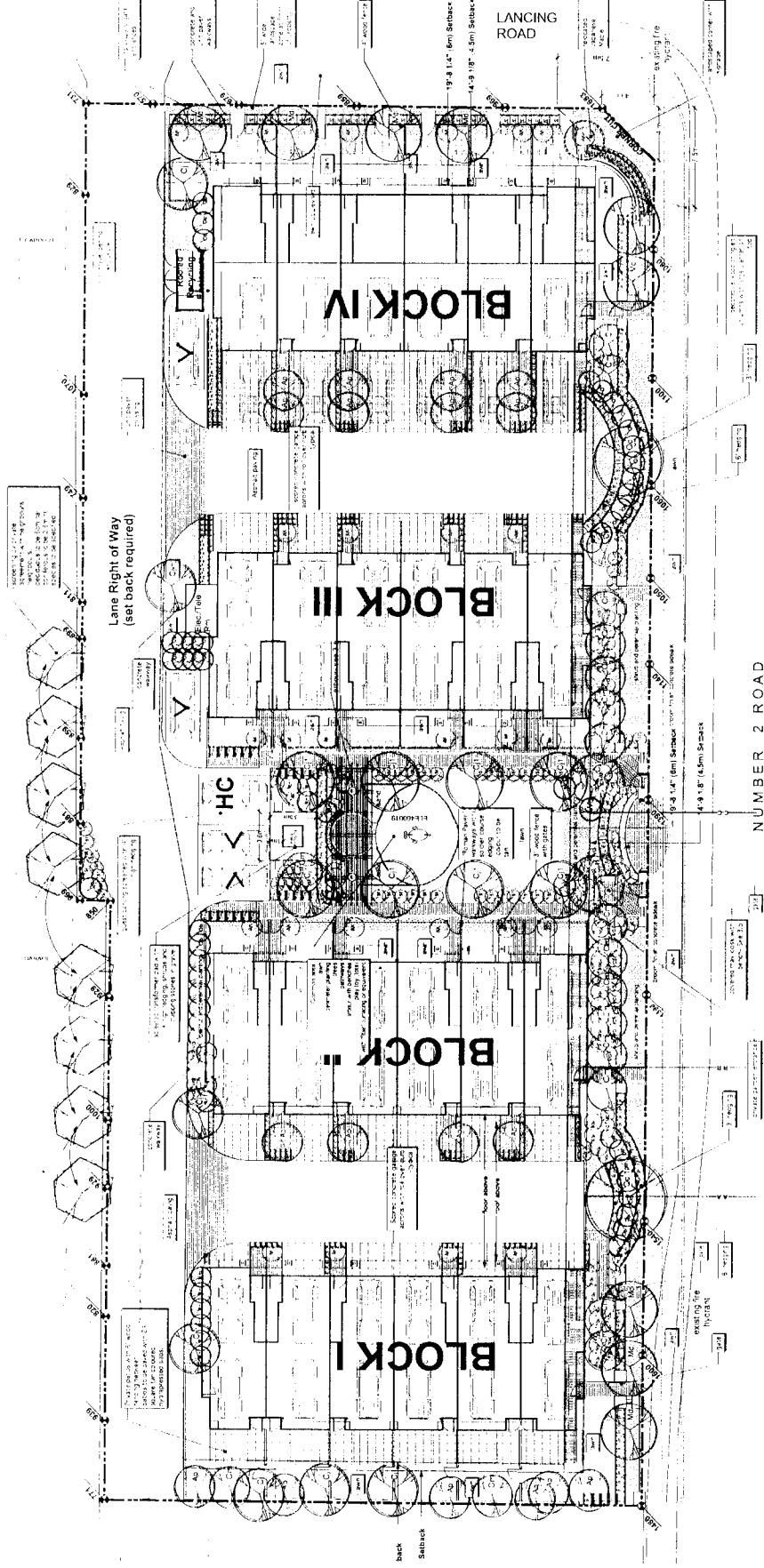
4760N

HANFORD & ASSOCIATES
 10000 14th Street, Suite 100
 Houston, Texas 77035
 Phone: 281-416-1000
 Fax: 281-416-1001
 Email: info@hanford.com

Multi Family Residential
 Project # 04265641

Plan #3
Landscape Plan

3 9



PLAN # 3

AUG 25 2004

DP 04265641



HUNFORD & ASSOCIATES
 ARCHITECTS
 1000 ...
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Sheet 30
 AUGUST 2004

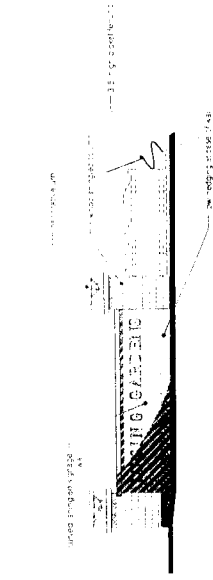
Sheet 31

Multi Family Residential
 August 04

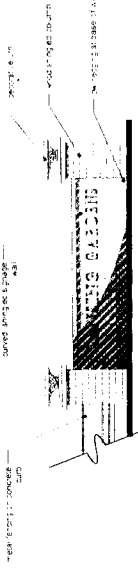
**Plan Details
 Wall Elevations**

Sheet 32
 AUGUST 2004

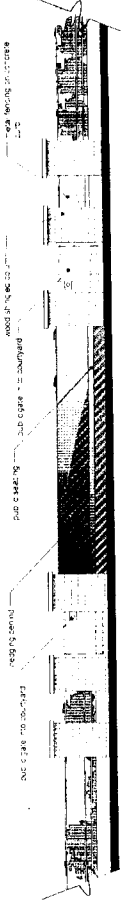
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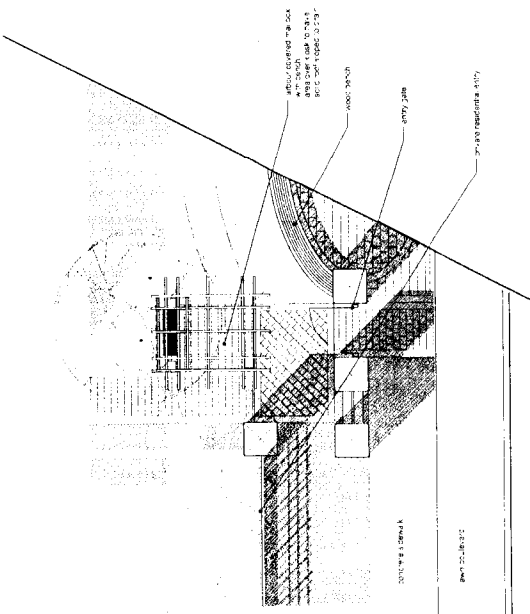
East Elevation Project Storage
 Scale 1/8"



South Elevation Project Storage
 Scale 1/8"



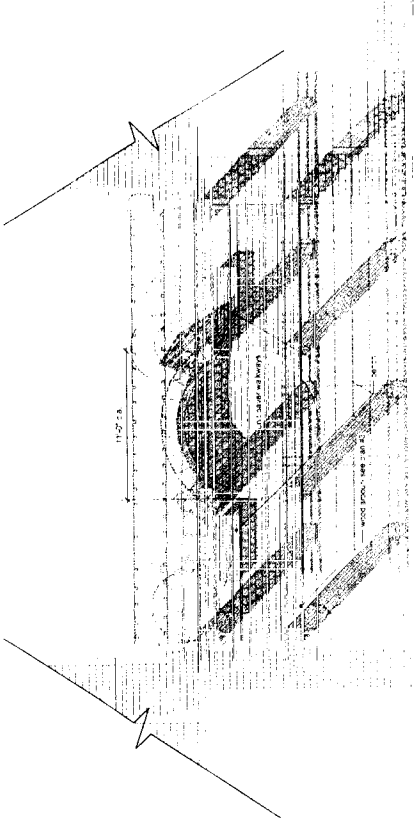
East Elevation Public Plaza Courtyard Entrance
 Scale 1/8"



East Elevation Public Plaza Courtyard Entrance
 Scale 1/8"



East Elevation VBI Kiosk
 Scale 1/8"



East Elevation VBI Kiosk
 Scale 1/8"

AUG 25 2004
 DP 04265641
 PLAN # 3C

BLUMBERG & ASSOCIATES
 1000 ...
 ...

Project No. 04265641

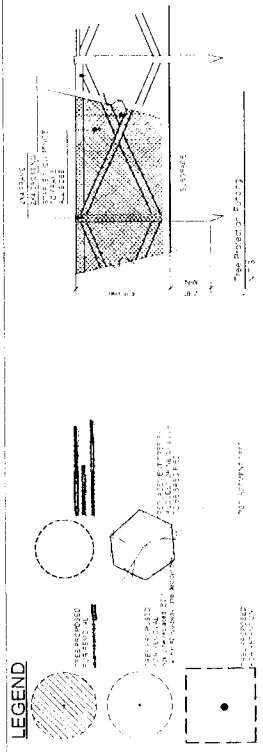
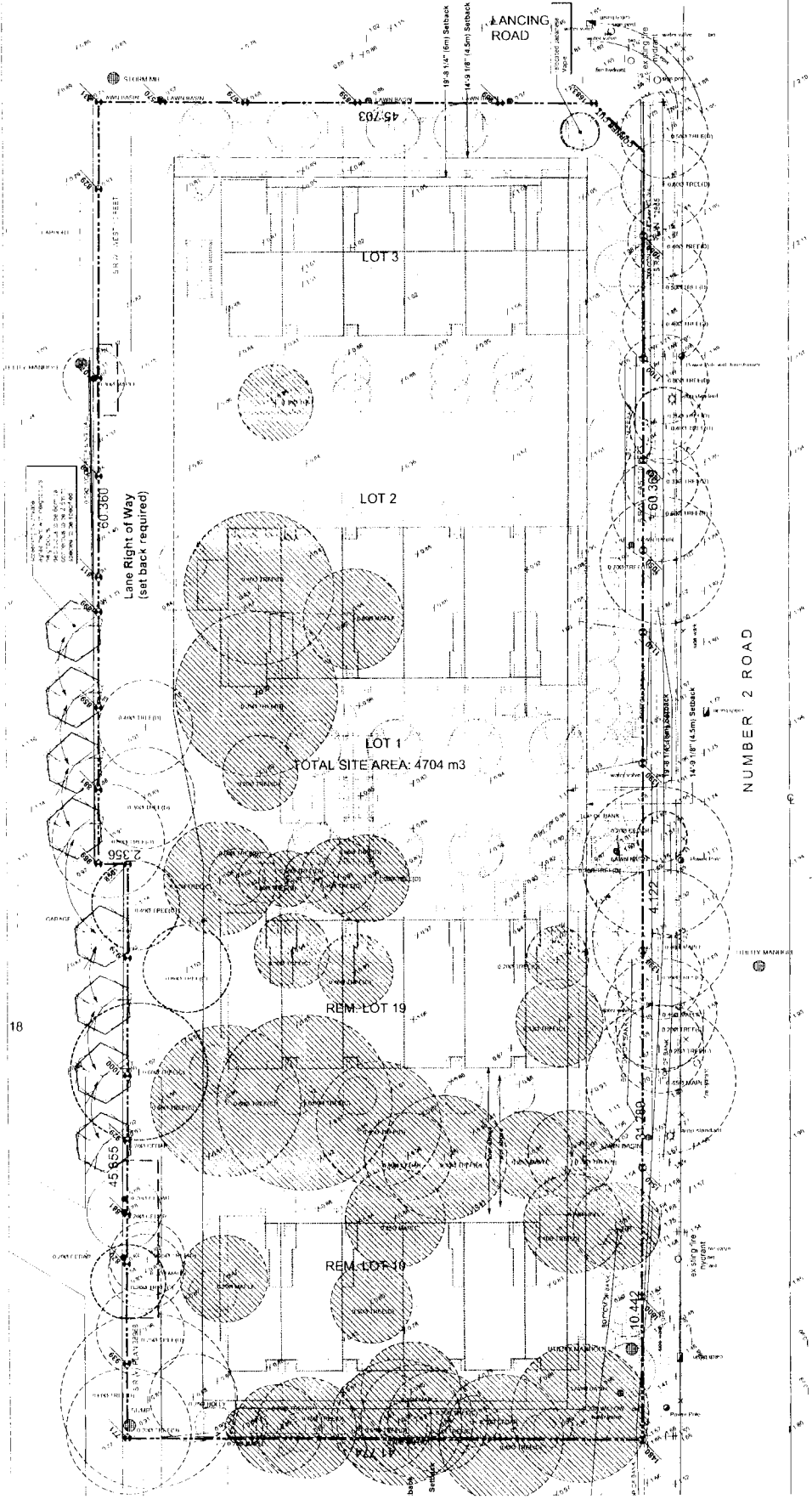
Scale: 1" = 10'-0"

Multi Family Residential

Tree Management Plan

DATE: 08/25/2004

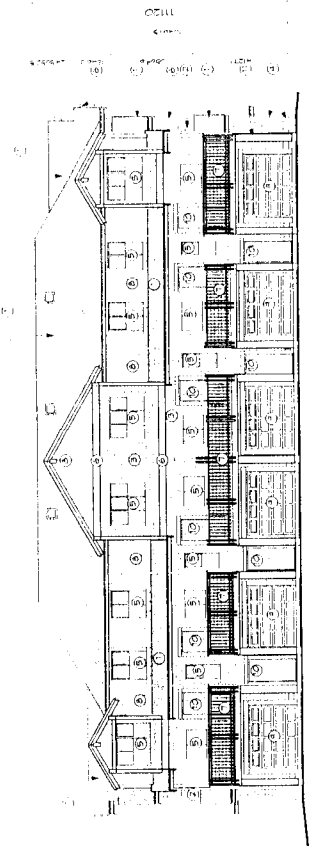
3d 9



PLAN # 3d
 AUG 25 2004
 DP 04265641

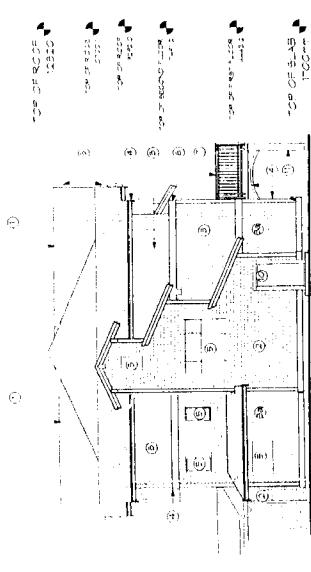
18

REVISIONS	NO.	DATE	DESCRIPTION



2 BLOCK II SOUTH ELEVATION
Scale: 1/8" = 1'-0"

- 12320 TOP OF ROOF
- 12325 TOP OF SLAB
- 12330 TOP OF SLAB
- 12335 TOP OF SECOND FLOOR
- 12340 TOP OF FIRST FLOOR
- 12345 TOP OF SLAB
- 12350 TOP OF SLAB
- 12355 FINISH GRADE

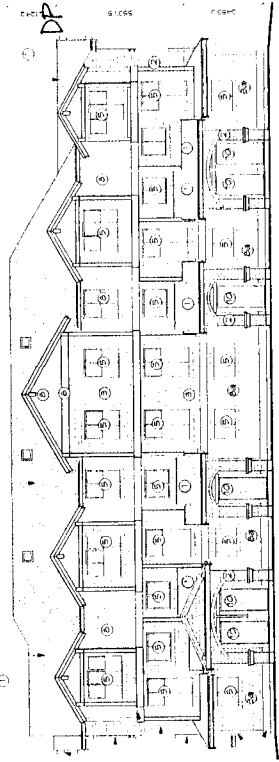


1 BLOCK II EAST ELEVATION
Scale: 1/8" = 1'-0"

- 12320 TOP OF ROOF
- 12325 TOP OF SLAB
- 12330 TOP OF SLAB
- 12335 TOP OF SECOND FLOOR
- 12340 TOP OF FIRST FLOOR
- 12345 TOP OF SLAB
- 12350 TOP OF SLAB
- 12355 FINISH GRADE

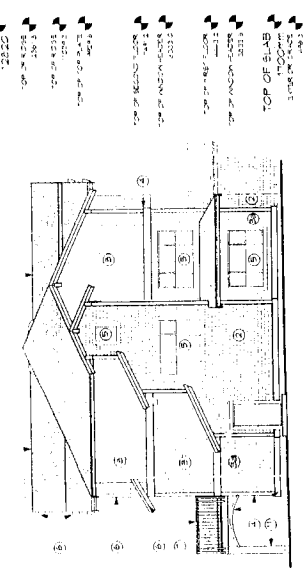
AUG 25 2004
PLAN # 5

DPO 4265641



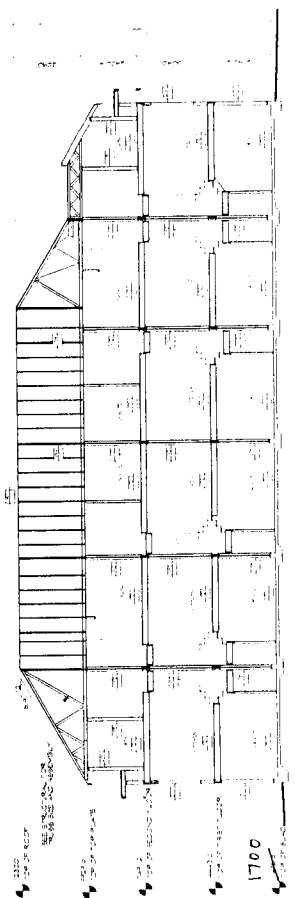
4 BLOCK II NORTH ELEVATION
Scale: 1/8" = 1'-0"

- 12320 TOP OF ROOF
- 12325 TOP OF SLAB
- 12330 TOP OF SLAB
- 12335 TOP OF SECOND FLOOR
- 12340 TOP OF FIRST FLOOR
- 12345 TOP OF SLAB
- 12350 TOP OF SLAB
- 12355 FINISH GRADE



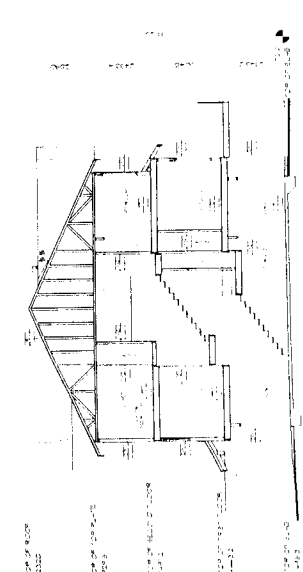
3 BLOCK II EAST ELEVATION
Scale: 1/8" = 1'-0"

- 12320 TOP OF ROOF
- 12325 TOP OF SLAB
- 12330 TOP OF SLAB
- 12335 TOP OF SECOND FLOOR
- 12340 TOP OF FIRST FLOOR
- 12345 TOP OF SLAB
- 12350 TOP OF SLAB
- 12355 FINISH GRADE



5 BLOCK II EAST ELEVATION
Scale: 1/8" = 1'-0"

- 12320 TOP OF ROOF
- 12325 TOP OF SLAB
- 12330 TOP OF SLAB
- 12335 TOP OF SECOND FLOOR
- 12340 TOP OF FIRST FLOOR
- 12345 TOP OF SLAB
- 12350 TOP OF SLAB
- 12355 FINISH GRADE



6 BLOCK II SOUTH ELEVATION
Scale: 1/8" = 1'-0"

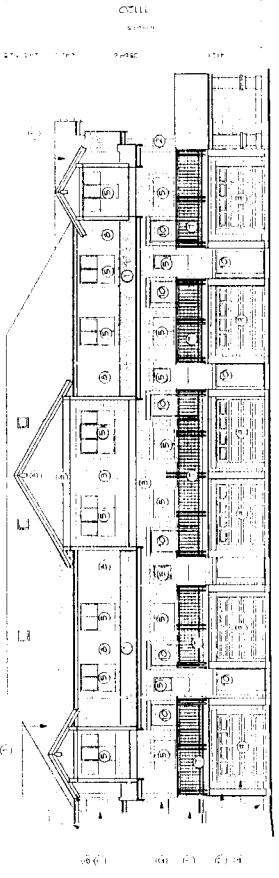
- 12320 TOP OF ROOF
- 12325 TOP OF SLAB
- 12330 TOP OF SLAB
- 12335 TOP OF SECOND FLOOR
- 12340 TOP OF FIRST FLOOR
- 12345 TOP OF SLAB
- 12350 TOP OF SLAB
- 12355 FINISH GRADE

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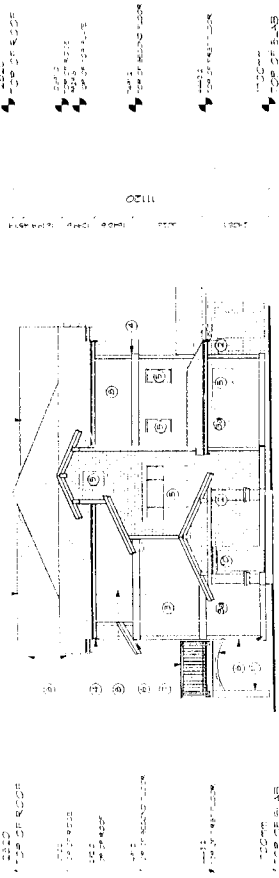
RICHMOND TOWNHOMES	
DATE	10.20.04
PROJECT	1000 1000
SCALE	RCA-31
REVISION	A-7

BLOCK II ELEVATIONS

REVISIONS	DATE	DESCRIPTION



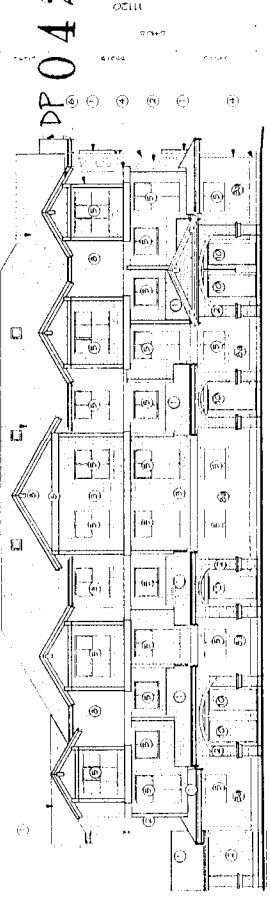
2 BLOCK NORTH ELEVATION
Scale: 1/8" = 1'-0"



1 BLOCK II WEST ELEVATION
Scale: 1/8" = 1'-0"

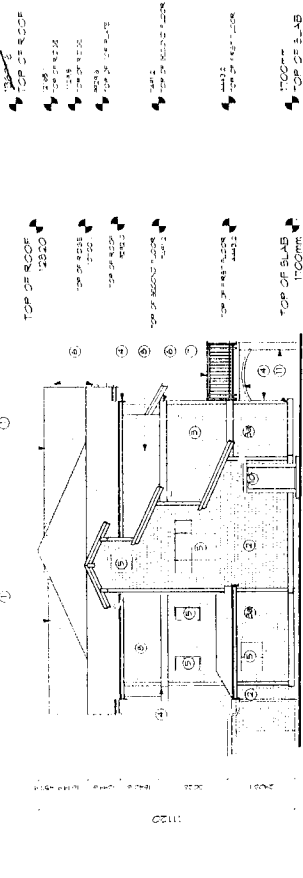
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PLAN # 6

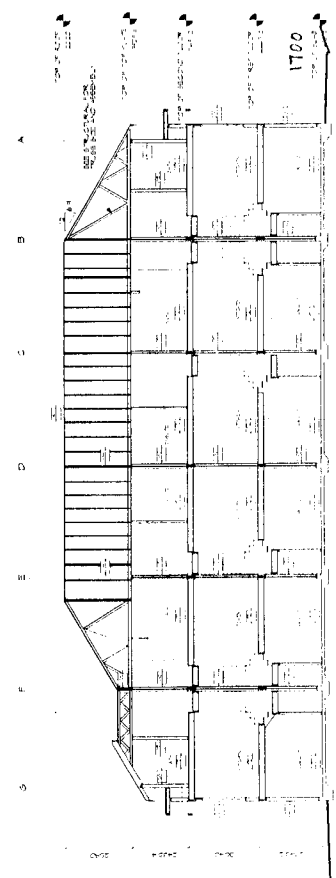


4 BLOCK II SOUTH ELEVATION
Scale: 1/8" = 1'-0"

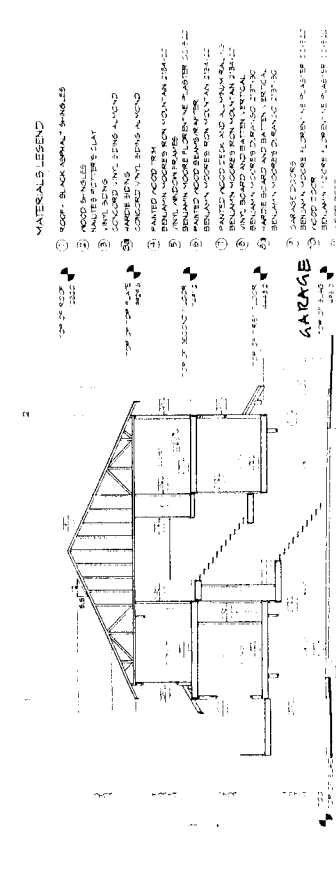
12820



3 BLOCK II EAST ELEVATION
Scale: 1/8" = 1'-0"



5 BLOCK II CROSS SECTION
Scale: 1/8" = 1'-0"



6 BLOCK II GARAGE SECTION
Scale: 1/8" = 1'-0"

MATERIALS LEGEND

- 1 ROOF - BLACK ASPHALT SHINGLES
- 2 ROOF FINISH - GYP. BOARD
- 3 JOIST - 2X10
- 4 CONCRETE FLOOR
- 5 CONCRETE FLOOR
- 6 PAINTED ACID BLENDED
- 7 BELMONT WOODS ROYAL OAK 2 1/2" x 6"
- 8 BELMONT WOODS ROYAL OAK 2 1/2" x 6"
- 9 BELMONT WOODS ROYAL OAK 2 1/2" x 6"
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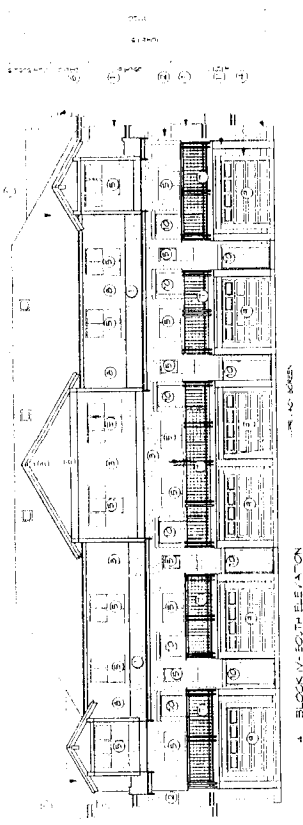
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E-mail: bc@bcarchitecture.com
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RICHMOND TOWNHOMES

BLOCK III ELEVATIONS

A-8

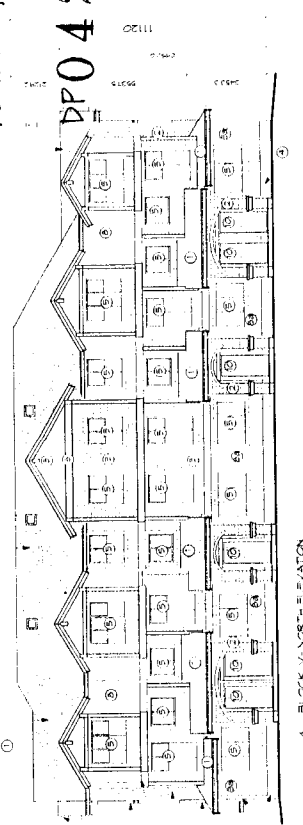
REVISIONS	DATE	DESCRIPTION



4. BLOCK V - EAST ELEVATION
Scale 1/8" = 1'-0"

- 1. TOP OF ROOF 12000
- 2. TOP OF ROOF 12000
- 3. TOP OF ROOF 12000
- 4. TOP OF ROOF 12000
- 5. TOP OF ROOF 12000
- 6. TOP OF ROOF 12000
- 7. TOP OF ROOF 12000
- 8. TOP OF ROOF 12000
- 9. TOP OF ROOF 12000
- 10. TOP OF ROOF 12000

AUG 25 2004
PLAN # 7



4. BLOCK V - NORTH ELEVATION
Scale 1/8" = 1'-0"

- 1. TOP OF ROOF 12000
- 2. TOP OF ROOF 12000
- 3. TOP OF ROOF 12000
- 4. TOP OF ROOF 12000
- 5. TOP OF ROOF 12000
- 6. TOP OF ROOF 12000
- 7. TOP OF ROOF 12000
- 8. TOP OF ROOF 12000
- 9. TOP OF ROOF 12000
- 10. TOP OF ROOF 12000

DP0 4265641

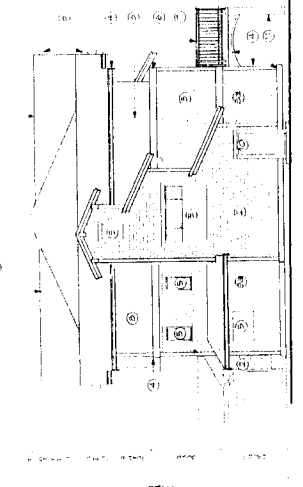
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Tel: (604) 687-4747
Fax: (604) 687-4567
rcainfo@cccaarchitects.com

RICHMOND TOWNHOMES

BLOCK V ELEVATIONS

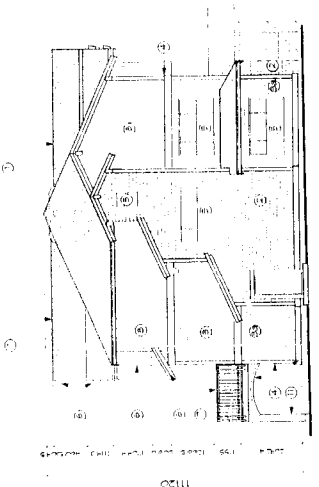
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REVISIONS: A-9



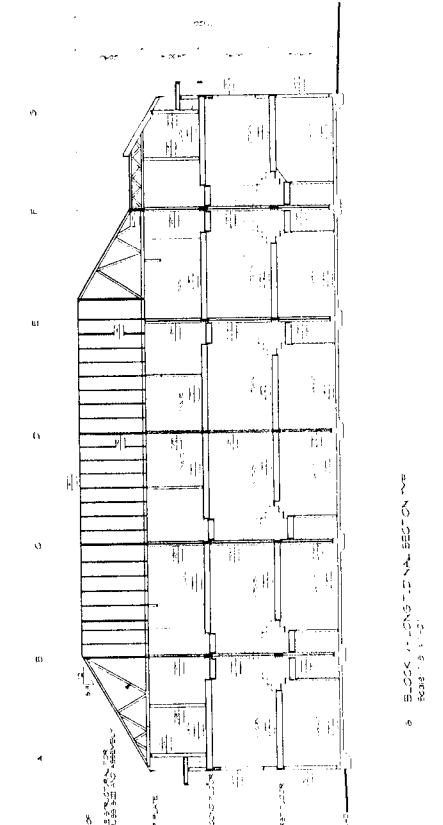
3. BLOCK V - WEST ELEVATION
Scale 1/8" = 1'-0"

- 1. TOP OF ROOF 12000
- 2. TOP OF ROOF 12000
- 3. TOP OF ROOF 12000
- 4. TOP OF ROOF 12000
- 5. TOP OF ROOF 12000
- 6. TOP OF ROOF 12000
- 7. TOP OF ROOF 12000
- 8. TOP OF ROOF 12000
- 9. TOP OF ROOF 12000
- 10. TOP OF ROOF 12000



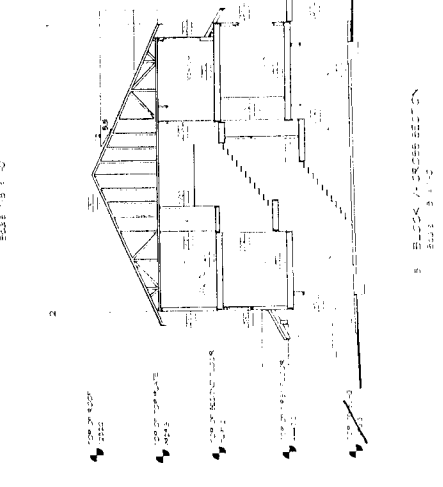
3. BLOCK V - EAST ELEVATION
Scale 1/8" = 1'-0"

- 1. TOP OF ROOF 12000
- 2. TOP OF ROOF 12000
- 3. TOP OF ROOF 12000
- 4. TOP OF ROOF 12000
- 5. TOP OF ROOF 12000
- 6. TOP OF ROOF 12000
- 7. TOP OF ROOF 12000
- 8. TOP OF ROOF 12000
- 9. TOP OF ROOF 12000
- 10. TOP OF ROOF 12000



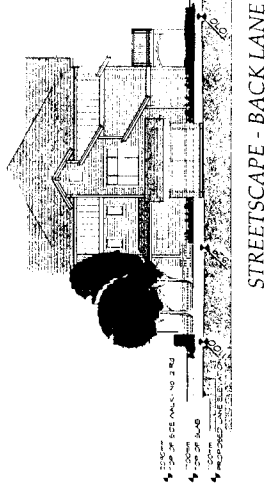
6. BLOCK V - NORTH SECTION
Scale 1/8" = 1'-0"

- MATERIALS LEGEND**
1. ROOF - BLACK ASPHALT SHINGLES
 2. ROOF FLOORING - 2" POLYSTYRENE INSULATION
 3. ROOF FLOORING - 2" POLYSTYRENE INSULATION
 4. ROOF FLOORING - 2" POLYSTYRENE INSULATION
 5. ROOF FLOORING - 2" POLYSTYRENE INSULATION
 6. ROOF FLOORING - 2" POLYSTYRENE INSULATION
 7. ROOF FLOORING - 2" POLYSTYRENE INSULATION
 8. ROOF FLOORING - 2" POLYSTYRENE INSULATION
 9. ROOF FLOORING - 2" POLYSTYRENE INSULATION
 10. ROOF FLOORING - 2" POLYSTYRENE INSULATION

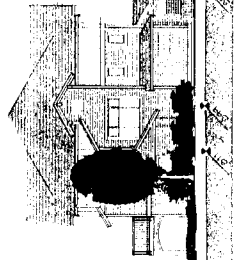


5. BLOCK V - WEST SECTION
Scale 1/8" = 1'-0"

- 1. TOP OF ROOF 12000
- 2. TOP OF ROOF 12000
- 3. TOP OF ROOF 12000
- 4. TOP OF ROOF 12000
- 5. TOP OF ROOF 12000
- 6. TOP OF ROOF 12000
- 7. TOP OF ROOF 12000
- 8. TOP OF ROOF 12000
- 9. TOP OF ROOF 12000
- 10. TOP OF ROOF 12000



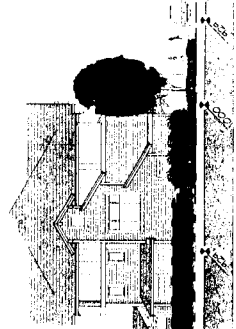
STREETSCAPE - BACK LANE



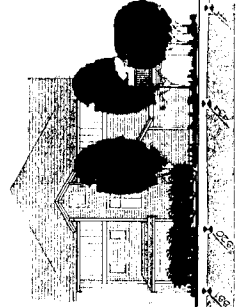
STREETSCAPE - BACK LANE



STREETSCAPE - BACK LANE



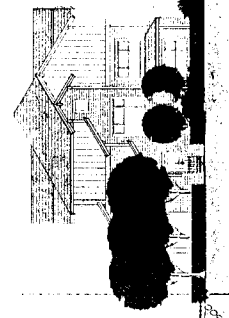
STREETSCAPE - BACK LANE



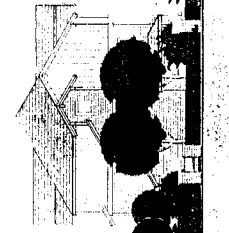
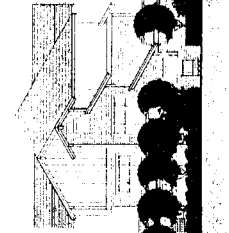
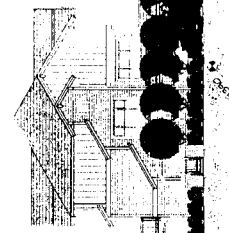
STREETSCAPE - BACK LANE



STREETSCAPE - LANCING ROAD



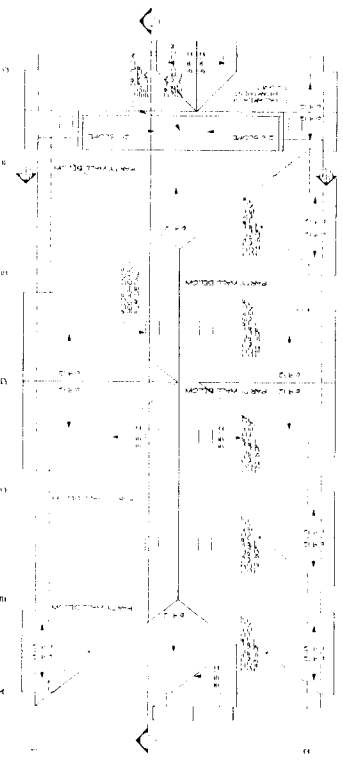
STREETSCAPE - NO. 2 ROAD



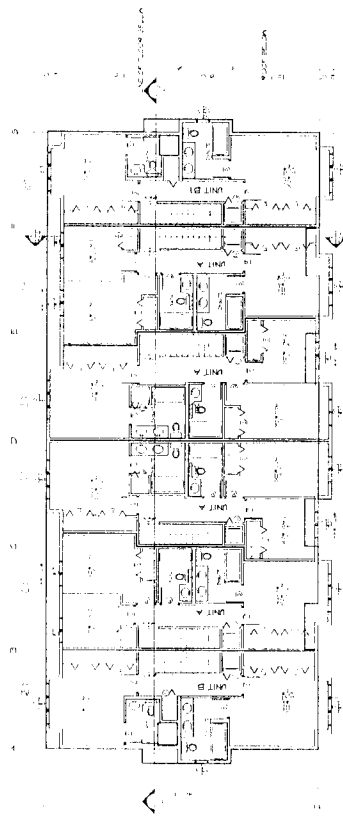
AUG 25 2004
 DP 04265641
 Reference Plan

REF
 RICHMOND TOWNHOMES

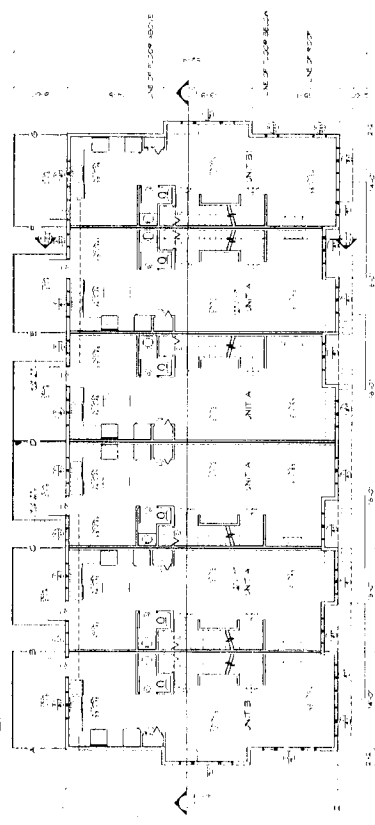
STREET ELEVATIONS
 A-11



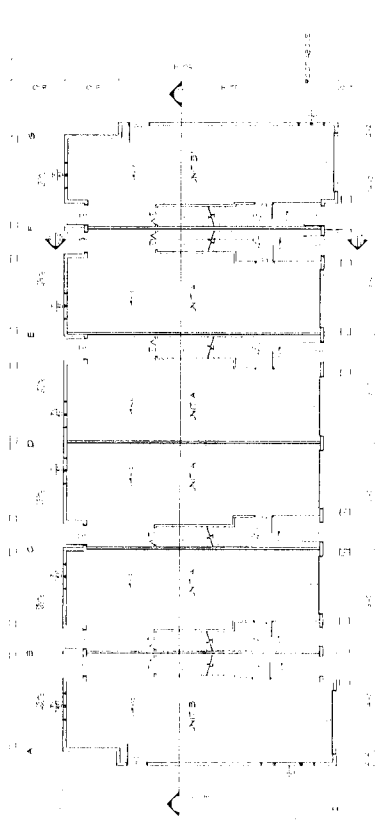
4. BLOCK 4 ROOF PLAN UNITS THRU 6
AS1, BOAR 31110



3. BLOCK 3 2ND FLOOR UNITS THRU 6
AS1, BOAR 31110



2. BLOCK 2 4TH FLOOR UNITS THRU 6
AS1, BOAR 31110



1. BLOCK 1 1ST FLOOR UNITS THRU 6
AS1, BOAR 31110

AUG 25 2004

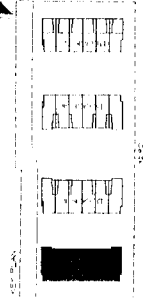
DP 04265641

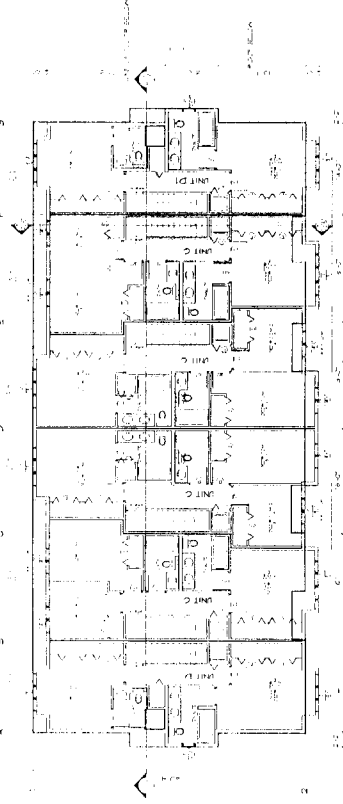
Reference Plan



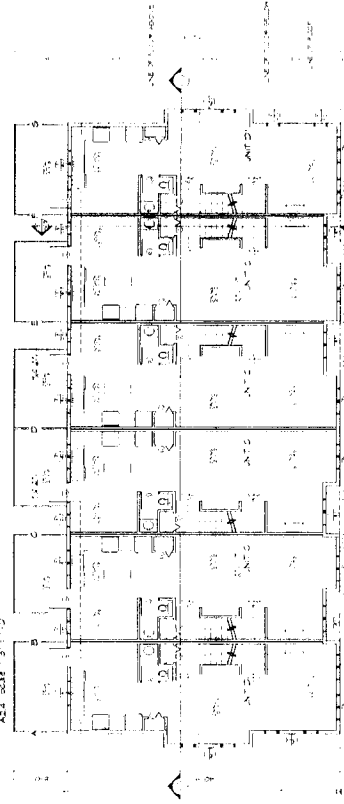
RICHMOND TOWNHOMES

DATE	12-11-04
SCALE	1/8" = 1'-0"
PROJECT	RICHMOND TOWNHOMES
DESCRIPTION	BLOCK 1 FLOOR PLANS
SHEET NO.	A-2

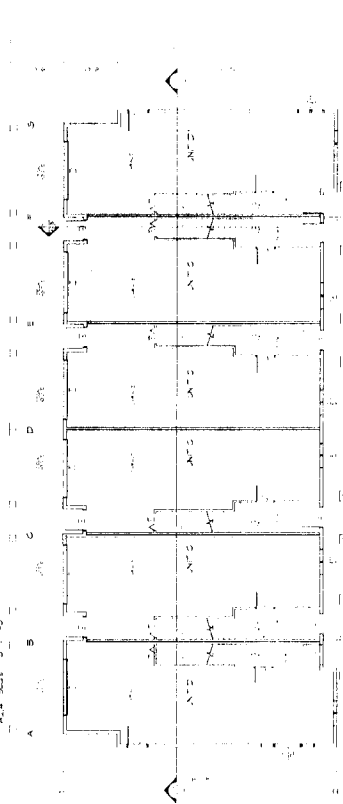




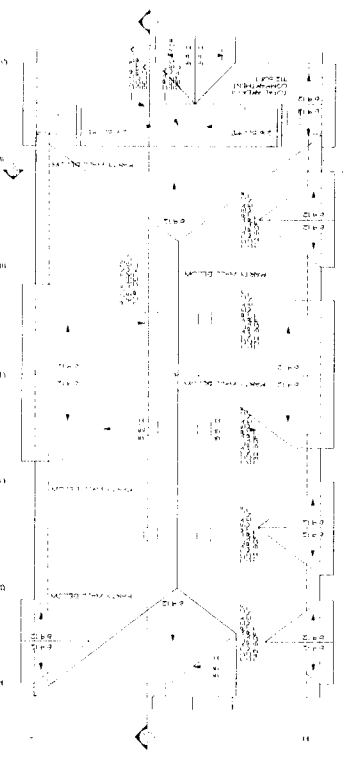
3 BLOCK II 2ND FLOOR, UNITS 11 THRU 12
A2.4 Scale: 1/8" = 1'-0"



4 BLOCK II 3RD FLOOR, UNITS 11 THRU 12
A2.4 Scale: 1/8" = 1'-0"



5 BLOCK II GROUND FLOOR, UNITS 11 THRU 12
A2.4 Scale: 1/8" = 1'-0"



6 BLOCK II ROOF PLAN, UNITS 11 THRU 12
A2.4 Scale: 1/8" = 1'-0"

NO.	DATE	DESCRIPTION

ISSUE:
 1. FOR CONSTRUCTION OF UNIT 11 & 12
 2. FOR CONSTRUCTION OF ROOF PLAN
 3. FOR CONSTRUCTION OF GROUND FLOOR PLAN
 4. FOR CONSTRUCTION OF 2ND FLOOR PLAN
 5. FOR CONSTRUCTION OF 3RD FLOOR PLAN



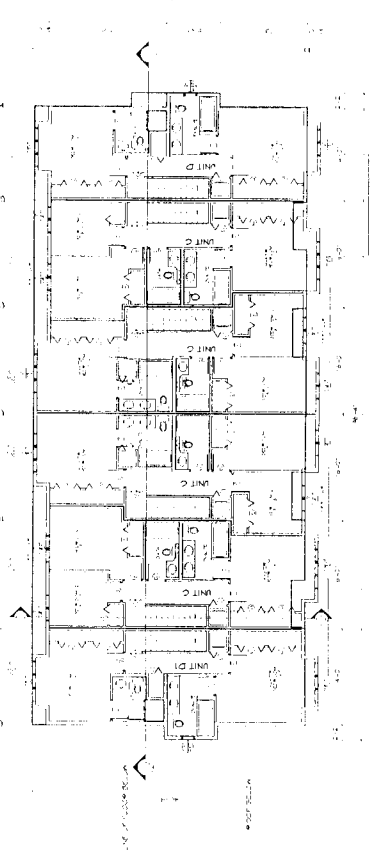
AUG 25 2004
 DP 04265641
 Reference Plan

RCA
 Robert Ciccazzi Architecture Inc.
 1805 Pine Street
 Vancouver, B.C.
 V6J 3C9
 Tel: (604) 687-4741
 Fax: (604) 687-4841
 E-mail: jim@rca.ca
 jim@rca.ca

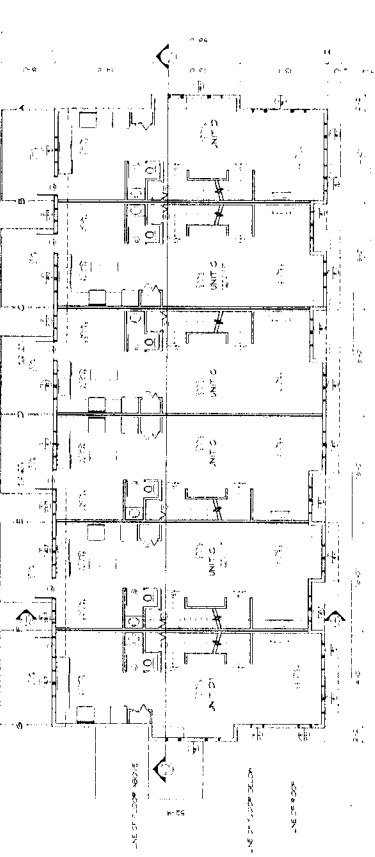
**RICHMOND
 TOWNHOMES**

DATE	2004-08-25
PROJECT	RICHMOND TOWNHOMES
NO.	04265641
DESCRIPTION	BLOCK II FLOOR PLANS & ROOF PLAN
SCALE	A-3

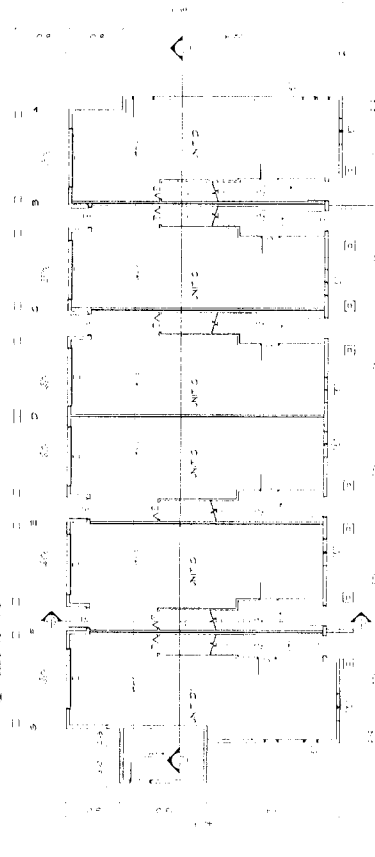




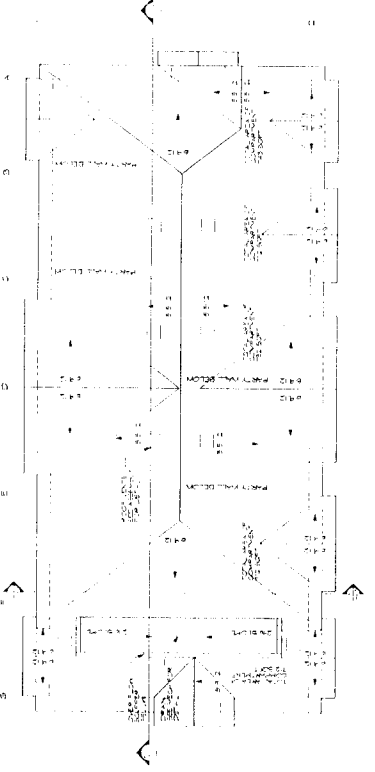
3 - BLOCK II - 2ND FLOOR PLAN, UNITS 19 THRU 23
42" Scale 1/8" = 1'-0"



4 - BLOCK II - 2ND FLOOR PLAN, UNITS 24 THRU 28
42" Scale 1/8" = 1'-0"



5 - BLOCK II - 2ND FLOOR PLAN, UNITS 29 THRU 33
42" Scale 1/8" = 1'-0"



6 - BLOCK II - ROOF PLAN, UNITS 19 THRU 33
42" Scale 1/8" = 1'-0"

NO.	DATE	DESCRIPTION

SCALE
 1" = 8'-0" (VERTICAL)
 1" = 12'-0" (HORIZONTAL)
 1/8" = 1'-0" (ROOF PLAN)
 1/4" = 1'-0" (SECTION)

AUG 25 2004
 PP 04200641
 Reference Plan

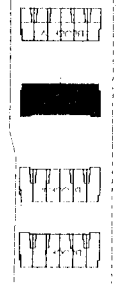


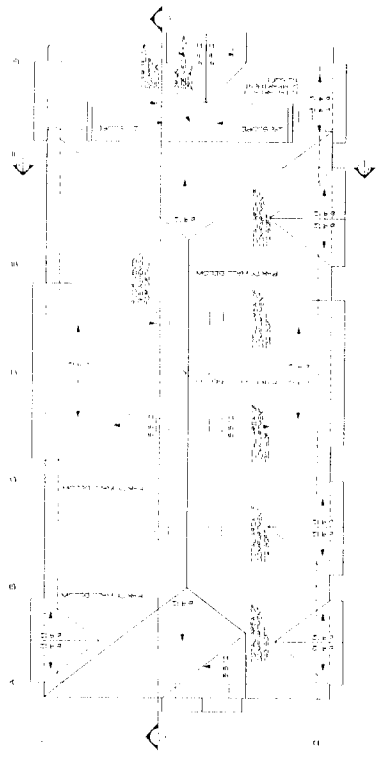
Robert Cassel Architecture Inc.
 1308 Pine Street
 Apartment 303
 Philadelphia, PA 19107
 Tel: 215-575-1234
 Fax: 215-575-1234
 E-mail: info@rca-arch.com
 www.rca-arch.com

RICHMOND
 TOWNHOMES

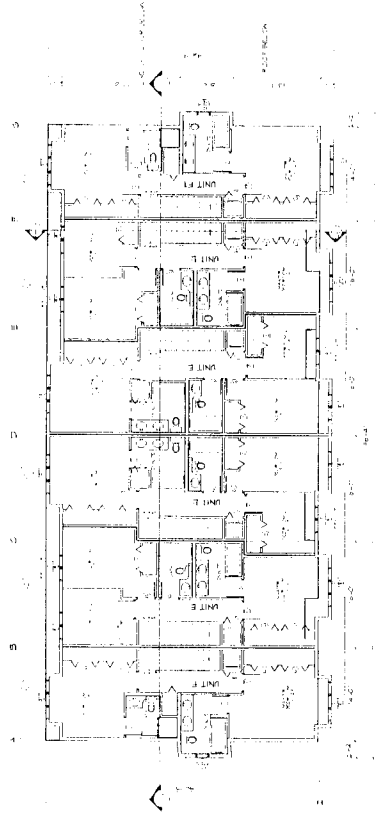
NO.	DATE	DESCRIPTION

BLOCK II
 FLOOR PLANS
 & ROOF PLAN
 SHEET NO. A-4

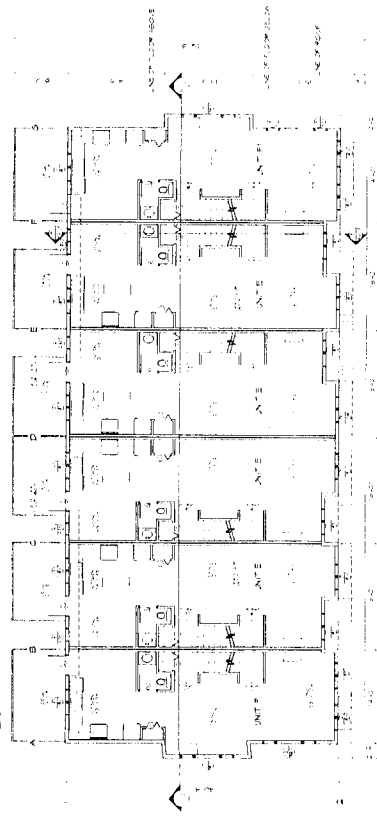




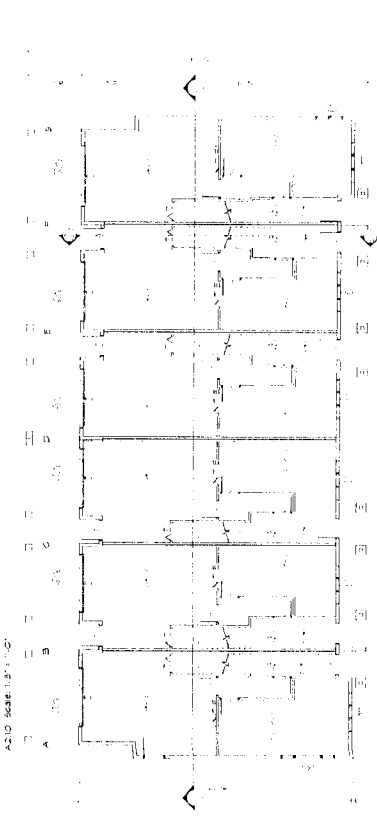
4. BLOCK IV - ROOF PLAN UNITS 14 THRU 24
AS TO BE BUILT



3. BLOCK IV - 2ND FLOOR UNITS 14 THRU 24
AS TO BE BUILT



2. BLOCK IV - 1ST FLOOR UNITS 14 THRU 24
AS TO BE BUILT



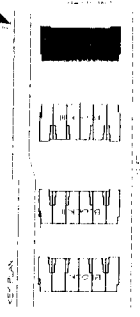
1. BLOCK IV - SECOND FLOOR UNITS 14 THRU 24
AS TO BE BUILT

AUG 25 2004
DP 04265641
 Reference Plan

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 1312 Pine Street
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 Canada
 TEL: 604.687-4741
 FAX: 604.687-4641
 admin@rcaarchitecture.com

**RICHMOND
 TOWNHOMES**

DATE	23 07 04
PROJECT	
DESIGNER	REA
SCALE	AS SHOWN
BLOCK IV FLOOR PLANS & ROOF PLAN	
REVISION	A-5



REVISIONS		
NO.	DATE	DESCRIPTION

